

**STAFF REPORT FOR PLANNING COMMISSION MEETING OF MAY 27, 2009**

**AGENDA ITEM: H-1**

**FILE NO: SUP 09-039**

**STAFF AUTHOR:** Kathe Green, Assistant Planner

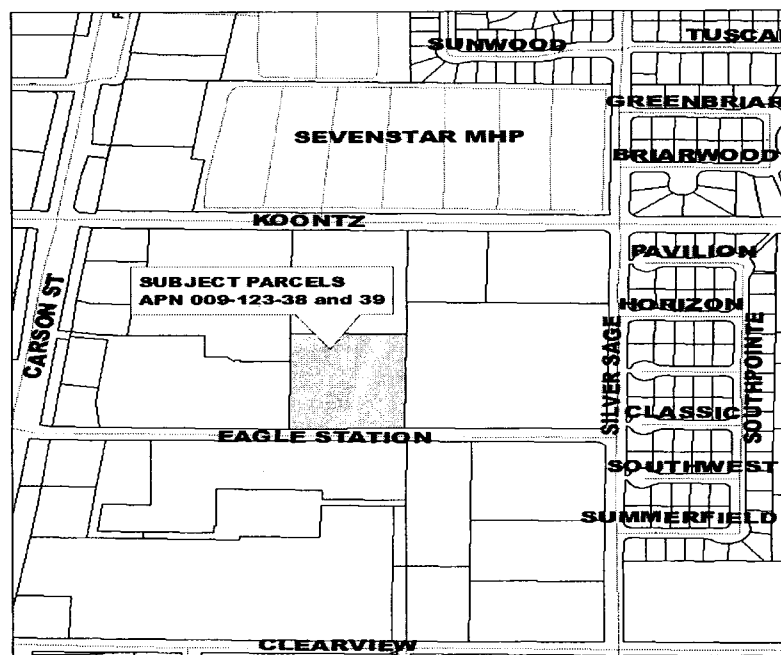
**REQUEST:** Request to allow an increase in the total number of permitted residential units from 36 to 48 in six buildings on property zoned General Commercial Planned Unit Development (GC-P), located at 250 Eagle Station Lane, APN 009-123-38 and 009-123-39.

**OWNER:** Jackson Fam Liv Trust 5/25/00 c/o Donald and Bonnie Jackson, TT  
(Homeco I, LLC)

**APPLICANT:** Metcalf Builders, Inc.

**LOCATION/APN:** 250 Eagle Station Lane/009-123-38 and 009-123-39

**RECOMMENDED MOTION:** "Move to approve SUP-09-039, a Special Use Permit request to allow an increase in the number of permitted residential units from 36 to 48 in six buildings on property in the General Commercial Planned Unit Development zoning district, located at 250 Eagle Station Lane, APN 009-123-38 and 009-123-39, based on findings and conditions of approval contained in the staff report."



**RECOMMENDED CONDITIONS OF APPROVAL:**

**The following shall be completed prior to commencement of the use:**

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

**The following shall be submitted with any building permit application:**

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval, signed by the applicant and owner, with any building permit application.
6. The project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project. Additional concerns and requirements are shown on the Building Division Comment sheet, which is attached and made a part of these conditions by reference. All of the requirements on the Building Division Comment sheet are conditions of approval which must be satisfied.
7. All exterior lighting must be reviewed and approved prior to installation.

**The following applies throughout the life of the project:**

8. The maximum number of residential units allowed on the site is 48. Any modification to increase density will require an additional review by special use permit.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits), 18.02.050 (Review), and 18.04.135 (General Commercial)

**MASTER PLAN DESIGNATION:** Commercial (C)

**ZONING:** General Commercial Planned Unit Development (GC-P)

**KEY ISSUES:** Is the proposed modification of the use from unit of residential units from 36 to 48 compatible with the previous approvals for the site?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

North: Evergreen Mountain View Care Center; zoned General Commercial (GC)

East: JC Penney; zoned General Commercial (GC)

West: Southwest Gas Company; zoned Retail Commercial (RC)

South: former Mervyns; zoned General Commercial (GC)

**ENVIRONMENTAL INFORMATION:**

1. FLOOD ZONE: Zone "B" and "AH" areas between the 100 to 500 year flood zone

2. SOILS: 71- Urban Land

3. EARTHQUAKE FAULT: No earthquake faults in the vicinity

4. WETLANDS: No wetlands exist on the site

**SITE DEVELOPMENT INFORMATION:**

1 LOT SIZE: The subject site contains 3.66 acres.

2 PROPOSED PROJECT SIZE: The proposed project consists of 48 residential units grouped in six, two story buildings, totaling 41,434 square feet or .95 acres.

3 LANDSCAPING AREA: 64,560 square feet or 1.48 acres.

4 SETBACKS: There are no required General Commercial (GC) setbacks. Height is limited to 45 feet. Provided: front 18.7 feet, right side 39.1 feet, left side 38.2 feet, rear 24.3 feet, height 31 feet 4 3/8 inches overall

5 VARIANCE REQUESTED: None

**OTHER REVIEWS REQUIRED:**

None

**DISCUSSION:** The Eagle Village Condominium project was approved by SUP-05-192, TPUD -05-191 and FPUD-08-128 for 36 residential condominiums in six buildings in the General Commercial Planned Unit Development (GC-P) zoning district, where residential uses require approval of a Special Use Permit. This proposal is to add 12 residential units. The applicant also provided text in support of compliance with Development Standards 1.18 Residential Development Standards in Non-residential Districts. No construction has started on the site, although grading and utility preparation is under way. The proposal is to use the same building footprints for the project as previously approved, keeping the site to a total of six buildings, with internal changes to the buildings which increase the total number of units from 36 to 48. The proposal is to increase each building by two units on the second floor. The building exterior appearance remains in substantial conformance with the previously approved concept. The applicant states the density for the project with the addition of 12 units will be 13.11 dwelling units be acre.

The project was previously reviewed and approved as a planned unit development, and will continue with this designation. Tandem parking is allowed under this approval. A requirement under Development Standards Division 2 Parking at 2.2.A is a minimum of two parking spaces required for each residential unit or a total of 96 parking spaces. The applicant proposes to reduce the previously approved number of garage parking spaces by 12, while retaining a total of 118 spaces on the site or a total of 22 spaces beyond the number required. One space per unit is proposed as tandem parking, shown as a parking space in front of the garage, for a total of 48 tandem spaces. The previous submission had the same tandem parking layout, with a total of 36 tandem spaces.

Ample open space and landscaping is proposed for the project. A total of 64,560 square feet, 1.5 acres or 41% of the site is proposed in landscaping and pathways. Open space totaling 250 square feet per unit or 12,000 square feet would be required under Development Standards 1.18, Residential Development Standards in Non-residential Districts. The applicant states the units will appear to be high quality residential structures, with pitched roofs, garage doors, porches, etc, while the existing surrounding retail commercial and office buildings are considerably larger and have box like appearances.

**PUBLIC COMMENTS:** Public notices were mailed to 191 adjacent property owners within 600 feet of the subject site. At the writing of this report no additional comments in favor or opposition to this proposal have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on May 27, 2009 depending on the date of submission of the comments to the Planning Division.

**AGENCY COMMENTS:** All comments from various city departments and agencies which were received as of May 13, 2009 are included or attached to this report.

**Building:** The project has permit applications on file with the Carson City Building Division, and as such, the Carson City Building Division has no objections to any modifications to the Special Use Permit.

**Health:** Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

**Fire:** The project must meet all applicable codes and ordinances as they apply to this request.

**Parks and Recreation:** No comments.

**Engineering:** The Engineering Division has no preference or objection to the special use request, and no recommended conditions of approval.

**FINDINGS:** The recommendation in this report is based upon the findings as required by Carson City Municipal Code (CCMC) Sections 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. The project will be consistent with the master plan elements.**

*This proposal is in conformance with the Master Plan and will be in conformance with the Zoning Ordinance (Title 18). The proposal is consistent with a number of goals and policies that support a diverse community. The applicant has provided many goals and policies in the submitted application in conformance with the requirements of the Master Plan. A few are excerpted here:*

Goal 1: Advocate land use patterns which create vitality, diversity and compatibility.

*The applicant states the project provides the introduction of a high value residential use within a commercial office and retail area, creating a "mixed use" which will add vitality and diversity to the*

*neighborhood and stimulate the neighborhood economy.*

Policy 1.1 Provide land for future development without sacrificing the character and qualities identified as desirable by the citizens of Carson City.

*The applicant states the development is an infill project that provides for the efficient use of land within the City's existing developed area, with attractive, high quality design and construction, extensive landscaping and desirable design elements.*

Policy 1.2 Establish land use patterns that are consistent with the circulation network (Street and Highway Plan) and availability of public facilities and services.

*The applicant states the site does not require additional off-site infrastructure improvements. Anticipated traffic generated by the project is well within the capacity of the existing street network.*

Policy 1.4. In the future, advocate a mixture of land uses where such a mix is compatible.

*The applicant states the project provides for a mixture of compatible land uses in the commercial neighborhood bounded by residential uses. The majority of uses for residential dwellings take place during nights and weekends, while the majority of office/commercial uses take place during weekdays.*

**2. The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

*During construction there will be additional noise, vibrations, fumes, odors, dust, glare and/or physical activity. At completion of the project the site will continue to generate noise. However, any new use here will create more physical activity than the existing vacant lot. It is assumed the change will not be objectionable to the surrounding commercial properties. Commercial uses generally have active times which are not the same as residential uses.*

**3. The project will have little or no detrimental effect on vehicular or pedestrian traffic.**

*The proposed project will create more vehicular and pedestrian traffic than presently exists on the site with the development of a vacant lot into 48 residential units. However, the roads and sidewalks in the vicinity are adequate to support the proposed development. The property immediately surrounding this site is commercial.*

**4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

*All of the necessary services and facilities have been approved or authorized to provide the previously approved 36 residential units with any required needs such as water and sewer connections, road and sidewalks. The applicant has submitted a letter stating the sewer is adequate to provide service to the site. The Engineering Division has reviewed the change to add 12 units to a total of 48 residential units and did not state this will overburden existing services.*

**5. The project meets the definition and a specific standard set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

*The purpose of the General Commercial (GC) zoning district is to achieve the following:*

*A Special Use Permit is required because the zoning of this property is General Commercial Planned Unit Development. All residential uses in this zoning district require Special Use Permit approval. The proposed increase from 36 to 48 units is therefore being presented to the Planning Commission for review.*

*The proposed development meets the purpose of the General Commercial zoning district, which is to preserve a commercial district limited primarily to retail and wholesale of new and used materials, repair and service facilities, and offices.*

*It is noted residential uses require approval of a special use permit, which was previously granted at this location as special use permit SUP-05-192.*

**6. The project will not be detrimental to the public health, safety, convenience and welfare.**

*The modification of the approved space within six buildings to create an additional 12 residential units will not impact the public health, safety, convenience and welfare. Additional parking has been provided on site to accommodate the additional proposed number of units, with an additional 22 parking spaces proposed on site beyond the required number. Landscaping and open space exceed requirements. The site was previously approved for residential development within six buildings. The footprints of the buildings are not being changed.*

**7. The project will not result in material damage or prejudice to other properties in the vicinity.**


*Properties within the vicinity were notified about the proposal for 36 residential units when the original request was under consideration. The surrounding properties have again been notified for comments. It is not anticipated that the proposed project will result in material damage or prejudice to other properties in the vicinity by increasing the number of residential units from 36 to 48.*

**8. The applicant shall have the burden of proof by a preponderance of evidence to provide facts supporting the proposed Special Use Permit. For purposes of legal clarity, this shall include the burden of going forward with the evidence and the burden of persuasion on all questions of fact which are to be determined by the Commission and the Board. Additionally, the applicant shall provide adequate information in the application and on the site plan to substantiate the findings required in this Section.**

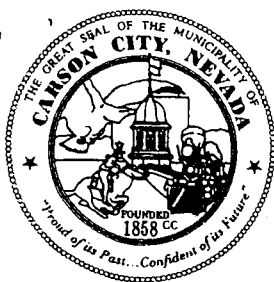
*The applicant has provided sufficient information to support the request and has met the requirement for facts and findings supporting the proposed Special Use Permit.*

Respectfully submitted,

DEVELOPMENT SERVICES, PLANNING DIVISION



Kathe Green, Assistant Planner



# CARSON CITY, NEVADA

CONSOLIDATED MUNICIPALITY AND STATE CAPITAL

## MEMORANDUM



TO: Lee Plemel, Planning Director  
Jennifer Pruitt, Senior Planner (Hardcopy and Email)  
Heidi Eskew-Herrmann, Assistant Planner

FROM: Roger Moellendorf, Parks & Recreation Director

DATE: May 12, 2009

SUBJECT: Parks & Recreation Department's Comments for the Wednesday, May 27, 2009, Planning Commission Meeting Agenda

ZCA-08-127	Our department would like the Planning Commission to support a language change to the Carson City Municipal Code, Title 18, Zoning Chapter, proposed Section 18.05.080, to allow all publicly zoned parcels the ability "by right" to use small wind turbine generators. This ability to install small wind turbines at sport complexes, park sites, and public buildings could assist in offsetting the annual and on-going cost of electricity to the City and our department's various user groups. Another application of cost savings would be with new construction in rural or natural areas of the City. This type of wind power generation could eliminate the cost to bring power lines into remote areas where minimal power needs are required for a project.
SUP-09-034	No comments.
MPA-09-035 ZMA-09-036 SUP-09-037	The Unified Pathways Master Plan (UPMP) identifies an off-street/paved/shared path directly north of the project site on airport property. As our department understands the site design, the applicant is proposing a taxi way connection from the high school to the airport. This connection needs to accommodate the City's future path. Our department is willing to discuss the related path design issues during the applicant's effort to develop project construction documents and the City's permit process. In addition, the UPMP identifies Goni Road and College Parkway as existing on-street bike lanes. Our department believes the high school should accommodate both pedestrian and bicycle access to the project site, including an evaluation of regional connectivity issues. As a result, our department would recommend to the Planning Commission that the applicant be required to work with the City's Engineering Department to construct concrete sidewalks along Goni Road and Old Hot Springs Road, provide pedestrian crosswalks at the Goni Road and Old Hot Springs Road intersections, and provide bicycle lanes on Old Hot Springs Road.
SUP-09-039	No comments.



<b>File # (Ex: MPR #07-111)</b>	<i>SUP 09-039</i>
<b>Brief Description</b>	<i>Eagle Village Apt Project</i>
<b>Project Address or APN</b>	<i>250 Eagle Station</i>
<b>Bldg Div Plans Examiner</b>	<i>Don Wilkins</i>
<b>Review Date</b>	<i>May 7, 2009</i>
<b>Total Spent on Review</b>	

**BUILDING DIVISION COMMENTS:**

This project has permit applications on file with the Carson City Building Division, and as such, the Carson City Building Division has not objections to any modifications to the Special Use Permit.

**From:** Teresa Hayes  
**To:** MPR Committee  
**Date:** 5/12/2009 9:26 am  
**Subject:** Planning commission comments

Sorry out sick yesterday.

SUP 09-034

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

MPA 09-035

ZMA 09-036

SUP 09-037

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable State (NRS & NAC 444), Local and Federal codes and ordinances as they apply to this request. Plans for this facility must be submitted and approved by Carson City Health & Human Services.

SUP 09-039

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

Teresa Hayes, R.E.H.S.  
Environmental Health Specialist II  
Carson City Health and Human Services  
900 E. Long St  
Carson City, NV 89706  
Phone: (775) 887-2190 ext 30227  
Fax: (775) 887-2248

**P Go Green: Please do not print this e-mail unless you really need to!**

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# CARSON CITY FIRE DEPARTMENT

*"Service with Pride. Commitment. Compassion"*

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## MEMORANDUM

**TO: Jennifer Pruitt**  
**From: Duane Lemons, Fire Inspector**  
**Subject: Planning Commission Meeting Comments**  
**Date: May 11, 2009**

**SUP-09-034**

Fire Department access to the asphalt plant shall be maintained at all times.

**MPA-09-035**

**ZMA-09-036**

**SUP-09-037**

No comments.

**SUP-09-039**

This project must meet all codes and ordinances.



**CARSON CITY, NEVADA**  
CONSOLIDATED MUNICIPALITY AND STATE CAPITAL  
DEVELOPMENT SERVICES

Engineering Division  
Planning Commission Report  
File Number SUP 09-039

**RECEIVED**

MAY 15 2009

CARSON CITY  
PLANNING DIVISION

TO: Planning Commission

FROM:  Jeff Sharp, P.E. – City Engineer

DATE: May 15, 2009

MEETING DATE: May 27, 2009

**SUBJECT TITLE:**

Action to consider an application for a Special Use Permit from MBI on behalf of Homeco 1, LLC for revision to the previously approved SUP for Eagle Station Condos to allow 8 units per building instead of the previously approved 6 units per building on property zoned Commercial located at 250 Eagle Station Lane, APN 009-123-39.

**RECOMMENDATION:**

The Engineering Division has no preference or objection to the special use request, and no recommended conditions of approval.

**DISCUSSION:**

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

**CCMC 18.02.080 (2a) - Adequate Plans**

The information submitted by the applicant is adequate for this analysis.

**CCMC 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

**CCMC 18.02.080 (5c) - Traffic/Pedestrians**

The proposal will have little effect on traffic or pedestrian facilities.

**CCMC 18.02.080 (5d) - Public Services**

The proposal will have little effect on existing public services.

H:\EngDept\IP&ESHARE\Engineering\Planning Commission Reports\Special Use Permits\2009\SUP 09-039 Eagle Station Condos.doc

ENGINEERING DIVISION • 2621 Northgate Lane, Suite 54 • Carson City, Nevada 89706  
Phone: (775) 887-2300 Fax: (775) 887-2283 E-mail: engdiv@ci.carson-city.nv.us

SUP - 09 - 039

**RECEIVED**

APR 16 2009

CARSON CITY  
PLANNING DIVISION

**SPECIAL USE PERMIT REVISION APPLICATION**

**FOR THE**

**EAGLE VILLAGE APARTMENT PROJECT**

**250 Eagle Station Lane  
Carson City, NV 89701**

**Applicant:**

**Homeco 1, LLC  
2528 Business Parkway, Ste. B  
Minden, NV 89423**

**RECEIVED**

APR 16 2009

CARSON CITY  
PLANNING DIVISION

**Carson City Planning Division**  
2621 Northgate Lane, Suite 62 • Carson City NV 89706  
Phone: (775) 887-2180 • E-mail: plandept@ci.carson-city.nv.us

FOR OFFICE USE ONLY:

CCMC 18.02

**FILE # SUP - 08 - SUP - 09 - 039**

**SPECIAL USE PERMIT**

**FEE:** \$2,450.00 MAJOR  
\$2,200.00 MINOR (Residential)  
+ noticing fee

**PROPERTY OWNER**

Homeco 1, LLC.

**MAILING ADDRESS, CITY, STATE, ZIP**

2528 Business Pkwy. # B Minden NV. 89423

**PHONE #**

775-267-6587

**FAX #**

775-267-6537

**Name of Person to Whom All Correspondence Should Be Sent  
APPLICANT/AGENT**

MBI

**MAILING ADDRESS, CITY, STATE ZIP**

751 Basque Wy. Carson city NV. 89706

**PHONE #**

775-885-1844

**FAX #**

775-885-0178

**E-MAIL ADDRESS**

Jackson@Dnwall@aol.com

**SUBMITTAL PACKET**

- ☐ Application Form
- ☐ Site Plan
- ☐ Building Elevation Drawings and Floor Plans
- ☐ Proposal Questionnaire With Both Questions and Answers Given
- ☐ Applicant's Acknowledgment Statement
- ☐ 26 Completed Application Packets (1 Original + 25 Copies)
- ☐ Documentation of Taxes Paid-to-Date
- ☐ Project Impact Reports (Engineering)

**Application Reviewed and Received By:**

**Submittal Deadline:** See attached PC application submittal schedule.

**Note:** Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

**Project's Assessor Parcel Number(s):**

9-123-32

**Street Address**

250 EAGLE STATION LN, CARSON CITY

**ZIP Code**

89701

**Project's Master Plan Designation**

COMMERCIAL (C)

**Project's Current Zoning**

GENERAL COMMERCIAL (GC)

**Nearest Major Cross Street(s)**

S. CARSON + SILVER SAGE

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: \_\_\_\_\_, or Development Standards, Division \_\_\_\_\_, Section \_\_\_\_\_, a request to allow as a conditional use is as follows:

REVISION TO PREVIOUSLY APPROVED S.U.P. CHANGING 6 UNITS/BUILDING TO 8 UNITS/BUILDING FOR 48 UNITS TOTAL. NO CHANGE TO BUILDING FOOTPRINT INCURRED.

**PROPERTY OWNER'S AFFIDAVIT**

I, Donald Jackson, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

1500 Willow Creek Ln.  
Address Carnationville, NV. 89410

4-13-09  
Date

Use additional page(s) if necessary for other names.


STATE OF NEVADA  
COUNTY

On 4-13, 2009, Donald Jackson, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public

No Room for Stamp. See Attached

**NOTE:** If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

 4-13-09



04/14/2009 TUE 12:07 FAX 775 887 2102 City of Carson Treasurer

0001/001

Secured Tax Payment Inquiry 4/14/09 11:38:38 TC0100B

Parcel #..... 009-123-32

Property Loc... 250 EAGLE STATION LN

Billed to..... WARREN, SUSAN & JONATHAN

183 TAYLOR CREEK DR

GARDNERVILLE, NV 89460-0000

2009 Roll #... 018247

District..... 1.6

Tax Service...

Land Use Code:

Outstanding Taxes:

Prior Year	Tax	Penlty/Intrst	Total	Amount Paid	Total Due
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Current Year

08/18	1,598.76		1,598.76	1,598.76	No. Taxes, Owng. .00
10/06	1,595.00		1,595.00	1,595.00	.00
01/05	1,595.00		1,595.00	1,595.00	.00
03/02	1,595.00		1,595.00	1,595.00	.00
Totals	6,383.76	.00	6,383.76	6,383.76	

F9=Scan >/< >

F12=End

F13=Show History

F14=Print Summary

F17=Assessor's File Inquiry

775-267-6537

ATTN

Bart



**HOMEKO I, LLC**  
2528 Business Parkway, Unit B  
Minden, NV 89423

**Eagle Village Apartments Special Use Permit Revision (APN# 9-123-32)**

Homeko I, LLC respectfully submits an application for and request the approval of a special use permit revision in accordance with Carson City Municipal Code Section 18.04.135, to allow the development of a 48 unit multi-family dwelling project within the General Commercial zoning district. The proposed apartment project is located on an undeveloped 3.66 acre parcel at 250 Eagle Station Lane (APN # 9-123-32).

As proposed, the apartment project has only 36% of the allowable density for multifamily dwellings. Additionally, the project exceeds the City's requirements for parking and open space.

**Location**

The proposed development is an infill project located on an existing undeveloped parcel situated on the north side of Eagle Station Lane between the Eagle Station shopping center and the Southwest Gas Offices, on the west and east respectively. The Evergreen Mountain View Care Center is located to the north and JC Penny's is located across Eagle Station Lane to the south. Properties to the west, north and south of the subject parcel are zoned General Commercial (GC). The property to the east of the proposed apartments is zoned Retail Commercial (RC).

**Project Description**

The proposed project revision consists of 48 apartment units with enclosed garages, common open space including landscaping and paved access and guest parking, visually screening perimeter fencing, and infrastructure and utilities to Carson City standards. These site elements already have Carson City approval and on- and off-site improvement permits have been issued.

The apartment project will have a density of 13.11 dwelling units per acre. The City's zoning code allows up to 36 dwelling units per acre.

Six buildings with eight apartments per two-story building are now proposed. The units are designed as flats with four units on each floor. Each building shall now total 11,816 SF but retain the same footprint. The two additional units are configured on the second floor of each building, located at each end. The building exteriors remain in substantial conformance with the approved concept.

Exterior lighting continues to meet dark sky standards and will be shielded to avoid offsite light emission.

The additional two units for building have caused a reduction in garage parking of 12 spaces, with a revised parking space count of 118 provided. This provision far exceeds the 96 spaces required for the revised unit count. The site plan remains as approved, as no changes are required to park the site.

### Special Use Permit Application Questionnaire

Question 1. How will the proposed development further be in keeping with, and not contrary to, the goals of the Master Plan Elements?

#### Land Use

Goal 1: Advocate land use patterns which create vitality, diversity and compatibility.

*In general, the proposed project meets the intent of Goal 1 through its introduction of a high value residential use within a commercial office and retail area. The project in effect creates a type of "mixed use" which will add vitality and diversity to the neighborhood and stimulate the neighborhood economy. The proposed multi-family use is compatible with the surrounding office and retail commercial uses.*

Policy 1.1 Provide land for future development without sacrificing the character and qualities identified as desirable by the citizens of Carson City.

*The proposed project is consistent with Policy 1.1. The development is an infill project that provides for the efficient use of land within the City's existing developed area. This extends the City's ability to provide land for future planned development. The project promotes the City's desired character and qualities through its attractive, high quality design and construction. The project will provide landscaped open space, pedestrian access and other design elements that reflect the type of development and community qualities citizens of Carson City desire.*

Policy 1.2 Establish land use patterns that are consistent with the circulation network (Street and Highway Plan) and availability of public facilities and services.

*The proposed project is consistent with the exiting and future circulation network and all necessary public services and facilities are available. Eagle Village Apartments is an infill project that will utilize existing streets, infrastructure and facilities that all have the existing capacity to serve the project. The project does not require additional off-site infrastructure improvements. Additionally the anticipated traffic generated by the project is well within the capacity of the Eagle Station Lane and existing circulation network.*

Policy 1.4 In the future, advocate a mixture of land uses where such a mix is compatible.

*The Eagle Village Apartment project is consistent with and directly implements this policy. The project provides for a mixture of compatible land uses in this commercial neighborhood that is bounded by residential uses. The proposed project creates a mixed land use pattern that promotes vitality, diversity and economic stimulation. The proposed mixed land uses take advantage of the fact the majority of use for multi-family dwellings takes place during nights and weekends and the majority of office/commercial use takes place during weekdays.*

Policy 1.6 Promote programs of redevelopment to improve the quality of the downtown area.

*Although not specifically a downtown area "redevelopment" project, as an infill project the Eagle Village Apartments promote the same type of quality improvement for its neighborhood as envisioned by Policy 1.6.*

Policies 1.7 Limit or mitigate existing land use conflicts and zoning friction areas throughout Carson City.

*The proposed project helps to limit land use conflicts through the development of multi-family dwellings on an existing undeveloped site that is compatible with the surrounding uses. The project provides housing stock in a compatible location which helps to alleviate the need and/or demand for such dwellings in potentially incompatible areas.*

Policy 1.10 Encourage Cluster Development to protect Environmentally-sensitive Lands.

*Although not technically a "cluster development," the proposed project helps to protect environmentally-sensitive lands by creating dwellings in a compact development pattern, in an infill location, utilizing existing infrastructure and other such pressures on environmentally sensitive land.*

**Goal 2: Promote better community design, appearance and recognition of Carson City as identified in the various design guideline ordinances, Visual Preference Survey, Capital City Focus, and Downtown Master Plan.**

Policy 2.1 Promote developments designed to best utilize and maintain the land resources.

*The proposed apartments are consistent with and implement this policy through the development of a higher density infill project that utilizes existing infrastructure. The project's density more efficiently uses both the immediate land resource and those land resources necessary for the infrastructure to serve the development of 48 dwelling units.*

Polity 2.2 Promote a positive image of Carson City as the Capital of the State of Nevada, as a historic community, as a recreational center located in the high desert at the foot of the Sierra Nevada mountains, including a portion of the Lake Tahoe basin, and as a center of commerce for the State of Nevada.

*The proposed project will help promote a positive image of Carson City through its pleasing design, landscaping and conformance to the City's design and development standards. The project will also help promote a positive image through its beneficial effects on the vitality of the neighborhood and economy.*

Policy 2.4 Protect and enhance the character of residential neighborhoods, open views and vistas, and property values.

*The proposed project meets the intent of this policy through the thoughtful choice of an infill location away from single family residential areas, and its quality design and construction materials.*

## **Population**

**Goal 3:** Enhance the quality of life for Carson City residents.

**Polity 3.1** Provide well planned and implemented infrastructure to support the population growth with the City's water resources, sewer capacity, schools, roadways, emergency services, and other public facilities and services.

*The project is consistent with this policy in that it utilizes existing infrastructure and capacity. The proposed development will connect to existing water and sewer lines, streets, and other infrastructure. The project is within one mile of Carson City Fire Station #3.*

**Polity 3.2** Population growths shall be coordinated with and managed through the Land Use Plan and Growth Management Ordinance.

*The proposed project meets the intent of this policy since the dwelling units are consistent with the City's land use as implemented through its zoning code. The proposed multiple family residential dwellings are permitted under the subject parcel's General Commercial zoning with the approval of the current special use permit. Additionally, the project is anticipated to be within the annual growth management limit.*

## **Economic Development**

**Goal 4:** Ensure balanced development to maintain a sound local economy

**Policy 4.2** Maintain and improve the industrial, commercial, and residential diversification of the local economy.

*The proposed project is consistent with and directly promotes the implementation of this policy. The Eagle Village Apartments will help diversify its neighborhood and the City's overall residential dwelling mixture, and improve the vitality of the neighborhood, adjacent commercial uses and the local economy.*

## **Environmental Constraints**

**Goal 5:** Protect life and property through the reduction of seismic risk.

**Policy 5.1** Seismic risk should be an important consideration in the location and design of public and private facilities.

*The project meets the intent of this policy since no known faults are located within the boundaries of the subject parcel and the buildings will be constructed to meet existing seismic standards under the International Building Code.*

**Goal 6:** Limit development in areas with environmental constraints.

Policy 6.1 Develop a land use supplement to protect and limit development in areas subject to environmental constraints.

*The proposed project meets the intent of this policy as the subject parcel is not in an area subject to environmental constraints.*

Policy 6.2 Maintain requirements that minimize loss of life and property due to flooding and erosion as set forth in existing ordinances.

*The proposed project meets the intent of this policy as the subject parcel is within an unshaded C flood hazard zone not subject to development limitations. Additionally, the parcel is not subject to significant erosion potential and will be developed with landscaping and drainage improvements that will mitigate the potential for erosion.*

### **Public Facilities and Services**

Goal 7: Plan for the development of and implement adequate community facilities and services.

Policy 7.2 Provide adequate public safety, sewer, water and roadway facilities to serve to the adopted levels of service in Chapter VI – Service Area.

*The proposed project is consistent with and implements this policy since it utilizes or relies on existing sewer, water, roadway and Fire Department facilities which are adequate for the development. The existing water and sewer mains and roadways have sufficient capacity to serve the project. The Carson City Fire Department Station #3 is within one mile of the subject parcel and can provide timely response to fire and emergency medical incidents.*

### **Parks and Recreation/Open Space Plan**

Goal 8: Acquire, preserve, manage or jointly develop with other public or private interests additional areas for park and recreation use and open space preservation.

Policy 8.6 Promote lands designated for facilities to provide a broad range of community recreation activities.

*The project meets the intent of this policy through its provision of landscaped common open space and picnic areas. The development will include two picnic and barbeque areas for the use of its residents. The common landscaped open space area will provide a curvilinear walking path and lawn areas.*

### **Street and Highways**

Goal 9: Adopt plans for and develop adequate streets and highways for proper circulation within Carson City

Policy 9.1 Coordinate the development of transportation facilities with land use planning.

*The proposed project meets the intent of this policy since the existing roadways are adequate for the anticipated project traffic and the proposed land use is within the scope of the City's existing land use planning by virtue of its inclusion as a possible use in the current zoning district.*

Policy 9.2 Encourage creative approaches in local and residential street design for the pavement width, cross slope, landscaping, curb, gutter, sidewalk, and off-street parking.

*The project meets the intent of this policy through the provision of adequate off-street parking for the entire development, the use of one-way interior circulation, inclusion of curb, gutter and sidewalks, and the integration of landscaped areas.*

Policy 9.3 Preserve and/or enhance environmental and aesthetic values through street and highway planning.

*The project meets the intent of this policy through the utilization of existing street facilities for access.*

Policy 9.5 Support the Parks and Recreation plan to provide pedestrian and non-motorized vehicular traffic in conjunction with street planning.

*The project meets the intent of this policy by providing pedestrian links to the project and interior pedestrian ways. The project will complete the sidewalk on the north side of Eagle Station Lane.*

#### **Urban, Suburban, and Rural Service Areas**

Goal 13: Provide for an efficient growth pattern that balances environmental factors and the provision of public services with the level and type of development allowed.

Policy 13.2 Develop plans for future development based on the ability to provide public facilities and services.

*The proposed development meets the intent of this goal and policy since it is an infill project that utilizes existing infrastructure with the capacity to serve the development. The project implements the City's desire for an efficient growth pattern by using undeveloped land within an existing developed area of the City that is already served by all of the necessary utilities and services.*

Goal 14: Develop a master plan element and an ordinance addressing noise impacts to adjacent land uses which includes mitigation factors.

*The project meets the intent of this goal through its provision of noise mitigating solid block perimeter fencing and the use of insulating materials in the construction of the apartment buildings. Additionally, the picnic and barbeque areas are located in the development's central common area which will mitigate adverse noise impacts from any group activities on adjacent properties.*

Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity?  
To the general neighborhood?

*In general, the proposed apartment project will not be detrimental to the immediate vicinity, nor will it be detrimental to the general neighborhood. The project is compatible with the surrounding uses and greater neighborhood area. The residences and their residents will help add vitality, diversity and economic stimulus to the immediate area and City. The project is compatible with the existing commercial and office uses, and will generally utilize facilities and have peak occupancies at different times than the surrounding commercial uses.*

- A. Describe the general types of land uses and zoning designations adjoining your property.

*The general types of land uses and zoning designations adjoining the subject parcel are as follows:*

*North – Evergreen Mountain View Care Center, convalescent care facility, General commercial (GC) zoning;*

*East – Southwest Gas Corp., office building and support facilities, Retail Commercial (RC) zoning;*

*West – Shopping center, General Commercial (GC) zoning;*

*South – JC Penny, shopping center and parking, General Commercial (GC) zoning.*

- B. Explain why your project is similar to existing development in the neighborhood and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Will the project involve any uses that are not contained within a building? If yes, please describe. If not, state that all uses will be within a building. Explain you construction-generated dust (if any) will be controlled. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors?

*The proposed project is compatible with adjoining uses and existing development in the neighborhood. The proposed multi-family dwelling use is a typical use within and adjacent to commercial and office uses. The multi-family use creates a "mixed-use" element to the immediate neighborhood which can provide vitality and diversity, and is in keeping with the City's efforts to revitalize and stimulate commercial core areas of the City.*

*The apartments will not hurt property values or cause problems, such as noise, dust, odors, vibrations, fumes, glare, or physical activity, etc. with the neighboring property owners. The proposed multi-family residential use is a less intense use than the existing commercial uses on the adjacent properties. Additionally, the residential use generally has peak occupancies and traffic which occur at different times than those of the adjacent office and retail commercial uses. The potential outside recreational uses provided for in the common area such as barbequing should not affect neighboring properties. Additionally, the locations of the outdoor recreational amenities are such that they are mitigated through distance and buffering by the apartment buildings.*

*Construction-generated dust (if any) will be controlled by the use of best management practices as established with the Nevada Division of Environmental Protection air quality permit that will be*

*obtained. A water truck will be used on-site and cleared areas will have a dust palliative applied as needed.*

*The proposed project will differ somewhat in appearance from the adjacent properties. The project will also be similar to the neighboring properties in many aspects.*

*The apartment building will appear as high quality multi-family residential structures. They will have recognizable residential design elements such as pitched roofs, garage doors, porches, etc. The project will also have extensive landscaping. In contrast, the existing retail commercial and office buildings in the neighborhood are considerably larger in scale and have box like appearances. The retail commercial uses have minimal landscaping, while the office uses have moderate landscaping.*

*The proposed project and adjacent properties will have similar appearances regarding off-street parking and access. All of the properties have or will have open surface parking for multiple vehicles. The proposed project will have more intense landscaping in and around the parking area.*

*The proposed multi-family dwelling project is compatible with the adjacent land uses and with the greater neighborhood area. The greater neighborhood is comprised of commercial, office, institutional, Mobile Home Park and different densities of single-family residential uses. The proposed project will blend with this mixture of uses. The development is particularly well suited as an infill project to be a "mixed use" element for its immediate neighborhood.*

- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment of development of surrounding properties and the general neighborhood.

*The proposed project will not be detrimental to the use, peaceful enjoyment of development of surrounding properties and the general neighborhood. The project has a less intense land use than the surrounding commercial and office uses; generating less noise, traffic and human occupancy than the adjoining uses. Since the adjoining properties have existing commercial/office uses, the proposed project will not adversely affect their development. Other residential or commercial uses in the general neighborhood will not be adversely affected by the proposed project due to the distance from the residential uses and compatibility with the commercial uses. Furthermore, the project's close proximity and direct street access to South Carson Street will reduce traffic impacts on the neighborhood.*

- D. Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have when it is successfully operating? Will vehicles be making left turns? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? What will be the emergency vehicle response time? State how you have arrived at your conclusions. What City department have you contacted in researching your proposal? Explain the effect of your project with the existing traffic in the area.

*The project will have a minor impact on vehicular traffic and a positive impact on pedestrian traffic that currently exists on the road serving the project. Eagle Station Lane is a paved two lane street with a center turn lane and on-street curb parking which meets Carson City*



*standards. No improvement of the travel way is needed. The project will construct a sidewalk along its full frontage to tie into the existing sidewalks on the adjoining properties. Pedestrian links and on-site pedestrian ways are included in the project plans.*

*Traffic generated by the proposed project will constitute a minor increase in traffic on Eagle Station Lane. The project's close proximity and direct street access to South Carson Street will limit traffic impacts on the neighborhood. The Institute of Traffic Engineers (ITE) Trip Generation, 6<sup>th</sup> Edition, 1995, trip generation rates show the dwellings should generate 5.86 average daily vehicle trips per unit and total of 281 trips per day. The ITE data for weekday peak hour vehicle trips shows that the development will generate only 16 a.m. and 19 p.m. trips. According to the ITE data, the project traffic will be far below the thresholds of 500 average daily trips and 80 peak hour trips that the City uses to determine if traffic impact studies are needed. The city Engineer and Development Engineering have not identified traffic as a significant potential impact.*

*The Carson City Fire Department Station #3 is within one mile of the subject parcel and can provide timely response to fire and emergency medical incidents. The Fire Department estimates that the response time should be within one to four minutes. Response times for Sheriff's Department personnel will depend on the location and availability of units at any given time.*

- E. Explain any short range and long range benefit to the people of Carson City that will occur if your project is approved.

*The proposed project will provide both short range and long range benefits to the people of Carson City. Short term the project will provide benefits to the City's economy through construction jobs, purchase of construction materials, sales tax revenues and other similar economic stimulations. Long term the City will benefit from increased property taxes, diversification and increase in the housing stock providing more choice for City residents, increased vitality in the immediate neighborhood and economic benefits to nearby businesses.*

Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?

*According to the Carson City School District, the proposed project will affect the District through an increase in students and the need for "either the square footage of the facilities or by increasing the student teacher ratio." Student transportation will be provided to Seeliger Elementary, Eagle Valley Middle School and Carson High School from this area. The School District estimates that the project will generate approximately six elementary students, five middle school students and five high school students.*

*The project will likely have a minimal direct impact on the Sheriff's Department. The project's location within an existing developed and patrolled area minimizes the impacts on law enforcement. The potential increase in populations may have an incremental impact on the ratio of deputies to the population. However, the project's small size dictates that it is not likely to cause a significant impact.*

- B. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated?

*Drainage will be retained on-site in multiple landscaped drainage basins. Drainage will be conducted to the drainage basins via curbs and gutters or surface flow. A drainage report and grading plan are included with the application.*

- C. The water supplies serving the proposed project are adequate to meet the project needs without degrading supply and quality to others in the area. Water pressure is adequate. The existing water mains and water system components are sufficient and do not need to be upgraded or replaced for the project.

*Water supplies and water mains serving the project are adequate for the project's need without degrading supply and quality to others in the area. City staff state that the water pressure and flows are 105 psi and 4800 gallons per minute respectively. These flows are sufficient to meet the development's domestic needs and fire flow requirement of 1500 gallons per minute for two hours. The project will connect to the existing water main that is located with the Eagle Station Lane right-of-way.*

- D. Is there adequate capacity in the sewage disposal truck line that you will connect to in order to serve your project, or is your site on a septic system?

*There is shown to be adequate capacity in the sewage disposal trunk line for the project requirements. The project will connect to the existing sewage disposal trunk line for the project requirements. The project will connect to the existing sewage disposal line that is located within the Eagle Station Lane right-of-way. No septic systems are proposed. The applicant has discussed the project with City staff and there do not appear to be any concerns or limitations regarding capacity in the sewage disposal lines or treatment system.*

- E. What kind of road improvements are proposed or needed to accommodate your project? Have you spoken to Development Engineering or Regional Transportation regarding road improvements?

*No new road improvements are required. The existing improvements of Eagle Station Lane and surrounding roadways are adequate for the proposed project. The project will complete the sidewalk on the north side of the street and construct access improvements consistent with City standards. Development Engineering had no comments regarding the need for road improvements other than meeting the standards for frontage improvements, sidewalk and street lighting and has issued approvals and permits.*

- F. Indicate the source of the information that you are providing to support your conclusions and statements made in this revision.

*Mapping, engineering and site development has been approved and permitted, awaiting construction start.*

- G. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provide.

*Outdoor lighting will include exterior building and parking lot lights. All exterior building light (e.g., porch, patio and exterior garage lights) will be shielded to avoid light shining off-site. Parking lot lights will be shielded dark-sky standard fixtures. The general location of the parking lot lights are shown on the project's improvement plans.*

- H. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code.). Include a site plan with existing and proposed landscaping shown on the plan which complies with City ordinance requirements.

*Project landscaping will include rock ground cover with trees and shrubs in the area between the perimeter fence and the walking path. To the inside of the walking path, the landscaping will include lawn or other vegetative ground cover, trees and shrubs. Landscaping, including the pedestrian path, will comprise approximately 1.5 acres or 41% of the site. The landscaping will be installed to meet the City's development standards. A conceptual landscape plan is included with eth application and final landscape plans will be provided for the City's approval prior to construction.*

- I. Provide a parking plan for your project. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site lot; and (3) how much of the off-site parking area is required for any business other than your own. Design and dimensions of parking stalls, landscape islands, and traffic aisles must be provided.

*A parking plan and layout is provided as part of the project's development plans. Two off-street parking spaces per dwelling unit and an additional 22 off-street guest parking spaces are proposed. The parking will consist of one enclosed (garage) space and one surface space per unit. Additional guest parking spaces are conveniently located throughout the project. A total of 2.46 parking spaces per unit are provided, exceeding the City's requirement of two parking spaces per unit for multiple family residential dwellings. All surface parking will be paved and improved to City standards and the enclosed spaces will meet adopted building codes. The project does not require or request approval for off-site parking. Design and dimensions of parking stalls, landscape islands, and traffic aisles are provided in the project development plans.*

Carson City Development Services Department  
April 15, 2009  
Eagle Village Apartments Special Use Permit Revision

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission/Board of Supervisors. I am aware the this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's/Board of Supervisor's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

  
\_\_\_\_\_  
Applicant/Date

4/15/09

PAGE I

**PRELIMINARY REPORT**

**Northern Nevada Title Company**  
1693 County Rd. Suite B  
Minden, NV 89423  
(775)-783-1400 FAX (775)-783-1449

To: Northern Nevada Title Company

Escrow No. CC-2080232-WD  
Title No. 1081204

Your No.

Property Address  
250 Eagle Station Lane  
Carson City, NV 89701

Assessor's Parcel Number  
009-123-32

In response to the above referenced application for a policy of title insurance, Old Republic National Title Insurance Company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulation of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said Policy or Policies are set forth in Exhibit A attached. Copies of the Policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated: November 25, 2008 at 7:30 A.M.

  
Carey Rotoli, Title Officer

The form of policy of title insurance contemplated by this report is:

The estate or interest in the land hereinafter described or referred to covered by this report is: A fee

Title to said estate or interest at the date hereof is vested in:

**Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000**

The land referred to in the report is situate in the State of Nevada, County of Carson City and is described as follows:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

**CC-2080232-WD  
1081204**

**EXHIBIT "A" ATTACHED TO PRELIMINARY TITLE REPORT DATED NOVEMBER 25, 2008**

**EXHIBIT "A"**

**All that certain real property situate in the County of Carson City, State of Nevada, described as follows:**

**A portion of the Southwest ¼ of Section 29, Township 15 North, Range 20 East, M.D.B. & M., more particularly described as follows:**

**Parcel 2, as shown on that certain Parcel Map recorded October 20, 1982, in Book 4 of Maps, Page 941, as Document No. 14256.**

**EXCEPTING THEREFROM those portions of said land lying with a 60 foot roadway adjacent to said lands, as shown on said Parcel Map.**

Eserow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

**EXCEPTIONS FROM COVERAGE**

The policy, with the exception of any ALTA Lenders policy, contemplated to be issued hereunder will not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

**PART I**

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.  
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by public records.

**PART II**

- 1) Taxes for the year 2008-2009, including any secured personal property taxes and any special taxes, a lien, now due and payable.

TOTAL AMOUNT:	\$6,383.76
FIRST INSTALLMENT:	\$1,598.76, Paid
SECOND INSTALLMENT:	\$1,595.00, Paid
THIRD INSTALLMENT:	\$1,595.00, Open
FOURTH INSTALLMENT:	\$1,595.00, Open
ASSESSORS PARCEL NO.:	009-123-32

- 2) The lien, if any, for taxes for improvements completed or in progress, but which were not shown on the tax bill for the current year.
- 3) Liens levied by the Carson City Water and Sewer District for water, sewer and storm water utilities, by reason that subject property is located within said district. To verify payments, delinquencies or liens, contact Carson City Utilities at (775) 887-2355.
- 4) Notes, easements and recitals as set forth on Parcel Map No. 494, 813 and 941. Said notes, easements and recitals will affect the use of the herein described property and a review of said map is advised.

Continued....

Escrow No. CC-2080232-WD

NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

- 5) Easement, shown or dedicated on 941, together with the rights incidental thereto.

PURPOSE: Public Utilities  
AFFECTS: 5 feet along the Northerly and Westerly lot  
lines and 7.5 feet along the Southerly lot line of  
said land lying adjacent to roadway

- 6) Covenants, conditions and restrictions as contained in document,

EXECUTED BY: Newman Construction, LTD  
RECORDED: August 29, 1980  
BOOK: 282, Official Records  
PAGE: 577  
DOCUMENT NO.: 98342

(deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin)

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: August 26, 2005  
DOCUMENT NO.: 341830, Official Records

- 7) Covenants, conditions and restrictions as contained in document,

EXECUTED BY: Newman Construction, LTD  
RECORDED: August 16, 1983  
BOOK: 346, Official Records  
PAGE: 560  
DOCUMENT NO.: 20580

(deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin)

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: July 30, 1987  
DOCUMENT NO.: 61010, Official Records

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: June 22, 1990  
DOCUMENT NO.: 102234, Official Records

Continued...



Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

Said covenants, conditions and restrictions were modified/amended by document.

RECORDED: January 22, 1993  
DOCUMENT NO.: 139206, Official Records

8) Easement, together with the rights incidental thereto,

GRANTED TO: Sierra Pacific Power Company, a Nevada Corporation  
PURPOSE: Underground Facility Utilities  
RECORDED: August 3, 2007  
DOCUMENT NO.: 370540, Official Records  
AFFECTS: To be installed at locations mutually agreed upon by Owner of Record at time of installation and Utility Company

9) Deed of Trust, to secure an indebtedness of the amount stated therein.

ORIGINAL AMOUNT: \$400,000.00  
DATED: September 8, 2008  
RECORDED: September 19, 2008  
DOCUMENT NO.: 382770, Official Records  
TRUSTOR: Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000  
TRUSTEE: Northern Nevada Title Company, a Nevada corporation  
BENEFICIARY: Mariella Johnson, Trustee of The Mariella Johnson Trust dated October 8, 1996 and restated on October 6, 2004

10) The requirement that an executed Certification of Trust pursuant to NRS 164.400 et.seq. be submitted prior to the issuance of a Title Insurance Policy.

11) The requirement that an Indemnity Agreement be submitted prior to the issuance of a Title Policy.

Continued...

PAGE 5

Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

NOTE: Recorded transfers or agreements to transfer the land described herein within the last 24 months prior to the date hereof are as follows:

A) INSTRUMENT ENTITLED:	Grant, Bargain, Sale Deed
BY/FROM:	Susan Warren and Jonathan Warren, Wife and Husband as Joint Tenants
TO:	Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000
RECORDED:	September 19, 2008
DOCUMENT NO.:	382769

NOTE: Said property was last insured in September of 2008.

oOo

Northern Nevada Title Company  
307 W. Winnie Lane, Suite 5  
Carson City, NV 89703

Privacy Policy Notice  
as of September 20, 2005

#### PURPOSE OF THIS NOTICE

Northern Nevada Title Company (NNTC) and its Underwriters share your concerns about privacy. Each Company is committed to respecting the privacy of our policyholders. Therefore, in accordance with Federal and State laws and regulations, we are providing you with this notice of how we might use the information about you which we gather in the process of issuing a policy of title insurance.

Title V of the Gramm-Leach-Bliley Act (GLBA) and the laws of the State in which you reside generally prohibit us from sharing non public personal information about you with a third party unless we provide you with this notice of our privacy policies and practices, such as the type of information that we collect about you and the categories of persons or entities to whom that information may be disclosed. In compliance with the GLBA and the laws of this State, we are providing you with this document, which notifies you of the privacy policies and practices of NNTC and its Underwriters.

#### OUR PRIVACY POLICIES AND PRACTICES

**I. Information we collect and sources from which we collect it:**

We do not collect any nonpublic personal information about you other than the following:

Information we receive from you or from your attorney or other representatives on applications or other forms;

Information about your transactions with us, our affiliates or our Underwriters.

In addition, we may collect other non public personal information about you from individuals and companies other than those proposed for coverage.

Unless it is specifically stated otherwise in an amended Privacy Policy Notice, no additional information will be collected about you.

**II. Information we disclose to third parties:**

In the course of our general business practices, we may disclose the information that we collect (as described above) about you or others without your permission to the following types of institutions for the reasons described:

To a third party such as a surveying, real estate tax research or municipal data firm if the disclosure will enable that party to perform a business, professional or insurance function for us;

To an insurance institution, agent, or credit reporting agency in order to detect or prevent criminal activity, fraud or misrepresentation in connection with an insurance transaction;

To an insurance institution, agent, or credit reporting agency for either this Company or the entity to whom we disclose the information to perform a function in connection with an insurance transaction involving you;

To an insurance regulatory authority, law enforcement, or other governmental authority in order to protect our interests in preventing or prosecuting fraud, or if we believe that you have conducted illegal activities;

To an actuarial or research organization for the purpose of conducting actuarial or research studies.

The disclosures described above are permitted by law.

**WE DO NOT DISCLOSE ANY NONPUBLIC PERSONAL INFORMATION ABOUT YOU WITH AFFILIATES OR NON-AFFILIATED THIRD PARTIES FOR ANY PURPOSE THAT IS NOT SPECIFICALLY PERMITTED BY LAW.**

**III. Your right to access and amend your personal information:**

You have the right to request access to the personal information that we record about you. Your right includes the right to know the source of the information and the identity of the persons, institutions or types of institutions to whom we have disclosed such information within 2 years prior to your request. Your right includes the right to view such information and copy it in person, or request that a copy of it be sent to you by mail (for which we may charge you a reasonable fee to cover our costs). Your right also includes the right to request corrections, amendments or deletions of any information in our possession. The procedures that you must follow to request access to or an amendment of your information are as follows:

To obtain access to your information from Northern Nevada Title Company: You should submit a request in writing Northern Nevada Title Company, 307 W. Winnie Lane, Suite 5, Carson City, Nevada 89703. The request should include your name, address, policy number, telephone number, and the information to which you would like access. The request should state whether you would like access in person or a copy of the information sent to you by mail. Upon receipt of your request, we will contact you within 30 business days to arrange providing you with access in person or the copies that you have requested.

To obtain access to your information from the Underwriter: You should submit your written request including the specified information to the address stated above. The request should include the same information mentioned above for requests to NNTC. The request will be forwarded to the Underwriter which insured your transaction

To correct, amend, or delete any of your information: You should submit a request in writing to the address referenced directly above. The request should include your name, address, policy number, telephone number, the specific information in dispute, and the identity of the document or record that contains the disputed information. Upon receipt of your request, we will contact you within 30 business days to notify you either that we have made the correction, amendment or deletion, or that we refuse to do so and the reasons for the refusal which you will have an opportunity to challenge.

**IV. Our practices regarding information confidentiality and security:**

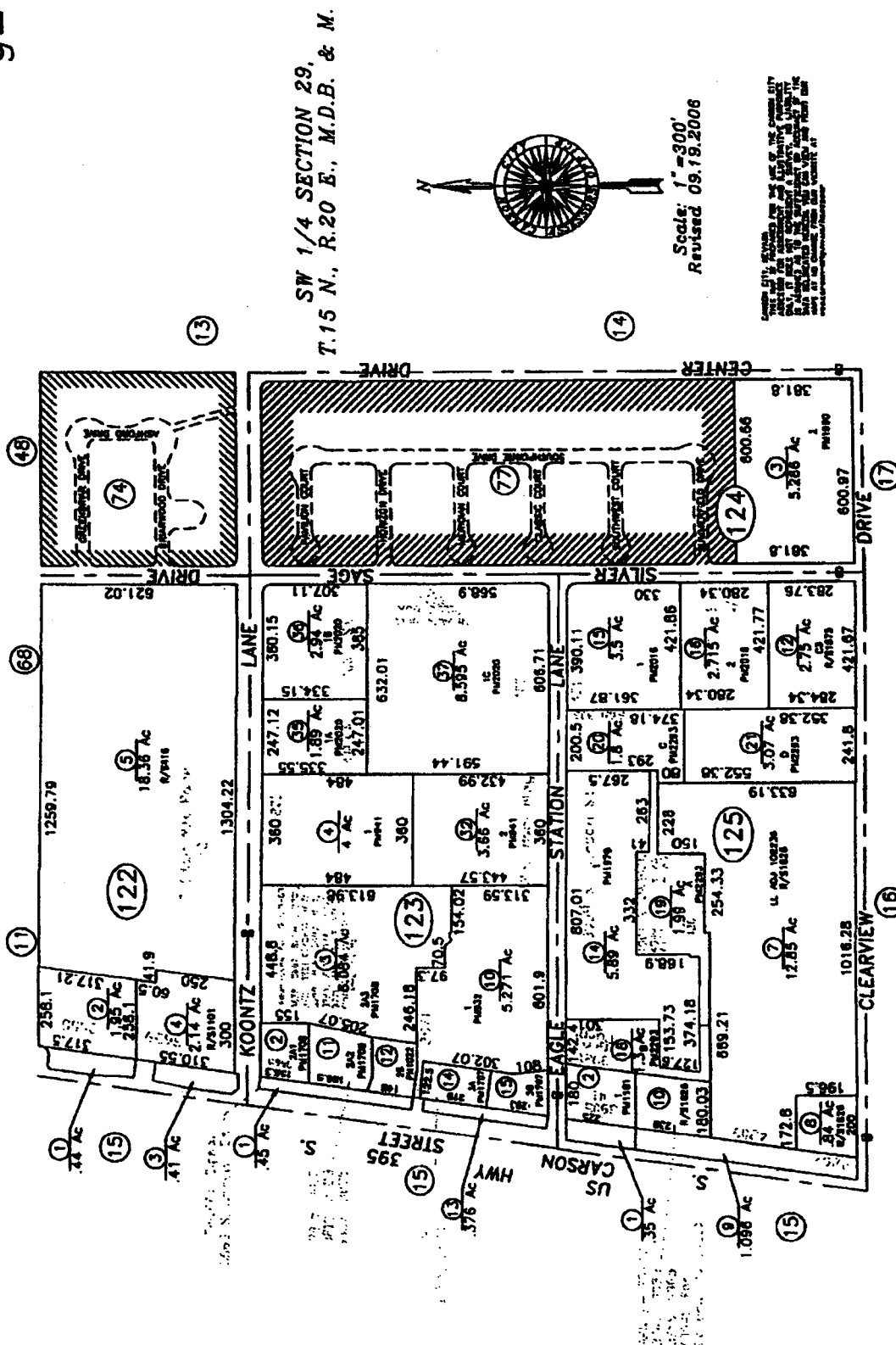
We restrict access to nonpublic personal information about you to those employees who need to know that information in order to provide products or services to you. We maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

**V. Our policy regarding dispute resolution:**

Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

**VI. Reservation of the right to disclose information in unforeseen circumstances:**

In connection with the potential sale or transfer of its interests, Northern Nevada Title Company, its Underwriters and their respective affiliates reserve the right to sell or transfer your information (including but not limited to your address, name, age, sex, zip code, state and country of residency and other information that you provide through other communications) to a third party entity that (1) concentrates its business in a similar practice or service; (2) agrees to be a successor in interest of Northern Nevada Title Company or the Underwriter with regard to the maintenance and protection of the information collected; and (3) agrees to the obligations of this privacy statement.



Northern Nevada Title Company does not represent this plat as a survey of the land indicated hereon, although believed correct, no liability is assumed as to the accuracy thereof.

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**RESOURCE CONCEPTS INC.**  
PLANNING  
ENGINEERING - ARCHITECTURE  
840 North Nevada Street, Carson City, Nevada 89701  
(702) 883-1800

**OWNER'S CERTIFICATE**  
THIS IS TO CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I, the undersigned, being duly sworn, depose and say that the information contained herein is true and correct to the best of my knowledge and belief. I declare under penalty of perjury that the foregoing is true and correct. Executed on this 1st day of May, 1998.

**OWNER'S CERTIFICATE**  
I, David A. White, being duly sworn, depose and say that the information contained herein is true and correct to the best of my knowledge and belief. I declare under penalty of perjury that the foregoing is true and correct. Executed on this 1st day of May, 1998.

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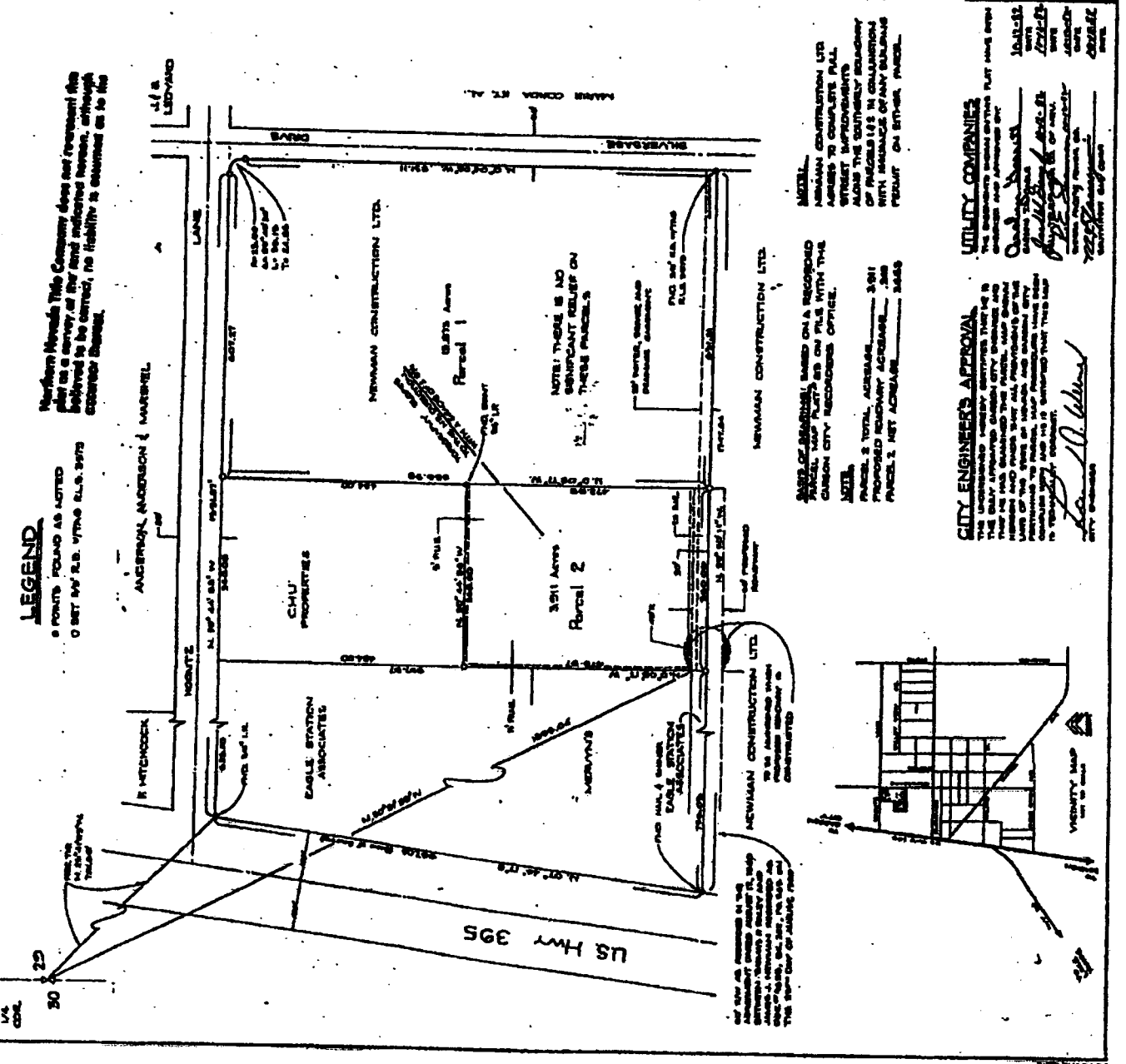
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**LEGEND**  
POINTS FOUND AS NOTED  
0 SET BY S.B. VINTAS S.L.S. 3/7/78

US Hwy 395  
VELOCITY MAP  
1/4" = 100'

**OWNER'S CERTIFICATE**  
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PAGE 1

## PRELIMINARY REPORT

**Northern Nevada Title Company**  
1693 County Rd. Suite B  
Minden, NV 89423  
(775)-783-1400 FAX (775)-783-1449

To: Northern Nevada Title Company

Escrow No. CC-2080232-WD  
Title No. 1081204

Your No.

Property Address  
250 Eagle Station Lane  
Carson City, NV 89701

Assessor's Parcel Number  
009-123-32

In response to the above referenced application for a policy of title insurance, Old Republic National Title Insurance Company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulation of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said Policy or Policies are set forth in Exhibit A attached. Copies of the Policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated: November 25, 2008 at 7:30 A.M.

  
Carey Rotoli, Title Officer

The form of policy of title insurance contemplated by this report is:

The estate or interest in the land hereinafter described or referred to covered by this report is: A fee

Title to said estate or interest at the date hereof is vested in:

**Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000**

The land referred to in the report is situate in the State of Nevada, County of Carson City and is described as follows:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

**CC-2080232-WD  
1081204**

**EXHIBIT "A" ATTACHED TO PRELIMINARY TITLE REPORT DATED NOVEMBER 25, 2008**

**EXHIBIT "A"**

**All that certain real property situate in the County of Carson City, State of Nevada, described as follows:**

**A portion of the Southwest ¼ of Section 29, Township 15 North, Range 20 East, M.D.B. & M., more particularly described as follows:**

**Parcel 2, as shown on that certain Parcel Map recorded October 20, 1982, in Book 4 of Maps, Page 941, as Document No. 14256.**

**EXCEPTING THEREFROM those portions of said land lying with a 60 foot roadway adjacent to said lands, as shown on said Parcel Map.**



Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

**EXCEPTIONS FROM COVERAGE**

The policy, with the exception of any ALTA Lenders policy, contemplated to be issued hereunder will not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

**PART I**

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.  
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by public records.

**PART II**

- 1) Taxes for the year 2008-2009, including any secured personal property taxes and any special taxes, a lien, now due and payable.

TOTAL AMOUNT:	\$6,383.76
FIRST INSTALLMENT:	\$1,598.76, Paid
SECOND INSTALLMENT:	\$1,595.00, Paid
THIRD INSTALLMENT:	\$1,595.00, Open
FOURTH INSTALLMENT:	\$1,595.00, Open
ASSESSORS PARCEL NO.:	009-123-32

- 2) The lien, if any, for taxes for improvements completed or in progress, but which were not shown on the tax bill for the current year.
- 3) Liens levied by the Carson City Water and Sewer District for water, sewer and storm water utilities, by reason that subject property is located within said district. To verify payments, delinquencies or liens, contact Carson City Utilities at (775) 887-2355.
- 4) Notes, easements and recitals as set forth on Parcel Map No. 494, 813 and 941. Said notes, easements and recitals will affect the use of the herein described property and a review of said map is advised.

Continued....

Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

- 5) Easement, shown or dedicated on 941, together with the rights incidental thereto.

PURPOSE: Public Utilities  
AFFECTS: 5 feet along the Northerly and Westerly lot  
lines and 7.5 feet along the Southerly lot line of  
said land lying adjacent to roadway

- 6) Covenants, conditions and restrictions as contained in document,

EXECUTED BY: Newman Construction, LTD  
RECORDED: August 29, 1980  
BOOK: 282, Official Records  
PAGE: 577  
DOCUMENT NO.: 98342

(deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin)

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: August 26, 2005  
DOCUMENT NO.: 341830, Official Records

- 7) Covenants, conditions and restrictions as contained in document,

EXECUTED BY: Newman Construction, LTD  
RECORDED: August 16, 1983  
BOOK: 346, Official Records  
PAGE: 560  
DOCUMENT NO.: 20580

(deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin)

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: July 30, 1987  
DOCUMENT NO.: 61010, Official Records

Said covenants, conditions and restrictions were modified/amended by document,

RECORDED: June 22, 1990  
DOCUMENT NO.: 102234, Official Records

Continued...

Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

Said covenants, conditions and restrictions were modified/amended by document.

RECORDED: January 22, 1993  
DOCUMENT NO.: 139206, Official Records

8) Easement, together with the rights incidental thereto,

GRANTED TO: Sierra Pacific Power Company, a Nevada Corporation  
PURPOSE: Underground Facility Utilities  
RECORDED: August 3, 2007  
DOCUMENT NO.: 370540, Official Records  
AFFECTS: To be installed at locations mutually agreed upon by Owner of Record at time of installation and Utility Company

9) Deed of Trust, to secure an indebtedness of the amount stated therein.

ORIGINAL AMOUNT: \$400,000.00  
DATED: September 8, 2008  
RECORDED: September 19, 2008  
DOCUMENT NO.: 382770, Official Records  
TRUSTOR: Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000  
TRUSTEE: Northern Nevada Title Company, a Nevada corporation  
BENEFICIARY: Mariella Johnson, Trustee of The Mariella Johnson Trust dated October 8, 1996 and restated on October 6, 2004

10) The requirement that an executed Certification of Trust pursuant to NRS 164.400 et.seq. be submitted prior to the issuance of a Title Insurance Policy.

11) The requirement that an Indemnity Agreement be submitted prior to the issuance of a Title Policy.

Continued...

PAGE 5

Escrow No. CC-2080232-WD

**NORTHERN NEVADA TITLE COMPANY  
PRELIMINARY REPORT**

At the date hereof exceptions to coverage, in addition to the exclusions contained in said policy form, would be as follows:

NOTE: Recorded transfers or agreements to transfer the land described herein within the last 24 months prior to the date hereof are as follows:

A) INSTRUMENT ENTITLED:	Grant, Bargain, Sale Deed
BY/FROM:	Susan Warren and Jonathan Warren, Wife and Husband as Joint Tenants
TO:	Donald Jackson and Bonnie Jackson, Trustees of The Jackson Family Living Trust, dated May 25, 2000
RECORDED:	September 19, 2008
DOCUMENT NO.:	382769

NOTE: Said property was last insured in September of 2008.

oOo

Northern Nevada Title Company  
307 W. Winnie Lane, Suite 5  
Carson City, NV 89703

Privacy Policy Notice  
as of September 20, 2005

#### PURPOSE OF THIS NOTICE

Northern Nevada Title Company (NNTC) and its Underwriters share your concerns about privacy. Each Company is committed to respecting the privacy of our policyholders. Therefore, in accordance with Federal and State laws and regulations, we are providing you with this notice of how we might use the information about you which we gather in the process of issuing a policy of title insurance.

Title V of the Gramm-Leach-Bliley Act (GLBA) and the laws of the State in which you reside generally prohibit us from sharing non public personal information about you with a third party unless we provide you with this notice of our privacy policies and practices, such as the type of information that we collect about you and the categories of persons or entities to whom that information may be disclosed. In compliance with the GLBA and the laws of this State, we are providing you with this document, which notifies you of the privacy policies and practices of NNTC and its Underwriters.

#### OUR PRIVACY POLICIES AND PRACTICES

##### I. Information we collect and sources from which we collect it:

We do not collect any nonpublic personal information about you other than the following:

Information we receive from you or from your attorney or other representatives on applications or other forms;

Information about your transactions with us, our affiliates or our Underwriters.

In addition, we may collect other non public personal information about you from individuals and companies other than those proposed for coverage.

Unless it is specifically stated otherwise in an amended Privacy Policy Notice, no additional information will be collected about you.

##### II. Information we disclose to third parties:

In the course of our general business practices, we may disclose the information that we collect (as described above) about you or others without your permission to the following types of institutions for the reasons described:

To a third party such as a surveying, real estate tax research or municipal data firm if the disclosure will enable that party to perform a business, professional or insurance function for us;

To an insurance institution, agent, or credit reporting agency in order to detect or prevent criminal activity, fraud or misrepresentation in connection with an insurance transaction;

To an insurance institution, agent, or credit reporting agency for either this Company or the entity to whom we disclose the information to perform a function in connection with an insurance transaction involving you;

To an insurance regulatory authority, law enforcement, or other governmental authority in order to protect our interests in preventing or prosecuting fraud, or if we believe that you have conducted illegal activities;

To an actuarial or research organization for the purpose of conducting actuarial or research studies.

The disclosures described above are permitted by law.

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## METCALF BUILDERS, INC.

751 BASQUE WAY • CARSON CITY, NV 89706  
BUS: (775) 885-1844 • FAX: (775) 885-0178  
Nevada Contractors License - 0037475  
California Contractors License - 743953

April 23, 2009

Ms. Kathe Green  
Carson City Planning Division  
2621 Northgate Lane, Ste. 62  
Carson City, NV 89706



Re: Eagle Village Apartments Revision SUP-09-039 Application Review  
APN 009-123-38, -39  
250 Eagle Station Lane

Dear Kathe:

On April 21, 2009 the application review meeting for the above referenced SUP Revision was held in your office with Rory Hogan from Carson City Engineering, Jennifer Pruitt and yourself from Carson City Planning and Jonathan Young from MBI on behalf of Homeco 1, LLC attending to discuss the remaining items necessary to complete the package for review by the Planning Commission at their scheduled May 27, 2009 meeting. Seven items were noted and we have diligently addressed each item as follows:

- 1) *Provide the application fee of \$2,200.00 payable to Carson City. Please find check in the proper amount attached.*
- 2) *Provide noticing stamped envelopes: 190 total stamped envelopes or check in amount of \$85.70. Please find check in amount of \$85.70 attached.*
- 3) *Provide SUP packet in digital format, PDF preferred. Packet in electronic format is provided herewith.*
- 4) *Please provide additional information regarding CCDS 1.18 Residential Development Standards in non-residential districts. Each of the eight items set forth in 1.18 are addressed as follows:*

1.18, Item 1... The project is an acceptable use subject to approval of a special use permit within the GC zoning district per 18.04.135, item 3.

1.18, Item 2... The project remains consistent with the permitted density allowance per 18.04.135.

1.18, Item 3... The project remains consistent with permitted height allowances described in 18.04.135.

1.18, Item 4... Setbacks continue to be in conformance with those set forth for the GC zoning district.

1.18, Item 5... Parking remains consistent with the 2 space per dwelling unit required of 1.18. The site is designed with an additional 22 spaces for a total of 118.

1.18, Item 6... Updated project open space requirements are met as follows:

a) Open Space Requirements: 48 Units X 250 SF (150 SF minimum required) = 12,000 SF

b) Additional Open Space minimum included in Open Space Requirement calculation in 6a.

Open Space Shown: 48 Units X 1270 SF = 60,960 SF

Recreation requirement of 4,800 SF is met by combination of turf area, a picnic area and children's recreation area with minimum dimensions of 25 feet.

1.18, Item 7... Landscaping continues to comply with Carson City Development Standards Division 3.

1.18, Item 8... The following two findings shall be found in the affirmative:

- a) The development is not situated on a primary commercial arterial street frontage. Eagle Station Lane connects Silver Sage with Carson Street.
- c) The development as mapped is not a viable location for commercial use. The contemplated SUP revision amends an existing approved SUP allowing a planned unit development on the site. The PUD map has been approved and recorded.





## METCALF BUILDERS, INC.

751 BASQUE WAY • CARSON CITY, NV 89706  
BUS: (775) 885-1844 • FAX: (775) 885-0178  
Nevada Contractors License - 0037475  
California Contractors License - 743953

Page 2

In accordance with 18.02.080, the preponderance of evidence supporting the existing SUP continues to support this revision.

- 5) *Please provide the justification needed to allow for the proposed tandem parking spaces on site. The existing PUD overlay allows for tandem parking.*
- 6) *Current zoning GC-P, is the project's intent to eliminate the PUD overlay? We do not intend to eliminate the PUD overlay. The map is recorded and in place.*
- 7) *Western Engineering and Manhard Consulting verified the downstream sewer capacity was adequate for the original project. With 12 extra units these calculations will have to be redone. Western Engineering and Manhard Consulting's findings have been confirmed for 48 units and are attached.*

As a brief overview, Homeco 1, LLC purchased the subject property in 2008 with the intent of building 36 well-appointed units as approved in the existing SUP. To conform to current lending requirements and multiple lender requests, Homeco 1 LLC has reconfigured each typical existing building footprint to incorporate 2 additional units on the second floor. The existing building footprint has not changed. Please note the outboard patios originally designed have now been incorporated within the footprint, allowing additional open space over the project.

On behalf of Homeco 1, LLC we trust you will find submission of the above seven items in good order and deem the application complete. We look forward to the Planning Commission's review on May 27, 2009.

Respectfully,  
METCALF BUILDERS, INC.

Jonathan Young  
Construction Manager



Civil Engineers  
Surveyors  
Water Resources Engineers  
Water & Wastewater Engineers  
Construction Managers  
Environmental Scientists  
Landscape Architects  
Planners

April 23, 2009

Mr. Rory Hogan  
Carson City Engineering  
2621 Northgate Lane, Ste 6  
Carson City, NV 89706

Re: Eagle Village - Carson City Sewer Capacity

Dear Rory:

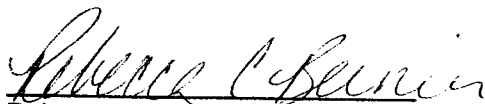
Based on the information provided, Eagle Village will be located on Eagle Station Lane in Carson City. The proposed development of 48 units will be located on APN 009-123-39 which is 3.64 acres. The previous land use was commercial; with this development the estimated flows will be increased for this area. Based on the will serve letter dated December 23, 2008, the estimated sewer rate is 280 gpd per unit. Based on 48 units the total estimated flowrate is 13,500 gallons per day. This is an increase of approximately 8,500 gallons per day.

The Carson City Sewer model (currently in HYDRA) with the existing flows based on land use shows that there are no pipes with a d/D of 0.75 or greater between the proposed site and the treatment plant. The Carson City Sewer model with the buildout with zone change estimated flows show that no pipe will exceed full flow capacity.

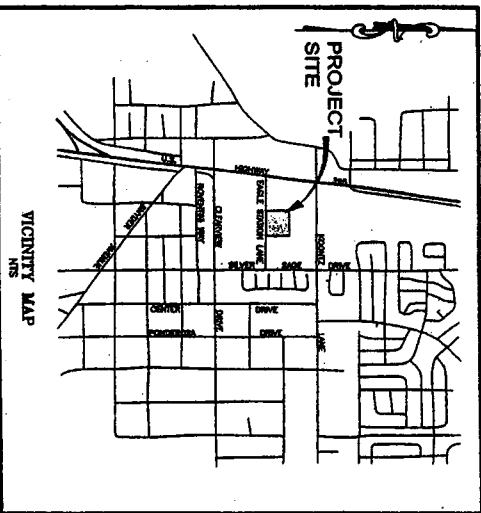
Based on the flow monitoring that was completed during Phase 2 of the master plan our model is conservative when compared to the 25 locations that were monitored.

If you have any questions, please feel free to contact me at 882-5630 ext 4914.

Sincerely,  
MANHARD CONSULTING, LTD.

  
Rebecca C. Bernier, P.E.  
Project Manager

Manhard Consulting, Ltd  
3476 Executive Pointe Way, Suite 12 • Carson City, Nevada 89706  
tel (775) 882-5630 • fax (775) 885-7282 • www.manhard.com  
ARIZONA • CALIFORNIA • FLORIDA • ILLINOIS • INDIANA • IOWA  
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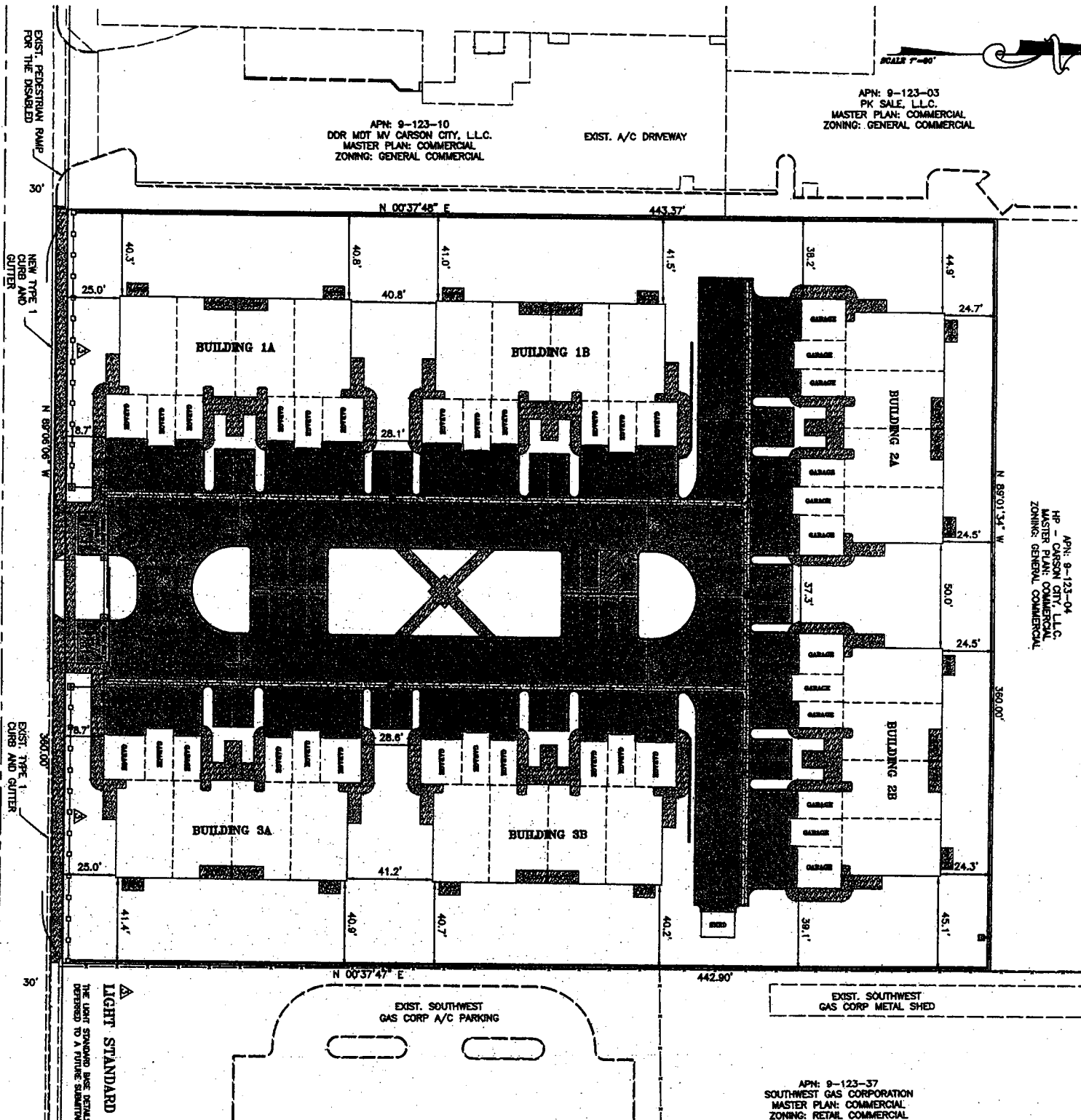
**SITE PLAN**  
FOR  
**EAGLE VILLAGE APARTMENTS**  
A PLANNED UNIT DEVELOPMENT  
SECTION 29, TOWNSHIP 15 NORTH, RANGE 20 EAST, M.D.B. & M.  
CARSON CITY, NEVADA

APN: 9-123-04  
HP - CARSON CITY, L.L.C.  
MASTER PLAN: COMMERCIAL  
ZONING: GENERAL COMMERCIAL

APN: 9-123-03  
PK SALE, L.L.C.  
MASTER PLAN: COMMERCIAL  
ZONING: GENERAL COMMERCIAL

APN: 9-123-10  
DOR MDT MV CARSON CITY, L.L.C.  
MASTER PLAN: COMMERCIAL  
ZONING: GENERAL COMMERCIAL

APN: 9-123-37  
SOUTHWEST GAS CORPORATION  
MASTER PLAN: COMMERCIAL  
ZONING: RETAIL COMMERCIAL



**LIGHT STANDARD NOTE:**  
THE LIGHT STANDARD BASE DETAILS ARE TO BE  
DETERMINED TO A FUTURE STANDARD.

**OWNER:**  
JACKSON FAMILY TRUST 5/25/00  
DONALD AND BONNIE JACKSON TRUSTEES  
2525 BUSINESS PARKWAY #B  
WILSON, NEVADA 89403

**ENGINEER:**  
WESTERN ENGINEERING &  
SURVEYING SERVICES  
3032 SILVER SAGE DRIVE  
CARSON CITY, NEVADA 89701  
PH (775) 884-3200  
FAX (775) 884-3211  
email: [Trinity@westernengineering.us](mailto:Trinity@westernengineering.us)

**DEVELOPER:**  
DONALD I. L.L.C.  
DONALD AND BONNIE JACKSON,  
MANAGERS  
1580 WILLOW CREEK LANE  
GARDNERVILLE, NEVADA 89410

**CONTRACTOR:**  
METCAL BUILDERS, Inc.  
751 BRISCALE WAY  
CARSON CITY, NEVADA 89706  
PH (775) 885-1844  
FAX (775) 885-0178  
NV Lic. #37475

**LEGAL DESCRIPTION**

BEING LOTS 1 AND 2, FINAL SUBDIVISION MAP FOR EAGLE VILLAGE CONDOMINIUMS, PHASE 1 (TPUD-08-128), RECORDED AS FILE NUMBER 368914, (MAP 2706), OFFICIAL RECORDS OF CARSON CITY, NEVADA, LOCATED IN A PORTION OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 15 NORTH, RANGE 20 EAST, M.D.B. & M.

**BENCH MARK**

FOUND PK. NAIL AT THE INTERSECTION OF CENTER DRIVE AND EAST APRON WAY, BEING LOTS 1 AND 2, FINAL SUBDIVISION MAP FOR EAGLE VILLAGE CONDOMINIUMS, PHASE 1 (TPUD-08-128), RECORDED AS FILE NUMBER 368914, (MAP 2706), ALSO KNOWN AS CONTROL POINT 15010 PER THE CARSON CITY GROUND CONTROL SURVEY POINTS BENCHMARK POINT DATA PROVIDED BY CARSON CITY G.L.S. DEPT. ELEVATION = (4731.03) (MVD29/MVD27)

**TEMPORARY BENCH MARK**

SET PK. NAIL IN SIDEWALK ON SOUTH SIDE OF EAGLE STATION LANE, ELEVATION = 4738.43

**BASIS OF BEARINGS**

THE BEARING N 02°18'46" W BETWEEN CONTROL POINTS 15010 AND 230124, OF THE CARSON CITY GROUND CONTROL SURVEY POINTS WAS USED AS THE BASIS OF BEARINGS ON THIS MAP.

**ZONING AND MASTER PLAN DESIGNATIONS**

APN: 9-123-04  
HP - CARSON CITY, L.L.C.  
MASTER PLAN: COMMERCIAL  
ZONING: GENERAL COMMERCIAL

**PROJECT AREA**

LANDSCAPING AREAS - 64,560 s.f. (1.48 ACRES)  
CONCRETE AREAS - 12,885 s.f. (0.30 ACRES)  
AC PAVING AREAS - 40,451 s.f. (0.93 ACRES)  
BUILDING AREAS - 41,434 s.f. (0.95 ACRES)  
TOTAL AREA - 158,430 s.f. (3.66 ACRES)

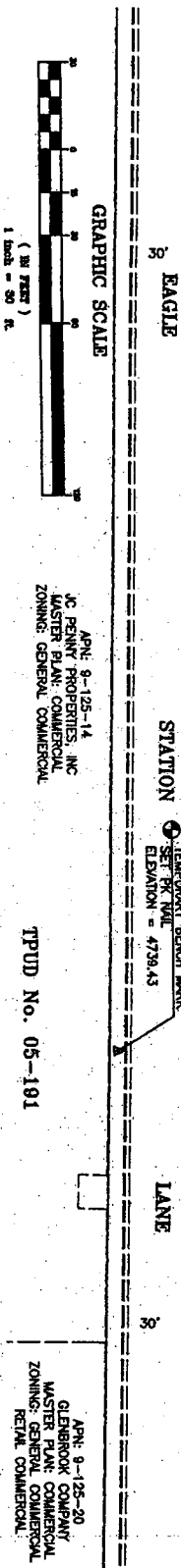
**PARKING**

GAUGE PARKING - 24 SPACES  
TANDEM PARKING - 48 SPACES  
GUEST PARKING (STANDARD) - 33 SPACES  
GUEST PARKING (HANDICAP) - 1 SPACE (N/A ACCESSIBLE)

TOTAL PARKING SPACES SHOWN - 106 SPACES  
PARKING SPACES REQUIRED (2.0 SPACES PER UNIT) - 96 SPACES REQUIRED  
2.0 SPACES \* 48 UNITS = 96 SPACES REQUIRED

**SITE PLAN**  
FOR

**EAGLE VILLAGE APARTMENTS**  
A PLANNED UNIT DEVELOPMENT



DATE	REVISIONS	BY
05-20-03		
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## **SOUTHWEST GAS CORPORATION**

May 18, 2009



Kathe Green  
Carson City Planning Commission  
2621 Northgate Lane, Suite 62  
Carson City, NV 89706

RE: Special Use Permit, File No. SUP-09-039  
APN 009-123-39, 250 Eagle Station Lane, Carson City

Dear Ms. Green:

Southwest Gas Corporation (Southwest) received the Planning Commission's notice of public hearing and request for comment for the above referenced permit request located at 250 Eagle Station Lane, Carson City. As the owner of an adjacent parcel, Southwest submits its comments on the proposed request. Southwest's parcels are currently zoned GC.

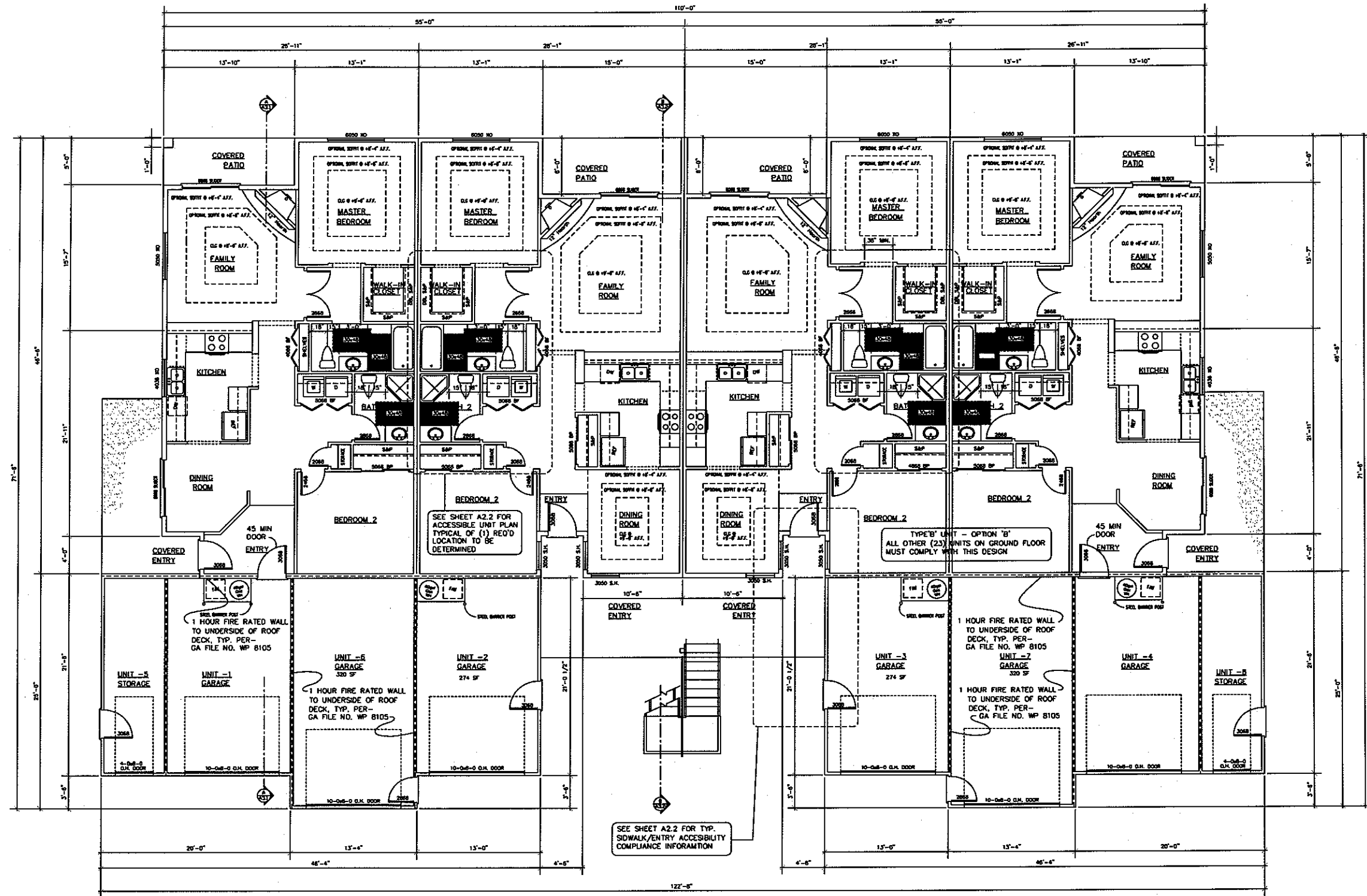
Southwest does not oppose granting the request, so long as the general commercial character and zoning of the surrounding area is preserved for Southwest's current and future operations. In order to assure such use, Southwest requests that the special use permit be granted only if subject to a restriction and covenant that: (i) the current owners and any future owners, successors, assigns or tenants of any or all portions of the property for which the permit is granted recognize that Southwest's parcels are currently zoned for general commercial purposes; and (ii) recognizing the right of Southwest to such continued use and that no objections be raised now or in the future. Further, Southwest requests that granting the permit be specifically conditioned on requiring that all deeds or grants of interests in the planned unit development include a written disclosure and covenant running with the land to this effect.

Southwest appreciates the opportunity to comment on the request and we look forward to continued cooperation with the Planning Commission as this area grows.

Respectfully,

Dennis Redmond  
Vice President, Northern Nevada Division

DR/lrr



WALL LEGEND	
	REPRESENTS 2x8 WALLS W/ 2x4 STUDS STAGGERED @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 3243
	REPRESENTS 2x6 WALLS @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105
	REPRESENTS 2x4 WALLS @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105



PROJECT:  
EAGLE VILLAGE  
CONDOMINIUMS  
250 EAGLE STATION LANE  
CARSON CITY, NEVADA  
89701

DRAWING:  
FIRST FLOOR PLANS

SCALE: 3/16" = 1'-0"

DATE:

DRAWN BY:

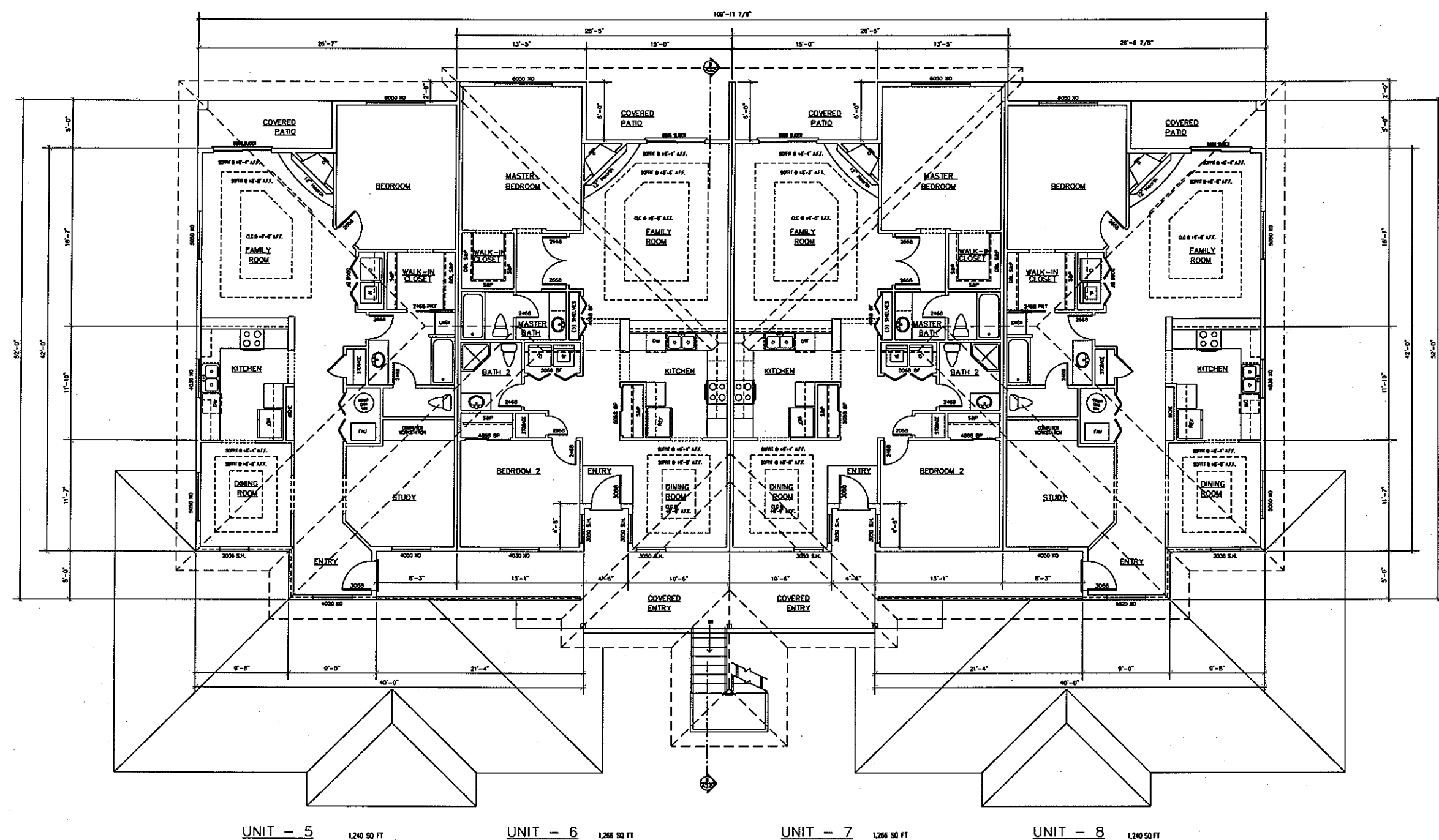
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ISSUES:

DATE	TYPE

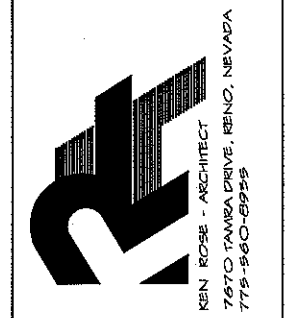
DRAWING:

A2



UNIT - 5 1,240 SQ FT      UNIT - 6 1,266 SQ FT      UNIT - 7 1,266 SQ FT      UNIT - 8 1,240 SQ FT

WALL LEGEND	
	REPRESENTS 2x8 WALLS W/ 2x4 STUDS STAGGERED @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 3243
	REPRESENTS 2x6 WALLS @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105
	REPRESENTS 2x4 WALLS @ 16" O.C. WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105

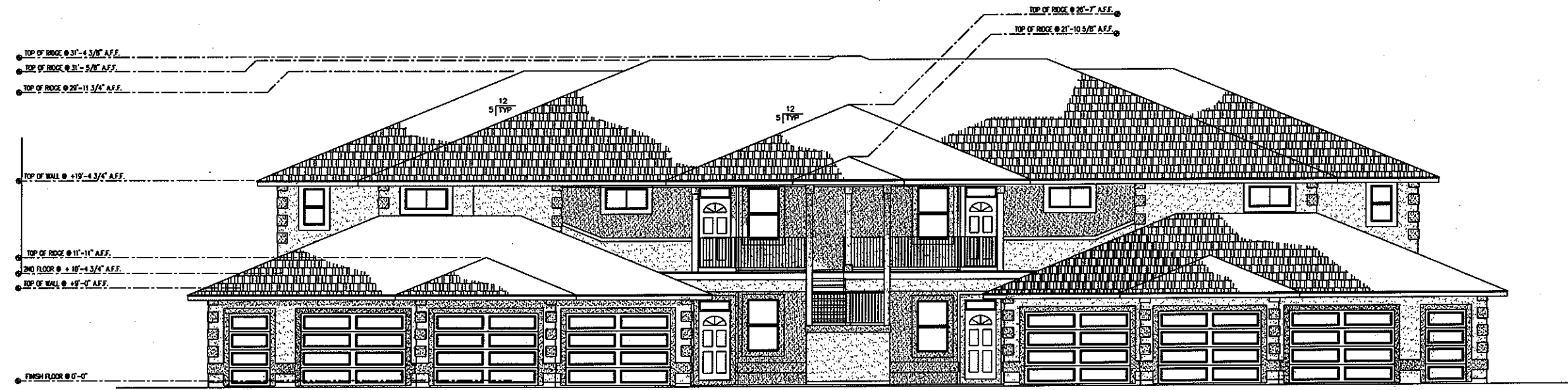


PROJECT:  
EAGLE VILLAGE  
CONDOMINIUMS  
250 EAGLE STATION LANE  
CARSON CITY, NEVADA  
89701

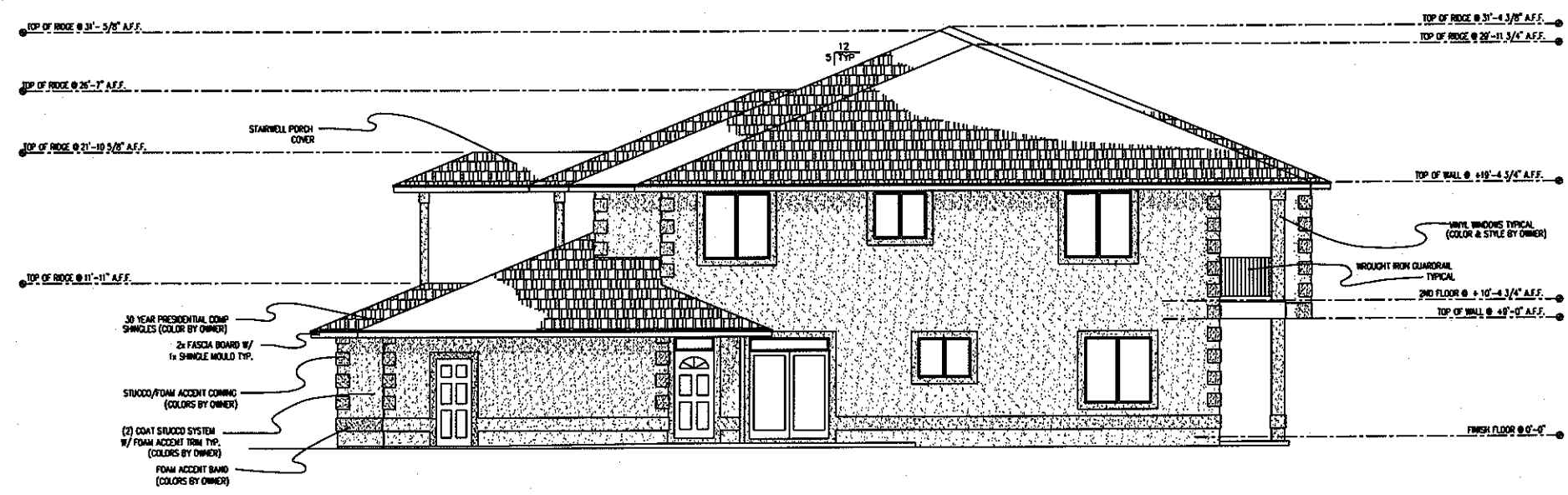
DRAWING:  
SECOND FLOOR PLANS

SCALE:	3/16" = 1'-0"
DATE:	
DRAWN BY:	
CHECKED BY:	
ISSUES:	
DATE	TYPE

DRAWING:  
  
A2.1



1 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



PROJECT:  
EAGLE VILLAGE  
CONDOMINIUMS  
250 EAGLE STATION LANE  
CARSON CITY, NEVADA  
89701

DRAWING:  
EXTERIOR ELEVATIONS

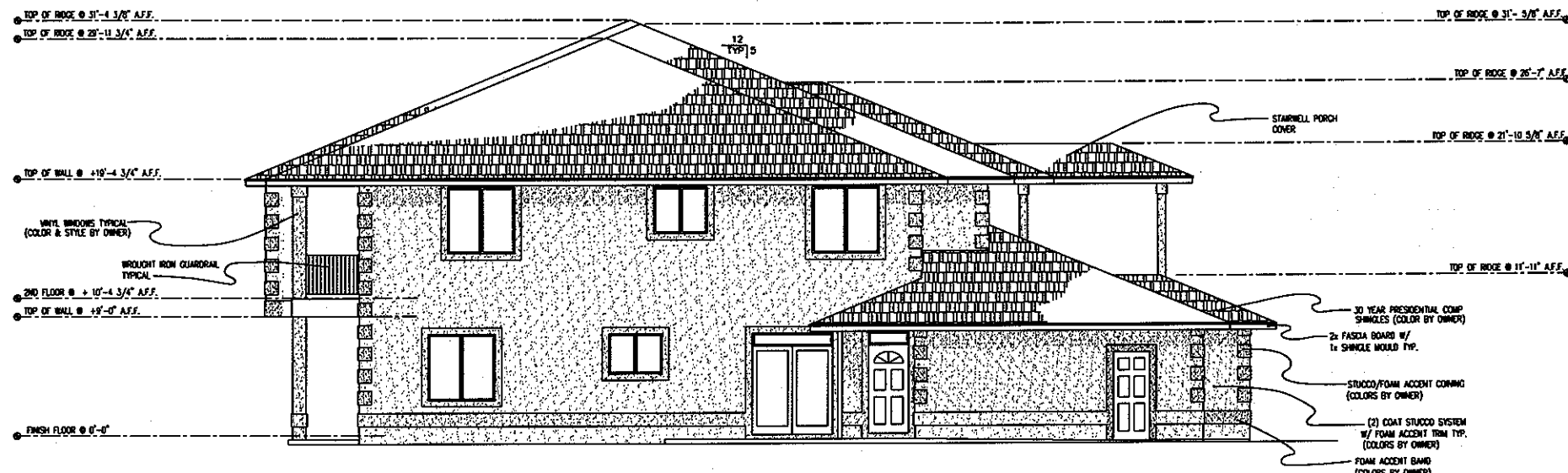
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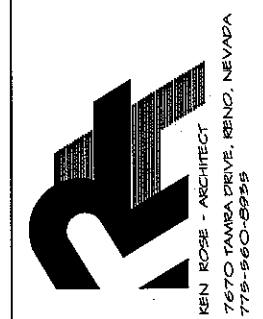
A3



1 REAR ELEVATION  
SCALE: 3/16" = 1'-0"



2 LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



PROJECT:  
EAGLE VILLAGE  
CONDOMINIUMS  
250 EAGLE STATION LANE  
CARSON CITY, NEVADA  
89701

DRAWING:  
EXTERIOR ELEVATIONS

SCALE:	
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DRAWN BY:	
CHECKED BY:	
ISSUES:	
DATE	TYPE

DRAWING:

A3.1