

STAFF REPORT FOR PLANNING COMMISSION MEETING MAY 27, 2009

FILE NO: SUP-09-037

AGENDA ITEM: H- 2(C)

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

REQUEST: A Special Use Permit request for a Public Charter School campus facility as a conditional use on property to be re-zoned from Limited Industrial (LI) to Public Regional (PR).

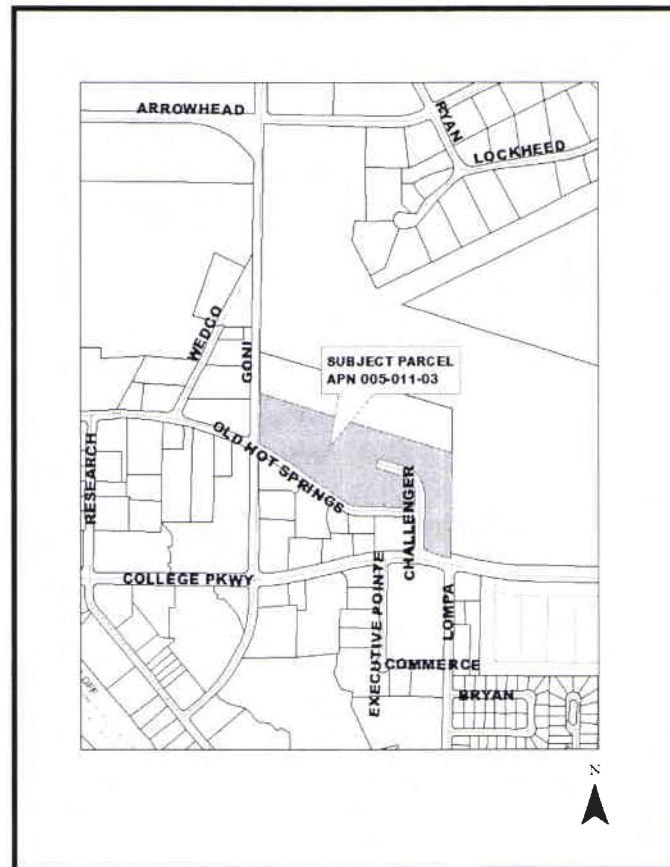
APPLICANT: Palmer Engineering Group, Ltd.

OWNER: Weikel Carson Air Park, Ltd.

LOCATION: 2222 College Parkway

APN: 005-011-03

RECOMMENDED MOTION: "I move to approve SUP-09-037, a Special Use Permit application to allow a Public Charter School campus facility as a conditional use on property to be re-zoned from Limited Industrial to Public Regional, located at 2222 College Parkway, APN 005-011-03, based on seven findings and subject to the conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval. Minor modifications to the development plans may be approved by the Director.
2. All on- and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve months of the date of final approval. Obtaining a building or construction permit for the proposed construction shall constitute project commencement. A single, one-year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one year expiration date.
4. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
5. The applicant shall obtain a building permit from the Carson City Building and Safety Division for the proposed construction.
6. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*.
7. Lighting fixture details and "cut-sheets" shall be submitted with a Building Permit application in compliance with Development Standards Division 1.3 Lighting. Any lighting fixtures shall be so installed as to project light downward and away from adjoining properties and glare to the sky.
8. This SUP shall become effective only upon approval by the Board of Supervisors of Zoning Map Amendment application ZMA-09-036 to change a portion of the subject parcel from Limited Industrial to Public Regional and Master Plan Amendment application MPA-09-035 to change a portion of the subject parcel master plan designation from Industrial to Public/Quasi Public.
9. Project signage requires an application for a Building Permit, issued through the Carson City Building Division. The sign(s) shall be placed so as to maintain proper separation from above and below ground utilities. Coordination with the civil design engineer for sign placement is highly advised. The sign(s) shall not be placed within any utility, access or drainage easement.
10. The applicant shall submit landscape plans in compliance with the Carson City Development Standards, Division 3 (Landscaping) with building permit plans for review and approval by the Planning Division.
11. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color. Bold colors shall be avoided except when used as accent or trim.

12. Reflective, untreated roofs shall be prohibited unless painted flat, non-glossy paint to compliment or match the primary color of the primary exterior building material(s).
13. All roof-top equipment on new portions of the building shall be screened pursuant to Carson City Development Standards Division 1.1.7.
14. Proper trash enclosures shall be provided pursuant to the Carson City Development Standards 1.2.6.
15. The applicant must meet all applicable State (NRS & NAC 444), Local and Federal codes and ordinances as they apply to this request. Plans for this facility must be submitted and approved by Carson City Health & Human Services.

Engineering Division Conditions:

16. The design engineer shall provide verification that the proposed driveway on Goni Road has adequate entering site distance in accordance with AASHTO standards.
17. Curb and gutter, sidewalk, driveway, and storm drainage improvements are required along all street frontages.
18. Street lights are required per Division 12 of the Development Standards.
19. All signs shall be located outside clear vision triangles and PUE's, as well as maintain proper separation from all utilities.
20. Provide a complete grading plan, showing existing and proposed site elevations, swales, cut and fill slopes, and grading quantities.
21. Provide a complete site/drainage plan, covering all aspects of the site development and design, including existing and proposed drainage features and facilities.
22. Submit a complete drainage analysis, including hydraulic and hydrologic calculations, drainage system capacities, design flows, flood flows, detention system requirements, and floodplain issues in the format of section 14.9.1 of the Carson City Development Standards.
23. Project must provide a storm drainage collection system design, including invert elevations, slopes, pipe and/or channel sizes and pad or finished floor elevations.
24. Project must provide onsite detention facilities capable of handling a five year, one hour duration intensity storm.
25. Project must accommodate and pass flows of a one-hundred year, twenty-four hour duration storm through the site.
26. Site grading shall be in accordance with the approved FEMA Conditional Letter of Map Revision (CLOMR) to accommodate conveyance of Goni Canyon Creek.
27. Proposed buildings shall be designed to meet flood hazard reduction standards

in accordance with CCMC 12.09.

28. Provide parking lot details, including parking stall dimensions, curbs, striping, signing and lighting.
29. The project shall comply with minimum sidewalk width standards of five feet and ADA access along the sidewalk and ramps.

Utilities Conditions:

30. Fire hydrant(s) - Hydrants on private property, if required by Fire Department, require a check-valve per drawing C-10.4.
31. Fire sprinkler system connection(s) - Requires a double check-valve assembly per drawing C-8.3. If the fire sprinkler system is to contain any hazardous substance, including glycol, a reduced pressure principle assembly is required.
32. Water connection(s) - Indicate size(s) and locate service tap(s) and meter box(es). Indicate whether taps and meters are for domestic or irrigation purposes, and if the water service is to be installed by a properly licensed contractor or by city forces. All meters, vaults or hydrants shall be located behind the sidewalk and not in driveways.
33. Sanitary sewer connection - Indicate lateral size and location. (Laterals cannot be tied into manholes.)
34. Water usage information is required to determine water and sewer privilege to connect charges.
35. Fire flow calculations required by the Fire Department must be signed and sealed by a P.E. and approved by Utilities Engineering. Contact Mark Brethauer at 887-2355, extension 1006, for additional information.
36. Wastewater pretreatment and a wastewater discharge permit will be required. Grease interceptors shall be designed in accordance with the 2006 Uniform Plumbing Code and shall have 24-hour access. Contact the Environmental Control Division at 887-2355 for additional information.
37. Reduced pressure type backflow prevention devices are required for domestic services. Contact Rit Palmer at Utilities, 887-2355, extension 1051, for additional information.
38. A water system analysis which complies with the requirements of Division 15.3.1 is required with the first submittal of the plans which shows that the proposed water system can meet required fire flows and that 60 psi is available at the meters during peak demand periods. The water analysis shall include a narrative report and system map. The report shall provide the calculations for fire flows and system pressure and shall include assumptions made to support the calculations. The map shall show all existing and proposed water mains, PRV's, check valves, system zones, streets and parcels.
39. A sewer system analysis which complies with the requirements of Division 15.3.2 is required with the first submittal of plans which shows that the existing sewer

system has sufficient capacity to handle the proposed project. All existing sewer collection lines to which the development utilizes as an outfall must be capable of conveying a peak flow of d/D less than 0.75, or an upgrade of the existing system will be required. The analysis should show the sewer system is at adequate size and depth to serve adjacent properties when extended in the future. The applicant should coordinate the proposed sewage system design with Utilities Engineering prior to proceeding with final plans.

40. The use of potable water during construction for dust control will not be allowed; reclaimed water is available. The use of potable water will be made available when the use of reclaimed water is not allowed due to environmental or health reasons. A no fee permit for reclaimed water use is available seven (7) days a week (except holidays) at the Wastewater Reclamation Plant, 3320 Fifth Street, 887-2360. Please note that the use of reclaimed water without a valid permit is subject to substantial penalties.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits); and 18.04.185 (Public Regional).

MASTER PLAN DESIGNATION: Industrial

PROPOSED MASTER PLAN DESIGNATION: Public/Quasi Public

ZONING DESIGNATION: Limited Industrial

PROPOSED ZONING DESIGNATION: Limited Industrial/Public Regional

KEY ISSUES: Will the proposal be detrimental or cause material damage to surrounding properties in the vicinity?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH:	Public Regional (PR) – Carson City Airport
SOUTH:	Limited Industrial (LI) – Commercial
EAST:	Public Regional (PR) – Carson City Airport
WEST:	General Industrial (GI) – Vacant

ENVIRONMENTAL INFORMATION

1. **FLOOD ZONE:** Zones B and A2 – Portions of the subject property are subject to flooding.
2. **SLOPE/DRAINAGE:** The site is level and subject to flooding. Flooding and drainage issues will be addressed with the proposed construction.
3. **EARTHQUAKE:** There is an identified earthquake fault onsite.

SITE DEVELOPMENT INFORMATION

1. BUILDING SIZE:

High School:	1 st Floor	20,796 square feet
	2 nd Floor	19,045 square feet
Gym/Hanger		11,494 square feet
Stage Area		4,252 square feet
Jr. High School		10,374 square feet
Sub-Total		65,961 square feet
Basement		6,830 square feet
Total		72,791 square feet

2. *PROPOSED STRUCTURE HEIGHT: 39 feet maximum building height.

3. *PARKING:

Required:	92 spaces
Proposed:	136 spaces

The Silver State High School parking requirement is based on parking requirements of the existing school criteria. The Silver State High School is not a traditional school curriculum.

4. *LANDSCAPING AREA:

Impervious surface (without buildings)	77,146 square feet
Required Landscaping:	15,429 square feet
Proposed Landscaping:	74,515 square feet

5. *SIGNAGE: The applicant will install wall signage on the Silver State High School in addition to a monument sign at the corner of Hot Springs Road and Goni Road.

6. EXISTING PARCEL SIZE: 14.05 acres

PROPOSED PARCEL SIZES

Parcel A	4.7 acres	Silver State High School campus
Parcel B	9.35 acres	remainder

*All public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the special use permit.

BACKGROUND:

The applicant is requesting approval of a special use permit to construct and operate a Public Charter School campus within the proposed Public Regional (PR) zoning district. A public school is a conditional use (requiring a special use permit) within the PR zoning district pursuant to the Carson City Municipal Code (CCMC) Section 18.04.185.

Charter schools are independent public schools designed and operated by parents, educators, community leaders, education entrepreneurs and others with a contract, or charter, from a public agency, such as a local or state education agency or an institution of higher education. Charter schools are operated free-of-charge to parents and are open to all students. These schools provide parents enhanced educational choices within the public school system. Exempt from many statutory and regulatory requirements, charter schools receive increased flexibility in exchange for increased accountability for improving academic achievement. The first U.S. public charter school opened in 1992. Today, nearly 4,000 charter schools serve more than one million students in 40 states and Washington, D.C.

On May 21, 2009 the conceptual plan will be presented to the Carson City Airport Authority.

DISCUSSION:

This application has the following aspect for the Planning Commission's review:

1. Allowing a "public school" as a conditional use CCMC 18.04.185;

The applicant has submitted the following applications to be processed concurrently with the subject Special Use Permit: A Zoning Map Amendment application ZMA-09-036 to change a portion of the existing zoning of Limited Industrial (LI) to Public Regional (PR) and a Master Plan Amendment application MPA-09-035 to change a portion of the existing Master Plan Designation of Industrial to Public / Quasi-Public. It is important to note the proposed Special Use Permit request is dependent of the approval of the above mentioned ZMA and MPA applications, for the reason that a "public school " is not permitted within the Limited industrial zoning district.

All public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the special use permit.

The subject parcel is approximately 14.05 acres and is located on the northeast corner of Goni Road and Old Hot Springs Road. Vehicular access for the proposed Public Charter School campus is primarily two access points from Old Hot Springs Road and there is also a secondary access point from the north at Goni Road. The subject site also has pedestrian and bicycle access from College Parkway.

The applicant is proposing to construct a 72,000+ square foot Public Charter School campus on the 14.05 acres site currently owned the Weikel Carson Air Park, Ltd. The subject site currently has three industrial structures, located at the southeastern portion of the site. The proposed Public Charter School campus will provide a High School, Jr. High School, gym/hanger and play field area, noted on page six of this staff report.

Lighting

The applicant shall submit exterior light fixture details with a building permit application for review and approval by the Planning Division. Any lighting fixtures shall be installed as to project light downward and away from adjoining properties and glare to the sky. Site lighting trespass onto adjacent locations and the night sky shall be minimized. Covers must be installed on all lighting fixtures and lamps must not extend below the bottom of the cover.

Parking

Due to the untraditional nature of the Silver State High School, the parking criterion is not the traditional parking solution one would encounter. The parking criteria has been tried and tested at the existing site of the Silver State High School site. The parking criteria is based on justification provided by the applicant in addition to taking into account the nature and needs of the school campus.

Landscaping

A landscaping plan will provide for unity and consistency for the subject site, which will result in an aesthetically pleasing campus environment. The total landscaped area will be 74,515 square feet.

Division of the 14.05 acre site

As noted in the submittal by the applicant, the existing 14.05 acres site is proposed to be divided, in order to create the 4.7 acres school campus site.

The subject SUP will exclude the remainder 9.35 acre area. The subject site was part of a previously approved Industrial Subdivision. The previous approval allows the property owner to create lots with a recorded record of survey subject to NRS 278.325.

Traffic

A Traffic Impact report was prepared by Palmer Engineering Group, Ltd. That report identifies that a typical high school of this size will generate approximately 850 vehicle trips on weekdays, 288 trips on weekends and 202 morning peak hour trips. However, the Silver State Charter school has seven class sessions per week, resulting in a significant decrease of the student body on campus at any given time, although staff and faculty traffic would remain constant.

It is noted that Goni Road and College Parkway are currently classified as arterial streets. As such, the roadway has more than adequate capacity to handle the expected increase in traffic volume as a result of the project.

Opposition concerns

As of the writing of this staff report, written comments have been submitted expressing opposition regarding the proposed project. The basis of the opposition is the lack of compatibility of the existing non-restricted gaming use of the Comstock Casino with the proposed school use. The possibility of a negative impact on future expansion of the gaming use is their concern. It is important to note, Carson City does not have a

proximity regulation regarding schools and gaming establishments within the zoning ordinance, unlike the City of Reno, Clark County and Douglas County.

The Comstock Casino is located on the property diagonally southwest of this parcel on property zoned Limited Industrial. Per the applicant, although this may appear as a minor conflict of land use with the proposed school, the properties are separated by berms, landscaping, and is across both Goni Road and Old Hot Springs Road.

Silver State High School is a **Free Public** on-line distance education high school. Students attend classes once per week to meet with their teachers and do their remaining class work on-line. This format allows students to make appointments or come in on other days to get individualized help from their teachers.

The school is planned for 1000 students, although due to the on-line distance nature of the curriculum, no more than 150 students will be on campus at any given time based on a schedule of seven sessions per week.

With the recommended conditions of approval, the findings to grant approval have been met. Therefore, it is recommended that the Planning Commission approve SUP-09-037 based on the required findings as noted on the following pages.

PUBLIC COMMENTS: Public notices were mailed to 283 adjacent property owners within 300 feet of the subject parcel in accordance with the provisions of NRS and CCMC 18.02.045. As of May 20, 2009, written comments have been received in opposition of this application and the accompanying applications. Any comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division.

AGENCY COMMENTS:

Carson City Health Department:

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable State (NRS & NAC 444), Local and Federal codes and ordinances as they apply to this request. Plans for this facility must be submitted and approved by Carson City Health & Human Services.

Carson City Building Division:

The following comments are applicable to MPA 09-035, ZMA 09-036, and SUP 09-037

These comments do not constitute a complete plan review, but are merely observations based on the information and plan sheets provided. The comments do not reflect all submittal requirements necessary for this project, but are those requirements that have generated concerns with similar projects in the past.

GENERAL COMMENTS

1. The building construction requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.

2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson-city.nv.us/Index.aspx?page=181

Carson City Engineering Division:

The Engineering Division has no preference or objection to the special use request. If the request is approved, then the following conditions of approval are recommended.

Engineering Division Requirements:

1. The design engineer shall provide verification that the proposed driveway on Goni Road has adequate entering site distance in accordance with AASHTO standards.
2. Curb and gutter, sidewalk, driveway, and storm drainage improvements are required along all street frontages.
3. Street lights are required per Division 12 of the Development Standards.
4. All signs shall be located outside clear vision triangles and PUE's, as well as maintain proper separation from all utilities.
5. Provide a complete grading plan, showing existing and proposed site elevations, swales, cut and fill slopes, and grading quantities.
6. Provide a complete site/drainage plan, covering all aspects of the site development and design, including existing and proposed drainage features and facilities.
7. Submit a complete drainage analysis, including hydraulic and hydrologic calculations, drainage system capacities, design flows, flood flows, detention system requirements, and floodplain issues in the format of section 14.9.1 of the Carson City Development Standards.
8. Project must provide a storm drainage collection system design, including invert elevations, slopes, pipe and/or channel sizes and pad or finished floor elevations.
9. Project must provide onsite detention facilities capable of handling a five year, one hour duration intensity storm.
10. Project must accommodate and pass flows of a one-hundred year, twenty-four hour duration storm through the site.
11. Site grading shall be in accordance with the approved FEMA Conditional Letter of Map Revision (CLOMR) to accommodate conveyance of Goni Canyon Creek.
12. Proposed buildings shall be designed to meet flood hazard reduction standards in accordance with CCMC 12.09.
13. Provide parking lot details, including parking stall dimensions, curbs, striping, signing and lighting.

14. The project shall comply with minimum sidewalk width standards of 5 feet and ADA access along the sidewalk and ramps.

Carson City Utilities Requirements:

1. Fire hydrant(s) - Hydrants on private property, if required by Fire Department, require a check-valve per drawing C-10.4.
2. Fire sprinkler system connection(s) - Requires a double check-valve assembly per drawing C-8.3. If the fire sprinkler system is to contain any hazardous substance, including glycol, a reduced pressure principle assembly is required.
3. Water connection(s) - Indicate size(s) and locate service tap(s) and meter box(es). Indicate whether taps and meters are for domestic or irrigation purposes, and if the water service is to be installed by a properly licensed contractor or by city forces. All meters, vaults or hydrants shall be located behind the sidewalk and not in driveways.
4. Sanitary sewer connection - Indicate lateral size and location. (Laterals cannot be tied into manholes.)
5. Water usage information is required to determine water and sewer privilege to connect charges.
6. Fire flow calculations required by the Fire Department must be signed and sealed by a P.E. and approved by Utilities Engineering. Contact Mark Brethauer at 887-2355, extension 1006, for additional information.
7. Wastewater pretreatment and a wastewater discharge permit will be required. Grease interceptors shall be designed in accordance with the 2006 Uniform Plumbing Code and shall have 24-hour access. Contact the Environmental Control Division at 887-2355 for additional information.
8. Reduced pressure type backflow prevention devices are required for domestic services. Contact Rit Palmer at Utilities, 887-2355, extension 1051, for additional information.
9. A water system analysis which complies with the requirements of Division 15.3.1 is required with the first submittal of the plans which shows that the proposed water system can meet required fire flows and that 60 psi is available at the meters during peak demand periods. The water analysis shall include a narrative report and system map. The report shall provide the calculations for fire flows and system pressure and shall include assumptions made to support the calculations. The map shall show all existing and proposed water mains, PRV's, check valves, system zones, streets and parcels.
10. A sewer system analysis which complies with the requirements of Division 15.3.2 is required with the first submittal of plans which shows that the existing sewer system has sufficient capacity to handle the proposed project. All existing sewer collection lines to which the development utilizes as an outfall must be capable of conveying a peak flow of d/D less than 0.75, or an upgrade of the existing system will be required. The analysis should show the sewer system is at adequate size and depth to serve adjacent properties when extended in the future. The

applicant should coordinate the proposed sewage system design with Utilities Engineering prior to proceeding with final plans.

11. The use of potable water during construction for dust control will not be allowed; reclaimed water is available. The use of potable water will be made available when the use of reclaimed water is not allowed due to environmental or health reasons. A no fee permit for reclaimed water use is available seven (7) days a week (except holidays) at the Wastewater Reclamation Plant, 3320 Fifth Street, 887-2360. Please note that the use of reclaimed water without a valid permit is subject to substantial penalties.

Carson City Fire Department:

No Fire Department comments at this time.

Carson City Parks & Recreation Department:

The Unified Pathways Master Plan (UPMP) identifies an off-street/paved/shared path directly north of the project site on airport property. As our department understands the site design, the applicant is proposing a taxi way connection from the high school to the airport. This connection needs to accommodate the City's future path. Our department is willing to discuss the related path design issues during the applicant's effort to develop project construction documents and the City's permit process. In addition, the UPMP identifies Goni Road and College Parkway as existing on-street bike lanes. Our department believes the high school should accommodate both pedestrian and bicycle access to the project site, including an evaluation of regional connectivity issues. As a result, our department would recommend to the Planning Commission that the applicant be required to work with the City's Engineering Department to construct concrete sidewalks along Goni Road and Old Hot Springs Road, provide pedestrian crosswalks at the Goni Road and Old Hot Springs Road intersections, and provide bicycle lanes on Old Hot Springs Road.

FINDINGS: Staff recommends that the Planning Commission approve the Special Use Permit subject to the recommended conditions of approval and based upon the following findings as required by Carson City Municipal Code (CCMC) Sections 18.02.080 (Special Use Permits) and further substantiated by the applicant's written justification.

1. The project will be consistent with the master plan elements.

The proposed Public/Quasi-Public land use designation is consistent with the proposed public school use of the property by the Silver State High School, as well as the intended future use of the property for public purposes. The current Master Plan land designation on the property of Industrial is not consistent with the proposed public school use.

The proposed amendment will be in substantial compliance with the following:

GOAL 1.1— PROMOTE THE EFFICIENT USE OF AVAILABLE LAND AND RESOURCES.

1.1e—Sustainable Construction Techniques

Encourage the use of sustainable building materials and construction techniques, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program which provides voluntary national

standards and certification for a range of new construction types to promote the development of energy efficient, sustainable buildings.

1.1f—Energy Conservation

Encourage the incorporation of site planning and other design techniques that promote solar and wind efficiency in the construction of new homes and non-residential development (e.g., maximizes solar exposure to capture energy and speed snow melt during winter months). Encourage the use of new and emerging technologies that lead to increased energy conservation for both residential and non-residential uses.

GOAL 1.2—PROMOTE INFILL AND REDEVELOPMENT IN TARGETED AREAS

1.2a—Priority Infill and Redevelopment Areas:

Two levels of priority have been identified for areas identified for potential infill and redevelopment on the Land Use Map.

GOAL 1.4—MANAGE THE IMPACTS OF FUTURE GROWTH WITHIN THE URBAN INTERFACE

1.4a—Vehicular and Pathway Access

Ensure that vehicular and pathway access to surrounding public lands are maintained as development occurs within the Urban Interface—the area at the fringe of the City's core area that borders both urban development and open lands. Require pathways, bicycle facilities, and roadway easements through future developments as identified in the Unified Pathways Master Plan.

GOAL 1.5—FOSTER COOPERATION ON MASTER PLAN ISSUES

1.5a—Coordination with Adjoining Counties

The City shall coordinate with Lyon, Washoe, and Douglas Counties to minimize land use conflicts at shared boundaries, identify opportunities for shared recreational access or amenities, and to ensure that applicable Master Plans for each jurisdiction are mutually compatible with the goals and policies of this Master Plan.

1.5b—Coordination with State and Federal Agencies

The City shall coordinate with State and Federal Agencies, including the Bureau of Land Management and Forest Service, whose land holdings are adjacent to the City, to minimize land use conflicts within the urban interface, identify opportunities for shared recreational access or amenities, and to ensure that future plans for federal landholdings are mutually compatible with the goals and policies of this Master Plan.

GOAL 3.3—MINIMIZE IMPACTS OF POTENTIAL NATURAL DISASTER EVENTS ON THE COMMUNITY

3.3d—Floodplain and Hazard Area Development

Continue to discourage development within the 100-year floodplain and other hazard areas and require development on flood prone properties to be clustered out of the 100-year floodplain as defined by FEMA.

3.3e—Geologic Hazards

Continue to require any development with an identified earthquake fault on site to have a professional geotechnical report to establish required setbacks from the fault to structures and other mitigation measures.

GOAL 6.1—PROMOTE HIGH QUALITY DEVELOPMENT

6.1a—Durable Materials Require the use of durable, long-lasting building materials for all new development.

6.1b—Neighborhood Design

Promote variety and visual interest in the design of new neighborhoods through the incorporation of varied lot sizes, building styles and colors, garage orientation, and other features, as consistent with the land use policies contained in Chapter 3 of this Plan.

6.1c—Variety and Visual Interest

Promote variety and visual interest in the design of new development through the incorporation of well-articulated building facades, clearly defined entrances and pedestrian connections, landscaping, and other features as consistent with the City's Development Standards.

GOAL 6.2—PROMOTE COMPATIBLE INFILL AND REDEVELOPMENT

6.2a—Neighborhood Compatibility

Ensure that infill and redevelopment is of a scale and character that is compatible with and enhances the surrounding development context through the use of appropriate height and density transitions, similar setbacks and lot coverage, garage and loading area location and configuration, connectivity to surrounding development, and other neighborhood specific design considerations.

GOAL 9.3—MAINTAIN THE QUALITY AND CHARACTER OF ESTABLISHED NEIGHBORHOODS

9.3b—Compatibility of Infill and Redevelopment

Ensure that infill and redevelopment is designed in a manner that minimizes impacts on and is compatible with existing neighborhoods through the use of appropriate height and density transitions, similar setbacks and lot coverage, garage and loading area location and configuration, the development of park and recreational facilities, connectivity to existing neighborhoods by a pathways system, and other neighborhood specific design considerations.

2. The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The proposed campus is set back a significant distance from existing commercial uses and is not anticipated to be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties. With the recommended conditions of approval, the proposed uses will generate no significant noise, vibrations, fumes, odors, dust, glare or physical activity which could have an adverse impact on adjacent uses.

Any lighting fixtures shall be so installed as to project light downward and away from adjoining properties and glare to the sky. Site lighting trespass onto adjacent locations and the night sky shall be minimized. Covers must be installed on all lighting fixtures and lamps must not extend below the bottom of the cover.

The conceptual landscape plans show landscaped area in excess of minimum Carson City landscaping requirements (74,515 square feet provided). The square footage of landscaping for the 4.7 acre parcel will constitute 36% of the subject site's surface. Final landscape plans submitted with the building permit will ensure compliance with other City standards for landscaping.

3. The project will have little or no detrimental effect on vehicular or pedestrian traffic.

Per the information provided by the Engineering Division this request is not in conflict with any Engineering Master Plans for streets.

A Traffic Impact report was prepared by Palmer Engineering Group, Ltd. That report identifies that a typical high school of this size will generate approximately 850 vehicle trips on weekdays, 288 trips on weekends and 202 morning peak hour trips. However, the Silver State Charter school has seven class sessions per week, resulting in a significant decrease of the student body on campus at any given time, although staff and faculty traffic would remain constant.

It is noted that Goni Road and College Parkway are currently classified as arterial streets. As such, the roadway has more than adequate capacity to handle the expected increase in traffic volume as a result of the project.

4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

Adequate water, sewer, road, and storm drainage facilities exist or will be required by the applicant to serve the proposed development. The facility will be required to meet all other additional requirements of the Carson City Fire Department and the Carson City Sheriff's Department.

A Drainage Impact Report was completed by Palmer Engineering Group, Ltd. and submitted to City Staff on April 16, 2009. The report notes that the conveyance of the Goni Canyon Creek storm water through this site will be based on the Hydrologic and Hydraulic Report for the FEMA Condition Letter of Map Revision report dated December 1997 by Lumos and Associates.

A Water Impact Report was completed and submitted by Palmer Engineering Group, Ltd. to City Staff on April 16, 2009. Per the report, Carson City Utilities has indicated that they do not expect any issues providing domestic and irrigation water with the existing infrastructure in the immediate vicinity.

5. The project meets the definition and specific standards set forth elsewhere in this title for such a particular use and meets the purpose statement of that district.

The Public Regional zoning district identifies Federal, state and city facilities and uses whose main purpose is to sustain wide regional needs as acceptable uses. The Conditional Uses permitted in the PR District which require approval of a Special Use Permit include:

- *Buildings and facilities owned, leased, or operated by the City of Carson City, Carson City School District or any other district, State of Nevada or the government of the United States.*

All public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the special use permit and in this case have been incorporated into the conditions of approval in this staff report.

In meeting these standards, the school campus use will comply with the standards of the PR zoning district as a permitted conditional use.

6. The project will not be detrimental to the public health, safety, convenience and welfare.

The proposed campus, with staff's recommended conditions of approval, will meet all the requirements of the Carson City Municipal Code and will not be detrimental to the public health, safety, convenience, and welfare, but will provide a much needed service to the residents of Carson City.

7. The project will not result in material damage or prejudice to other property in the vicinity.

By developing this parcel of land with the proposed school and related amenities, including an aerospace technical learning center which would effectively be supported by the airport to the north; a sports field to the east adjacent to the existing limited industrial development, and a commercially developed parcel of land across Old Hot Springs Road to the south, this proposal effectively minimizes potential land conflicts with its adjacent boundaries.

One cannot overlook that placing a school on the subject site has the possibility of impacting the adjacent gaming establishment. It is not anticipated that the proposed use will result in a detrimental impact to other properties within the vicinity.

The school is planned for 1000 students, although due to the on-line distance nature of the curriculum, no more than 150 students will be on campus at any given time based on a schedule of seven sessions per week. This curriculum will result in a significant decrease of the student body on campus at any given time and that is an important factor in the proposed use.

The Comstock Casino is located on the property diagonally southwest of this parcel on property zoned Limited Industrial. Although this may appear as a minor conflict of land use with the proposed school, the properties are separated by berms, landscaping, and is across both Goni Road and Old Hot Springs Road.

Respectfully submitted,

PUBLIC WORKS DEPARTMENT, PLANNING DIVISION

Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

Attachments

- Application (SUP-09-037)
- Carson City Engineering Division comments
- Carson City Fire Department comments
- Carson City Building Division comments
- Carson City Health Department comments
- Carson City Parks & Recreation Department comments

ANDREW MACKENZIE
MIKE PAVLAKIS
JOAN C. WRIGHT
PATRICK V. FAGAN
KAREN A. PETERSON
JAMES R. CAVILIA
CHRIS MACKENZIE
DAWN ELLERBROCK



ALLISON · MACKENZIE
PAVLAKIS · WRIGHT & FAGAN
— LTD —
ATTORNEYS AND COUNSELORS AT LAW

RYAN D. RUSSELL
JENNIFER M. MAHE
ALICIA G. JOHNSON
JOEL W. LOCKE

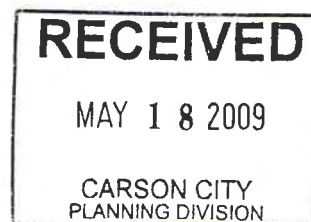
MIKE SOUMBENIOTIS
(1932-1997)

GEORGE V. ALLISON
OF COUNSEL

May 19, 2009

Via Hand Delivery

Jennifer Pruitt
Principal Planner
Carson City Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706



Re: Silver State High School/Land Use Applications;
File No.s MPA-09-035; ZMA-09-036; SUP-09-037

Dear Jennifer:

This law firm has been retained by Northern Nevada Comstock Investments, LLC ("NNCI") with regard to the above-referenced land use applications. NNCI is the owner Assessor's Parcel Numbers 008-124-22 and 008-124-20 located at the southwest corner of Goni Road and Old Hot Springs Road (3680 Goni Road). NNCI's property is directly across the intersection of Goni Road and Old Hot Springs Road from the proposed Silver State High School site.

NNCI operates the Comstock Casino on the Goni Road Property. The Comstock Casino is located on approximately 7.5 acres and includes a 14,250 square foot gaming facility. The casino offers 220 slot machines, a sports wagering venue and one restaurant. The Comstock employs approximately 40 people with an estimated annual payroll of \$1 million.

The Comstock Casino has been in operation for approximately five years, opening the non-restricted facility in July, 2004. Previously, the facility operated for five years (opened in 1999) at this location as a restricted gaming facility known as Cheers Food & Spirits. Cheers Food & Spirits originally operated under the direction of Gene Wallace for 15 years in a location approximately two blocks west of the current Comstock Casino.

NNCI also currently has a 10,000 square foot warehouse on the Goni Road property which serves as a significant slot repair facility. This slot repair facility serves various commonly owned gaming operations in the region.

The current operations utilize approximately 2 of the 7.5 acres owned by NNCI. Future plans of NNCI call for the development of a more full serve facility. Management envisions the development of an additional 40,000 square feet and will include several amenities. Future amenities may include multiple restaurants, spa, meeting/banquet space, and a lodging facility.

NNCI is very concerned about the high school use proposed for the northeast corner of Goni and Old Hot Springs Roads. The operation of a high school and possibly a future junior high school, as described in the applicant's materials, is simply not compatible with the existing nonrestricted gaming use on the NNCI property. Obviously, as a pre-existing use the current Comstock Casino should not be jeopardized by the school, but it is possible that school's existence in that location may preclude the future expansion of NNCI's gaming activities. NNCI has invested millions of dollars in the acquisition and development of its existing Goni Road facilities. This investment has been made in reliance upon the surrounding zoning and land use classifications.

Pursuant to the Regulations of the Nevada Gaming Commission and the State Gaming Control Board, applications for a state gaming license may be denied if the Gaming Control Board determines that the proposed location for which a license is sought is unsuitable. Specifically, Regulation 3.010 provides, in part, as follows:

....the following places or locations may be deemed unsuitable:

1. Premises located within the immediate vicinity of churches, schools and children's public playgrounds.(emphasis added).

The location of the proposed high school is immediately across the intersection from the Comstock Casino. As such, if permitted, the high school may impact NNCI's current gaming license and would certainly threaten any efforts to expand the Comstock's gaming activities in the future.

In addition to the referenced Gaming Regulation, Nevada case law also supports the conclusion that schools and gaming establishments should not be located in close proximity. In Clark County v. Simon & Tucker,¹ the Nevada Supreme Court upheld a local Liquor and Gaming Licensing Board's denial of a gaming license based upon the proposed location in a shopping center across the street from a junior high school.

Although Carson City has no specific ordinance precluding the location of gaming establishments near schools, other local jurisdictions in Nevada have chosen to set very specific limits in this regard. Pursuant to Douglas County Code Section 20.685.040, an applicant seeking to engage in gaming activities must demonstrate, among other things, that the proposed gaming establishment will not cause material prejudice to a public or private school whose property line is within 2,500 feet of the property line of the gaming establishment. In Clark County, areas in which gaming is allowed (Gaming Enterprise Districts) may not be expanded to include property that is

¹ Clark County Liquor and Gaming Licensing Board v. Simon & Tucker, Inc., 106 Nev. 96, 787 P.2d 782 (1990).

Jennifer Pruitt
May 19, 2009
Page 3

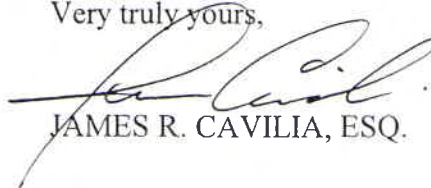
1,500 feet from property upon which a public or private school is located.² The City of Reno has adopted a similar provision, providing that the building footprint of a casino must be located at least 500 feet from the nearest existing school.³ The property lines of NNCI and the applicant in this matter are less than 100 feet apart. In fact, the high school building as proposed would likely be less than 250 feet from the existing Comstock Casino building.

NNCI appreciates the value and importance of Silver State High School to the local community. NNCI likewise appreciates the desire of the high school's administration to develop a first class, permanent facility in Carson City. Unfortunately, this proposed location is simply not appropriate. As recognized by the Nevada gaming regulators, the Nevada Supreme Court and various local jurisdictions, nonrestricted gaming and schools are just not compatible uses. As you know, the Carson City Development Code repeatedly acknowledges the importance of compatibility of neighboring land uses. The applicant's proposed school use is simply not compatible with the adjacent, existing gaming use of NNCI. In the applicant's submittals to Carson City the uses to the West, North, East and South of the site are repeatedly referenced. Unfortunately, the applicant never mentions the use to the southwest. This adjacent existing and ongoing gaming use is just not compatible with the proposed high school.

Based upon the foregoing, NNCI respectfully opposes the applications of Silver State High School for a master plan amendment, a zoning map amendment and a special use permit. NNCI encourages the Carson City Planning Commission to reject the applications for the reasons described above.

As always, if you have any questions or comments with regard to NNCI or the contents of this correspondence, do not hesitate to contact me.

Very truly yours,



JAMES R. CAVILIA, ESQ.

JRC:nm

cc: Northern Nevada Comstock Investments, Inc.

² Clark County Code, Section 30.48.260.

³ Reno Land Development Code, Section 18.08.205 (d)(3)(b)(1)(ii)

RECEIVED

APR 27 2009

CARSON CITY
PLANNING DIVISION

Carson City Planning Division
2621 Northgate Lane, Suite 62 • Carson City NV 89706
Phone: (775) 887-2180 • E-mail: plandept@ci.carson-city.nv.us

FOR OFFICE USE ONLY:

CCMC 18.02

FILE # SUP - 09 - SUP - 09 - 037**SPECIAL USE PERMIT**

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 6 Completed Application Packets (1 Original + 5 Copies) including:
 - ☐ Application Form
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Proposal Questionnaire With Both Questions and Answers Given
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date (1 copy)
 - ☐ Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

PROPERTY OWNER

Weikel Carson Air Park, Ltd.

MAILING ADDRESS, CITY, STATE, ZIP

2222 College Parkway, Carson City, NV 89706
PHONE # 775-887-7500 FAX # 775-882-2952

Name of Person to Whom All Correspondence Should Be Sent

APPLICANT/AGENT

Palmer Engineering Group, Ltd.

Mike Stephenson, PE

MAILING ADDRESS, CITY, STATE ZIP

611 North Nevada Street
Carson City, NV 89703

PHONE # 775-884-0479 FAX # 775-884-4226

mike@palmer-eng.com
E-MAIL ADDRESS

Project's Assessor Parcel Number(s):

005-011-03

Street Address

2222 College Parkway, Carson City, NV 89706

ZIP Code**Project's Master Plan Designation**

Industrial

Project's Current Zoning

L1

Nearest Major Cross Street(s)

Hot Springs Road

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: 18.04.185, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:

See attached

School in Public Regional Use District under Conditional Use**PROPERTY OWNER'S AFFIDAVIT**

I, Joni L. Weikel, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY

On April 14, 2009, Joni L. Weikel, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public



KAREN LEE SARRATEA
NOTARY PUBLIC
STATE OF NEVADA
My Appt. Exp. Sept. 26, 2009

NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

Special Use Permit
Weikel Carson Air Park Ltd.

Special Use Permit

Silver State High School is applying for this SUP to allow development of their school as a conditional use for land to be designated Public Regional. Besides the need for additional area for growth, approval of this use permit would allow development of a public school adjacent to the airport to support their aerospace curriculum. Separate applications for Master Plan and Zone Map Amendments are being submitted concurrently to allow that portion of the property to be designated Public Regional (PR).

SPECIAL USE PERMIT

for

SILVER STATE HIGH SCHOOL

**Northeast Corner
Goni & Hot Springs Roads
Carson City, Nevada 89706**

**Assessor Parcel Number
005-011-03**

SW 1/4 of Section 4, T15N, R20E, MDB&M

Prepared for:

**Weikel Carson Air Park, Ltd.
2222 E. College Parkway
Carson City, Nevada 89706
Phone (775) 887-7500
Fax (775) 882-7952**



Prepared by:

**Palmer Engineering Group, Ltd.
611 North Nevada Street
Carson City, Nevada 89703
Phone (775) 884-0479
Fax (775) 884-4226**

**April 2009
Job No. 090302**

**Questionnaire Supporting the Application
for a
SPECIAL USE PERMIT**

I How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?
--

CHAPTER 3: A BALANCED LAND USE PATTERN

Theme: The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities and retail services.

Does the proposed development meet the Growth Management Ordinance (1.1d, Municipal Code 18.12)?

Not Applicable (not a residential development)

Does the proposed development use sustainable building materials and construction techniques to promote water and energy conservation (1.1e,f)?

The design of this facility will utilize building materials and construction techniques compatible with current standards for Leadership in Energy Efficient Design (LEED) construction to promote energy efficient and sustainable structures. Special attention will be given to solar exposure to facilitate snow melt with conservation of energy a primary consideration. Energy efficient design, including but not limited to solar, green house, wind and other passive design elements will be considered for this project.

Is the proposed development located on priority infill development area (1.2a)?

The portion of this property proposed for the school is currently undeveloped, but is partly surrounded by developed properties. To the north is the Carson City Airport, east are three industrial buildings, and south is a commercial development that includes a bank and related uses. The property to the west across Goni Road is undeveloped.

This project would provide infill in an area that already is supplied by Carson City services including arterial roads capable of handling bus traffic, connections to water and sewer, and emergency services.

Does the proposed development provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

The proposed project is consistent with the city's Master Plan for Open Space and with the Carson City Unified Pathways Master Plan (CCUPMP). The development of this property has an existing on road bike lane on Goni Road and on College Parkway. The CCUPMP also shows an off street paved/shared multiuse route along East College Parkway that continues west between this parcel and the airport, connecting back to Goni Road. It appears that this is shown on airport property, although provisions could be made on the proposed school campus to either connect or continue this facility to provide for pedestrian and bicycle access to this parcel.

Does the proposed development protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

The vegetation on site is limited to native grasses and bushes (i.e. sagebrush). The only significant topographic feature is the Goni Canyon Creek drainage which will be integrated into the design of the sports field and will be maintained as a floodway in compliance with Federal Emergency Management Agency (FEMA) floodplain standards.

Is the proposed development at adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?

A public charter school placed on this site creates an opportunity to provide compatibility with existing development as well as the ability to establish buffers with the existing land uses where there already exists a minimum land use friction zone. By developing this parcel of land with the proposed school and related amenities, including an aerospace technical learning center which would effectively be supported by the airport to the north; a sports field to the east adjacent to the existing light industrial development, and a commercially developed parcel of land across Old Hot Springs Road to the south, this proposal effectively minimizes potential land conflicts with its adjacent boundaries.

The north boundary of the property borders the Carson City Airport. Locating the public charter school next to the airport enhances the school's aerospace department by providing direct access to the airport, further ensuring

compatibility as a public use. In addition, as part of the development of the project, a "through the fence" access to the airport will be developed as part of the application to the Federal Aerospace Commission.

In identified Mixed-Use areas, does the proposed development promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?

Although this project is not located specifically in a Mixed Use Area, the development of the project will provide mixed use by allowing for a public charter school adjacent to land zoned Public Regional and Light Industrial. This allows for a "mixed use" area surrounding the airport and is appropriate in context of the surrounding parcels of land.

Does the proposed development meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?

The proposed amendment introduces a new public charter school in the area that is currently zoned Industrial adjacent to the airport, which is zoned Public. This provides a minimal friction zone on the property being developed but will also be separated by a flood zone that will be used as a sports field. This will provide consistency with the airport property to the north and will prevent further development of the property.

Does the proposed development protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?

This site has no known environmentally sensitive areas, though setbacks will be held in compliance with development standards for this zoning. The Goni Canyon Creek drainage along the eastern boundary of the project will be kept as open space to accommodate the FEMA floodplain and its floodway (zone AE) with this area utilized for the high school sports field.

Is the proposed development sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?

The property has a portion of the 100 year flood plain within its boundaries. In addition, FEMA has mapped the "floodway" through the property which is described as a Zone AE floodway, described as "the floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of

encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights". The portion of the property that is located in the floodway within the floodplain will be utilized for a sports field as part of open space.

The site will be graded to allow for additional floodwaters to be routed into the floodway, minimizing the depth of flow in the floodplain, in addition, the school building and facilities will be constructed so that the finish floor will be one foot above the floodplain as required by the FEMA. See FEMA exhibits.

The site is located in an area designated as having a moderate potential for shaking during earthquakes. Although there are no known geologic hazards located within the parcel, there is a questionable fault shown on the earthquake hazards map that is in the proximity of Goni Road that is west of the west boundary of the property and is shown as having the least potential hazard for surface displacement. See Earthquake Hazard Map exhibits.

Does the proposed development provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?

The project is located at the intersection of Goni Road and Old Hot Springs Road that is currently served by city water and sewer and provides access for both the fire and sheriff departments. There will be a bus drop off road in front of the school that will be designed to provide adequate turning radii for fire trucks as well as quick access for sheriff department vehicles.

The new building will allow for anticipated expansion of the existing school and will provide additional school bus service which results in less of a demand on the existing school district.

If located within an identified Specific Plan Area (SPA), does the proposed development meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

Not Applicable

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES

Theme: The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Does the proposed development provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?

The proposed Special Use Permit will be based on a land use change from Limited Industrial to Public Regional to allow for a school on the parcel. Although not a residential development, the school will have recreational facilities (i.e. sports field, etc.) which will be utilized by students for physical education, sports and recreation.

Is the proposed development consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

The proposed amendment is consistent with the city's Master Plan for Open Space and with the Carson City Unified Pathways Master Plan (CCUPMP). The development of this property has an existing on road bike lane on Goni Road and on College Parkway. The CCUPMP also shows an off street paved/shared multiuse route along East College Parkway that continues west between this parcel and the airport, connecting back to Goni Road. It appears that this is shown on airport property, although provisions could be made on the proposed school campus to either connect or continue this facility to provide for pedestrian and bicycle access to this parcel.

CHAPTER 5: ECONOMIC VITALITY

Theme: The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities and other economic strengths vital to a successful community.

Does the proposed development encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)

The proposed public charter school has an existing staff of approximately 30 employees. The proposed new facility will allow for the future expansion of grades 9-12, as well as the addition of a junior high school. It is estimated that the employment will be increased in proportion to the number of students to approximately 40, which will include additional teaching positions as well as administrative and support staff not only maintaining the primary job base, but increasing the number of jobs in the short term future.

Does the proposed development encourage the development of regional retail centers (5.2a)?

Not Applicable

Does the proposed development encourage reuse or redevelopment of underused retail spaces (5.2b)?

Not Applicable

Does the proposed development support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capital (5.4a)?

Not Applicable

Does the proposed development promote revitalization of the Downtown core (5.6a)?

Not Applicable

Does the proposed development incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

Not Applicable

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS

Theme: The Carson City Master Plan seeks to promote save, attractive and diverse neighborhoods, compact mixed-use activity centers and a vibrant, pedestrian-friendly Downtown.

Does the proposed development use durable, long-lasting building materials (6.1a)?

The building materials selected for the facility will focus on a high level of resiliency and durability with the goal to minimize maintenance and upkeep costs. Split face block and stucco will be the principle materials used in the structure.

Does the proposed development promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?

Architectural design of the proposed public charter high school will adhere to the functional norms for structures of this nature, including split face block for columns and prominent features, stucco of varying shades, large expanses of glass where applicable on the east, south and west sides and with a campus layout for traffic flow, parking, landscaping, and other amenities to provide a visual interest in the site.

Does the proposed development provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?

Yes. See proposed building elevations and site layout on attached plans.

Does the proposed development provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

This amendment to the Master Plan is proposed to permit the construction of a new school which would allow for the development of an undeveloped site which is partly surrounded by developed properties; Carson City Airport to the north, three industrial buildings to the east, and a commercial development to the south that includes a bank and related uses. The property to the west across Goni Road is undeveloped.

This project promotes compatibility with the surrounding development and adjacent uses and would provide infill in an area that will provide consistency with the surrounding properties.

If located in an identified Mixed-Use Activity Center area, does the proposed development contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

Not Applicable

If located Downtown, does the proposed development integrate an appropriate mix and density of uses (8.1a, e)?

Not Applicable

If located Downtown, does the proposed development include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?

Not Applicable

If located Downtown, does the proposed development incorporate appropriate public spaces, plazas and other amenities (8.1d)?

Not Applicable

Does the proposed development incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

Not Applicable

CHAPTER 7: A CONNECTED CITY

Theme: The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities and sidewalks.

Does the proposed development promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

The proposed amendment is adjacent to the airport that is already served by Goni Road and College Parkway, plus it is within a mile of the new Carson City Freeway. In addition it is served by existing on-road bicycle facilities as shown on the Carson City Unified Pathways Master Plan.

It will be served by school buses that use will existing major travel corridors that could also support differing transit systems in the future.

Does the proposed development maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

The site is located less than one mile from the Carson City Freeway and has direct access off College Parkway and Goni Road, both of which have the ability to serve the proposed school facilities traffic needs which is consistent with the Transportation Master Plan.

Does the proposed development provide for appropriate pathways through the development and the surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1 a, c)?

The proposed amendment is consistent with the Carson City Unified Pathways Master Plan (CCUPMP). The development of this property has an existing on road bike lane on Goni Road and on College Parkway. The CCUPMP also shows an off street paved/shared multiuse route along East College Parkway that continues west between this parcel and the airport, connecting back to Goni Road. It appears that this is shown on airport property, although provisions could be made on the proposed school campus to either connect or continue this facility to provide for pedestrian and bicycle access to this parcel which would be consistent with the Unified Pathways Master Plan.

II Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

A. Adjoining Land Use and Zoning:

DIRECTION	USE	ZONING
West	Industrial	General Industrial (GI)
North	Public/Quasi-Public (Airport	Public Regional (PR)
East	Public/Quasi-Public (Airport	Public Regional (PR)
South	Industrial	Limited Industrial (LI)

- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems such as noise, dust, odors, vibration, fumes, glare or physical activity, etc with neighboring property owners. Will the project involve any uses that are not contained within the building? If yes, please describe. If not, state that all uses will be within a building. Explain how construction-generated dust (if any) will be controlled. Have other properties in your area obtained approval of similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.

A school would be an allowed conditional use in a Public Regional zone if the Master Plan and Zone Map amendments are adopted and the Special Use permit approved. Given the surrounding neighborhood's Public Regional, Limited Industrial and General Industrial zoning, exterior noises and physical activity typical of a secondary school is not a probable concern. Examples of activities that may occur outside the building would be aviation related group meetings, graduation ceremonies, and sporting events.

Although dust is a common concern during construction, mitigation measures for dust control (e.g. water trucks) will be utilized as mandated by the Nevada Department of Environmental Protection. See floor plans and building elevations for the physical appearance of the proposed campus.

- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

Through a change of land use from Industrial to Public Regional coupled with an approved Special Use Permit allowing a public, public charter school, this project complies with the intent of public use in a regional application. Since the airport is already on land designated Public Regional, this proposed amendment to the Master Plan and Zoning merely shifts the current boundary line between Public Regional and Limited Industrial zones. This permitted use is not expected to have a detrimental impact on the surrounding property or neighborhood in general.

- D. Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have when it is successfully operating? Will vehicles be making left turns? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? What will be the emergency vehicle response time? State how you have arrived at your conclusions. What City department have you contacted in researching your proposal? Explain the effect of your project with the existing traffic in the area.

Any impacts caused by this amendment to the project will be mitigated by the necessary traffic studies and improvement to accommodate new traffic levels. Based on preliminary estimates, the projected end trips and peak hour trips at the school fall below the thresholds requiring a formal traffic study per 12.13.1 of the city's development standards.

- E. Explain any short range and long range benefit to the people of Carson City that will occur if your project is approved.

Short range, this project will benefit the people of Carson City by contributing to the economy through construction of the new school's buildings and campus, including material suppliers, the building trades and design professionals. Long term, the city will benefit from an improved facility to provide educational opportunities to the city's middle and high school students plus provide employment for maintenance personnel, faculty and administrative staff.

III Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?

As a public charter high school sponsored by Nevada State Board of Education, this project allows for the growth and expansion of a very successful alternative to the conventional public high school. Recent studies and test scores of the school confirm the teaching methods, academic culture and curriculum offered by the institution to be exemplary. Given the location and physical constraints of their current facility, a new, expanded campus as allowed by a Special Use Permit would provide the environment for continued growth and success in the development of students in the public education system.

This project is expected to no affect on the Sheriff's Office, other than to possibly reduce the incidents of juvenile delinquency due to Silver State's positive influence on middle and high school students.

- B. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? (Contact Engineering for required information.)

The property has a portion of the 100 year flood plain within its boundaries. In addition the FEMA has mapped the 'floodway' through the property which is described as a Zone AE floodway, described as "the floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights". The portion of the property that is located in the floodway within the floodplain will be utilized for a sports field as part of open space.

The site will be graded to allow for additional floodwaters to be routed into the floodway, minimizing the depth of flow in the floodplain, in addition, the school building and facilities will be constructed so that the finish floor will be one foot above the floodplain as required by the FEMA. See FEMA exhibits.

- C. Are the water supplies serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? (Contact Public works for the required information.)

This project will be utilize the existing water and sewer system; a 12" PVC water main in Hot Springs Road south of the project plus an 8" PVC sewer line to the west of the property in Goni Road. If pipe slopes or sewer capacity is a problem, the development also has the ability to connect to the 8" sewer line that presently serves the property accessed by the cul-de-sac on Challenger Way. Added demand on the existing lines is estimated at 5-10% of capacity, thus not expected to be an issue.

- D. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? (Contact Public works for the required information.)

Reference item C above.

- E. What kinds of road improvements are proposed or needed to accommodate your project? Have you spoken to Public Works or Regional Transportation road improvements?

The proposed high school borders the southern boundary of the airport which is currently served by Goni Road and College Parkway. It is also accessible to the on-road bicycle facilities as shown on the Carson City Unified Pathways Master Plan. The school will be served by district school buses that will use existing major travel corridors that could support alternative transit systems in the future.

The site is located about 1/2 mile from the Carson City Freeway and has direct access to College Parkway and Goni Road, both of which have the ability to serve the proposed school facilities traffic needs consistent with the Transportation Master Plan.

- F. Indicate the source of the information that you are providing to support your conclusions and statements made in this packet (private engineer, Public Works, Regional Transportation, title report, or other sources).

This application package was prepared by Palmer Engineering Group, Ltd in consultation with GL Szabo & Associates. The primary source of information is the experience and knowledge these firms possess of Carson City and its planning and development requirements. The city's planning department was contacted regarding the unique parking requirements for this public charter high school. The city's utility department was contacted regarding the capacity of existing water and sewer lines to accommodate the project.

- G. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage, height, placement) provided.

Exterior lighting will comply with Carson City's requirements for lighting that will be shielded and minimize infringement on neighboring properties. Although the specific lighting has not been chosen, a submittal will be made to the planning department for approval of the fixture in the final design process.

- H. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscaping shown on the plan which complies with City ordinance requirements.

Landscaping for the project will be in compliance with city standards. Design will adhere to norms for school campuses with special consideration given to utilization of low water use plants consistent with current trends toward the use of zeroscape landscaping when at all possible. The landscaping will include berms along both Goni Road and Old Hot Springs Road to provide for buffers for traffic. See attached plans.

- I. Provide a parking plan for your project. If you are requesting approval for off-site parking within 300 feet, provide site plans showing 1) parking on your site, 2) parking on the off-site parking lot and 3) how much of the off-site parking area is required for any business other than your own. Design and dimensions of parking stalls, landscaping islands and traffic aisles must be provided.

Carson City's Planning Department and Silver State High School administrators were consulted for the unique parking requirements for the students and staff for the proposed high school. It is not anticipated that off-site parking will be allowed, or required, for this project. Design of the parking plan is shown on the attached plans.

If there is any other information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include this information.

Silver State High School is seeking land that will provide for the development of a new school with space for future expansion, allow for an aerospace division and provide adequate area for a sports field. The property that is currently under consideration for a Master Plan Amendment, Zone Plan Amendment and Special Use Permit is recognized for its potential to meet that need, plus it is served by existing facilities. This proposed use for the land provides for a more efficient and desirable use of the land both for the applicant and for Carson City.

ACKNOWLEDGEMENT OF APPLICANT

I certify that the foregoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

John H. Wakefield
Signature of Applicant

4-14-09
Date

Palmer Engineering Group, Ltd.

611 North Nevada Street · Carson City, NV 89703 · (775) 884-0479 Fax: 884-4226

April 15, 2009

Lee Plemel, Director
Carson City Development Services - Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706

Re: Traffic Impact Report - Special Use Permit
Goni & Hot Springs Road, Carson City – APN 005-011-03

Dear Mr. Plemel:

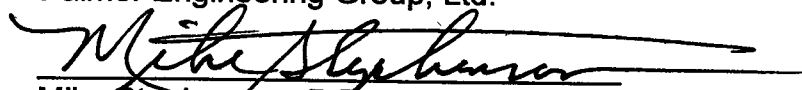
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Per the Institute of Transportation Engineers - 7th Edition, a typical high school of this size will generate about 850 vehicle end trips on weekdays, 288 end trips on weekends and 202 morning peak hour trips on weekdays (see attached). However, this public charter school has 7 class sessions per week, resulting in 1/7th of the student body on campus at any given time, although staff and faculty traffic should remain constant. The school will also include junior high students, further reducing the student-vehicle ratio.

Allowing for a reduced student body with full staff, a 1/5 factor is considered an appropriate adjustment to these ITE estimates, resulting in 170 weekday end trips, 58 weekend trips and 40 peak weekday morning trips, respectively. These values are below the threshold 500 end trips or 80 peak-hour trips requiring a traffic impact study per 12.13.1 of the city's development standards. Furthermore, Goni Road and College Parkway - both arterial streets - are expected to have adequate capacity to accommodate the charter high school traffic.

Sincerely,

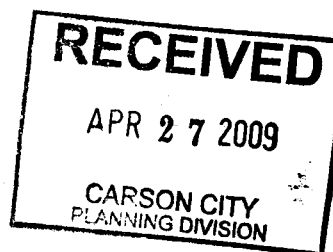
Palmer Engineering Group, Ltd.


Mike Stephenson, P.E.
Project Engineer

Attachments

c: Steve Knight – Silver State High School

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= SUP - 09 - 037
ZMA - 09 - 036
MPA - 09 - 035

High School (530)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

$$A = 65,961 \text{ sf}$$

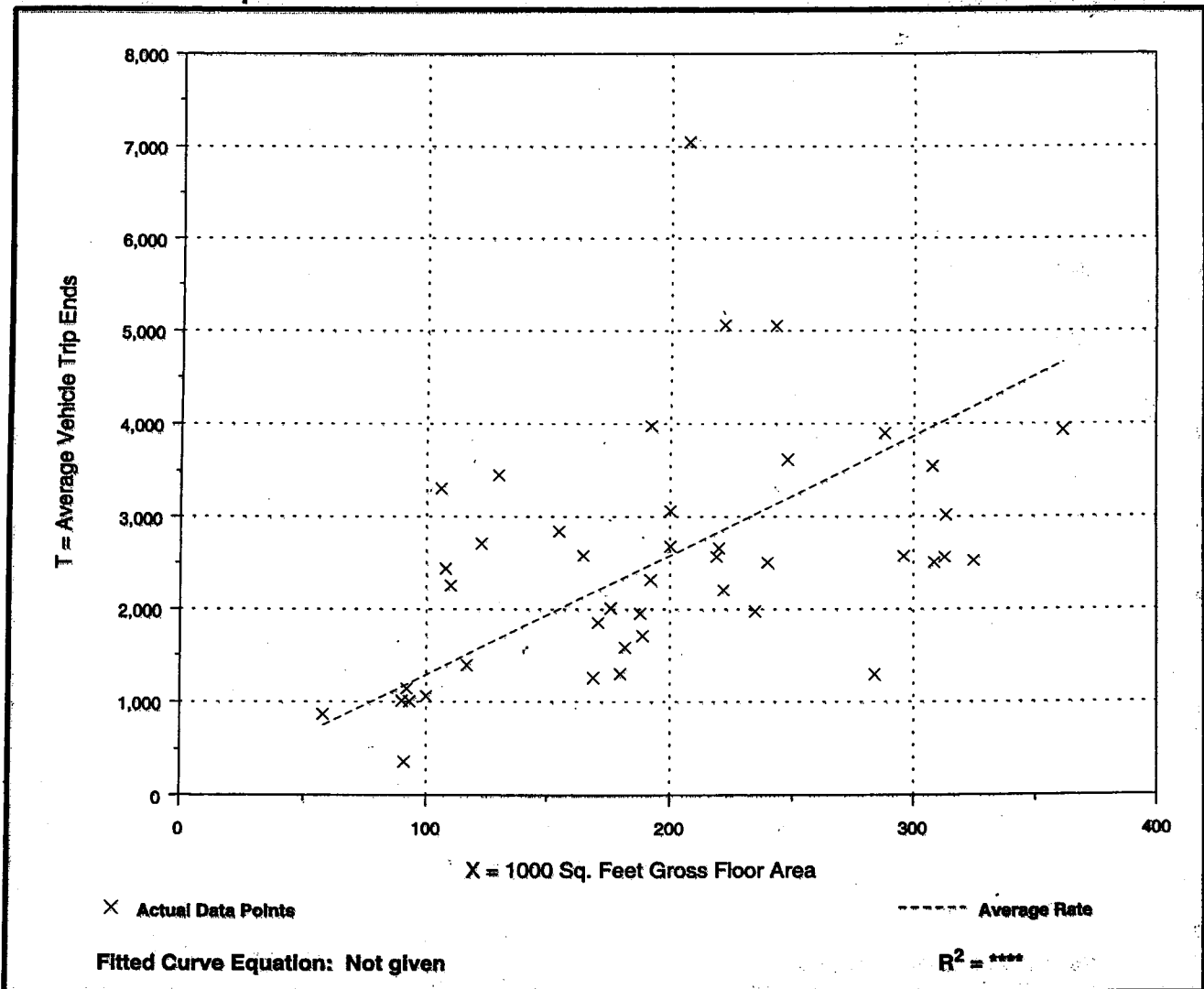
Number of Studies: 43
Average 1000 Sq. Feet GFA: 196
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
12.89	4.00 - 34.06	7.17

Data Plot and Equation

$$\text{TRIPS} = 12.89 (65,961 \text{ sf}) = 850 \text{ TRIPS}$$



High School (530)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Saturday

$$A = 65,961 \text{ sf}$$

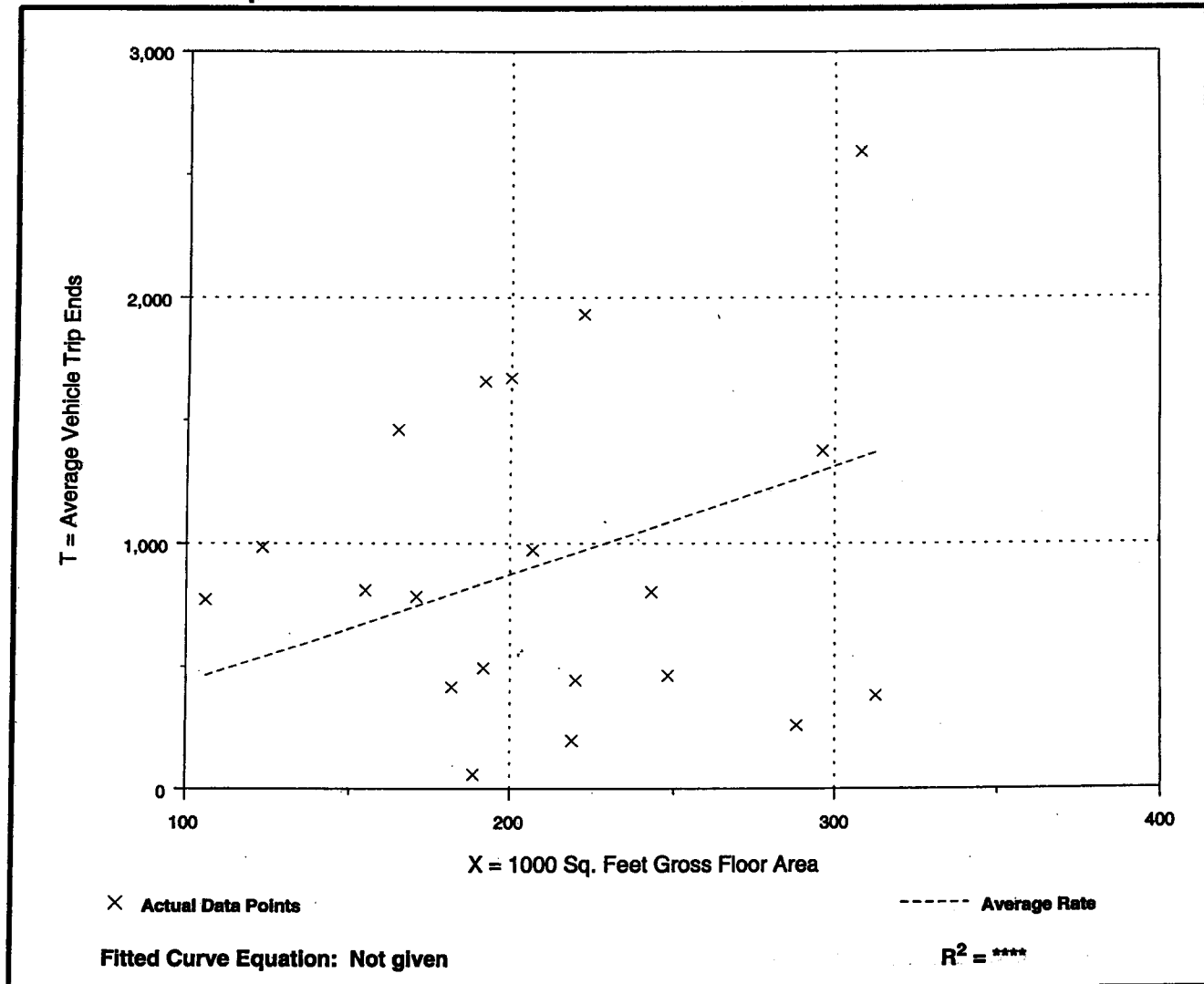
Number of Studies: 20
Average 1000 Sq. Feet GFA: 212
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
4.37	0.31 - 8.85	3.67

Data Plot and Equation

$$\text{TRIPS} = 4.37 (65,961 \text{ sf}) = 288 \text{ TRIPS}$$



High School (530)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
A.M. Peak Hour

$$A = 65.961 \text{ sf}$$

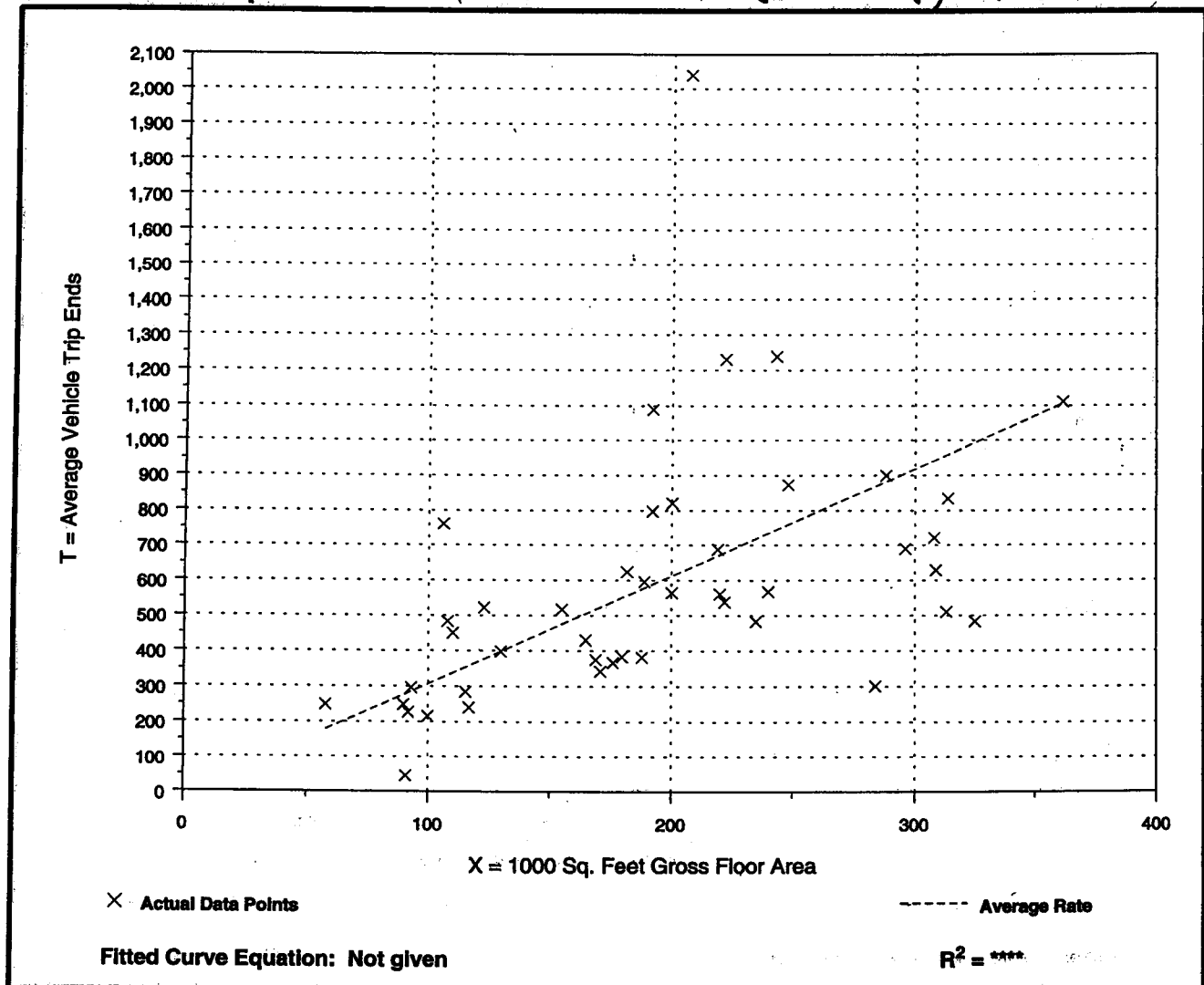
Number of Studies: 44
Average 1000 Sq. Feet GFA: 194
Directional Distribution: 71% entering, 29% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
3.06	0.51 - 9.86	2.36

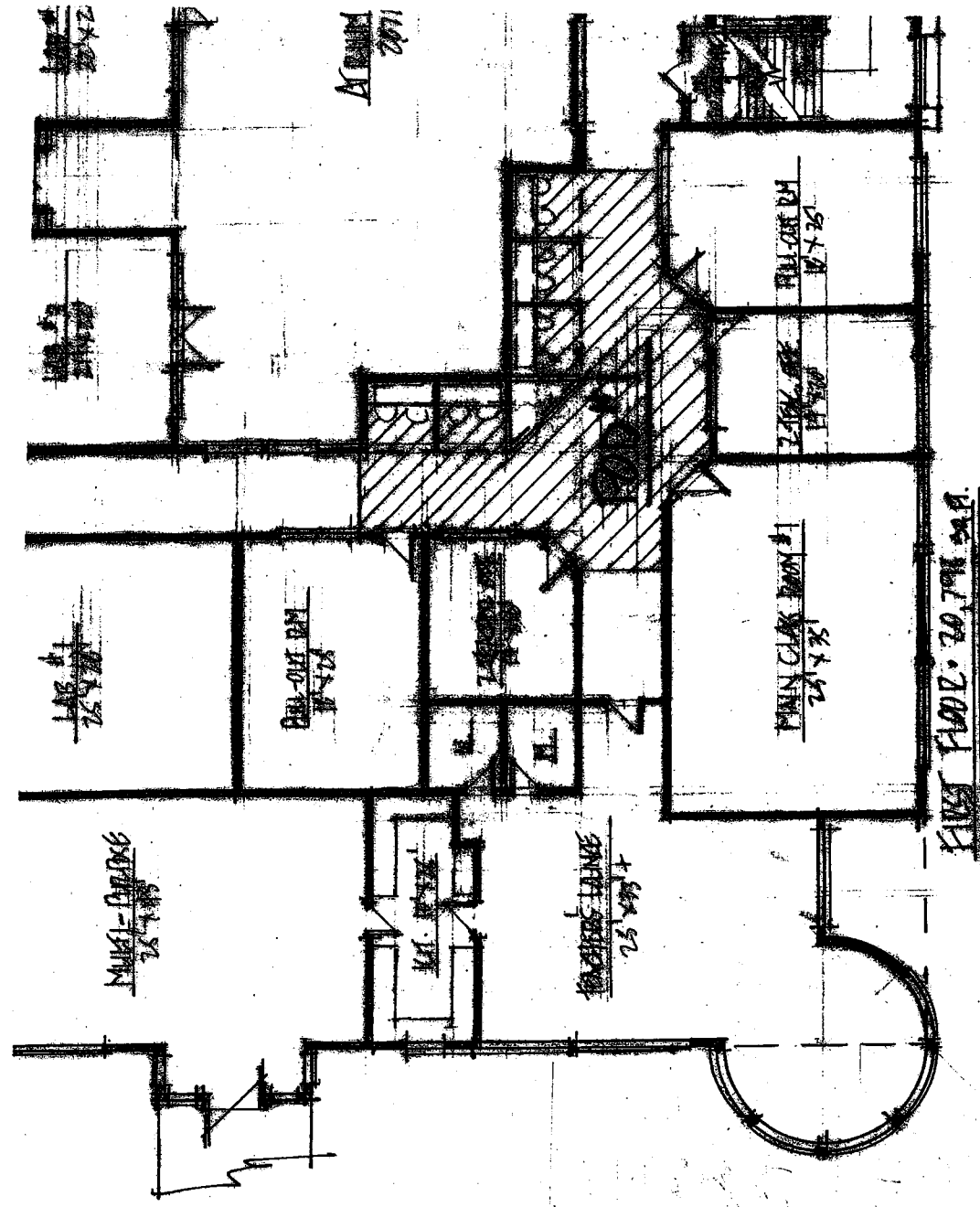
Data Plot and Equation

$$\text{PEAK HOUR} = 3.06(65.961 \text{ sf}) = 202 \text{ TRIPS}$$



LAUREL SCHOOL
4/9/09

SILVER STATE



SUMMARY

LAUREL SCHOOL:
1ST FLOOR - 20,796 sq. ft.
2ND FLOOR - 10,065 sq. ft.
TOTAL - 30,861 sq. ft.
LAUREL SCHOOL:
1ST FLOOR - 20,796 sq. ft.
2ND FLOOR - 10,065 sq. ft.
TOTAL - 30,861 sq. ft.
LAUREL SCHOOL:
1ST FLOOR - 20,796 sq. ft.
2ND FLOOR - 10,065 sq. ft.
TOTAL - 30,861 sq. ft.

Palmer Engineering Group, Ltd.

611 North Nevada Street · Carson City, NV 89703 · (775) 884-0479 Fax: 884-4226

April 15, 2009

Lee Plemel, Director
Carson City Development Services - Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706

Re: Parking; Silver State High School – Airport Campus
Goni & Hot Springs Road, Carson City – APN 005-011-03

Dear Mr. Plemel:

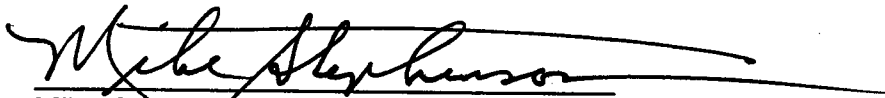
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Parking needs for the new school was based on current use information provided by Steve Knight, Silver State's Principal and Executive Administrator. Based on the parking requirements of the existing school at College Parkway and North Carson Street, the parking requirement for the new school is estimated to be 92 spaces (see attached worksheet). Parking on the conceptual site plan exceeds this amount with 136 planned parking stalls.

Should you have any questions or require additional information, please contact us.

Sincerely,

Palmer Engineering Group, Ltd.



Mike Stephenson, P.E.
Project Engineer

Attachments

c: Steve Knight – Silver State High School

D:\2009\090302 Silver State High School Land Plan\Reports\SUP Parking.doc

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APR 27 2009

CARSON CITY
PLANNING DIVISION

= SUP - 09 - 037

ZMA - 09 - 036

MPA - 09 - 035

Palmer Engineering Group, Ltd.

611 North Nevada Street

Carson City, NV 89703

(775) 884-0479 Fax: 884-4226

Parking Summary Silver State Charter High School Airport Campus Job No. 090302 April 2009

Per Steve Knight, Executive Administrator / Principal

Staff

New School Staff (37), allow: 40 Stalls
Parents, visitors, etc: 10 Stalls

Student Body (total): 1000 students

Sessions per week: 7

Students on campus at any given time: $1000 / 7 = 143$

Student Drivers:

Freshman 0%

Sophomores 0%

Juniors 30%

Seniors 90%

Average = $(0\% + 0\% + 30\% + 90\%) / 4 = 30\%$

Student parking Stalls = $143 \text{ students} \times 30\% \text{ with cars} = 42 \text{ stalls}$

Total Parking Stalls Required (minimum) = $40 + 10 + 42 = 92$

Stalls provided (approximate): 136

Mike Stephenson, P.E.

From: Alan Staggs [astaggs@sshs.org]
Sent: Tuesday, March 24, 2009 8:49 AM
To: 'Mike Stephenson, P.E.'
Subject: RE: Parking - Silver State High School

Mr. Stephenson:

When we wrote the letter to Mr. Sullivan last January our school's total population was 425. The maximum number of students on any given day was around 60-70. The number of administration, staff, and teaching personnel would have been 27 people. Realize that most of the students indicated do not drive, but are dropped off or ride with another student.

Alan

Alan Staggs
Vice Principal



Silver State High School
3719 N. Carson Street
Carson City, NV 89706

Phone (775) 883-7900
Fax (775) 883-9130

Student Centered,
Teacher Driven,
Web-Based Education.

From: Mike Stephenson, P.E. [mailto:mike@palmer-eng.com]
Sent: Tuesday, March 24, 2009 8:42 AM
To: 'Alan Staggs'
Cc: Mark Palmer
Subject: Parking - Silver State High School

Mr. Staggs,

When you wrote this letter to Mr. Sullivan last January, what was the high school's: 1) total student population, 2) maximum number of students on any given day & 3) number of administration, staff & teaching personnel? This will help us apply student/staff parking ratios for the new campus.

Any questions, please call.

Best regards,

Mike Stephenson, PE
Palmer Engineering Group, Ltd.
775-884-0479 (fax 884-4226)

-----Original Message-----

From: Alan Staggs [mailto:astaggs@sshs.org]
Sent: Tuesday, March 24, 2009 8:03 AM
To: 'Mike Stephenson, P.E.'
Subject: RE: Parking - Silver State High School

<< File: Carson City Parking Letterhead.doc >>

Alan Staggs
Vice Principal

Silver State High School
3719 N. Carson Street
Carson City, NV 89706

Phone (775) 883-7900
Fax (775) 883-9130

Student Centered,
Teacher Driven,
Web-Based Education.

From: Mike Stephenson, P.E. [mailto:mike@palmer-eng.com]
Sent: Friday, March 20, 2009 1:12 PM
To: Alan Staggs
Cc: Mark Palmer
Subject: Parking - Silver State High School

Mr. Staggs,

Mark Palmer indicated you had provided Carson City's Planning Department with a justification for your student parking requirements for your school on North Carson Street. If possible, please send me that information for our use to aid in the justification of the number of parking stalls needed for the proposed school near the Airport.

Please contact me with any questions relative to this request.

Best regards,

Mike Stephenson, PE
Project Manager
Palmer Engineering Group, Ltd.
611 North Nevada Street
Carson City, NV 89703
775-884-0479 (Fax 884-4226)
mike@palmer-eng.com



Silver State Charter High School

3719 N. Carson St
Carson City, NV 89706
Phone: (775) 883-7900
Fax: (775) 883-9130
www.sshs.org

Walter Sullivan
Director, Planning Division
Development Services Department
2621 Northgate Lane, Suite 62
Carson City, Nevada 89706

January 14, 2008

Dear Mr. Sullivan:

The purpose of this letter is to address the status of Silver State High School issuing Parking Permits and provide a parking study per your request. Regarding the issuance of Parking Permits, students and staff have been instructed to obtain a Parking Permit from school administration. The new semester starts February 4 and all students and staff are required to have parking permits at that time. Consequences for parking in the school parking lot, which has been designated as the parking lot immediately behind 7-11, will result in their car being towed at owner's expense. To the date of this communication, we have issued 45 parking permits to students and staff.

To get an idea of the potential number of permits that will be issued, we conducted a parking study that included data beginning in November. We counted the number of cars that were in our parking lot versus the number parking spaces available behind the 7-11 building. On average, we found that on Mondays, there were around 25 cars in the parking lot; Tuesday mornings, there were 35 cars and in the afternoons, 30 cars; Wednesday mornings, there were 46 cars and in the afternoon 38 cars; Thursday mornings, our biggest day, there were 47 cars and 35 cars in the afternoon. Fridays there were no more than 30 cars at any given time. Be advised that we have 23 staff members who drive and are reflected in the above numbers. As the same student cars are often counted being here for both the morning and afternoon (both sessions) we project the potential permits that will be issued at around 100. Realize that all our students do not attend everyday but have assigned days, but can attend other days for tutoring.

I hope the information provided is helpful in your decision making process. If I can be of further assistance, please do not hesitate to contact me at the phone number printed above.

Thank you for your time in this matter.

Alan Staggs
Assistant Administrator

Palmer Engineering Group, Ltd.

611 North Nevada Street • Carson City, NV 89703 • (775) 884-0479 Fax: 884-4226

April 15, 2009

Lee Plemel, Director
Carson City Development Services - Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706

Re: Sewer Impact Report – MPA, ZMA & Special Use Permit
Goni & Hot Springs Road, Carson City – APN 005-011-03

Dear Mr. Plemel:

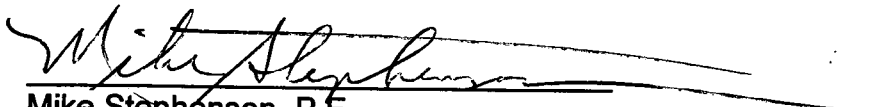
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According to Manhard Consulting, Ltd, their analysis of the city's sewer model confirms the existing sewer main has adequate capacity to accommodate the development of this project. See letter from Manhard, attached.

Should you have any questions or require additional information, please contact us.

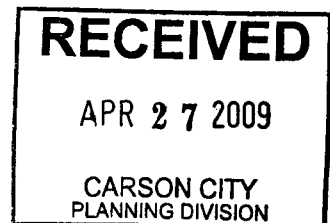
Sincerely,

Palmer Engineering Group, Ltd.


Mike Stephenson, P.E.
Project Engineer

Attachments

c: Steve Knight – Silver State High School



- SUP - 09 - 037
- ZMA - 09 - 036

MPA - 09 - 035



Civil Engineers
Surveyors
Water Resources Engineers
Water & Wastewater Engineers
Construction Managers
Environmental Scientists
Landscape Architects
Planners

April 14, 2009

Mr. Mike Stephenson, P.E.
Palmer Engineering Group, Ltd.
611 Nevada Street
Carson City, NV 89703

Re: Silver State Charter High School - Carson City Sewer Capacity

Dear Mike:

The proposed project is to be located generally at the corner of Goni Road and Old Hot Springs Road. Even though you are proposing a land use change, from Limited Industrial to Public, the estimated flow rate generated is the same. The Carson City Sewer model (currently in HYDRA) with the existing flows based on land use shows that there are no pipes with a d/D of 0.75 or greater between the proposed site and the treatment plant. This area is only served by gravity mains.

If you have any questions, please feel free to contact me at 882-5630 ext 4914.

Sincerely,
MANHARD CONSULTING, LTD.


Rebecca Bernier, P.E.
Project Manager

Manhard Consulting, Ltd.
3476 Executive Pointe Way, Suite 12 • Carson City, Nevada 89706
Tel. (775) 882-5630 • fax (775) 885-7282 • www.manhard.com
ARIZONA • COLORADO • GEORGIA • ILLINOIS • INDIANA • NEVADA
C:\Documents and Settings\rbarnier\Desktop\Silver State.doc

1 inch equals 200 feet

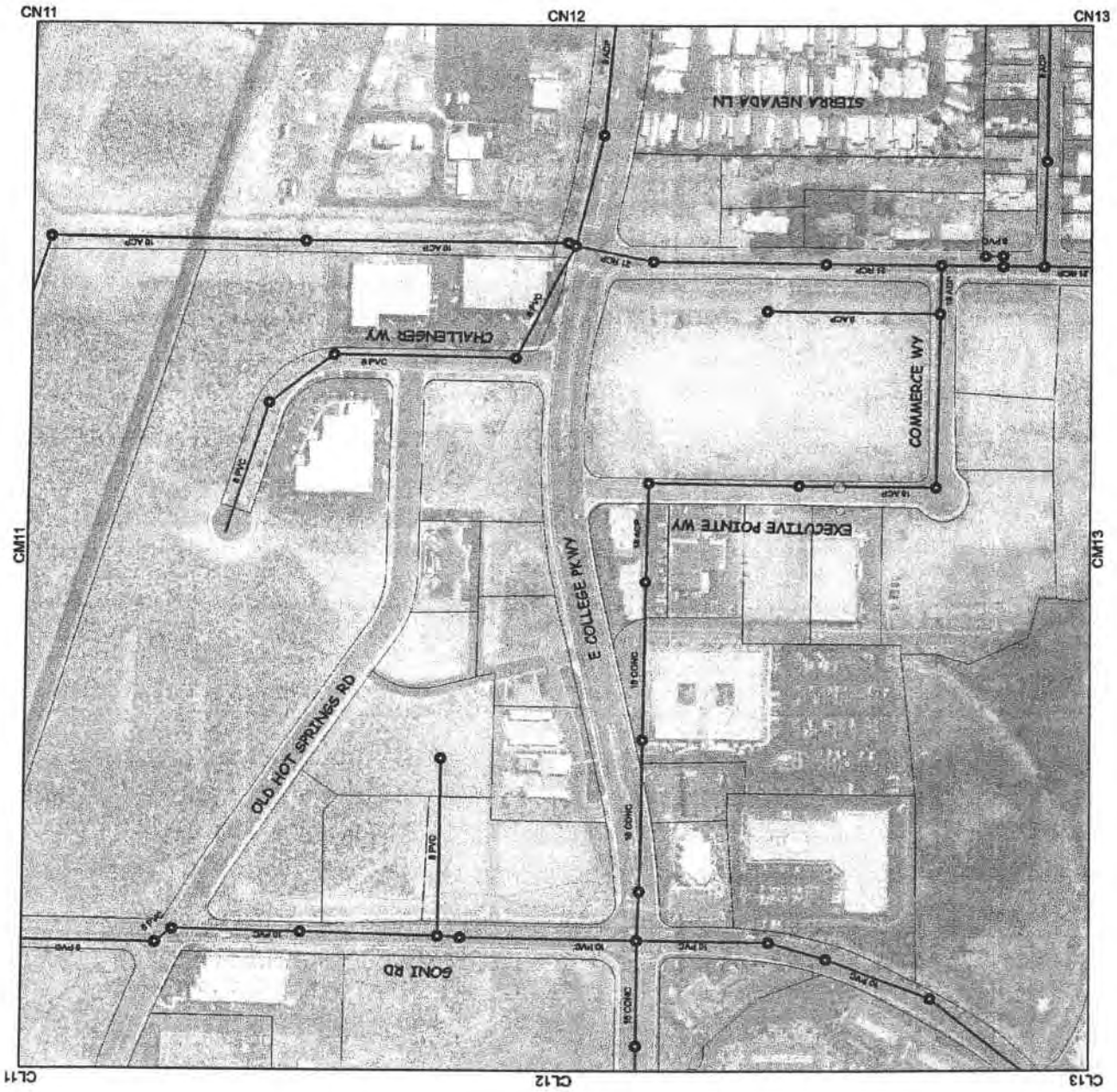
A large, empty rectangular box with a thin black border, occupying most of the page. It is intended for a drawing or a detailed response.

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper has a slightly aged or off-white appearance.

Mar 01, 2006



MAP PAGE: CM12



Palmer Engineering Group, Ltd.

611 North Nevada Street · Carson City, NV 89703 · (775) 884-0479 Fax: 884-4226

April 15, 2009

Lee Plemel, Director
Carson City Development Services - Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706

Re: Water Impact Report - Special Use Permit
Goni & Hot Springs Road, Carson City – APN 005-011-03

Dear Mr. Plemel:

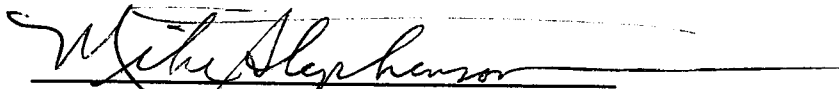
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The school is planned for 1000 students, although no more than 150 students will be on campus at any given time based on a schedule of 7 sessions per week. Allowing for 15 gallons/day per person with 150 students and 37 faculty/staff, the projected domestic water usage is 2,800 gpd. Carson City Utility Department has indicated they do not expect any problems providing domestic and irrigation water with the existing water mains Hot Springs and Goni Roads; see attached memo.

Should you have any questions or require additional information, please contact us.

Sincerely,

Palmer Engineering Group, Ltd.


Mike Stephenson, P.E.
Project Engineer

Attachment

c: Steve Knight – Silver State High School

D:\2009\090302 Silver State High School Land Plan\Reports\SUP Water.doc

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CARSON CITY
PLANNING DIVISION

SUP - 09 - 037
ZMA - 09 - 036

MPA - 09 - 035

Palmer Engineering Group, Ltd.

611 North Nevada Street · Carson City, NV 89703 · (775) 884-0479 Fax: 884-4226

April 15, 2009

Lee Plemel, Director
Carson City Development Services - Planning Division
2621 Northgate Lane, Suite 62
Carson City, NV 89706

Re: Drainage Impact Report - Special Use Permit
Goni & Hot Springs Road, Carson City – APN 005-011-03

Dear Mr. Plemel:

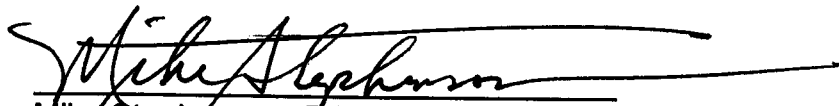
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Conveyance of the Goni Canyon Creek storm water through this property will be based on the Hydrologic and Hydraulic Report for the FEMA Conditional Letter of Map Revision report (December 1997) by Lumos & Associates and the Boardwalk / Weikel Development Drainage Report (January 2000, rev May 2000) by Haddan Engineering. Site drainage and hydraulic improvements will follow the general recommendations of these studies subject to approval of Public Works.

Should you have any questions or require additional information, please contact us.

Sincerely,

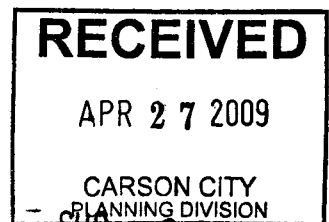
Palmer Engineering Group, Ltd.


Mike Stephenson, P.E.
Project Engineer

Attachment

c: Steve Knight – Silver State High School

D:\2009\090302 Silver State High School Land Plan\Reports\SUP Drainage.doc



- SUP - 09 - 037
ZMA - 09 - 036
MPA - 09 - 035

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE CENTERLINE OF HOT SPRINGS PARKWAY, BEING SHOWN AS EXISTING LINES ON THE RECORD OF SURVEY, RECORDED AS MAP NO. 2007, OF THE CITY OF CARSON, NEVADA.

STATE OF NEVADA
COUNTY OF CLATSOP
CITY OF CARSON



POINT 1/4" BEARS 12.50' FROM CENTER OF SECTION 1



LEGEND:

- 1/4 CORNER AS INDICATED
- STREET MONUMENT
- CENTERLINE
- P.U.L. - PUBLIC UTILITY EASEMENT
- EXISTING 8" SANITARY SEWER
- EXISTING WATER LINE, SIZE AS INDICATED
- NEW 8" PVC SANITARY SEWER MAIN
- NEW 12" W. PIPE C/SIDING CONCRETE, SIZE AS INDICATED
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- SHADED AREAS INDICATE NEW ASPHALT

LINE	LENGTH	BEARING	REMARKS
1	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
2	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
3	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
4	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
5	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
6	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
7	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
8	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
9	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
10	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
11	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
12	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
13	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
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96	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
97	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
98	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
99	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER
100	10.00	N 0° 00' 00" E	EXISTING 8" SANITARY SEWER

HOT SPRINGS ROAD SECTION

SECTION 1/4"

NOT TO SCALE

HOT SPRINGS ROAD SECTION

SECTION 1/4"

NOT TO SCALE

SETBACKS:

FRONT 30'

SIZE 30'

REAR 30'

BASE OF BEARINGS

BASE OF BEARINGS

UTILITY SERVICES:

ALL NEW UTILITIES SHALL BE UNDERGROUND

MASTER PLAN DESIGNATION

LI - LIGHT INDUSTRIAL

NOTES:

1. ALL PARCELS SHALL BE SUBJECT TO CARSON CITY'S GEOTECHNICAL MANAGEMENT ORDINANCE

FLOOD ZONE DESIGNATION:

ZONE A & B - FLOOD ZONE CITY OF CARSON CITY

OWNER:

LANDMARK VENTURE DEVELOPMENT

ENGINEER:

HADDAN ENGINEERING

ASSESSOR'S PARCEL NO. 8-133-11

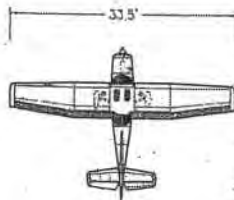
TOTAL AREA = 14.29 ACRES

MAP TO ACCOMPANY APPLICATION FOR TENTATIVE SUBDIVISION

WEIKEL DEVELOPMENT

HADDAN ENGINEERING

300 S. JENNIFER STREET, CARSON CITY, NEVADA 89703

[illegible]

RECEIVED
APR 27 2009

APR 27 2009
CARSON CITY
PLANNING DIVISION

BUILDING FOOTPRINT CONCEPT - SECOND FLOOR

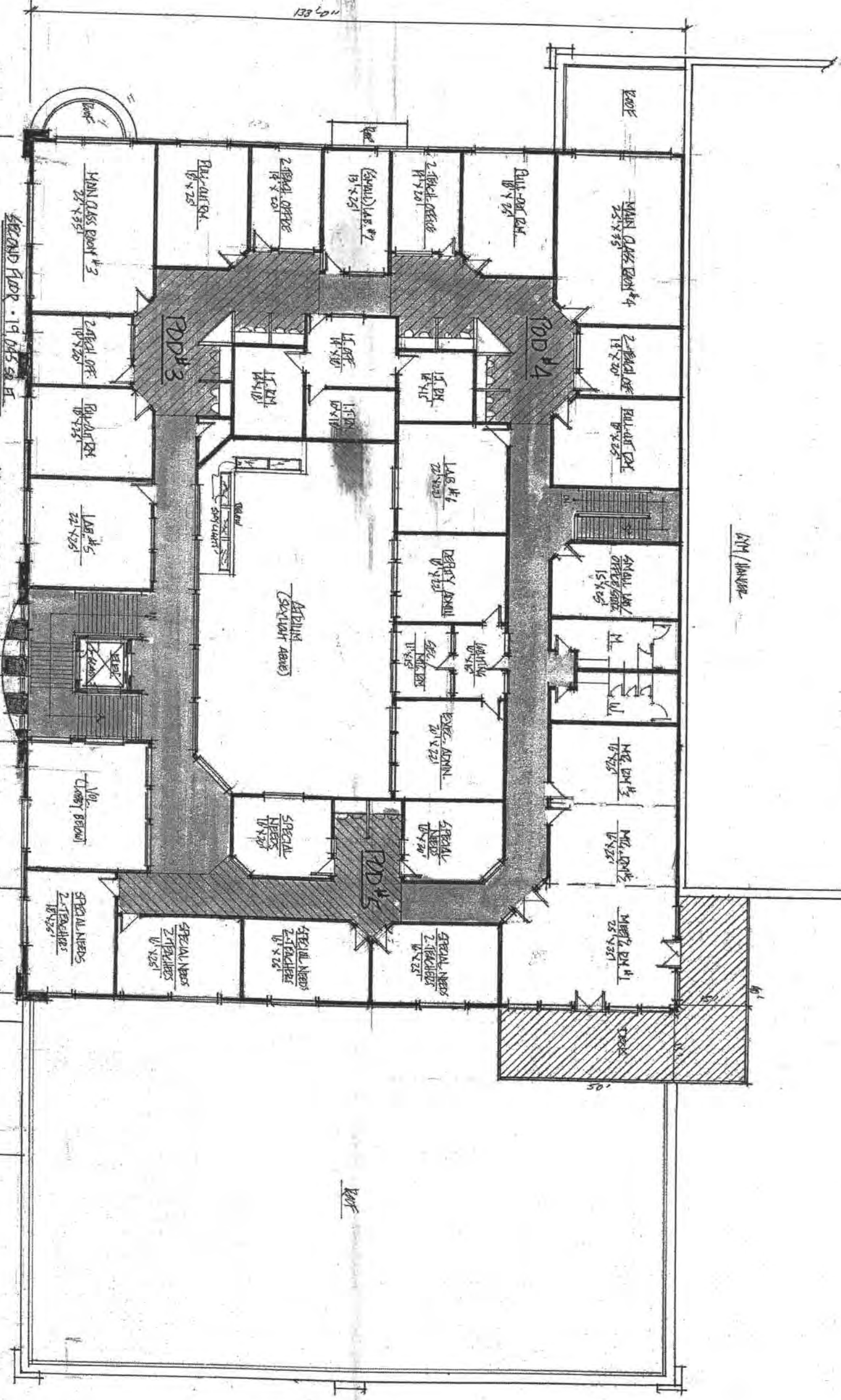
APR 10 2009

SILVER STATE SCHOOLS

1"=10'

176'-0"

HIGH SCHOOL



SILVER STATE HIGH SCHOOL		Palmer Engineering Group, Ltd.		Rev. No.		Revision		Date	
SECOND FLOOR FOOTPRINT CONCEPT		601 N. Nevada Street Carson City, Nevada 89703 www.palmer-eng.com		Apr 21 2009					
GOM & OLD HOT SPRINGS ROADS CARSON CITY, NEVADA A.P.N. 005-011-03		Phone (775) 884-0479 Fax (775) 884-4226							
Sheet A.2		JOB # 090302							
DESIGN BY: MP									
DRAWN BY: KR									
CHECKED BY: MP									
DATE: 4-16-09									
FILE: 090302A.dwg									

ELEVATION CONCERT. OLD HOT SPRINGS ROAD
4/13/09 SILVER STATE SCHOOLS 1st - 10th

MIRAL CANYON / SHAKER BOOF
ATTACHED SKYLINE

METAL PLATING

CAKEPETS CUMINS (TYP.)

19'-6"

33'-6"

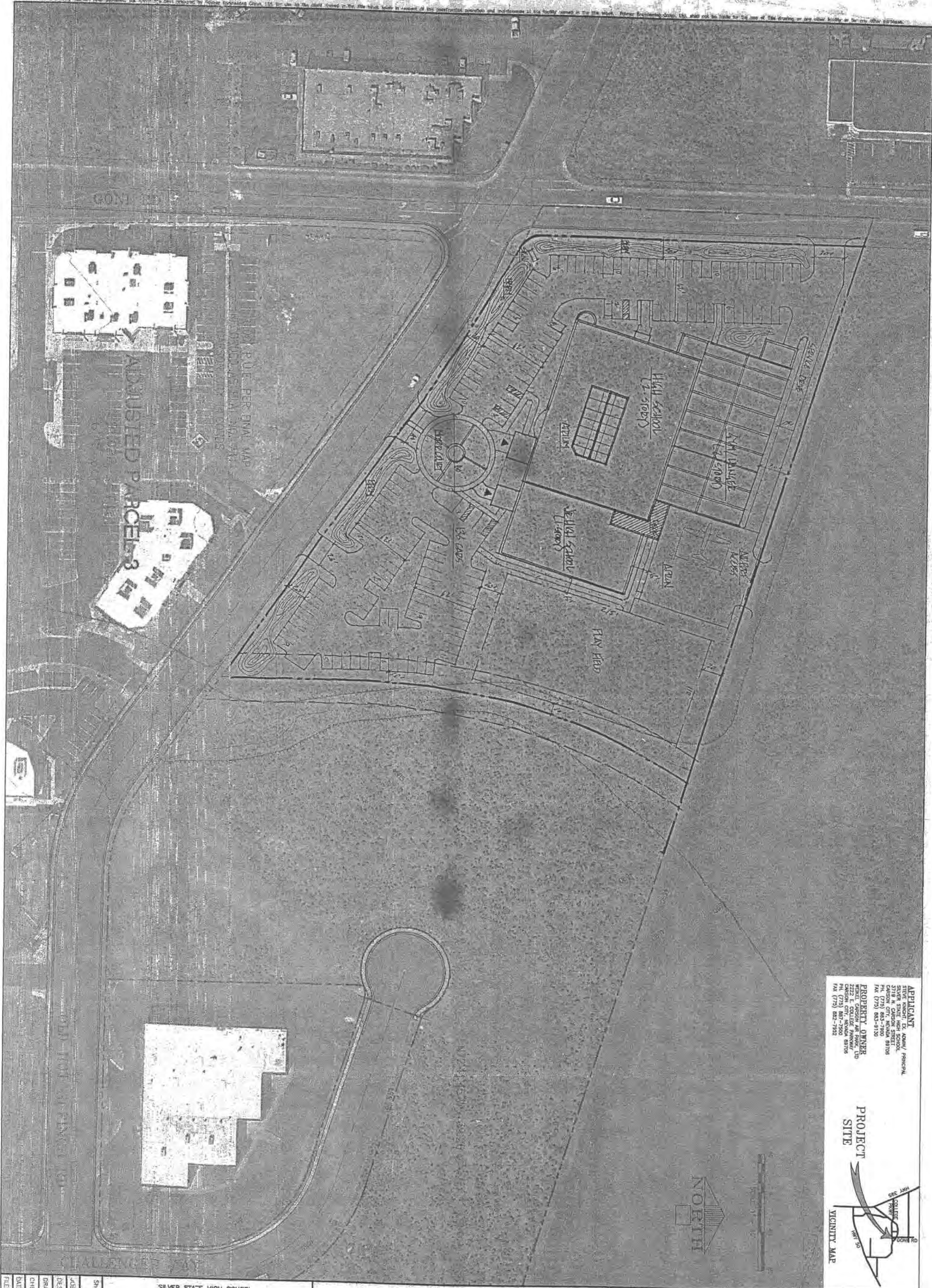
1		
2		
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5		
6		
Rev. No.	Revision	Date

Sheet A3	JOB # 080302 DESIGN BY: MP DRAWN BY: KR CHECKED BY: MP DATE: 4-16-05 FILE: 080302-A.dwg	SILVER STATE HIGH SCHOOL
		ELEVATION CONCEPT
		GONI & OLD HOT SPRINGS ROADS CARSON CITY, NEVADA A.P.N. 005-011-03

Palmer Engineering Group, Ltd.

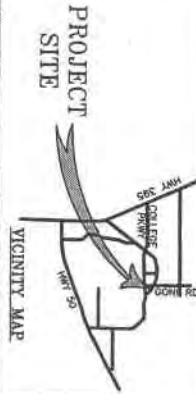
611 N. Nevada Street Phone (775) 884-0479
Carson City, Nevada 89703 Fax (775) 884-4226
www.palmer-eng.com

Apr 21 2009



APPLICANT
STEVE KNIGHT, EX. ADMM/ PRINCIPAL
SILVER STATE HIGH SCHOOL
CARSON CITY, NEVADA 89705
PH. (775) 883-7100
FAX (775) 883-8150

PROPERTY OWNER
WENDE CARSON AIR PARK, LTD.
2222 E. COLLEGE PARKWAY
CARSON CITY, NEVADA 89706
PH. (775) 887-7000
FAX (775) 882-7332



SILVER STATE HIGH SCHOOL		Palmer Engineering Group, Ltd. 601 N. Nevada Street Carson City, Nevada 89705 www.palmer-eng.com	Apr. 02, 2009	<div><div>▲</div><div>▲</div><div>▲</div><div>▲</div><div>▲</div></div>			
CONCEPTUAL SITE PLAN							
NEW CAMPUS 601E ROAD, CARSON CITY, NEVADA A.P.N. 005-011-03							
Sheet EX1	DESIGN BY: QLS	Phone (775) 884-0479					
DATE: 4-2-09	DRAWN BY: KJR	Fax (775) 884-4226					
CHECKED BY: MP	DATE: 09/07/09						