

**STAFF REPORT FOR THE HISTORIC RESOURCES COMMISSION MEETING OF
DECEMBER 10, 2009**

AGENDA ITEM: F-1

FILE NO: HRC-09-089

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

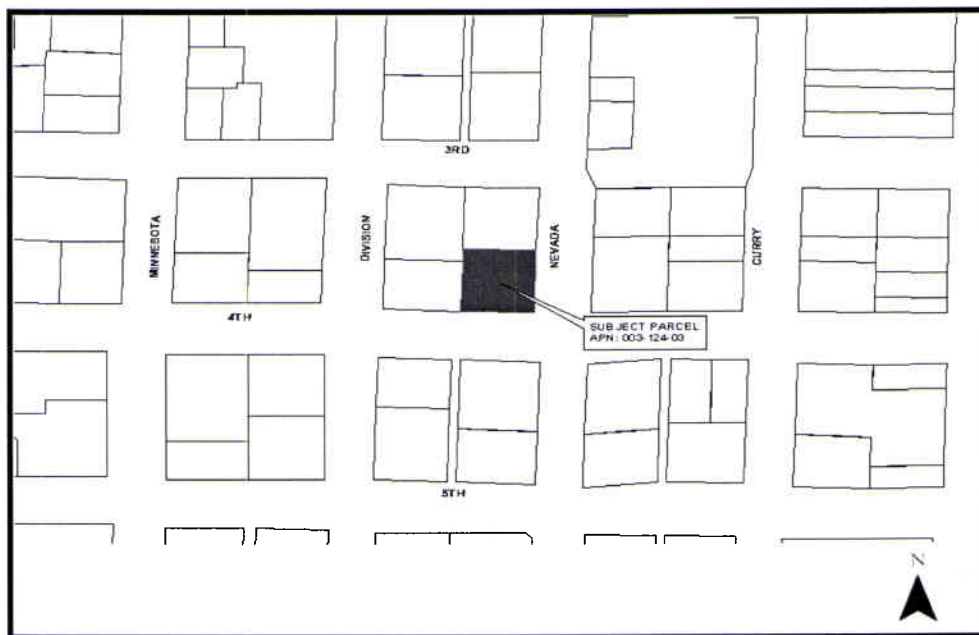
REQUEST: To allow architectural alterations to the southern and eastern elevations of the existing single family dwelling unit. Additionally requested is the removal of the southern and eastern portions of the existing concrete masonry unit (CMU) wall on property zoned Residential Office (RO).

APPLICANT: Darrin Berger, Architect

OWNER: Two Rivers NV LLC

LOCATION/APN: 310 South Nevada Street, 003-124-03

RECOMMENDED MOTION: It is recommended that the Historic Resources Commission "Move to approve HRC-09-089, a request from Darrin Berger (property owner: Two Rivers NV LLC), architectural alterations to the southern and eastern elevations of the existing single family dwelling unit and the removal of the southern and eastern portions of the existing cmu wall, on property zoned Residential Office (RO), located at 310 South Nevada Street, APN 003-124-03, subject to the conditions of approval contained in the staff report. This approval is based on the understanding that any stipulations to the commission by the applicant may be considered as conditions to the approval".



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the attached site development plan.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within 12 months of the date of final approval. An extension of time must be requested in writing to the Planning Division 30 days prior to the one year expiration date. Should this request not be initiated within one year and no extension granted, the request shall become null and void.
4. The applicant must sign and return the Notice of Decision within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Historic Resources Commission meeting for further considerations.
5. The applicant shall submit a copy of the signed Notice of Decision and conditions of approval with the building permit application.
6. Approval is based on upon the project complying with the Standards and Guidelines for Rehabilitation, Carson City Historic District Guidelines, the Historic Resources Commission Policies and that the plans as submitted are in general conformance with the Secretary of the Interior's Standards.

DISCUSSION:

This structure is located at the northwest corner of Nevada and Fourth Streets. The subject site is 7,225 square feet and is improved with a primary dwelling unit, one-story structure of 1,247 square feet with a 421 square foot basement, in addition to a detached one-car garage of 240 square feet. The primary dwelling unit was constructed in 1940 and a 1987 addition was constructed to the northwestern portion of the structure.

The applicant is in the process of converting the existing single family residential use to a professional office use. At this time the applicant is proposing architectural alterations to the southern and eastern elevations of the existing single family dwelling unit. Additionally requested is the removal of the southern and eastern portions of the existing concrete masonry unit wall.

The structure is described as "Minimal Traditional". The Minimal Traditional style uses abbreviated historical reference to suggest traditional style without actually achieving it definitively. Elements common to many styles, but belonging exclusively to none, are favored. These include gables, chimneys, and shutters which are distributed across facades in a non-committal fashion. Houses of this style may be built of virtually any traditional material; brick and wood are common. Roofs always lack the eaves or overhangs found on more assertive styles. Most examples are one or 1-1/2 stories in height. Windows are usually double-hung with multiple panes.

The most substantial examples of this style may include one definitive historical element such as fluted pilasters flanking a door (Colonial reference) or a half-timbered gable (Tudor reference). The style was popular from the late 1930's and survived into the early 1950's.

In the Carson City Historic District Design Guidelines the following guidelines are applicable with the proposed project:

5.17.3 Guidelines for Doors in New Construction

The overall style of the new building will determine the appropriate design characteristics of the doors to be used. Doors and entries make a strong design statement for any building. Balance, proportion, rhythm, scale and emphasis must all be considered when determining the style and design of doors. The use of highly ornamented and/or carved wood doors is discouraged. Likewise entry sidelights and/or transom windows should be simple in design.

5.26 Guidelines for Additions to Historic Buildings

The primary objective of the Carson City Historic Resources Commission is to protect and maintain the integrity of the historic resources in the Historic District. However, the Commission is committed to provide for the development of these resources in such a manner that does not impair their utility. It is recognized that additions are often necessary for a historic building to become functional in a modern context. It is also recognized that additions must be designed to be compatible and not detract from the building, its immediate surrounding or the district as a whole.

5.26.1 Guidelines for Additions to Historic Buildings

Additions to historic buildings need to be compatible in their configuration, design, style, scale, materials and architectural details with the distinctive character defining elements of the building. Additions shall be done in such a manner that they do not destroy significant original historical or architectural material, and if removed in the future, will not impair the essential form and integrity of the building nor damage historic fabric. Additions which seek to create an earlier appearance shall not be approved. Additions which are obviously incongruous to the building, or buildings in the immediate vicinity, or the district shall not be approved. (*Standard Number: 9, 10*)

5.26.2 Guidelines for Additional to Non-historic Buildings

Additions to non-historic buildings in the district will be treated in the same manner as additions to historic buildings, except that maintaining original building fabric will not be a consideration.

5.27 Guidelines for New Construction

New construction which is appropriately designed is encouraged by the Carson City Historic Resources Commission (HRC). The Historic District should be an active and vital part of the city. New construction should look new and reflect the technology, building

materials and design ideas of the present era. The design of new construction needs to be compatible and respectful of the historic building stock that surrounds it so that visual conflict and confusion are avoided. There is no formula that will guarantee "good design". There are specific elements of building design which can be identified, and therefore, addressed in a review process so that consistency can be achieved. The following elements shall be individually assessed for their degree of appropriateness for each project.

5.27.1 Scale and Massing

The overall size and height of the new building should be consistent with the surrounding buildings.

5.27.2 Shape

The overall shape of the building, particularly its roof type, height, and design emphasis (horizontal or vertical) should be consistent and harmonious with others in the environs.

5.27.3 Setback

The front and side yard setbacks for the building should be approximately the same as others in the surrounding area and conform with CCMC Development Standards, Division 1, Land Use and Site Design.

5.27.4 Site Elements

When at all possible avoid substantial site alteration by importing or exporting fill materials. Generally speaking vacant lots in the district were once occupied by a building. Attempt to place the new building as near as possible to the same grade as the original. Carefully consider the placement and relationship of the public sidewalk, side and front yard fences, driveway, gardens and accessory buildings when determining the location of the new building on the lot.

5.27.5 Materials

Exterior siding should reflect the prevailing style of the neighborhood. A vertical or diagonal style siding should not be used when the dominant style is a horizontal drop or shiplap type. The exterior siding should blend in, not stand out.

5.27.6 Windows and Doors

The rhythm and arrangement of the windows and doors should reflect the style of the building design and the predominant patterns found in existing buildings of the area. The ratio of the total surface area of openings to total wall surface area of new buildings should reflect that of historic buildings in the environs.

PUBLIC COMMENTS: Public notices were mailed to the adjacent property owners of the subject parcel in accordance with the provisions of NRS and CCMC 18.02.045. As of November 25, 2009, no comments have been received in favor or opposed to the proposed project. Any comments that are received after this report is completed will be submitted prior to or at the Historic Resources Commission meeting, depending on their submittal date to the Planning Division.

Engineering Division comments:

1. In the parking area vehicles will not be allowed to block sidewalk.
2. Current Standard Details (updated in July 2009) must be followed for all work in the street right of way.

Building Division comments:

GENERAL PLAN SUBMITTAL COMMENTS:

1. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Tenant Improvement Submittal Requirements*. This handout may also be found online at: www.carson-city.nv.us/Index.aspx?page=181

COMMENTS SPECIFIC TO THIS PROJECT

General

3. As a part of the plan submittal, the Architectural designer must identify on the cover sheet the occupancy type, as determined by the *2006 International Building Code ('06 IBC)*. From there the designer must show as a part of the Architectural Design Analysis for this existing building meets the allowable area and height for the proposed occupancy. (*'06 IBC 503.1*)
4. Please include verification from the Structural Engineer, a review of the floor system. As a part of the change of occupancy from a Single Family Dwelling to a professional office (Group 'B' occupancy) the floor system shall be designed to handle the increased uniform live loading associated with this use. (*'06 IBC 3406.1 & '06 IEBC 907.1*)
5. The electrical plans shall show how the exit discharge (exterior) side of the egress system will be illuminated while the building is occupied. Please be aware that if additional exits are required beyond the one, then emergency battery back up shall

be provided for the egress illumination on the building's exterior. ('06 IBC 1006.1 & 1006.3)

A1.2 – Proposed Site Plan

6. As a part of the plan submittal, please include the following:
 - A. Provide details and sections of the ramp, which show compliance with the prescriptive requirements for accessibility. ('06 IBC 1101.2 & ICC/ANSI A117.1-2003 Section 405)
 - B. Provide details for the design of the stairs, handrails and guards ('06 IBC Sections 1009, 1012 & 1013)
 - C. At the non-accessible entrance to the building, provide a directional sign that indicates the location of the accessible entrance. The location of this signage shall be noted on the plans. ('06 IBC 1110.2)
 - D. Provide an example of the size and text of the directional sign. The sign shall include the international symbol of accessibility. ('06 IBC 1110.2, 1101.2, ICC/ANSI A117.1-2003 Section 703.2 & 703.6.3.1)
 - E. Indicate the location and an example of the signage for the accessible parking space. Since only one (01) parking space is required, this space shall be van accessible. In addition, the sign shall include text that shall read as follows "Minimum fine of \$250 for use by others – NRS 484.408". ('06 IBC 1110.1, 1101.2 and ICC/ANSI A117.1-2003 Section 502.7)
 - F. If there is a change in elevation at the landing on the West side of the building, facing the alley, this step or riser constitutes a stair and must have a handrail. Please note this on the plans and show the riser height and handrail detail to verify compliance. ('06 IBC Sections 1009 & 1013)

A2.2 – New Floor Plan Sheet

7. The restroom located within the Conference Room shall be accessible, since this restroom is located within a primary function area of the building, and the construction necessary to achieve accessibility is not technically infeasible. ('06 IBC 3409.8.9 & '06 IEBC 912.8)
8. Please be aware that the accessible route and building components (doors, door hardware, sinks, etc) within the primary function area of the business shall meet the prescriptive requirements for accessibility. ('06 IBC 3409.7)

With the recommended conditions of approval and based on upon the project complying with the Secretary of the Interior's Standards and Guidelines for Rehabilitation, Carson City Historic District Guidelines, the Historic Resources Commission Policies, and that the plans as submitted are in general conformance, it is recommended that the Historic Resources Commission approve HRC-09-089 subject to the recommended conditions of approval within this staff report. Staff will encourage the HRC to assist the applicant with appropriate materials/options for the proposed project.

Respectfully Submitted,
PUBLIC WORKS DEPARTMENT, PLANNING DIVISION

Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

File # (Ex: MPR #07-111)	<i>HRC 09-089</i>
Brief Description	<i>Change of Occupancy</i>
Project Address or APN	<i>310 S. Nevada</i>
Bldg Div Plans Examiner	<i>Don Wilkins</i>
Review Date	<i>Dec. 2, 2009</i>
Total Spent on Review	

BUILDING DIVISION COMMENTS:

NOTE: These comments do not constitute a complete plan review, but are merely observations based on the information provided.

SCOPE OF APPLICATION:

This project consists of the construction a change of occupancy from a Single Family Dwelling to a professional office ('06 IBC Group 'B' occupancy classification). The scope of work includes exterior improvements to the site, which are necessary to increase accessibility, and provide onsite parking.

GENERAL PLAN SUBMITTAL COMMENTS:

1. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Tenant Improvement Submittal Requirements*. This handout may also be found online at: www.carson-city.nv.us/Index.aspx?page=181

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4. Please include verification from the Structural Engineer, a review of the floor system. As a part of the change of occupancy from a Single Family Dwelling to a professional office (Group 'B' occupancy) the floor system shall be designed to handle the increased uniform live loading associated with this use. (*'06 IBC 3406.1 & '06 IEBC 907.1*)
5. The electrical plans shall show how the exit discharge (exterior) side of the egress system will be illuminated while the building is occupied. Please be aware that if additional exits are required beyond the one, then emergency battery back up shall be provided for the egress illumination on the building's exterior. (*'06 IBC 1006.1 & 1006.3*)

A1.2 – Proposed Site Plan

6. As a part of the plan submittal, please include the following:
 - A. Provide details and sections of the ramp, which show compliance with the prescriptive requirements for accessibility. (*'06 IBC 1101.2 & ICC/ANSI A117.1-2003 Section 405*)
 - B. Provide details for the design of the stairs, handrails and guards (*'06 IBC Sections 1009, 1012 & 1013*)
 - C. At the non-accessible entrance to the building, provide a directional sign that indicates the location of the accessible entrance. The location of this signage shall be noted on the plans. (*'06 IBC 1110.2*)
 - D. Provide an example of the size and text of the directional sign. The sign shall include the international symbol of accessibility. (*'06 IBC 1110.2, 1101.2, ICC/ANSI A117.1-2003 Section 703.2 & 703.6.3.1*)
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8. Please be aware that the accessible route and building components (doors, door hardware, sinks, etc) within the primary function area of the business shall meet the prescriptive requirements for accessibility. (*'06 IBC 3409.7*)

MEMO

To: Jennifer Pruitt and Kathe Green

From: Rory Hogen

Date: 12/02/09

Re: HRC application 09-089 for 310 S. Nevada St.

1. In the parking area vehicles will not be allowed to block sidewalk.
2. Current Standard Details (updated in July 2009) must be followed for all work in the street right of way.

This completes engineering comments. Thank you.

Carson City Planning Division

2621 Northgate Lane, Suite 62 • Carson City NV 89706

Phone: (775) 887-2180 • E-mail: plandept@ci.carson-city.nv.us

FILE # HRC - 09 - 089**PROPERTY OWNER**

Miya MacKenzie

MAILING ADDRESS, CITY, STATE, ZIP

704 West Nye Lane Suite 201 CCNV 89703

PHONE #

(775) 885-1434

FAX #

(775) 546-9835

E-MAIL ADDRESS

miya@macwestmarketing.com

**Name of Person to Whom All Correspondence Should Be Sent
APPLICANT/AGENT**

Darrin Berger, Architect

775.882.6455

MAILING ADDRESS, CITY, STATE ZIP

318 N. Carson St. Suite 202 Carson City NV 89701

PHONE #

77.882.6455

FAX #

775.882.1444

E-MAIL ADDRESS darrin@hdarchitects.com

FOR OFFICE USE ONLY:

RECEIVED

NOV 09 2009

CARSON CITY
PLANNING DIVISION**HISTORIC RESOURCES
COMMISSION****FEE:** None**SUBMITTAL PACKET**

- ☐ Application Form with signatures
- ☐ 12 Completed Application Packets-Application form, maps, supporting documentation (1 Original + 11 Copies)
- ☐ CD containing application data (pdf format)
- ☐ Documentation of Taxes Paid-to-Date

Application Reviewed and Received By:**Submittal Deadline:** See attached HRC application submittal schedule.**Project's Assessor Parcel Number(s):**

03-124-03

Street Address

310 So Nevada

ZIP Code

89706

Project's Master Plan Designation

Mixed Use Residential

Project's Current Zoning

RO

Nearest Major Cross Street(s)

Nevada and 4th

Briefly describe the work to be performed requiring HRC review and approval. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. NOTE: The Historic District Ordinance and Historic District Design Guidelines, as well as Policy Statements, are available in the Planning Division to aid applicants in preparing their plans. If necessary, attach additional sheets.

South Facade: The existing garage will be turned into a conference room. The garage door will be removed and replaced with a window.

East Facade: The entrance will be modified. The existing window will be removed and enlarged. A new door will be cut in adjacent to the window. A covered trellis structure will be added and the stoop enlarged.

Site: A portion of the CMU perimeter fence will be removed.

Does the project require action by the Planning Commission or the Board of Supervisors? ☒ Yes ☐ No If Yes, please explain:
Review of parking and possible signage, ADA site accessibility and sidewalks (Engineering)

Will the project involve demolition or relocation of any structure within or into the Historic District? ☒ Yes ☐ No If Yes, please describe:
Yes - Minor demolition work as follows: Remove garage door install window. Add new covered entry.

This involves removal of a window and modifications to the front main entry. A portion of the existing perimeter CMU wall will be removed in order to establish a more formalized site entry point.

Reason for project: Owner has purchased the residence and plans to locate her Marketing Business here. As a business its important to make a good first impression. Ones place of business should be an outward reflection of the character and quality of service provided by that business. While making required accessibility upgrades the new owner also wishes to create a well defined comfortable public entrance.

SUPPORTING DOCUMENTATION

Each application requires 12 copies, folded to 8 ½ x 11 inches, of quality site plan and drawings showing work to be performed on the subject project which requires HRC approval. Basically, this is any work which will affect the exterior of any structure and any modifications to the site, i.e., fences, walls, or major landscaping. The name of the person responsible for preparation of the plans and drawings shall appear on each sheet.

Attached is a Plan Checklist to aid preparation of plans and architectural drawings. It is understood that all checklist items will not be included in all projects. The list is intended to give the applicant an idea of the breadth of review by the Commission on those items which are included in the subject project. Photographs can be used for illustration and discussion, but are not acceptable as substitutes.

Owner's Signature

Miya MacKenzie, Owner

Owner's Printed Name

Darrin
Berger

Digitally signed by Darrin Berger
DN: cn=Darrin Berger, o=Hannafin
Design Associates, ou,
email=dberger@hdarchitects.com,
c=US
Date: 2009.11.09 09:06:29 -08'00'

Applicant's/Agent's Signature

Darrin Berger, Architect

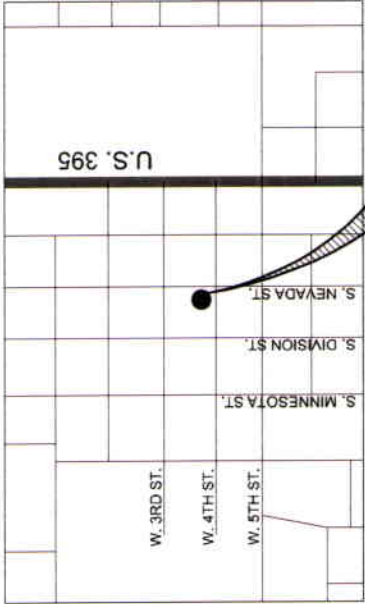
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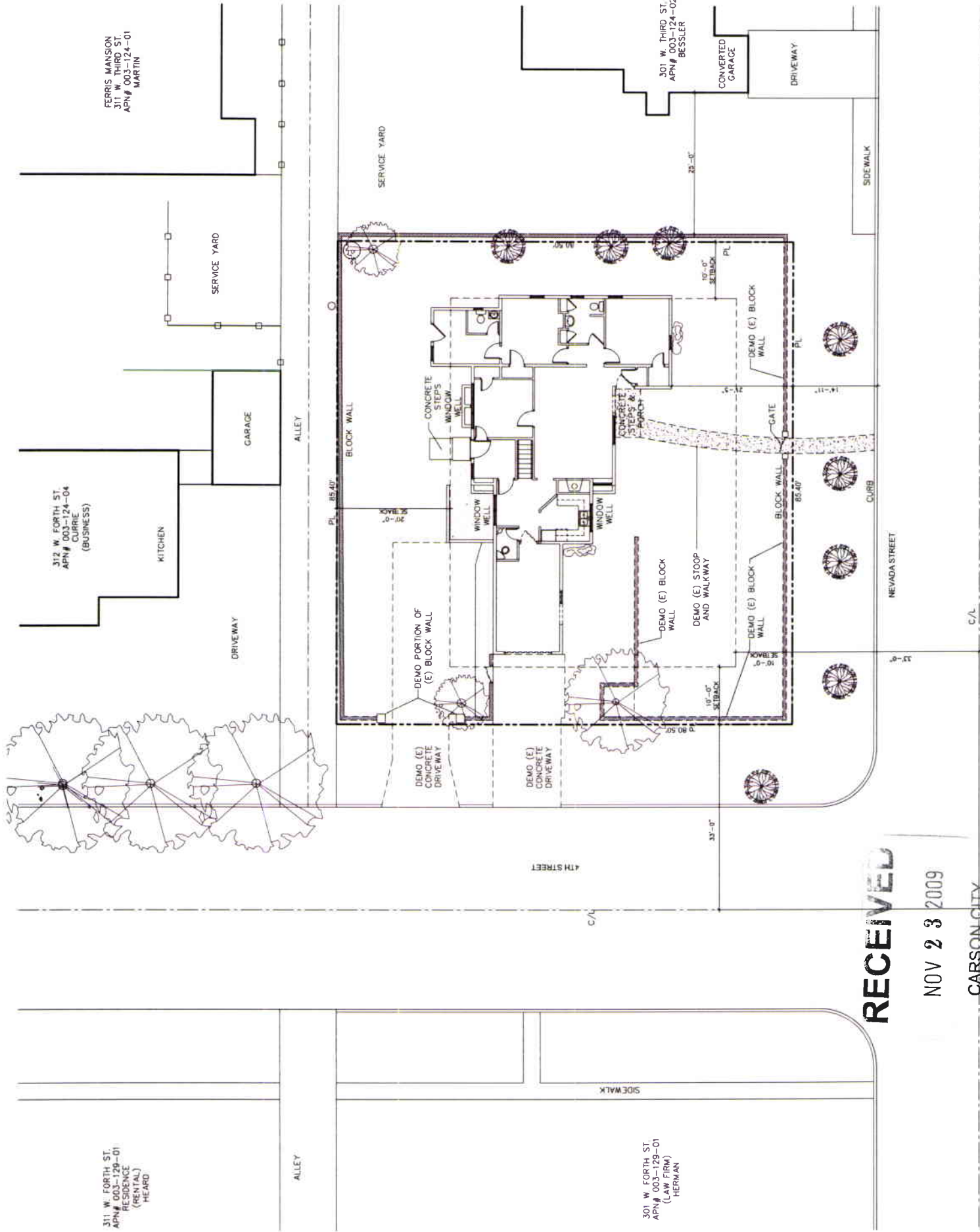
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CARSON CITY
PLANNING DIVISION

VICINITY MAP



PROJECT
LOCATION



RECEIVED

NOV 23 2009

CARSON CITY
PLANNING DIVISION

- HRC - 09 - 089

EXISTING SITE PLAN
SCALE: 1"=20'-0"



377 S. NEVADA ST.
APN# 003-114-02
WANDLER



Mac West Marketing

Minor Alterations
310 S. NEVADA ST., CARSON CITY, NV, 89706

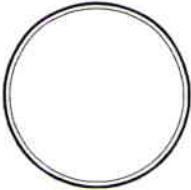
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SCHEMATIC DESIGN		
PRELIMINARY DEVELOPMENT		
CONTRACT DOCUMENTS		
USE: COMMERCIAL (SIC CODE 5400)		
FOR THE FOLLOWING: USES		
PROPOSED REVIEW		
CONVERTING AGENCY REVIEW		
REDMATING		
RECORDING		
OTHER		

DRAWING TITLE
EXISTING
SITE PLAN

DRAWING NUMBER

A1.1

HANNAFIN DESIGN
ASSOCIATES
ARCHITECTURE PLANNING INTERIORS
318 N. CARSON STREET, SUITE 202 CARSON CITY, NV 89701
PHONE: (775) 882-6455 FAX: 882-1444
E-MAIL: ahannafin@hannafindesign.com



Mac West Marketing

310 S. NEVADA ST., CARSON CITY, NV, 89706

Minor Alterations

PROJECT

APN NO: 03-124-03

REDACTED NO. 0957

DRAWING STATUS

PHASE

SCHEMATIC DESIGN

PRELIMINARY DESIGN

CONTRACT DOCUMENTS

USE

PROPOSED REVIEW

GOVERNING AGENCY REVIEW

REMARKS

REMARKS

OTHER

REVISION DATE

11/23/09

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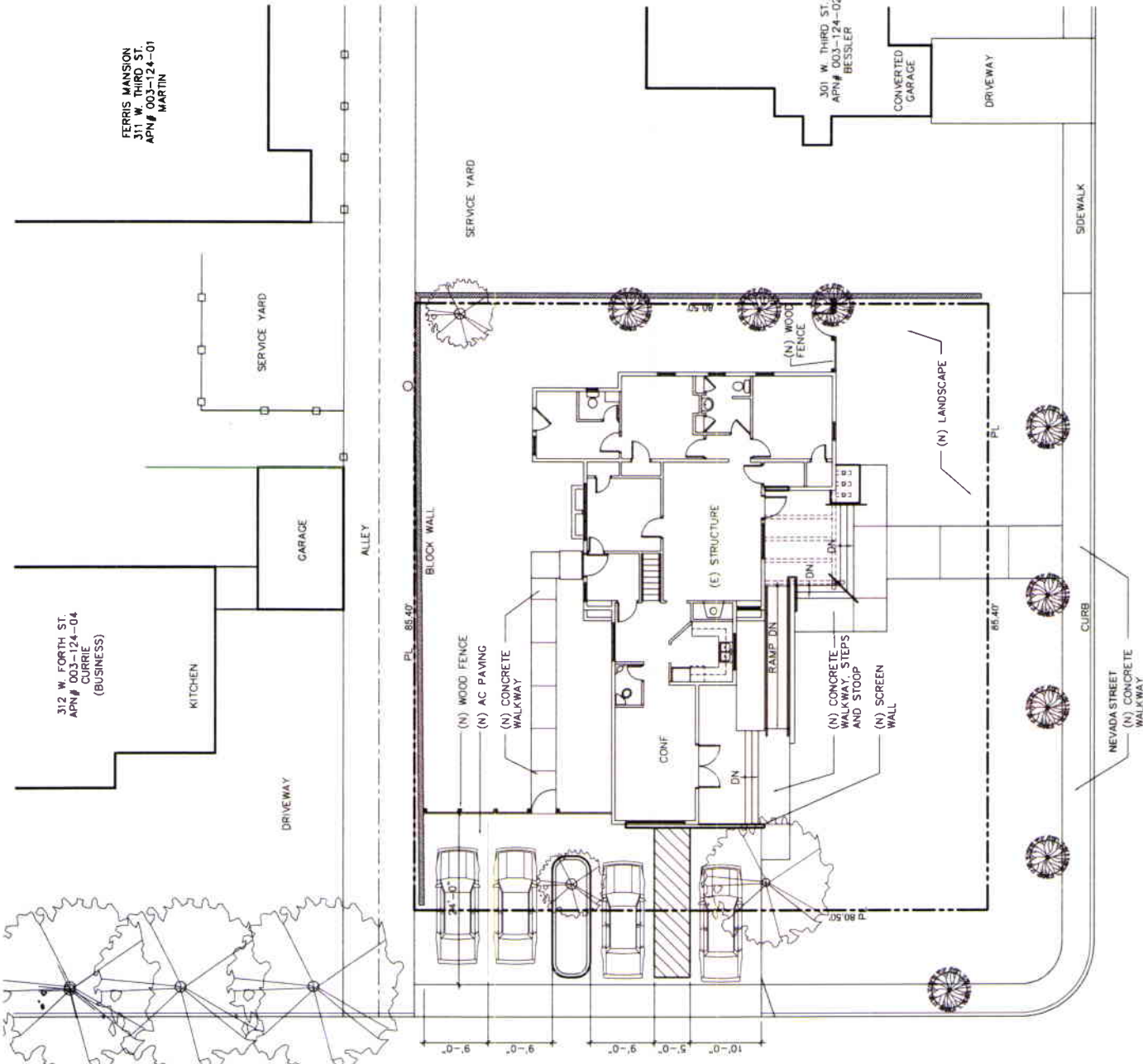
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PROPOSED SITE PLAN
SCALE 1"=20'-0"

0 10' 20' 40'
SCALE 1"=20'

377 S. NEVADA ST.
APN # 003-114-02
WANDLER



311 W. FORTH ST.
APN # 003-129-01
RESIDENCE
(RETAIL) HEARD

301 W. FORTH ST.
APN # 003-129-01
(LAW FIRM) HERMAN

312 W. FORTH ST.
APN # 003-124-04
CURRIE
(BUSINESS)

FERRIS MANSION
311 W. THIRD ST.
APN # 003-124-01
MARTIN

SERVICE YARD

BLOCK WALL

(N) WOOD FENCE

(N) AC PAVING

(N) CONCRETE WALKWAY

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(N) CONCRETE WALKWAY

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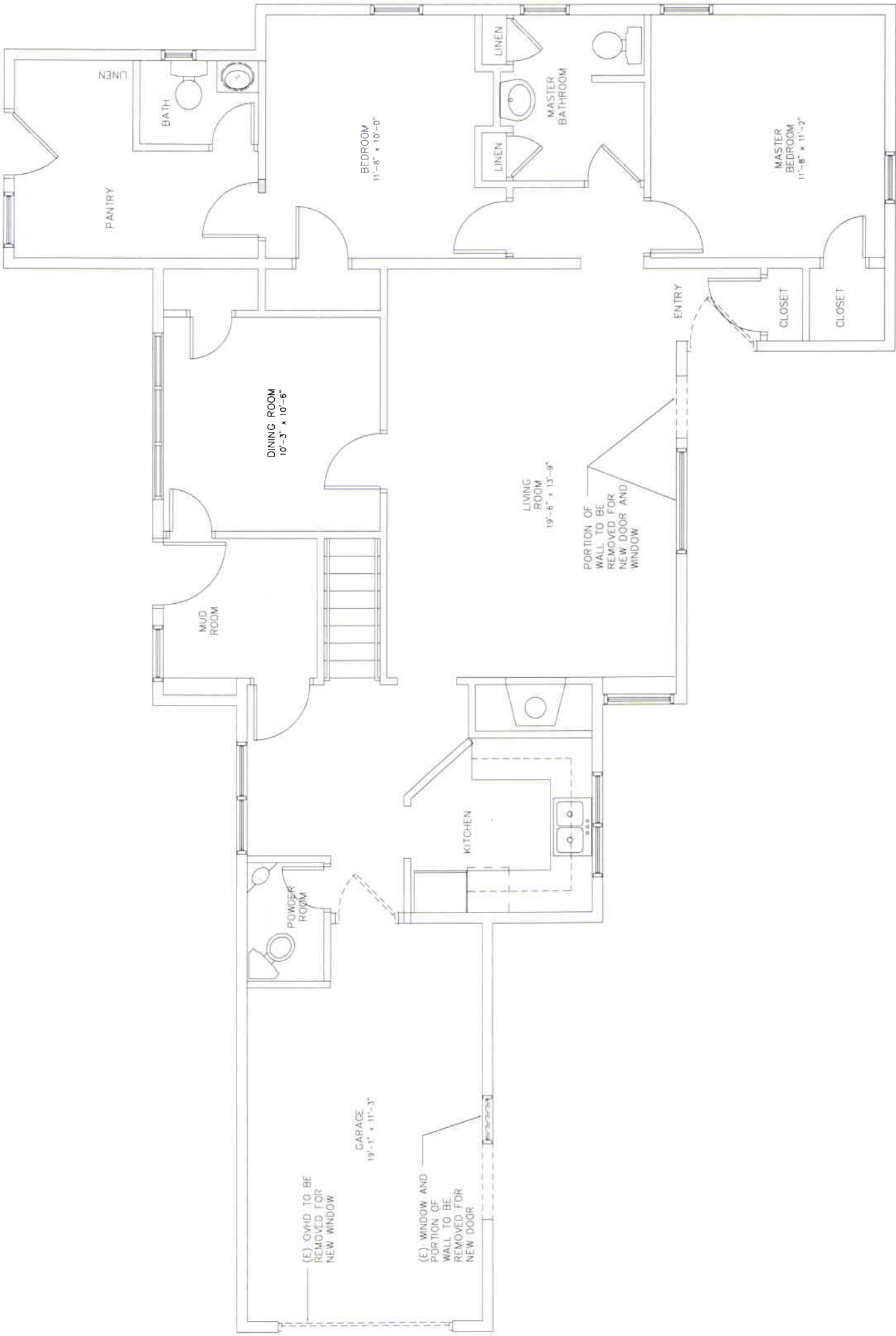
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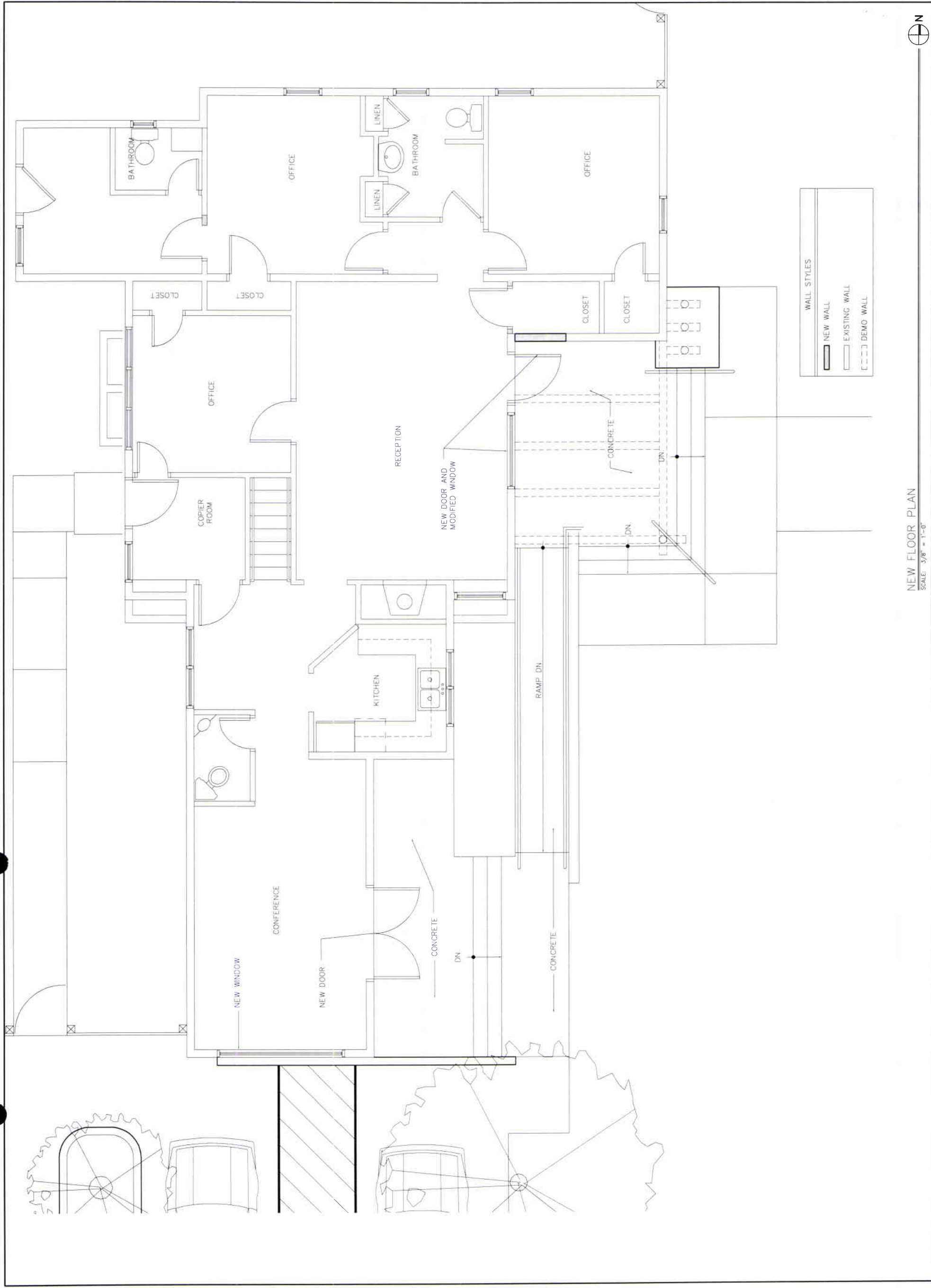
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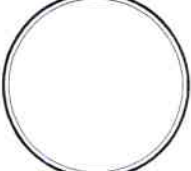
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EXISTING FLOOR PLAN
SCALE: 3/8" = 1'-0"





APN NO. 03-24-03	
FIDA JOB NO. 0037	
DRAWING STATUS	
PHASE	
SCHEMATIC DESIGN	<input type="checkbox"/>
PRELIMINARY DESIGN	<input type="checkbox"/>
CONTRACT DOCUMENTS	<input type="checkbox"/>
USE	<input type="checkbox"/>
FOR THE CITY OF CARSON CITY	
PROJECTS REVIEW	<input type="checkbox"/>
GOVERNING AGENCY REVIEW	<input type="checkbox"/>
ESTIMATING	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
OTHER	<input type="checkbox"/>

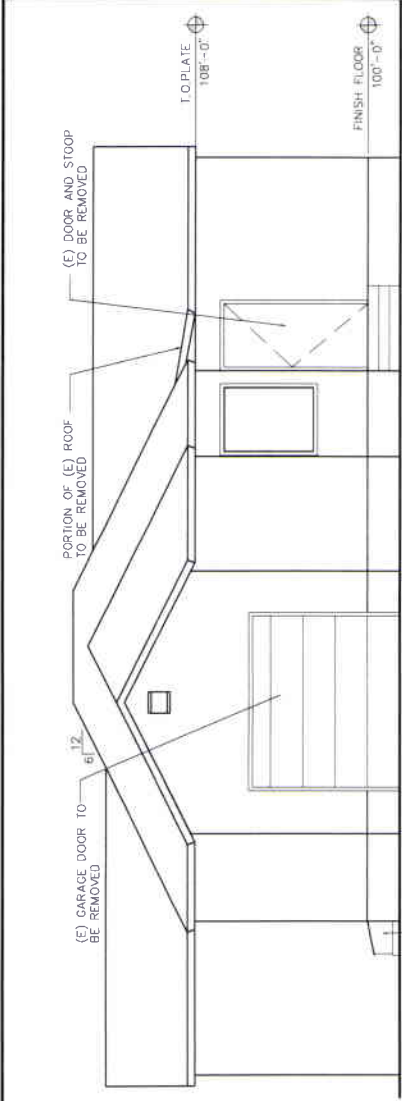
ISSUE DATE	DRAWN BY
11/23/09	DB

Revisions	Date

DRAWING TITLE:
EXTERIOR ELEVATIONS
ADDITION &
NEW GARAGE

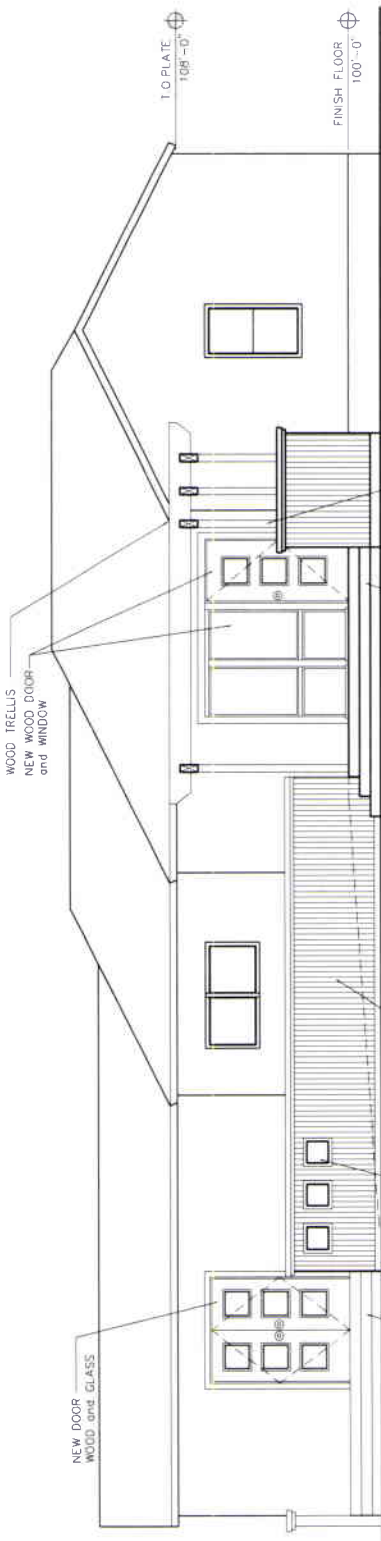
DRAWING NUMBER

A3.1



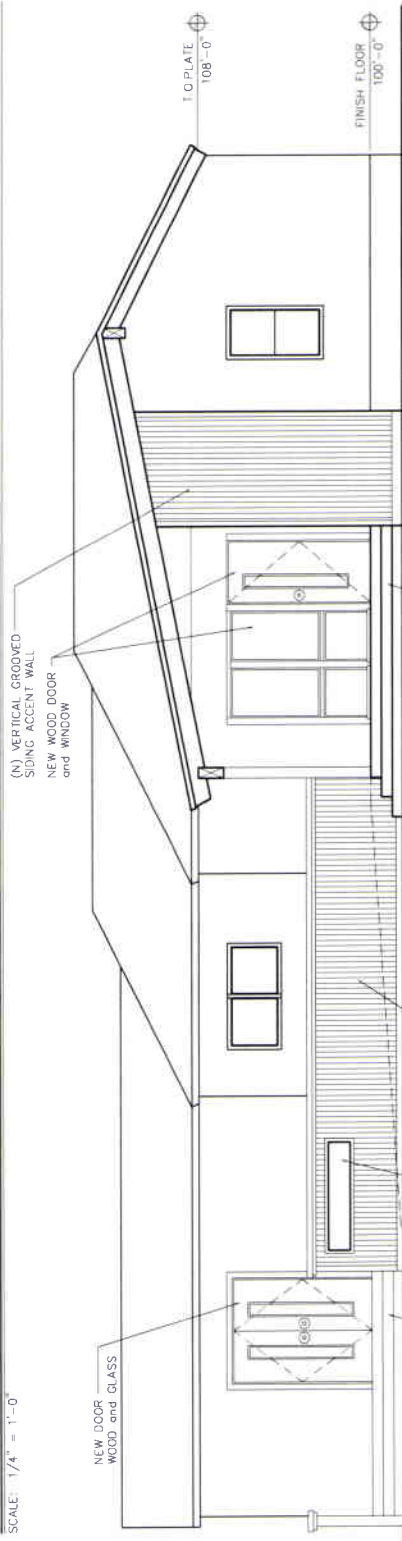
EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION OPTION 1

SCALE: 1/4" = 1'-0"

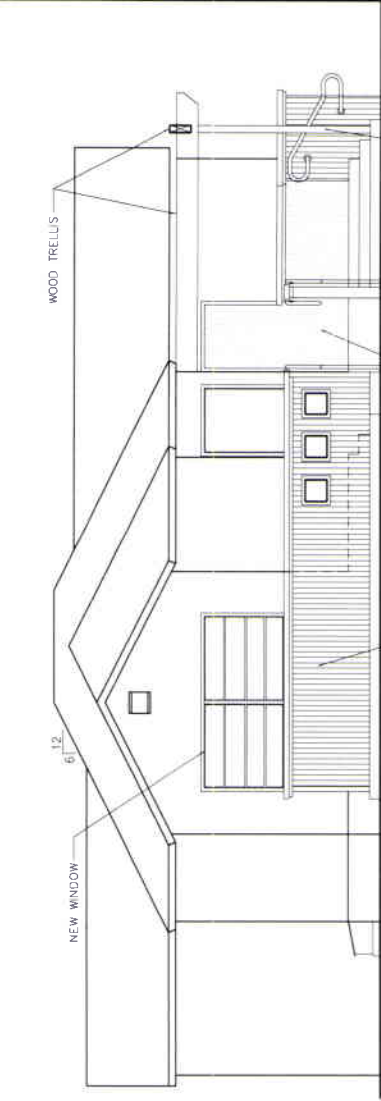


EAST ELEVATION OPTION 2

SCALE: 1/4" = 1'-0"

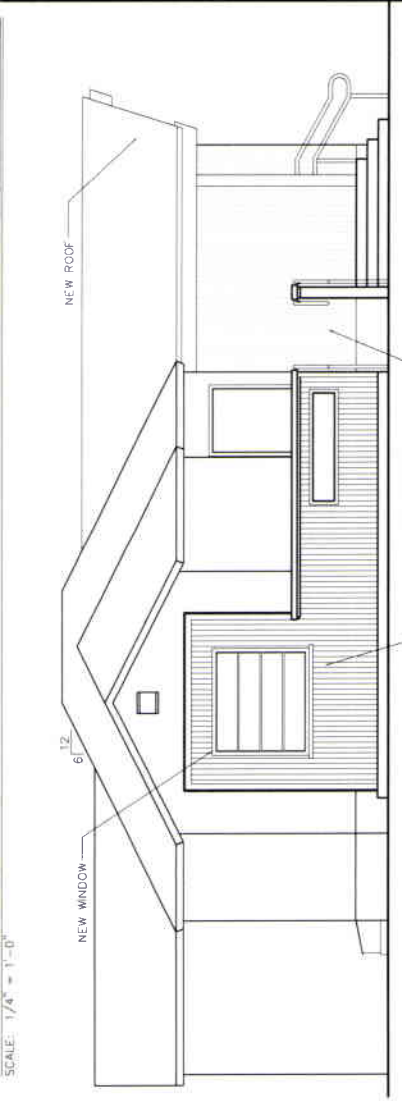
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION OPTION 1

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION OPTION 2

SCALE: 1/4" = 1'-0"

