

## STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF DECEMBER 16, 2009

FILE NO: SUP-09-087

AGENDA ITEM: H-3

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

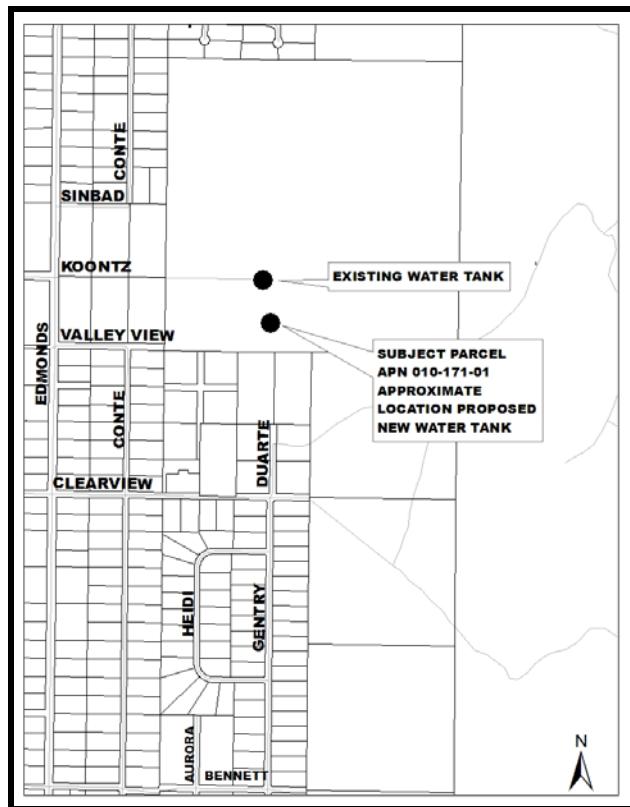
**REQUEST:** A Special Use Permit to approve construction of a new three million gallon steel water tank, which will replace the existing aging concrete water tank on property zoned Public Regional (PR), located east of the intersection of Edmonds Drive and Koontz Lane, 2599 Koontz Lane.

**APPLICANT:** Ken Arnold, Deputy Public Works Director

**OWNER:** Bureau of Land Management

**LOCATION/APN:** 2599 Koontz Lane/010-191-01

**RECOMMENDED MOTION:** "I move to approve SUP-09-087, a Special Use Permit from, Carson City Public Works (property owner: Bureau of Land Management), to approve a new three million gallon steel water tank, that will replace the aging concrete water tank on property zoned Public Regional (PR), subject to the conditions of approval and based on the findings contained in the staff report."



**RECOMMENDED CONDITIONS OF APPROVAL:**

1. The applicant must sign and return the Notice of Decision for conditions of approval within ten days of receipt of notification. If the Notice of Decision is not signed and returned within ten days, then the item may be rescheduled for further consideration by the Planning Commission.

**Conditions required to be incorporated into the proposed development:**

2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
3. All on and off-site improvements shall conform to City standards and requirements, including all Flood Plain Requirements contained in the Carson City Municipal Code.
4. Minor changes to the proposed plan may be authorized by the Planning Director. All other changes require an amendment to this Special Use Permit.
5. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.

**General Conditions:**

6. The use for which this permit is approved shall commence within 12 months of the date of final approval. As single, one year extension of time must be requested in writing to the Planning Division 30 days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall be come null and void.
7. All areas disturbed by the construction of the water tank will be required to be re-seeded using a mix as specified by the BLM.
8. The tank will be painted a color from the "Standard Environments Colors" per the color chart provided by the applicant and as recommended by BLM.
9. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
10. The project plan submittal shall comply with the applicable commercial requirements as outlined within the Carson City Building Division handout titled *COMMERCIAL SUBMITTAL REQUIREMENTS: New Construction & Additions*.
11. The applicant must meet all applicable codes and ordinances as they apply to this request as they relate to Carson City Health and Human Services.
12. The applicant shall work with the Parks and Recreations Department to minimize any construction related impacts to public access at the exiting trail head facility or restoration of any existing recreational uses.

**LEGAL REQUIREMENTS:** CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits) and 18.04.170 (Public zoning district).

**KEY ISSUES:** Will the proposed municipal water tank be compatible with or cause material damage to the surrounding land uses or properties?

**MASTER PLAN DESIGNATION:** Public/ Quasi Public

**ZONING:** The parcel is zoned Public Regional (PR).

**SURROUNDING LAND USE AND ZONING:**

North: Vacant land, Single Family dwelling units; Public Regional (PR) and Single Family One Acre (SF1A) zoning districts.

West: Single Family dwelling units; Single Family One Acre (SF1A) zoning district

South: Vacant land, Single Family dwelling units; Public Regional (PR) and Single Family One Acre (SF1A) zoning districts

East: BLM land; Public Regional (PR) zoning district

**SITE DEVELOPMENT INFORMATION**

1. LOT SIZE: 160 acres
2. PROPOSED TANK SIZE: three million gallons
3. PROPOSED TANK DIAMETER: 130 feet
4. PROPOSED TANK HEIGHT: 32 feet.
5. PARKING: Parking is set by the Special Use Permit per CCMC 18.04.180. No parking is proposed.
6. SETBACKS: Setbacks are set by the Special Use Permit process. The proposed new tank will be located approximately 2,000 feet east of Edmonds Drive.
7. VARIANCE REQUESTED: None

**DISCUSSION:**

A Special Use Permit is required for the following reasons:

1. Buildings and facilities owned, leased or operated by the City of Carson City, Carson City Unified School District or any other district, State of Nevada or the government of the United States are a conditional use in the Public zoning district. This includes water tank facilities.

2. Development standards: All Public zoning district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the special use permit.

A site visit was conducted on November 23, 2009. The subject site is located on a 160 acre parcel to the east of the intersection of Edmonds Drive and Koontz Lane. The Prison Hill Water Tank #2 is proposed to be located on assessor's parcel number 010-171-01, which is under the jurisdiction of the Bureau of Land Management (BLM). This specific water tank site is located approximately 2,000 feet east of Edmonds Drive. A short water main will be constructed from the existing water main to the new tank using an easement provided by BLM.

Carson City is proposing to construct a new steel, three million gallon water tank, which will replace the existing three million gallon concrete water tank on site. The proposed water tank will be 32 feet in height and 130 feet in diameter and is very similar to other water tanks of Carson City.

The Carson City Public Works Department sent out notifications and project information to 256 neighboring properties on November 13, 2009. Per the applicant there was one inquiry regarding the proposed project.

Included with the new tank project is a 20 inch PVC water line that will be constructed from the existing water tank supply line to the new tank. A new below grade equipment vault and small metal cabinet similar to what currently exists will be located near the new tank. The new tank will also require a small UHF antenna to be installed on the roof of the tank.

The time frame noted by the applicant for the construction of the proposed tank is eight months and will commence in the spring of 2010, if this SUP is approved by the Planning Commission. Per the applicant, the proposed steel water tank will have anticipated life cycle of 50 years. Currently Carson City has 15 existing steel water tanks. The coating systems of the tanks are evaluated every five years and the interior and exterior coating is what protects the steel from corrosion, just like the Golden Gate Bridge.

In reviewing the information provided by the applicant and the required findings as identified below, the findings to grant approval of this Special Use Permit can be made. Therefore, it is recommended that the Planning Commission approve this Special Use Permit application, SUP-09-087.

**PUBLIC COMMENTS:** Public notices were mailed to 48 adjacent property owners within 300 feet of the subject parcel in accordance with the provisions of NRS and CCMC 18.02.045 on November 25, 2009. As of December 07, 2009, no written comments have been received by the Planning Division. Any comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division.

## **OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS:**

### Building Division:

***These comments do not constitute a complete plan review, but are merely observations based on the information and plan sheets provided. The comments do not reflect all submittal requirements necessary for this project, but are those requirements that have generated concerns with similar projects in the past.***

### **GENERAL COMMENTS**

1. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The project plan submittal shall comply with the applicable commercial requirements as outlined within the Carson City Building Division handout titled **COMMERCIAL SUBMITTAL REQUIREMENTS: New Construction & Additions**

### Health & Human Services:

- Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

### Engineering Division:

- The Engineering Division has no preference or objection to the Special Use Permit request, and no recommended conditions of approval.

### Parks and Recreation Department:

- The Parks and Recreation Department takes no exception to the Public works Department's request for the Special Use Permit on this project. As construction activities begin to occur in the future, the Parks and Recreation Department wants to work with the Public Works Department to minimize any construction related impacts to public access at the exiting trail head facility or restoration of any existing recreational uses.

**SPECIAL USE PERMIT FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.062 (Special Use Permits) enumerated below and further substantiated in the applicant's written justification.

1. **The proposed development will be consistent with the master plan elements.**

#### ***Goal: Chapter 3: A Balanced Land Use Pattern***

***Policy: 1.1d, Municipal Code 18.12: Meet the provisions of the Growth Management Ordinance***

The proposed tank will meet the provisions of the Growth Management Ordinance.

*Policy: 1.4a: Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands.*

The water tank will be located on BLM property. Carson City will have an easement on this parcel for the purpose of locating and maintaining the proposed water tank.

*Policy 3.3d,e: Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures.*

The proposed water tank will not be located within the 100 year flood plain.

- 2. The proposed development will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

The proposed water tank will not be located near any adjacent uses in which it would create any objectionable noise once constructed, vibrations, odors, dust, glare or physical activity that would be inconsistent with the uses already conducted on and intended for the subject public parcel, nor would the facility be detrimental to the use, peaceful enjoyment, economic value or development of surrounding properties.

According to the applicant, the property where the proposed water tank will be located is on BLM property and currently has a three million gallon concrete tank which will be demolished after the proposed tank is constructed. The spoils materials are to be used to fill the void left by the demolition of the old tank, which will be re-vegetated as per BLM standards.

Access to the new tank will be via the same dirt road used to access the existing concrete tank and the type vehicle will be a standard pick up truck.

The expected short and long range benefits to the residents of Carson City will be there will now be a tank that meets current building and seismic codes and one that does not have the potential of catastrophic failure that the existing concrete tank has.

- 3. The proposed development will have little or no detrimental effect on vehicular or pedestrian traffic.**

The proposed tank will not generate additional traffic other than a City employee will access the site for periodic maintenance.

According to written comments received from Jeff Sharp, P.E., Carson City Deputy City Engineer, the proposal will have little effect on traffic or pedestrian facilities.

- 4. The proposed development will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

According to written comments received from Jeff Sharp, P.E., Carson City Deputy City Engineer, the proposal will have little effect on existing public services.

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

**5. The proposed development meets the definition and specific standards set forth in Title 18 for such particular use and meets the purpose statement of that district.**

The proposed development meets the purpose of the Public zoning district, which is for "buildings and facilities owned, leased or operated by the city of Carson City, Carson City Unified School District or any other district, State of Nevada or the government of the United States". Upon approval of the Special Use Permit with the recommended conditions of approval, the proposed water tank will be in conformance with the requirements of the Carson City Municipal Code and related Development Standards.

**6. The proposed development will not be detrimental to the public health, safety, convenience and welfare.**

The proposed water tank will not be detrimental to the public health, safety, convenience and welfare, but will enhance the ability to serve the same, particularly by increasing the storage capacity for fire protection and by assuring a quality supply of water for domestic, commercial, and governmental uses as well as for limited irrigation uses.

**7. The proposed development will not result in material damage or prejudice to other property in the vicinity.**

As noted above, the impacts of the proposed water tank will be minimal and will not result in material damage or prejudice to other property in the vicinity, or will the project result in prejudice or infringe upon the property rights of any surrounding properties.

Respectfully submitted,

PUBLIC WORKS DEPARTMENT, PLANNING DIVISION

*Jennifer Pruitt*

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Jennifer Pruitt AICP, LEED AP  
Principal Planner

Attachments:

- Application (SUP-09-087)
- Building Division comments
- Engineering Division comments
- Health Department comments
- Parks and Recreation comments

**RECEIVED**

**Carson City Planning Division**  
 2621 Northgate Lane, Suite 62 • Carson City NV 89706  
 Phone: (775) 887-2180 • E-mail: plandpt@ci.carson-city.nv.us

**FILE # SUP - 09 - 087****PROPERTY OWNER**BUREAU OF LAND MANAGEMENT**MAILING ADDRESS, CITY, STATE, ZIP**5665 Morgan Hill RoadPHONE #FAX #885-6000**APPLICANT/AGENT**  
Kent Arnold**MAILING ADDRESS, CITY, STATE ZIP**3505 Butti WayPHONE #FAX #887-2355887-2112E-MAIL ADDRESSKARNOLD@CI.CARSON-CITY.NV.US**FOR OFFICE USE ONLY:**

CCMC 18.02

NOV 13 2009

**SPECIAL USE PERMIT****CARSON CITY  
PLANNING DIVISION****FEE: \$2,450.00 MAJOR****\$2,200.00 MINOR (Residential zoning  
districts)**

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

**SUBMITTAL PACKET**

- 6 Completed Application Packets  
(1 Original + 5 Copies) including:
- Application Form
- Site Plan
- Building Elevation Drawings and Floor Plans
- Proposal Questionnaire With Both Questions and Answers Given
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering) (4 copies)

**Application Reviewed and Received By:**

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

<u>Project's Assessor Parcel Number(s):</u>	<u>Street Address</u>	<u>ZIP Code</u>
<u>010-171-97</u>	<u>2599 Koontz Lane</u>	
<u>Project's Master Plan Designation</u>	<u>Project's Current Zoning</u>	<u>Nearest Major Cross Street(s)</u>
<u>Public/Quasi Public P/Q-P</u>	<u>Public Residential</u>	<u>Edmathes</u>

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: 18.04.105, or Development Standards, Division N/A, Section N/A, a request to allow as a conditional use is as follows:

(SEE ATTACHED)**PROPERTY OWNER'S AFFIDAVIT**

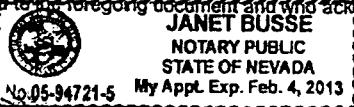
I, Lawrence Werner, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

SignatureAddressDate

Use additional page(s) if necessary for other names.

**STATE OF NEVADA****COUNTY (Carson City)**

On November 4, 2009, Lawrence Werner, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public

**NOTE:** If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

RECEIVED

NOV 05 2009

CARSON CITY  
PLANNING DIVISION

SUP - 09 - 087

Statement of Findings

Application for a Special Use Permit for  
Construction of New Carson City Prison Hill Water Tank #2.

Project Description:

Carson City is proposing to construct a new 3 Million Gallon Steel Water Tank that will replace the aging concrete water tank that is located approximately 170' to the north. The existing tank will be demolished after the new tank has been brought on line. Carson City performed a structural evaluation of the existing concrete storage tank and the recommendation was to have the tank replaced as soon as possible.

The new tank will be located on BLM Property identified as APN 010-171-01. The address of the new tank is 2599 Koontz Lane and the APN for the new tank will be the same as the existing tank, which is 010-171-99. The new steel tank will be similar in every respect to every other 3 million gallon steel water tanks located in Carson City and the City is currently in the process of obtaining an easement amendment from the BLM for this new construction.

A 20" PVC water line will also be constructed from the new tank to the existing 20" supply line that currently serves the existing tank. A new below grade equipment vault and small metal cabinet will be located adjacent to the new tank. The metal cabinet will contain the radio gear necessary for the tank water level monitoring equipment to communicate with our offices Butti Way. The new tank will also require a small UHF style antenna to be installed on the roof of the tank, typical to all other tanks owned and maintained by Carson City.

The design has incorporated the use of the spoils materials to be used to fill the void left by the demolition of the old tank, which will be re-vegetated as per BLM standards. Additional spoils will be mounded in front of the tank in an effort to create a decorative mound to help shield the tank from view by residents below the tank. The tank will also be painted using a color from the "Standard Environmental Colors" (Muncell Soil Color Charts), as recommended by the BLM.

GENERAL REVIEW OF PERMITS

QUESTION I.: How will the proposed development further and be in keeping with and not contrary to the objectives of the Master Plan elements?

Chapter 3: A Balanced Land Use Pattern:

- The project does meet the provisions of the Growth Management Ordinance.
- The tank itself will be 130 feet in diameter and 32 feet tall. The above grade metal cabinet and below grade concrete equipment vault will be located in the same easement as the tank and will not have a water, sewer, or electrical demand.
- The tank will be located on BLM property, currently zoned Public, of which an easement will be obtained from the BLM.
- There are no existing walking paths or City improvements located where the new

tank will be placed.

- There are no existing site features, such as trees, that will be in direct conflict with the construction of the new tank.
- The new tank is located on BLM Property. We are coordinating with the BLM in order to amend our existing easement in order to construct the new tank. Access to the new tank will be by use of the same easement that serves the existing tank.
- Project is not located in a Mixed-Use area.
- We do not intend to meet any setbacks that are required, but none are expected.
- It is not expected to disturb any environmentally sensitive areas, but an A&E report will be performed to evaluate this possibility.
- The tank is not located within the 100 year flood plain.
- The design does not contain all levels of services required for this type of project. No sidewalks are required due to the location, there will be no facilities located inside the associated vault that will require a water, sewer or septic connection.
- The project is not located in a Specific Plan Area.

#### Chapter 4: Equitable Distribution of Recreation Opportunities:

- The project does not require that park facility be constructed.
- The project is consistent with the Open Space Master Plan and the Carson River Master Plan.

#### Chapter 5: Economic Vitality:

- The project does not have an effect on the housing market.
- The project does have a direct effect on the local regional retail centers.
- The project does not have an effect on underused retail space.
- The project does not have a direct effect on tourism, cultural institutions and the State Capital.
- The project does not have an effect on revitalization of the Downtown core.
- The project does not have an effect on additional housing in and around the Downtown area.

#### Chapter 6: Livable Neighborhoods and Activity Centers:

- The tank will be constructed of durable steel. The associated equipment vault (8' wide x 14' long x 7' deep) will be constructed of concrete and completely buried so that only 6" of the top of the vault is visible. The approximately 24 inch wide by 30 inch tall metal cabinet will be attached to a 6 foot wide x 5 foot tall steel support assembly. The site will also be protected by a 6 foot tall chain link fence.
- Project will not include landscape materials, but all areas disturbed by construction will be reseeded using a mix as specified by the BLM.

Chapter 7: A connected City:

The project is not located along any major travel corridor.

QUESTION II. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

RESPONSE: Carson City Public Works Water Tank should not be detrimental to the immediate vicinity or the general neighborhood based on the following observations.

Explanation:

- A. The area where the new tank will be constructed has had an existing 3 million gallon concrete water tank located on the property since 1978. The new tank will be located approximately 2,000 feet east of Edmonds Drive. A short water main extension will be constructed from the existing water main to the new tank using an easement provided by the BLM.
- B. Our project should not hurt property values in the existing areas, as the new tank will simply be replacing the existing tank. The nearest subdivision is approximately 1200 feet west of this site. Access to the new tank site will be via the same dirt road used to access the existing tank and the type of vehicle will be a standard pick-up truck. Carson City will require access to the site approximately once a day during normal operation and only once a month for periodic maintenance. This type of facility should fit in with the surrounding use as there is minimal impact from this type of construction.
- C. This project should not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood basically because this area is already best suited for this type of construction due to the nature of the surrounding land use types. The new water tank will require a minimal amount of space.
- D. Considering the pedestrian and vehicular traffic that currently exists on the road serving our project, which is Edmonds Drive, the impact of this development when it is successfully operating will be exactly what it currently is.
- E. The expected short and long range benefit to the people of Carson City will be that there will now be a tank that meets current building and seismic codes and one that does not have the potential of catastrophic failure that the existing concrete tank currently has.

QUESTION III. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

RESPONSE: We feel that we have given sufficient consideration in adapting the project to the existing improvements in the vicinity based on the following observations;

Explanation:

- A. Our project will not affect the school district in any way. It will not add to the student population nor will it provide a service to the student population. Our project is like any other unmanned city facility in that it will be maintained and secured by city personnel, but like anything else, is susceptible to vandalism. In general the project would not require any special police protection.
- B. Our project will not result in the covering of land area with paving. The existing drainage at this location will be modified only slightly in order to divert surface water run off away from the tanks site.
- C. Our project is for improvement of the existing water system and has no water demand.
- D. This project does not require any type of sewer connection.
- E. Operators will use the existing access road from Edmonds and a new all-weather access road will be constructed over the new water line to be used for access to the equipment vault and tank.
- F. The major source of information has been provided by the staff of Carson City Engineering and Public Works.
- G. No outdoor lighting will be required.
- H. The new vault and cabinet will not be landscaped, as there are no other street, sidewalk or lighting improvements in this area.
- I. Our project will only require enough on-site parking for one pick up truck. The concept is that a Utility pick-up truck will pull into the site using the existing access road, inspect the tank, then leave the site.

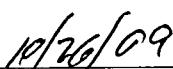
ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fulfill all conditions as established by the Planning Commission/Board of Supervisors. I am aware that this permit becomes null and void if the use is not initiated within one year of the date of the Planning Commission's/Board of Supervisor's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all city code requirements.

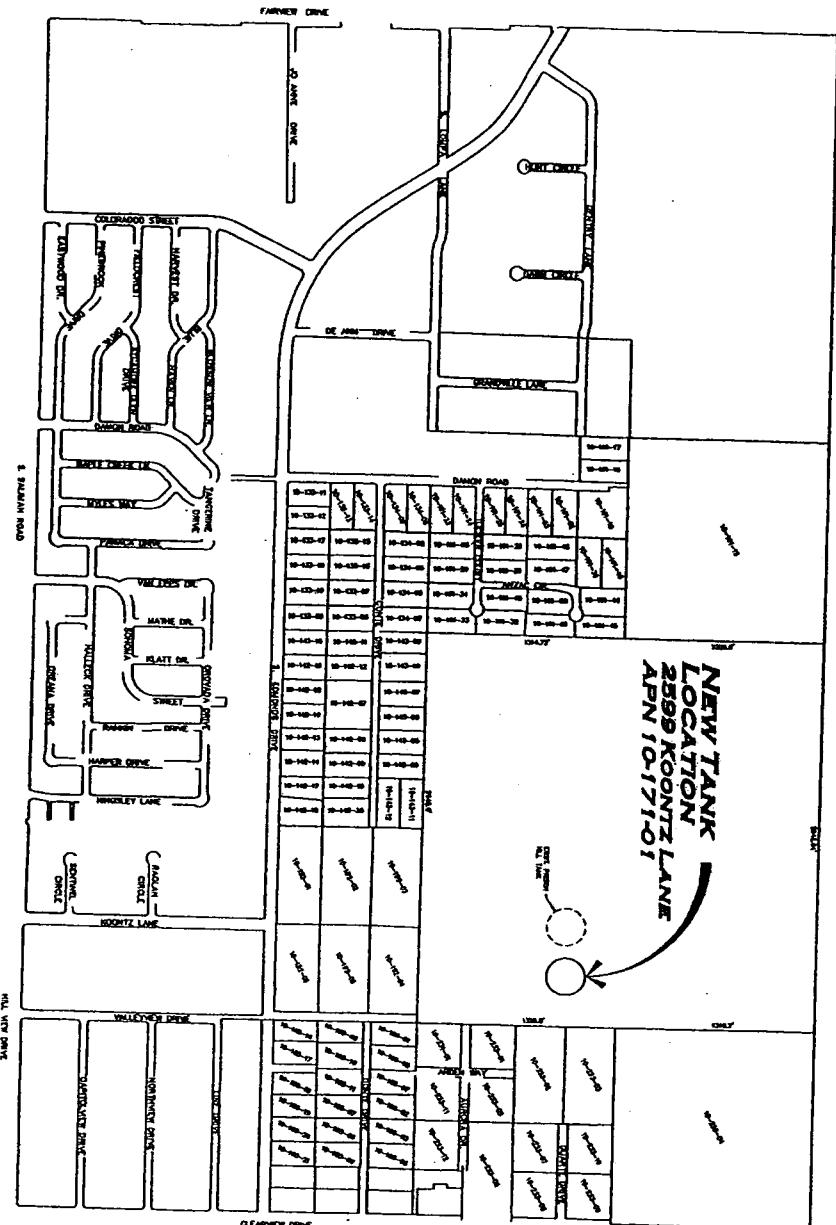


Applicant

Public Works Director



Date



**OWNER:**  
Carson City

**APPLICANT:**  
Carson City Public Works Department  
Operations Division  
3505 Butti Way  
Carson City, NV 89701

**KEN ARNOLD**  
887-2355 (EXT. 1015)

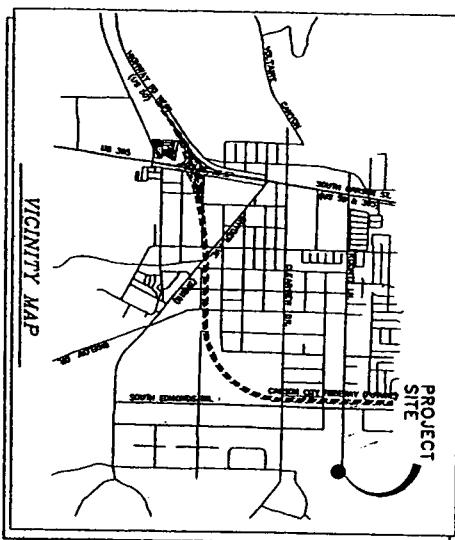
**REQUEST:**  
Special Use Permit for Construction  
of New Water Storage Tank

**LOCATION:**  
2599 Koontz Lane

**ZONING:**  
PC - Public Community  
APN 10-171-01

**SITE PLAN PREPARED BY:**  
Carson City Public Works

**SCALE**  
1" = 100'



**PRISON HILL WATER TANK #2**  
SITE IMPROVEMENT PLANS  
PROJECT No. 06-6019  
**SPECIAL USE PERMIT**  
2599 KOONTZ LANE  
APN 10-171-01

REF.	DATE	DESCRIPTION	BY APP'D	REMOVED BY	CARSON CITY PUBLIC WORKS DEPARTMENT	REMOVED BY
1					3505 BUTTI WAY CARSON CITY, NEVADA 89701 TEL: 887-2355 FAX: 887-2112	
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**PUBLIC WORKS  
DEPARTMENT**

**ADMINISTRATION**  
3505 Butti Way  
Carson City, NV 89701-3498  
Ph: 775-887-2355  
Fx: 775-887-2112

**CONTRACTS**  
3505 Butti Way  
Carson City, NV 89701-3498  
Ph: 775-887-2355  
Fx: 775-887-2112

**FLEET SERVICES**  
3303 Butti Way, Building 2  
Carson City, NV 89701-3498  
Ph: 775-887-2356  
Fx: 775-887-2258

**OPERATIONS**  
(Water, Sewer, Wastewater,  
Streets, Landfill, Environmental)  
3505 Butti Way  
Carson City, NV 89701-3498  
Ph: 775-887-2355  
Fx: 775-887-2112

**TRANSPORTATION/  
CAPITAL PROJECTS**  
3505 Butti Way  
Carson City, NV 89701-3498  
Ph: 775-887-2355  
Fx: 775-887-2112

**DEVELOPMENT  
SERVICES**

**BUILDING and SAFETY  
PERMIT CENTER**  
2621 Northgate Lane, Suite 6  
Carson City, NV 89706-1319  
Ph: 775-887-2310  
Fx: 775-887-2202

**DEVELOPMENT ENGINEERING**  
2621 Northgate Lane, Suite 54  
Carson City, NV 89706-1319  
Ph: 775-887-2300  
Fx: 775-887-2283

**PLANNING**  
2621 Northgate Lane, Suite 62  
Carson City, NV 89706-1319  
Ph: 775-887-2180  
Fx: 775-887-2278

# **CARSON CITY NEVADA**

**Consolidated Municipality and State Capital**



To: Carson City Residents:  
Re: Construction of New Carson City Prison Hill Water Tank #2.

Carson City is proposing to construct a new 3 Million Gallon Steel Water Tank that will replace the aging concrete water tank that is located directly east of the intersection of Edmonds Drive and Koontz Lane. The existing tank will be demolished after the new tank has been brought on line. Carson City performed a structural evaluation of the existing concrete storage tank and the recommendation was to have the tank replaced as soon as possible due to possible failure.

The new tank will be the same as the existing tank and will be similar in every respect to the existing 3 million gallon water tank, only the new tank will be constructed of steel and not concrete. The City is currently in the process of obtaining an easement amendment from the BLM for construction of this new tank.

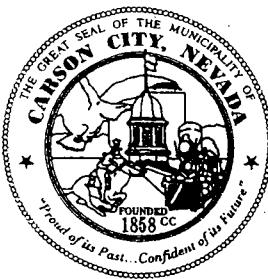
Included with the new tank project is a new 20" PVC water line that will be constructed from the existing water tank supply line to the new tank. A new below grade equipment vault and small metal cabinet similar to what currently exists at the existing tank will be located adjacent to the new tank. The metal cabinet will contain the radio gear necessary for the tank water level monitoring equipment to communicate with City offices at Butti Way. The new tank will also require a small UHF style antenna to be installed on the roof of the tank, typical to all other tanks owned and maintained by Carson City.

The design will incorporate the use of the spoils materials to fill the void left by the demolition of the old tank, which will be re-vegetated as per BLM standards. Additional spoils will also be mounded in front of the tank in the shape of a smooth rolling hill in an effort to create a "decorative" hill in order to help shield the tank from view by residents below the tank. This mound will also be re-vegetated using BLM seeding recommendations. The tank will be painted using a color from the "Standard Environmental Colors" (Muncell Soil Color Charts), as recommended by the BLM.

You may also receive a notice for a Special Use Permit hearing which is required to approve the new tank. We understand that the hearing is currently scheduled for December 16, 2009, at the Sierra Hearing Room at the Community Center.

Please contact Mark Brethauer, P.E., Senior Project Manager, at 887-2355 x 30364 if you have any questions. Thank you.

cc. Board of Supervisors.



# CARSON CITY, NEVADA

CONSOLIDATED MUNICIPALITY AND STATE CAPITAL

## MEMORANDUM

TO: Lee Plemel, Planning Director  
Jennifer Pruitt, Senior Planner (Hardcopy and Email)

FROM: Roger Moellendorf, Parks and Recreation Director *RMM*  
Vern L. Krahn, Park Planner

DATE: December 9, 2009

SUBJECT: Parks and Recreation Department's comments for the  
Wednesday, December 16, 2009, Planning Commission meeting.

SUP-09-086	Our department takes no exception to this project. However, the Unified Pathways Master Plan identifies Snyder Avenue as a bicycle lane facility.
SUP-09-087	Our department takes no exception to the Public Works Department's request for a special use permit on this project. As construction activities begin to occur in the future, our department wants to work with the Public Works Department to minimize any construction related impacts to public access at the existing trail head facility or restoration of any existing recreational uses.
2CA-09-085	No Comment
MPA-09-083	No Comment
MISC-09-078	No Comment



PARKS & RECREATION DEPARTMENT • 3303 Butti Way, Building #9 • 89701 • (775) 887-2262

*Parks • Recreation • Open Space • Facilities • Lone Mountain Cemetery*

**From:** Teresa Hayes  
**To:** MPR Committee  
**Date:** 11/9/2009 2:58 pm  
**Subject:** Planning Commission Comments: Dec 16, 2009

SUP 09-086

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

SUP 09-087

Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

Teresa Hayes, R.E.H.S.  
Environmental Health Specialist II  
Carson City Health and Human Services  
900 E. Long St  
Carson City, NV 89706  
Phone: (775) 887-2190 ext 30227  
Fax: (775) 887-2248

**Go Green: Please do not print this e-mail unless you really need to!**

Confidentiality Notice: This email message, including any attachments, may contain privileged and confidential information for the sole use of the intended recipient(s). If the reader of this message is not the intended recipient, any unauthorized review, dissemination, distribution, or copying of this email message is strictly prohibited. If you have received and/or are viewing this email in error, please notify the sender immediately by reply email and delete this email from your system

<b>File # (Ex: MPR #07-111)</b>	<b>SUP 09-087</b>
<b>Brief Description</b>	<i>3-million gallon water tank on BLM land</i>
<b>Project Address or APN</b>	<b>2599 Koontz / APN 010-171-99</b>
<b>Bldg Div Plans Examiner</b>	<i>Don Wilkins</i>
<b>Review Date</b>	<i>November 20, 2009</i>
<b>Total Spent on Review</b>	

**BUILDING DIVISION COMMENTS:**

***NOTE: These comments do not constitute a complete plan review, but are merely observations based on the information provided.***

**SCOPE OF APPLICATION:**

Construction of a 3,000,000-gallon water tank to be constructed on U.S. Bureau of Land Management (BLM) property. The project will include the infrastructure improvements to connect the proposed tank to the existing 20" water main, and the construction of an underground utility vault.

**GENERAL PLAN SUBMITTAL COMMENTS:**

1. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The project plan submittal shall comply with the applicable commercial requirements as outlined within the Carson City Building Division handout titled **COMMERCIAL SUBMITTAL REQUIREMENTS: New Construction & Additions**



# CARSON CITY, NEVADA

## CONSOLIDATED MUNICIPALITY AND STATE CAPITAL DEVELOPMENT SERVICES

**RECEIVED**

DEC 09 2009

CARSON CITY  
PLANNING DIVISION

**TO:** Planning Commission

**FROM:** *JS* Jeff Sharp, P.E. – City Engineer

**DATE:** December 9, 2009

**MEETING DATE:** December 16, 2009

### **SUBJECT TITLE:**

Action to consider an application for a Special Use Permit from Ken Arnold, on behalf of Carson City Public Works for a new 3 million gallon water tank located on property zoned Public Regional located at 2599 Koontz Lane, APN 010-171-99.

### **RECOMMENDATION:**

The Engineering Division has no preference or objection to the special use request, and no recommended conditions of approval.

### **DISCUSSION:**

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

#### **CCMC 18.02.080 (2a) - Adequate Plans**

The information submitted by the applicant is adequate for this analysis.

#### **CCMC 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

#### **CCMC 18.02.080 (5c) - Traffic/Pedestrians**

The proposal will have little effect on traffic or pedestrian facilities.

#### **CCMC 18.02.080 (5d) - Public Services**

The proposal will have little effect on existing public services.

H:\EngDept\P&E\SHARE\Engineering\Planning Commission Reports\Special Use Permits\2009\SUP 09-087 New Prison Hill Water Tank.doc

ENGINEERING DIVISION • 2621 Northgate Lane, Suite 54 • Carson City, Nevada 89706  
Phone: (775) 887-2300 Fax: (775) 887-2283 E-mail: engdiv@ci.carson-city.nv.us





### GRADING PLAN GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, SPECIAL REQUIREMENTS OF THE PERMIT, AND SHALL FOLLOW THE GUIDELINES SET FORTH BY THE SOILS ENGINEER FOR PRISON HILL II WATER TANK, CARSON CITY, NEVADA DATED 06-2009. ALL WORK UNTIL THE VIOLATION IS CORRECTED.
2. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR AT (775)-887-2310 AT LEAST ONE (1) WORKING DAY BEFORE WORK IS COMMENCED.
3. CUT SLOPES SHALL BE NO STEEPER THAN 1.5 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE CITY.
4. FILLS SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, ARRANGED IN CHRONOLOGICAL ORDER, AT THE COMPLETION OF THE PROJECT. THE ENGINEER OF RECORD SHALL PROVIDE THE CITY WITH AN OPINION REGARDING THE CONSTRUCTION SIMILAR TO THE FOLLOWING:

#### ENGINEER'S OPINION

I HEREBY CERTIFY THAT I AM A LICENSED ENGINEER IN THE STATE OF NEVADA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS, AND IN MY PROFESSIONAL OPINION, IS IN COMPLIANCE WITH APPLICABLE LAWS, CODES AND ORDINANCES.

5. THE ENGINEER OF RECORD SHALL PROVIDE THE CITY WITH COPIES OF ALL TEST RESULTS ON A WEEKLY BASIS AND A BOUND REPORT OF THE TEST RESULTS AND INSPECTION REPORTS, ARRANGED IN CHRONOLOGICAL ORDER, AT THE COMPLETION OF THE PROJECT. THE ENGINEER OF RECORD SHALL PROVIDE THE CITY WITH AN OPINION REGARDING THE CONSTRUCTION SIMILAR TO THE FOLLOWING:
6. FIELDS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THE PLACING OF FILL MATERIAL.
7. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION OF IMPROVEMENTS.
8. DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE AIR QUALITY PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED.
9. ALL STREETS SHALL BE MAINTAINED FREE OF DUST AND MUD CAUSED BY GRADING OPERATIONS. ALL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE STORMWATER DISCHARGE PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.
10. ALL SEPTIC POOL, SEPTIC TANKS, ETC., TO BE ABANDONED SHALL BE FILLED OR REMOVED IN ACCORDANCE WITH THE STATE OF NEVADA STANDARDS AND CERTIFIED BY THE ENGINEER OF RECORD.
11. EXISTING WELLS TO BE ABANDONED SHALL BE CAPPED IN ACCORDANCE WITH THE STATE OF NEVADA DIVISION OF WATER RESOURCES REGULATIONS FOR WATER WELL AND RELATED DRILLING.
12. THE DEVELOPER, ENGINEER OR SURVEYOR SHALL SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND THE CONTRACTOR SHALL OBTAIN INSPECTION BEFORE PLACING CONCRETE.
13. FINISHED GRADING SHALL BE COMPLETED AND APPROVED AND SLOPE PLANTING AND IRRIGATION SYSTEMS INSTALLED BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
14. NO ROCK OR SIMILAR MATERIAL GREATER THAN SIX INCHES (6") IN DIAMETER SHALL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE CITY.
15. THE SOILS ENGINEER SHALL APPROVE ALL GRADING INCLUDING COMPACTION REQUIREMENTS AND THE STABILITY OF SLOPES CREATED. EXISTING OR RELINQUISHED.
16. IN THE EVENT OF CHANGES ARISING DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR REVIEW AND APPROVAL BY THE CITY. NO CHANGES IN THE DESIGN SHALL BE PERMITTED UNLESS WRITTEN APPROVALS GIVEN BY THE PROJECT MANAGER.
17. EROSION CONTROL:
  - a. IF AN EMERGENCY, CALL: \_\_\_\_\_
  - b. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT APPROVED LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR DAMAGED EROSION CONTROL MEASURES.
  - c. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING FACILITIES. GRADED SLOPE SURFACE ALSO BE REPAVED.
  - d. FILLS SLOPES AT THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
  - e. A SIX-FOOT (6') HIGH PERIMETER FENCE OR A 24-HOUR GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN A FACILITY EXCEEDS EIGHTEEN INCHES (18').



FOR CIVIL WORK ONLY

REV: 12/31/10

DATE: 12/31/10

PROJECT NO. 06-6019

PRISON HILL WATER TANK #2

PRISON HILL TANK #2

SITE PLAN

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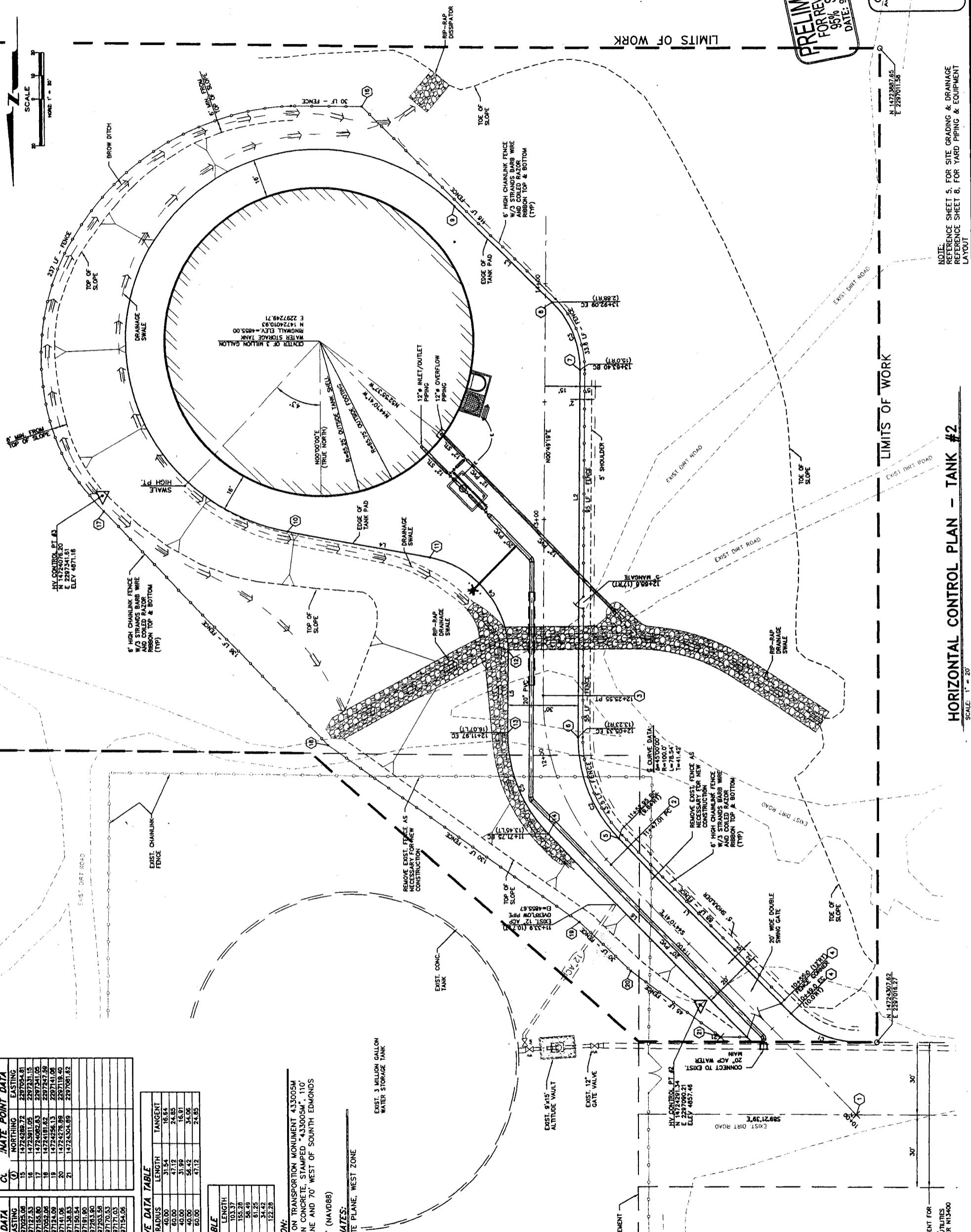
300'

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COORDINATE POINT DATA				NATE POINT DATA		
(C)	NORTHING	EASTING	(C)	NORTHING	EASTING	
1	1472433.57	2297025.06	15	1472426.72	2297024.61	
2	1472433.59	2297121.53	16	1472426.75	2297231.15	
3	1472416.97	2297153.80	17	1472406.83	2297241.05	
4	1472425.41	2297056.06	18	1472416.51	2297247.59	
5	1472422.29	2297149.09	19	1472426.13	2297114.08	
6	1472417.61	2297141.06	20	1472426.89	2297118.40	
7	1472420.34	2297138.83	21	1472430.69	2297081.82	
8	1472439.46	2297150.54				
9	1472439.94	2297151.90				
10	14724091.44	2297263.90				
11	14724102.06	2297203.58				
12	14724162.04	2297170.53				
13	14724176.46	2297171.03				
14	14724228.14	2297154.06				

CURVE DATA TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	45°10'58"	40.00	31.54	16.66
C2	45°00'00"	60.00	47.12	24.65
C3	45°49'19"	40.00	31.59	16.91
C4	80°46'19"	40.00	56.42	34.06
C5	45°00'00"	60.00	47.12	24.65

LINE DATA TABLE				
LINE	BEARING	LENGTH		
L1	144°10'41" W	103.37		
L2	N40°49'19" E	152.20		
L3	N45°00'00" E	58.49		
L4	S80°00'00" E	61.25		

**BASIS OF ELEVATION:**  
NEVADA DEPARTMENT OF TRANSPORTATION MONUMENT 43301  
2" COPPER-SET IN CONCRETE, STAMPED "433005".  
NORTH OF KODIAK LAKE AND 70' WEST OF SOUTH EDMONTON.

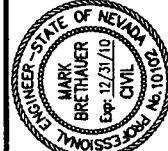
1000 FT. N. OF NOONN LANE AND 70 FT. E. OF SOUTH LANE  
AVENUE.  
TELELEVATION = 4749.08' (NAVD88)  
**BASIS OF COORDINATES:**  
NAD83, NEVADA STATE PLANE, WEST ZONE

11





CARSON CITY  
PUBLIC WORKS DEPARTMENT



FOR CIVIL WORK ONLY

DESIGNED BY: MWS/DRS  
DRAWN BY: MWS  
SHEET 7 OF 15  
DATE: 8-9-09

**CONSTRUCTION NOTES:**

- ① DEMO AND REMOVE EXISTING CHAINLINK FENCE, POSTS, AND BARB WIRE.
- ② REMOVE AND SALVAGE EXISTING ALTITUDE VALVE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DELIVERY OF THE UNDAMAGED VALVE TO CARSON CITY PUBLIC WORKS. THE VALVE SHALL BE SECURELY FASTENED TO A WOOD PALLET FOR DELIVERY. COORDINATE THIS WORK WITH THE CONSTRUCTION MANGER 24 HOURS IN ADVANCE TO DELIVERY.
- ③ DEMO AND REMOVE EXISTING PIPING AND ASSOCIATED CONTROL VALVES PRIOR TO PLACING FILL MATERIAL.

SCALE 1" = 20'  
NOTE: 1" = 20'

**ESTIMATED EARTHWORK QUANTITIES:**

EXIST. TANK SITE FILL ----- 3,230 CY  
TOPSOIL FILL ----- 650 CY  
TOTAL IN PLACE FILL ----- 3,880 CY

EXIST. WATER STORAGE TANK AND ALL APPURTENANCES TO BE DEMOLISHED AND REMOVED, INCLUDING FLOOR SLAB AND FOOTINGS. PRIOR TO PLACING FILL MATERIAL, SITE SHALL BE RESTORED TO MATCH SURROUNDING NATURAL CONDITIONS.

EXIST. 300' x 300' TANK EASEMENT LINE (PER N13400)

EXIST. CHAINLINK FENCE (1)  
EXIST. DIRT ROAD

GRADE DIVERSION SWALE  
TO ELIMINATE RUN ON  
FLOW TO NEW TANK SITE

MATCH EXIST.  
GROUND SLOPE  
(1:MP)

FC

DIVERSION SWALE 10'  
OFF NEW FENCE LINE,  
MAINTAIN POSITIVE FLOW

REMOVE EXIST.  
OVERFLOW PIPING

EXIST. VANT &  
② PIPING

③ EXIST. WATER VALVES

INSTALL 20" DIA.  
BLIND FLANGE  
W/THRUST BLOCK

EXIST. CHAINLINK  
FENCE

EXIST. DIRT ROAD

INSTALL 10" x 15"  
RIP-RAP DISSIPATOR  
D 56" x 12" ROCK

EXIST. DIRT HOLE

DIRT ROAD

DIRT ROAD

**EXISTING TANK SITE RESTORATION PLAN**

SCALE 1" = 20'  
REFERENCE SHEET 3 FOR GRADING PLAN GENERAL NOTES.

**PRELIMINARY**  
FOR REVIEW ONLY  
95% SUBMITTAL  
DATE: 9-9-09

Call before you Dig  
Avoid cutting underground  
Utility lines. It's costly.

**Call**



1-800-227-2600

PRISON HILL WATER TANK  
SITE RESTORATION PLAN  
PRISON HILL TANK #2  
PROJECT No. 06-6019  
DESIGNED BY: MWS/DRS  
DRAWN BY: MWS  
SHEET 7 OF 15  
DATE: 8-9-09

EXISTING TANK

PRISON HILL TANK

SITE RESTORATION PLAN

PRISON HILL TANK

EXISTING TANK

PRISON HILL TANK

SITE RESTORATION PLAN

PRISON HILL TANK

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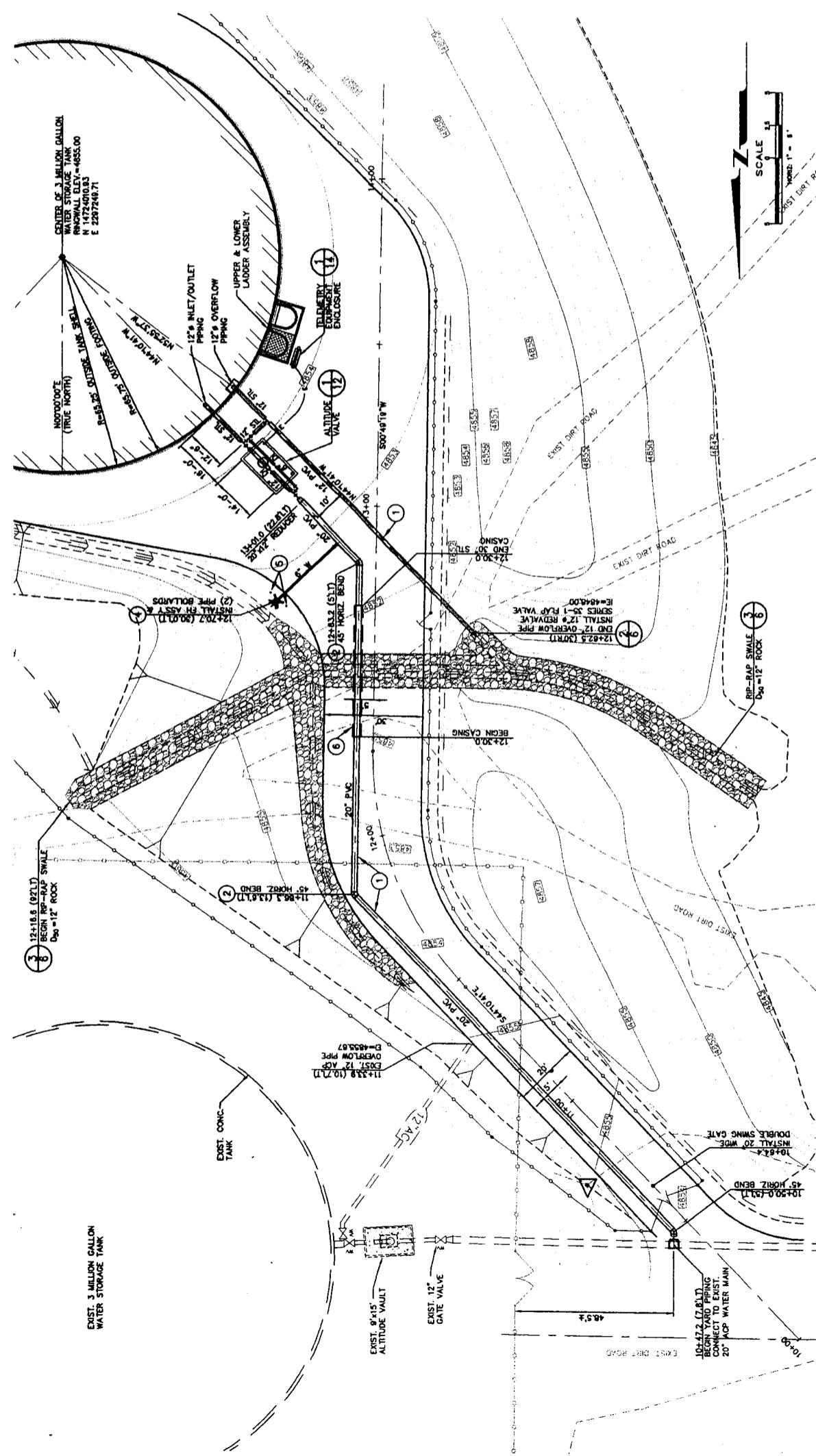
SITE RESTORATION PLAN

PRISON HILL TANK

EXISTING TANK

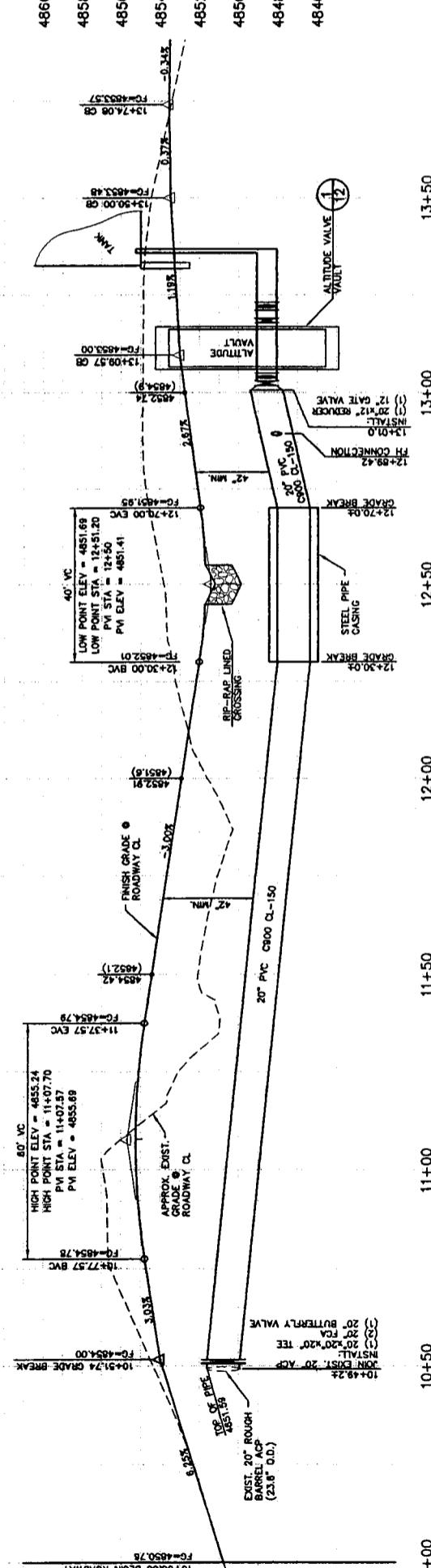
PRISON HILL TANK

SITE REST



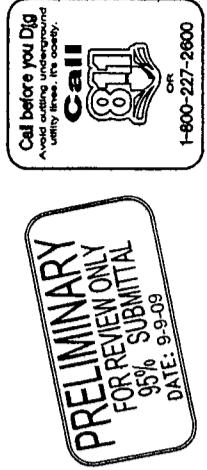
YARD PIPING PLAN

SCALE: 1" = 20'  
REFERENCE SHEET 4. FOR DETAILED HORIZONTAL CONTROL PLAN.  
REFERENCE SHEET 5. FOR DETAILED SITE STAGING & DRAINAGE.



## WATERLINE & ROADWAY PROFILE

SCALE: 1" = 20' HORIZ.



## PLAN, ELEVATIONS &amp; DETAILS

PROJECT No. 06-6019

SITE IMPROVEMENT PLANS

PRISON HILL WATER TANK #2

SHEET 9 OF 15

CARSON CITY  
PUBLIC WORKS DEPARTMENTSTATE OF NEVADA  
PROFESSIONAL ENGINEER  
MARK BRETHAUER  
Exp. 12/31/10  
CIVIL

FOR CIVIL WORK ONLY

REV. DATE DESCRIPTION BY APP'D

DESIGNED BY:

DRAWN BY:

CHECKED BY:

DUG BY:

MFG/DES

PILOT DATE:

8-9-09

LAYOUT NAME:

SH-8

NOTED:

DUG-DES

MFG-DES

PILOT-DES

8-9-09

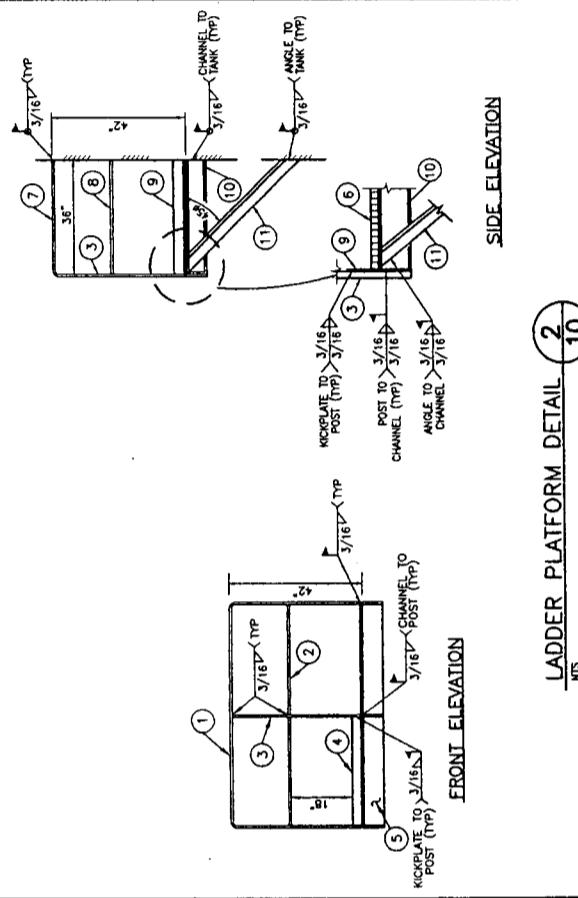
NOTED:

DUG-DES

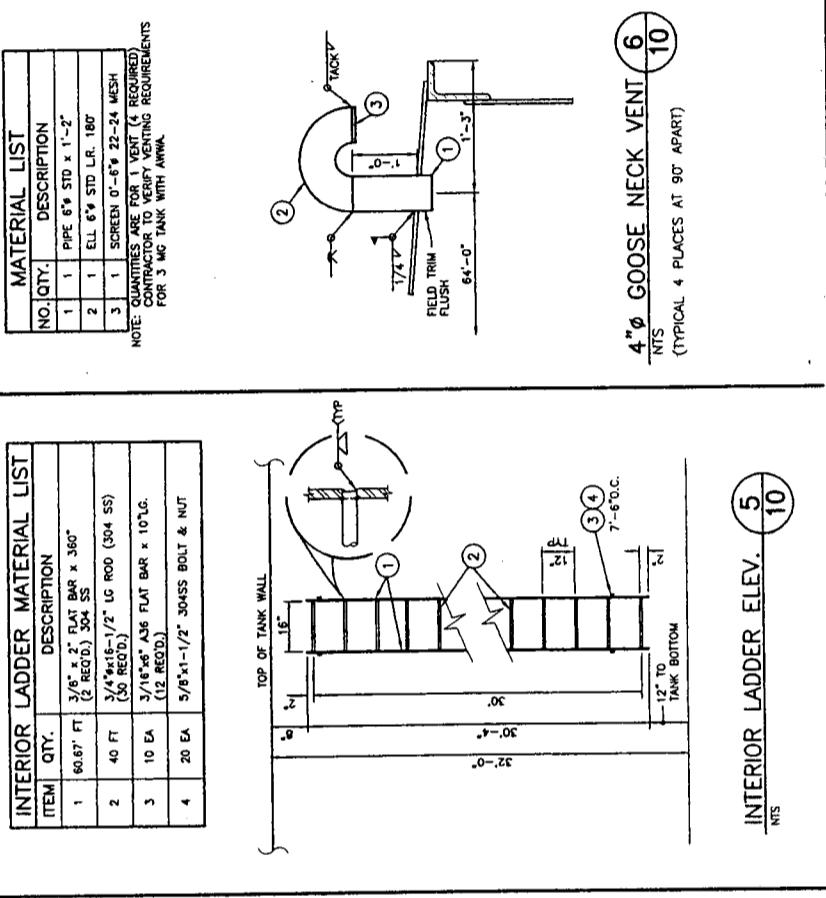
MFG-DES

EXTERIOR PLATFORM MATERIAL LIST					
NO.	QTY.	DESCRIPTION	LENGTH	NOTES	
1	1	1-1/2" SCH. 40 BL. ST. PIPE	72"	RAILING	
2	2	1-1/4" SCH. 40 BL. ST. PIPE	53-3/4"	RAILING	
3	3	1-1/2" SCH. 40 BL. ST. PIPE	45"	RAILING	
4	1	1/4" x 6' A 36 FLAT BAR	36"	KICKPLATE	
5	1	C 3 x 1 CHANNEL	72"		
6	3	11-3/4" x 36" 14GA. GRIP STRUT BY MONICHOLS CO.	36"	GRATING	
	1	1-237-3820			
7	1	1-1/2" SCH. 40 BL. ST. PIPE	37-1/2"	RAILING	
8	1	1-1/4" SCH. 40 BL. ST. PIPE	36"	RAILING	
9	1	1/4" x 6' A 36 FLAT BAR	36"	KICKPLATE	
10	3	C 3 x 1 CHANNEL	36"		
11	2	L 2-1/2" x 2-1/2" x 1/4" ANGLE	51"	SUPPORT ANGLE CUT TO FIT	
12	1	1/4" x 1-1/2" A 36 FLAT BAR	36"	CUT TO FIT	

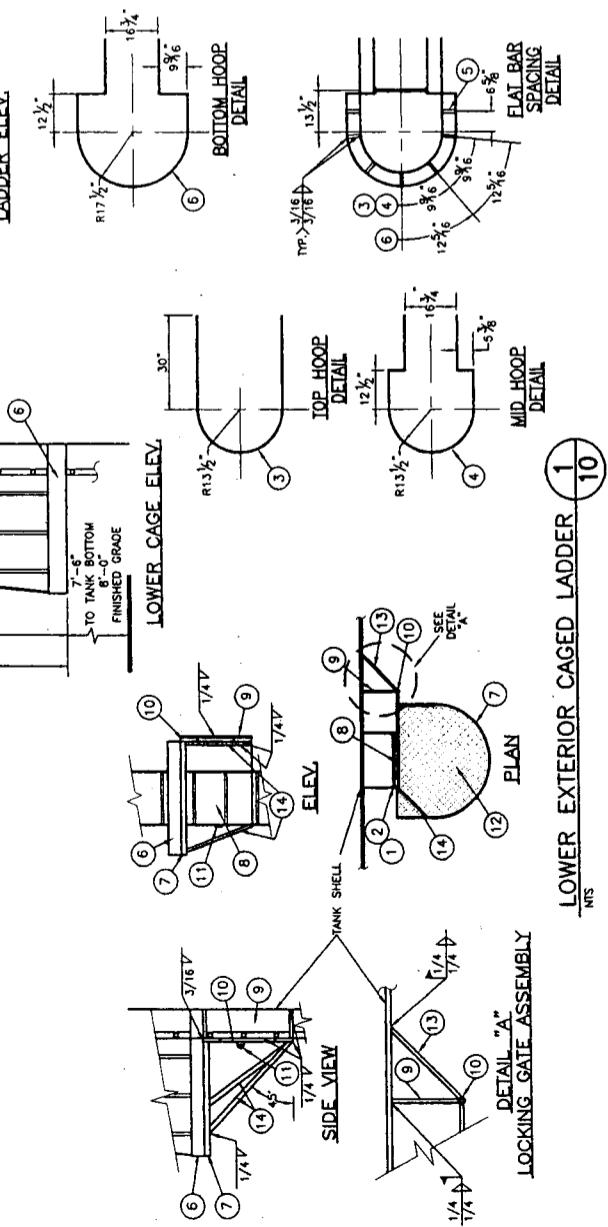
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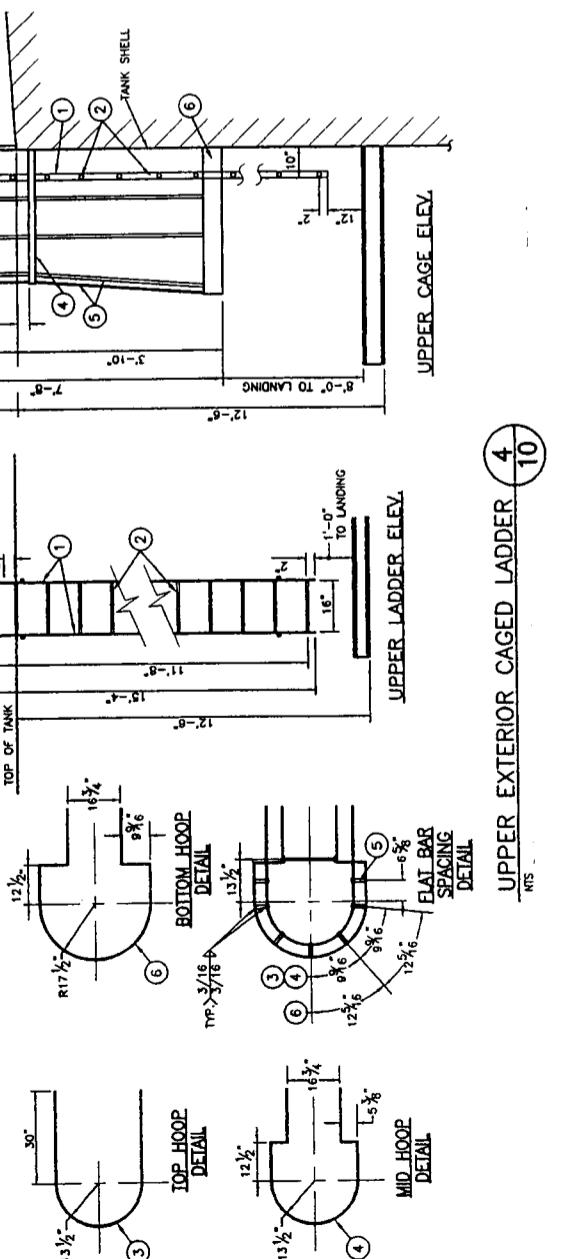
3



EXTERIOR LADDER MATERIAL LIST		
ITEM	QTY.	DESCRIPTION
1	48 FT	3/8" x 2" FLAT BAR x 292" (2 RECD.)
2	33 FT	NO. 6 DEFORMED BAR 16-1/2" LG.(24 RECD.)
3	1	3/16" x 5" FLAT BAR x 90-1/4" LG.
4	2	1/4" x 2" FLAT BAR x 90-1/4" LG.
5	7	1" x 1" x 14" (7 RECD.)
6	8.5 FT	5/16" x 2" FLAT BAR x 110-5/8" LG.
7	7 FT	2" x 3/16" FLAT BAR x 82" LG.
8	6 SQ FT	A-36 1/4" PL x 24" x 36" LG.
9	1.5 SQ FT	A-36 3/4" PL x 10-3/4" x 24" LG.
10	1	1/2" ROO W/1/2" STL PIPE HINGE ASSEMBLY
11	1	2 1/2" x 1/4" STEEL PLATE WASP W/1/2" HOLE
12	7.5 FT	30-1/4" x 36" 1-1/2" NO. 16 EXP. METAL (BLK STL.)
13	2.6 FT	2" x 3/8" FLAT BAR x 15-1/4" LG.(2 RECD.)
14	6 FT	2" x 3/8" FLAT BAR x 15-1/4" LG.(2 RECD.)



EXTERIOR LADDER MATERIAL LIST		
ITEM	QTY.	DESCRIPTION
1	30.67 FT	3/8" x 2" FLAT BAR x 164" (2 RECD.)
2	16.5 FT	NO. 6 DEFORMED BAR 16-1/2" LG. (13 RECD.)
3	1	5/16" x 6" FLAT BAR x 90-1/4" LG.
4	1	1/4" x 2" FLAT BAR x 80-1/4" LG.
5	5.5 FT	1" x 1/4" x 102" (7 RECD.)
6	6.5 FT	5/16" x 6" FLAT BAR x 110-5/8" LG.

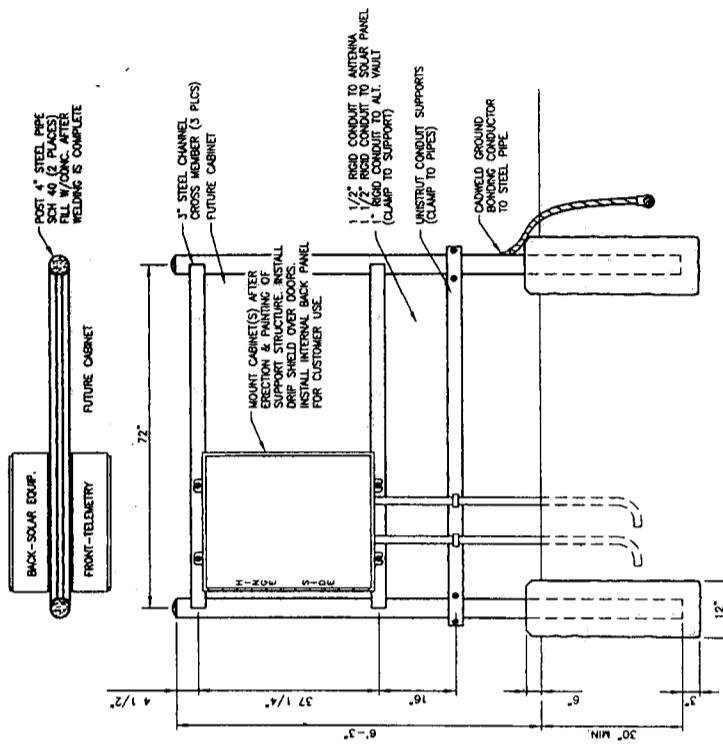


<p align="center"><b>CARSON CITY</b> <b>PUBLIC WORKS DEPARTMENT</b></p> <p align="center"><b>STATE IMPROVEMENT PLANS</b> <b>PRISON HILL WATER TANK #2</b></p> <p align="center"><b>PROJECT No. 06-6019</b></p>		<p align="center"><b>TANK SECTIONS &amp; DETAILS</b></p>																																																																																		
<p align="center">3505 BULLITT WAY CARSON CITY, NEVADA 89701 PHONE: (775) 887-2355 FAX: (775) 887-2112 DRAWN BY: DGS DESIGNED BY: DGS CHECKED BY: DGS DRAFTED BY: DGS PLOT DATE: 9-9-09 LAYOUT NAME: ST-10 SCALE (HORZ.): 1:60 SCALE (VERT.): 1:60 NOTE: QUANTITIES SHOWN ARE FOR ONE (1) ASSEMBLY ONLY. (2 REQUIRED)</p>		<p align="center">SHEET 11 OF 15</p>																																																																																		
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<p><b>ROOF MANWAY</b></p> <p><b>SECTION R</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION S</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION T</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION U</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION V</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION W</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION X</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION Y</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		
<p><b>ROOF MANWAY</b></p> <p><b>SECTION Z</b></p>		<p><b>EXTERIOR OVERFLOW SUPPORT</b></p> <p><b>SECTION 11</b></p>																																																																																		



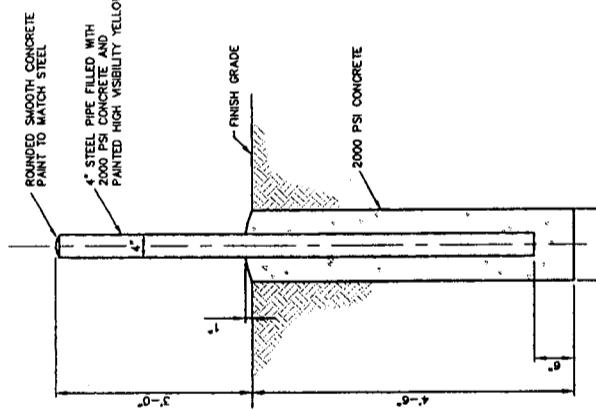




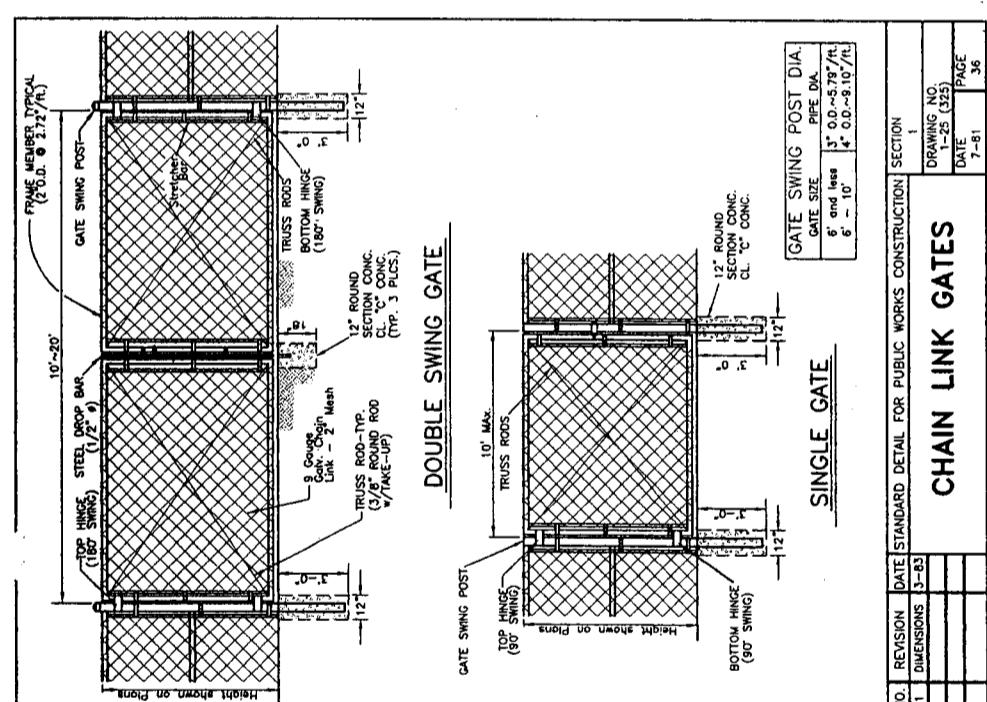


TELEMETRY EQUIPMENT ENCLOSURE 1  
AND SUPPORT STRUCTURE 15

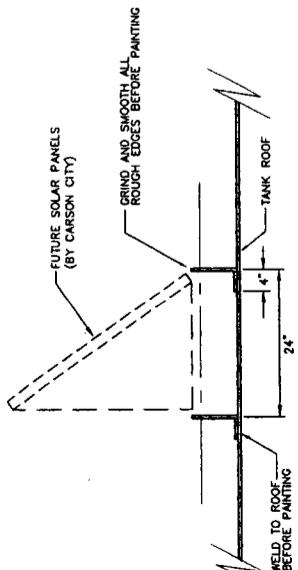
STEEL PIPE UPRIGHTS SHOWN ARE TO BE STRAIGHT AND PLUMB, CROSS MEMBERS TO BE IN THE SAME PLANE, TO AVOID DISTORTION OF THE CABINET ENCLOSURE. SUPPORT STRUCTURE TO BE COATED PRIOR TO MOUNTING THE CABINET ENCLOSURE, COATING TO CONSIST OF TWO OR MORE COATS OF GLOSS ALKYL ENAMEL OVER A PRIMER COAT, FOR A TOTAL FILM THICKNESS NOT LESS THAN 7 MILS. FINISH COLOR TO MATCH THAT OF CLEARANCE TANK. SEE SPECIFICATION 'COATING EXTERIOR METAL PIPE' PROVIDED FOR CLEARANCE TANK TO REAR CABINET DOOR. CABINET(S) TO BE NEMA 12, ROFTMAN A-353010-10, 35730-10-00, FITTED WITH



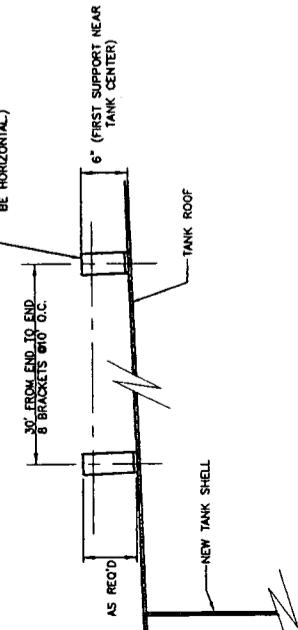
PIPE BOLLARD DETAIL (PERMANENT) 3  
15



CHAIN LINK GATES



SOLAR PANEL SUPPORT DETAIL 2 15  
NTS



EXTEND 1-1/2" STL. CONDUIT TO TELEMETRY PANEL, CLAMP AS REQUIRED.  
PANELS SUPPORTS SHALL BE SET SO FINAL ASSEMBLY FACES DUE SOUTH.  
CENTERS SUPPORTS MARGIN BETWEEN TANK TENT AND EDGE OF TANK.  
IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE STRUCTURAL REQUIREMENTS  
AND DESIGN OF THE SOLAR PANEL SUPPORTS FOR CONNECTION TO THE NEW ROOF.  
IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE SOLAR PANEL SUPPORTS FOR CONNECTION TO THE NEW ROOF.  
(TEN FOR 80 MPH WIND FACTOR)

