

STAFF REPORT FOR PLANNING COMMISSION MEETING OF JUNE 30, 2010

FILE NO: SUP-10-026

AGENDA ITEM: H-3

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

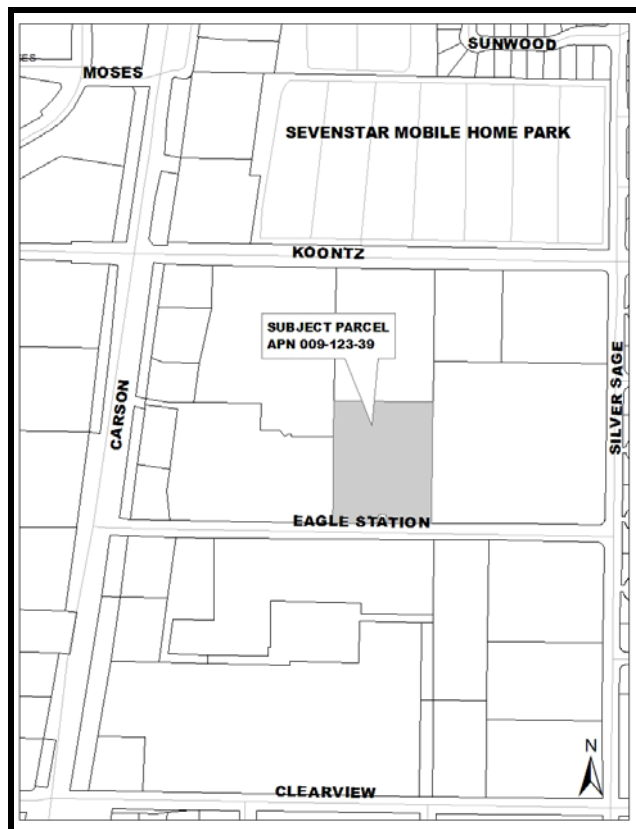
REQUEST: Request to allow an increase in the total number of permitted multi family dwelling units from 48 to 72 in six buildings on property zoned General Commercial Planned Unit Development (GC-P), located at 250 Eagle Station Lane, APN 009-123-38 and 009-123-39.

OWNER: Jackson Fam Liv Trust 5/25/00 c/o Donald and Bonnie Jackson, Trustee

APPLICANT: Ken Rose, Architect

LOCATION/APN: 250 Eagle Station Lane/009-123-38 and 009-123-39

RECOMMENDED MOTION: "Move to approve SUP-09-039, a Special Use Permit request to allow an increase in the number of permitted residential units from 48 units to 72 units in six buildings on property in the General Commercial-Planned Unit Development zoning district, located at 250 Eagle Station Lane, APN 009-123-38 and 009-123-39, based on findings and conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

The following shall be submitted with any building permit application:

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval, signed by the applicant and owner, with any building permit application.
6. The building construction requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
7. All exterior lighting must be reviewed and approved prior to installation.

The following applies throughout the life of the project:

8. The maximum number of residential units allowed on the site is 72. Any modification to increase density or significant changes in the proposed project will required an additional review by special use permit.
9. With this Special Use Permit (SUP-10-026) approval, the Planning Division approves the requested Abandonment of Final Plan TPUD-05-191 Eagle Village Planned Unit Development.
10. Lighting fixture details and "cut-sheets" shall be submitted with a Building Permit application in compliance with Development Standards Division 1.3 Lighting. Any lighting fixtures shall be so installed as to project light downward and away from adjoining properties and glare to the sky.

11. The applicant shall submit landscape plans in compliance with the Carson City Development Standards, Division 3 (Landscaping) with building permit plans for review and approval by the Planning Division.
12. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color. Bold colors shall be avoided except when used as accent or trim.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), 18.02.050 (Review), 18.04.135 (General Commercial) and Development Standards 1.18 (Residential Development Standards in Non-Residential Districts).

MASTER PLAN DESIGNATION: Commercial (C)

ZONING: General Commercial-Planned Unit Development (GC-P)

KEY ISSUES: Is the proposed modification of the number of residential units from 48 to 72 compatible with the previous approvals for the site?

SURROUNDING ZONING AND LAND USE INFORMATION:

North: Evergreen Mountain View Care Center; zoned General Commercial (GC)

South: JC Penney; zoned General Commercial (GC)

West: Southwest Gas Company; zoned Retail Commercial (RC)

East: Commercial; zoned General Commercial (GC)

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: Zone "B" and "AH" areas between the 100 to 500 year flood zone
2. SOILS: 71- Urban Land
3. EARTHQUAKE FAULT: No earthquake faults in the vicinity
4. WETLANDS: No wetlands exist on the site

SITE DEVELOPMENT INFORMATION:

- 1 LOT SIZE: The subject site contains 3.66 acres (2 parcels).
- 2 PROPOSED PROJECT SIZE: The proposed project consists of 72 residential units grouped in six, three story buildings, and totaling 87,348 square feet.
- 3 LANDSCAPING AREA: 62,436 square feet or 1.43 acres.

- 4 SETBACKS: There are no required General Commercial (GC) setbacks. Height is limited to 45 feet. Provided: front 25 feet, right side 40 feet, left side 40 feet, rear 23 feet, height 38.5 feet overall
- 5 VARIANCE REQUESTED: None

OTHER REVIEWS REQUIRED:

- Pursuant to Carson City Municipal Code 18.02.100 Major Project Review, Multi Family Apartment projects require a Major Project Review. On April 27, 2010 the required Major Project Review MPR-10-029 was completed and comments were provided to the applicant.

DISCUSSION:

A Special Use Permit is required for the following reason:

- According to CCMC Section 18.04.135(3) General Commercial Conditional Uses, a Multi Family Use requires a Special Use Permit (SUP).

The Eagle Village Condominium project was initially approved on November 30, 2005 by SUP-05-192, TPUD-05-191 and FPUD-08-128 for 36 residential condominiums in six buildings, where residential uses require approval of a Special Use Permit. The project has since changed owners and with changes in the economic industry has resulted in delay of the project. On May 27, 2009, the Planning Commission approved SUP-09-039 to allow the increase in density from the previously approved 36 dwelling units to 48 dwelling units. This SUP proposal is a request to add 24 additional residential units to the previously approved 48 units for a total of 72 dwelling units on site.

The property owner has obtained the required building permits related to the previous approvals and commenced work on site which includes: all utility tie-ins at the street, all on site utilities, rough grading, building pads to bottom of footing, perimeter wall construction, fire lines with hydrants, city sidewalks and curb & gutter work and all required off-site improvements.

The applicant at this time is proposing to use the same building footprints for the project as previously approved, keeping the site to a total of six buildings, with internal changes to the buildings, elevation alterations, parking lot alterations and additional floors added, which will increase the total number of units from 48 to 72. The density for the project with the addition of 24 units will increase from 13.11 dwelling units per acre to 19.67 dwelling units per acre, which is within the high density range noted in the Carson City Master Plan of 8-36 dwelling units per acre.

The applicant has noted as a result of the housing market crash the condominium development has become extinct. For this project funding is driving the request for this increase in density request. The Planning Commission has reviewed two previous projects pursuant to CCMC Development Standards 1.18 Residential Development Standards in Non-Residential Districts. Currently neither of these projects have been completed. This project is the first project of more than 10 units subject to the above noted regulations.

The project was previously reviewed and approved as a Planned Unit Development, and with this submittal the applicant has requested the elimination of the Planned Unit Development. The project

will be a Multi Family Apartment project instead of the previously approved condominium project. A requirement under Development Standards Division 2 Parking at 2.2.A, is a minimum of two parking spaces required for each dwelling unit or a total of 144 parking spaces. The applicant proposes to eliminate the previously approved garage parking and tandem parking spaces associated with the PUD, while configuring 146 surface parking spaces on site or a total of 2 spaces beyond the number required.

Ample open space and landscaping are proposed for the project. A total of 62,436 square feet, 1.43 acres or 39% of the site is proposed in landscaping and pathways. Open space totaling 250 square feet per unit or 18,000 square feet is required under Development Standards 1.18, Residential Development Standards in Non-residential Districts. The applicant states the units will appear to be high quality residential structures, with pitched roofs, porches, etc, while the existing surrounding retail commercial and office buildings are considerably larger and have box like appearances.

1.18 Residential Development Standards in Non-Residential Districts.

The following standards are intended to establish minimum standards and Special Use Permit review criteria for residential development within the Neighborhood Business (NB), Retail Commercial (RC), General Commercial (GC), Residential Office (RO) and General Office (GO) zoning districts.

1. Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts.

Currently, the subject property located at 250 Eagle Station is in the GC zoning district. There is a diverse group of mixed zoning and uses along this portion of Eagle Station Lane, which includes: commercial and single family dwelling units, in the General Commercial, Retail Commercial and Single Family 6,000 zoning districts.

2. Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of this chapter.

The applicant has met all the current requirements for the maximum permitted density. The proposed project satisfies the parking, open space and height requirements subject to the GC zoning district. The proposed project is not a result of an over built site. The applicant is proposing to utilize the previously approved building pads.

3. Maximum building height shall be the maximum height established by the zoning district in which the project is located.

The maximum building height requirement is set at 45 feet in the GC zoning district. The proposed structures are approximately 38.5 feet at their highest point.

4. Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:

- a. In the NB, RC, GC and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district.
- b. A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area.

The minimum required setback in the GC zoning district is zero, with exceptions for projects adjacent to single family zoning districts. It should be noted that the proposed project is not adjacent to a residential zoning district.

5. Required parking: Two spaces per dwelling unit; in compliance with the Development Standards Division 2, Parking and Loading.

The proposed multi-family project is in compliance with the Development Standards for parking. The following parking analysis has been provided by the applicant:

- *144 parking spaces are required for the 72 multi family dwelling units; the applicant is proposing 146 surface parking spaces on site.*

6. Open Space.

- a. A minimum of 150 square feet per dwelling unit of common open space must be provided. For projects of 10 or more units, areas of common open space may only include contiguous landscaped areas with no dimension less than 15 feet, and a minimum of 100 square feet per unit of the common open space area must be designed for recreation, which may include but not be limited to picnic areas, sports courts, a soft-scape surface covered with turf, sand or similar materials acceptable for use by young children, including play equipment and trees, with no dimension less than 25 feet.
- b. A minimum of 100 square feet of additional open space must be provided for each unit either as private open space or included in the common open space area.
- c. Front and street side yard setback areas may not be included toward meeting the open space requirements.

The Common Open space area required is 7,200 square feet, and the applicant is proposing 33,400+ square feet of Common Open Space Area. The applicant is also proposing approximately 5,700 square feet or 950 square feet per building (ranging from 67.5 square feet to 90 square feet per unit) of private open space noted as balconies or patios. The applicant has proposed to include a portion of the required private open space in the common open space area.

The total Open Space required for the proposed 72 unit apartment complex is 18,000 square feet; the applicant is proposing a total of 39,100 square feet for Open Space.

7. Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping.

All the landscaping on the proposed project will comply with the Carson City Development Standards Division 3. The subject site will have 62,436 square feet of landscaping area.

8. Special Use Permit review standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make **two** of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code. Per the information provided by the applicant, three of the following findings can be made in the affirmative.

- a. The development is not situated on a primary commercial arterial street frontage.

The proposed project is located on a collector street and not a primary commercial arterial street frontage.

- b. The development is integrated into a mixed-use development that includes commercial development

Currently the property is not part of a mixed-use development.

- c. The applicant has provided evidence that the site is not a viable location for commercial uses.

The applicant notes the subject site has poor visibility and limited access that restricts its potential of success as a commercial site.

- d. The site is designated Mixed-Use Commercial, Mixed-Use Residential or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable Mixed-use criteria and standards.

This item is not applicable to the proposed project. The project is not located in an area identified as Mixed Use Commercial on the Carson City Land Use Map.

PUBLIC COMMENTS: Public notices were mailed to 191 adjacent property owners within 600 feet of the subject site. At the writing of this report no additional comments in favor or opposition to this proposal have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 30, 2010 depending on the date of submission of the comments to the Planning Division.

AGENCY COMMENTS: All comments from various city departments and agencies which were received as of June 18, 2010 are included or attached to this report.

Building Division comments:

These comments do not constitute a complete plan review, but are merely observations based on the information and plan sheets provided. The comments do not reflect all submittal requirements necessary for this project, but are those requirements that have generated concerns with similar projects in the past.

GENERAL COMMENTS

1. The building construction requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson-city.nv.us/Index.aspx?page=181
3. The new submittal shall include updated Mechanical, electrical, plumbing and structural drawings. In addition, revise the design criteria for the proposed changes.
4. Include the 2007 Northern Nevada Amendments under the "Basis of Design".
5. The revised parking plan will require a minimum of 5 accessible parking spaces based on number of spaces per Table 1106.1, 2006 IBC. Only 4 accessible parking spaces are shown.
6. 2006 International Building Code Section 1106.6: Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance.....Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.
7. Note the location and slopes of the accessible routes from the accessible parking spaces to the structures.
8. Transfer all of the "red and blue line" comments from the approved plans that have been issued to MBI to the new submittal sets. Two permits for construction have been issues to date.
9. Minimum frost depth for footings is 24". Please correct on the cover sheet.

Fire Department comments:

- This project shall meet all codes and ordinances.

Health Department comments:

- Carson City Health and Human Services has no comments regarding the project as described in the packet received. The applicant must meet all applicable codes and ordinances as they apply to this request.

Engineering Division comments:

The Engineering Division has no preference or objection to the special use request, and the following recommended conditions of approval.

- The updated water and sewer capacity calculations for 24 extra apartment units must be resubmitted with an original signature and wet stamp.
- The turn around areas for the inside parking spaces next to the buildings do not show dimensions on the plans. We need to see a submittal showing these dimensions and turning diagrams showing these areas are large enough to work. This submittal must also be wet stamped. This requirement was on both the major project review and the updated special use permit comments

Parks and Recreation Department comments:

- No comments.

FINDINGS: The recommendation in this report is based upon the findings as required by Carson City Municipal Code (CCMC) Sections 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. The project will be consistent with the master plan elements.

This proposal is in conformance with the Master Plan and will be in conformance with the Zoning Ordinance (Title 18). The proposal is consistent with a number of goals and policies that support a diverse community. The applicant has provided many goals and policies in the submitted application in conformance with the requirements of the Master Plan. A few are excerpted here:

GOAL 1.1—PROMOTE THE EFFICIENT USE OF AVAILABLE LAND AND RESOURCES

1.1d—Growth Management Ordinance

The City shall continue to review applications for proposed residential development in accordance with the Carson City 1988 Growth Management Ordinance, as contained in Chapter 18.12 of the City's Municipal Code.

1.1e—Sustainable Construction Techniques

Encourage the use of sustainable building materials and construction techniques, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program which provides voluntary national standards and certification for a range of new construction types to promote the development of energy efficient, sustainable buildings.

The applicant states the project provides the introduction of a high value residential use within a commercial office and retail area, creating a "mixed use" which will add vitality and diversity to the neighborhood and stimulate the neighborhood economy.

1.2a—Priority Infill and Redevelopment Areas

The applicant states the project provides for a mixture of compatible land uses in the commercial neighborhood bounded by residential uses. The majority of uses for residential dwellings take place during nights and weekends, while the majority of office/commercial uses take place during weekdays.

The applicant states the development is an infill project that provides for the efficient use of land

within the City's existing developed area, with attractive, high quality design and construction, extensive landscaping and desirable design elements.

GOAL 2.1—ENCOURAGE DIVERSITY IN CITYWIDE LAND USE MIX

2.1a—Range of Land Use Opportunities

Ensure that the Land Use Map provides opportunities for a range of mixed-use, residential, commercial, and employment uses at a variety of scales and intensities.

The Eagle Village Apartments is a project that provides a mixture of compatible land uses in this commercial neighborhood that is bounded by residential uses.

GOAL 6.1—PROMOTE HIGH QUALITY DEVELOPMENT

6.1a—Durable Materials require the use of durable, long-lasting building materials for all new development.

6.1b—Neighborhood Design

Promote variety and visual interest in the design of new neighborhoods through the incorporation of varied lot sizes, building styles and colors, garage orientation, and other features, as consistent with the land use policies contained in Chapter 3 of this Plan.

6.1c—Variety and Visual Interest

Promote variety and visual interest in the design of new development through the incorporation of well-articulated building facades, clearly defined entrances and pedestrian connections, landscaping, and other features as consistent with the City's Development Standards.

The proposed project has been designed to incorporate well articulated building facades, clearly defined entrances and pedestrian connections, landscaping, and other features as consistent with the City's Development Standards.

2. The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

During construction there will be additional noise, vibrations, fumes, odors, dust, glare and/or physical activity. At completion of the project the site will continue to generate noise. However, any new use here will create more physical activity than the existing vacant lot. It is assumed the change will not be objectionable to the surrounding commercial properties. Commercial uses generally have active times which are not the same as residential uses.

3. The project will have little or no detrimental effect on vehicular or pedestrian traffic.

The proposed project will create more vehicular and pedestrian traffic than presently exists on the site with the development of a vacant lot into 72 residential units. However, the roads and sidewalks in the vicinity are adequate to support the proposed development. The property immediately surrounding this site is commercial.

4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

All of the necessary services and facilities have been approved or authorized to provide the previously approved 48 residential units with any required needs such as water and sewer connections, road and sidewalks. The applicant has submitted letters from Michael Lawson, P.E. stating the sewer and water systems as previously designed and approved on site are sufficient for the proposed increase from 48 units to 72 units. See letters dated May 28, 2010. The Engineering Division has reviewed the change to add 24 units to a total of 72 residential units and did not state this will overburden existing services. The applicant has noted that each building will be equipped with fire sprinkler systems to each unit.

5. The project meets the definition and a specific standard set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The purpose of the General Commercial (GC) zoning district is to achieve the following:

A Special Use Permit is required because the zoning of this property is General Commercial Planned Unit Development. All residential uses in this zoning district require Special Use Permit approval. The proposed increase from 48 to 72 units is therefore being presented to the Planning Commission for review.

The proposed development meets the purpose of the General Commercial zoning district, which is to preserve a commercial district limited primarily to retail and wholesale of new and used materials, repair and service facilities, and offices.

It is noted residential uses require approval of a Special Use Permit, which was previously granted at this location as special use permit SUP-05-192 and SUP-09-039.

6. The project will not be detrimental to the public health, safety, convenience and welfare.

The modification of the approved space within six buildings to create an additional 24 residential units will not impact the public health, safety, convenience and welfare. Additional parking has been provided on site to accommodate the additional proposed number of units, with an additional two parking spaces proposed on site beyond the required number of 144 parking spaces. Landscaping and open space exceed requirements. The site was previously approved for residential development within six buildings. The footprints of the buildings are not being changed.

7. The project will not result in material damage or prejudice to other properties in the vicinity.

Properties within the vicinity were notified about the proposal for 48 residential units when the revised request was under consideration in 2009. The surrounding properties have again been notified for comments. It is not anticipated that the proposed project will result in material damage or prejudice to other properties in the vicinity by increasing the number of residential units from 48 to 72.

The applicant has provided sufficient information to support the request and has met the requirement for facts and findings supporting the proposed Special Use Permit.

Respectfully submitted,

PUBLIC WORKS, PLANNING DIVISION

Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

Attachments:

- Application (SUP-10-026)
- Fire Department
- Health Department
- Building Division comments
- Engineering Division comments
- Parks and Recreation comments

Carson City Planning Division

2621 Northgate Lane, Suite 62 • Carson City NV 89706

Phone: (775) 887-2180 • E-mail: plandep@ci.carson-city.nv.us**FOR OFFICE USE ONLY:**

CCMC 18.02

SPECIAL USE PERMIT

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

+ **noticing fee** and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 6 Completed Application Packets (1 Original + 5 Copies) including:
 - ☐ Application Form
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Proposal Questionnaire With Both Questions and Answers Given
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date (1 copy) ✓
 - ☐ Project Impact Reports (Engineering) (4 copies) ✓

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

FILE # SUP - 10 -

MR. DON JACKSON, HOMECO 1 LLC

PROPERTY OWNER

2528 BUSINESS PKWY. # B, MINDEN, NV. 89423

MAILING ADDRESS, CITY, STATE, ZIP

775-691-1778

775-782-7489

PHONE #**FAX #****Name of Person to Whom All Correspondence Should Be Sent**

KEN ROSE ARCHITECT

APPLICANT/AGENT

35 RIATA CT., RENO, NV. 89521

MAILING ADDRESS, CITY, STATE ZIP

775-560-8935

775-851-3083

PHONE #**FAX #**

KRSE1@AOL.COM

E-MAIL ADDRESS**Project's Assessor Parcel Number(s):**

009-123-32

Street Address

250 EAGLE STATION LANE, CARSON CITY

ZIP Code**Project's Master Plan Designation**

COMMUNITY COMMERCIAL

Project's Current Zoning

GC = GENERAL COMMERCIAL

Nearest Major Cross Street(s)

CARSON STREET

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:

TO INCREASE THE DENSITY AND HEIGHT OF A PREVIOUSLY APPROVED MULTI-FAMILY COMPLEX FROM 48 UNITS, 2 STORIES TO 72 UNITS, 3 STORIES AND TO CHANGE THE OCCUPANCY TYPE FROM CONDOMINIUM TO APARTMENT.

PROPERTY OWNER'S AFFIDAVIT

I, James Jackson, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

2528 Business Pkwy Ste B Minden NV 89423

Date

4/15/10

Use additional page(s) if necessary for other names.

STATE OF NEVADA)
COUNTY)

On _____, 2_____,
personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

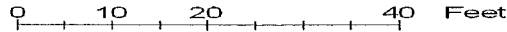
Notary Public

NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

SITE PLAN CHECKLIST

The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded. The site plan shall include the following information:

1. Show a north point arrow and plot plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original plot plan:



2. Vicinity map must be shown on the plot plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
3. Title block in lower right-hand corner including:
 - (a) Applicant's name, mailing address, and daytime phone number (including area code).
 - (b) The name, mailing address, and daytime phone number of the person preparing the plot plan, if different from applicant.
 - (c) The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - (d) Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - (e) Project title and permit request. (Example: Variance, Special Use Permit).
4. Property lines of the subject property with dimensions indicated.
5. All existing and proposed structures shall be shown, including:
 - (a) Distances from property lines indicated by dimensions.
 - (b) Distances between buildings shall be indicated on the plot plan.
 - (c) Clearly label existing and proposed structures and uses, and show dimensions.
 - (d) Square footage of all existing and proposed structures.
 - (e) If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - (f) Elevations of any proposed structures/additions.
6. Project access:
 - (a) Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - (b) Show adjoining street names.
 - (c) Show all curb cuts with dimension.
7. Show the Assessor Parcel Number(s) of adjoining parcels.
8. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions.
9. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
10. If specific landscape areas are required or provided, show with dimensions.
11. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.
12. PROJECT IMPACT REPORTS - Provide **four** copies of documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards Divisions 12,14 and 15.

Submit 6 copies of the entire application and site plans, including the original, or a very clear, high quality reproduction that may be used for generating additional copies. If 6 large blueprints are submitted, one 8.5 inch by 11 inch plan must also be submitted.

SPECIAL USE PERMIT APPLICATION QUESTIONNAIRE

PLEASE TYPE OR PRINT IN BLACK INK ON SEPARATE SHEETS. ATTACH TO YOUR APPLICATION.

State law requires that the Planning Commission, and possibly the Board of Supervisors, consider and support the questions below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the Proposal Questionnaire with as much detail as possible to ensure that there is adequate information supporting your proposal.

The questionnaire lists the findings in the exact language found in the Carson City Municipal Code (CCMC), then follows this with a series of questions seeking information to support the findings.

(On an attached sheet, list each question, read the explanation, then write your answer in your own words.)

Answer the questions as completely as possible so that you provide the Commission and possibly the Board with details that they will need to consider your project. If the question does not apply to your situation, explain why. **BEFORE A SPECIAL USE PERMIT CAN BE GRANTED, FINDINGS FROM A PREPONDERANCE OF EVIDENCE MUST INDICATE THAT THE FACTS SUPPORTING THE PROPOSED REQUEST ARE INCORPORATED INTO YOUR APPLICATION.**

GENERAL REVIEW OF PERMITS

Source: CCMC 18.02.080. (1) The Planning Commission, and possibly the Board of Supervisors, in reviewing and judging the merit of a proposal for a special use permit shall direct its considerations to, and find that in addition to other standards in this title, the following conditions and standards are met:

Question 1. How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

Explanation A. Turn to the Master Plan Policy Checklist. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews address five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. In your own words provide written support of the policy statement. You may want to acquire a free CD or purchase a paper copy of the Master Plan from the Planning Division, or review the copy in the Planning Office or in the reference section of the Ormsby Public Library on Roop Street, or use our website at www.carson-city.nv.us.

Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

Explanation A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: two houses, Single-Family 12,000 zoning; East: restaurant, Retail Commercial zoning; West: undeveloped lot, Retail Commercial zoning; South: apartment complex, Retail Commercial zoning).

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Will the project involve any uses that are not contained within a building? If yes, please describe. If not, state that all uses will be within a building. Explain how construction-generated dust (if any) will be controlled. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.

C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

D. Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have when it is successfully operating? Will vehicles be making left turns? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase

in the area? What will be the emergency vehicle response time? State how you have arrived at your conclusions. What City department have you contacted in researching your proposal? Explain the effect of your project with the existing traffic in the area.

- E. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- Explanation
- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?
- B. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Talk to Engineering for the required information.
- C. Are the water supplies serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Talk to Public Works for the required information.
- D. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Please contact Public Works for the required information.
- E. What kind of road improvements are proposed or needed to accommodate your project? Have you spoken to Public Works or Regional Transportation regarding road improvements?
- F. Indicate the source of the information that you are providing to support your conclusions and statements made in this packet (private engineer, Public Works, Regional Transportation, title report, or other sources).
- G. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.
- H. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscaping shown on the plan which complies with City ordinance requirements.
- I. Provide a parking plan for your project. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own. Design and dimensions of parking stalls, landscape islands, and traffic aisles must be provided.

If there is any other information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include this information.

Please type the following signed statement at the end of your application questionnaire.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

Kenneth Q Rose AIA

5-28-2010

Applicant

Date

REQUEST FOR ABANDONMENT OF FINAL PLAN
EAGLE VILLAGE PUD - TPUD - 05 - 191

AS THE AUTHORIZED AGENT FOR THE APPLICANT OF THIS SPECIAL USE PERMIT, I HEREBY REQUEST THE CARSON CITY MUNICIPAL GOVERNMENT AND IT ASSOCIATED AGENCIES, COMMISSIONS AND DEPARTMENTS TO ABANDON THE FINAL PLAN FOR THE PLANNED UNIT DEVELOPMENT (PUD) KNOWN AS EAGLE VILLAGE PUD - TPUD - 05 - 191. THE PROPOSED PROJECT WILL NO LONGER BE IMPLEMENTED AS AN INDIVIDUALLY OWNED CONDOMINIUM DEVELOPMENT, THEREFORE THE RECORDED MAPPING, CC & R'S AND HOMEOWNER'S ASSOCIATION DOCUMENTS WILL NO LONGER BE VIABLE. ABANDONMENT OF THE ABOVE FINAL PLAN IS CONTINGENT UPON APPROVAL OF THE PENDING S.U.P. BY THE CARSON CITY PLANNING COMMISSION AND THE CARSON CITY BOARD OF COMMISSIONERS.

Kenneth Rose AIA

KEN ROSE, AIA

MAY 20, 2010

AGENT FOR HOMECO, INC.

Master Plan Policy Checklist

Special Use Permit, Major Project Review & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: EAGLE VILLAGE APARTMENTS

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ☒ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☒ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☒ Located in a priority infill development area (1.2a)?
- ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?
- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☒ Use durable, long-lasting building materials (6.1a)?
- ☒ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☒ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☒ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
 - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



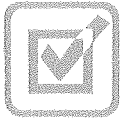
The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- ☒ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☒ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☒ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☒ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☒ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☒ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☒ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?

PROJECT HISTORY

THIS PROJECT FIRST CAME TO THE CARSON CITY PLANNING COMMISSION IN THE FALL OF 2005 AS A CONDOMINIUM DEVELOPMENT FOR 6 UNITS EACH IN 6 - 2 STORY BUILDINGS AS 36 TOTAL UNITS, EACH UNIT WITH AN ENCLOSED GARAGE. THE PROJECT EXPERIENCED SEVERAL DESIGN REVISIONS PRIOR TO APPROVAL TO MEET PARKING, LANDSCAPE, GRADING, DRAINAGE, AND UTILITY ACCESS NEEDS. THE PROJECT WAS ALSO GRANTED EXTENSIONS BY THE PLANNING COMMISSION TO SATISFY THE REQUIREMENTS TO PROVIDE A TENTATIVE MAP FOR THE PARCEL AND ALL INDIVIDUAL UNITS AS WELL AS THE MEANS TO IMPLEMENT A HOMEOWNER'S ASSOCIATION AND C, C, & R REGULATIONS.

IN 2007, THE INITIAL APPLICANT SOLD THE PROJECT TO ANOTHER DEVELOPER WHO CONTINUED THE PROCESS WITH MINOR SITE AND BUILDING DESIGN REVISIONS. THE PROJECT WAS SOLD AGAIN IN 2008 TO THE CURRENT OWNER.

THE RESIDENTIAL HOUSING MARKET CRASH HAS MADE CONDOMINIUM DEVELOPMENT EXTINCT. THE CURRENT OWNER DECIDED TO CONVERT THE PROJECT INTO RENTAL APARTMENTS INSTEAD, AND INCREASE ITS DENSITY FROM 36 TO 48 TOTAL UNITS.

THE PROJECT DENSITY CHANGE REQUEST WAS CONSIDERED BY THE COMMISSION AND STAFF TO STILL MEET THE CONDITIONS OF APPROVAL FOR ITS INTENDED USE. ONE REQUIREMENT WOULD BE THE ABANDONMENT OF THE TENTATIVE MAP AND THE FINAL PLAN FOR EAGLE VILLAGE PUD.

SINCE THEN, SEVERAL MORE SITUATIONS HAVE OCCURRED. PROJECT FUNDING REVEALS THE NEED TO INCREASE DENSITY EVEN FURTHER, FROM 2-STORY TO 3-STORY BUILDINGS AND 48 UNITS TO 72 TOTAL UNITS. STAFF BELIEVES THIS IS SIGNIFICANT AND REQUIRES REVIEW AS A "NEW" PROJECT. ALSO, THIS IS THE FIRST RESIDENTIAL DEVELOPMENT PROJECT TO BE CONSIDERED IN A NON-RESIDENTIAL DISTRICT PER SECTION 1.18 OF DIVISION 1 - LAND USE AND SITE DESIGN.

PROJECT SUMMARY

THE SUBJECT PROJECT WAS PREVIOUSLY APPROVED ON NOV. 30, 2005, AS SUP-05-192 & TPUD-05-191, A CONDOMINIUM COMPLEX AND TENTATIVE MAP. THE PROJECT HAS SINCE CHANGED OWNERS AND, DUE TO ECONOMIC CONDITIONS, NOW PROPOSES TO CHANGE ITS USE TO AN APARTMENT COMPLEX WITH INCREASED DENSITY AND HEIGHT. IN DOING SO, THE TENTATIVE MAP WILL BE VOIDED ALONG WITH THE REGULATIONS EXCLUSIVE TO THE PARCEL AS A 'PLANNED UNIT DEVELOPMENT' WITH A 'HOMEOWNER'S ASSOCIATION'.

SPECIFIC CHANGES TO THE PROJECT INCLUDE ADDING A THIRD STORY TO EACH OF SIX BUILDINGS. THIS INCREASES THE UNIT COUNT FROM 48 TO 72 AND THE PARKING COUNT FROM 96 TO 144. TO ACCOMMODATE ADDITIONAL PARKING, THE PREVIOUSLY APPROVED UNIT GARAGES HAVE BEEN ELIMINATED. EACH BUILDING REMAINS IN THE SAME LOCATION WITH SLIGHT MODIFICATION TO THE EXTERIOR STAIRS AND ENTRYWAYS. THE DRAINAGE PLAN IS BASICALLY THE SAME WITH LANDSCAPING ADDED TO THE ENTRYWAYS. THE CENTER COMMON SPACE IS CONVERTED TO PARKING, BUT THE PERIMETER COMMON SPACE REMAINS BASICALLY THE SAME.

S.U.P. QUESTIONNAIRE , FINDINGS & SUPPORT

THE FOLLOWING FINDINGS & SUPPORT EXPLANATIONS WERE ORIGINALLY COMPILED BY ROBERT G. LOVEBERG, DATED OCT. 17, 2005. MR. LOVEBERG'S EXCELLENT ANALYSIS REMAINS VALID IN NEARLY ALL ASPECTS EXCEPT DENSITY AND HOUSING TYPE. STAFF IS FAMILIAR WITH THE PREVIOUS S.U.P. FINDINGS AND CONDITIONS. FOR THE SAKE OF CLARITY AND BRIEVITY, MR. LOVEBERG'S ANALYSIS HAS BEEN EDITED IN RED TO REFLECT ONLY THOSE CHANGES IN NEED OF CONSIDERATION FOR APPROVAL AND CONDITIONING OF A NEW S.U.P. ALSO FOR CLARITY, A CONCURRENT M.P.R. APPLICATION WILL BE SUBMITTED ON A DIFFERENT COLOR STATIONARY.

Location

The proposed development is an infill project located on an existing undeveloped parcel situated on the north side of Eagle Station Lane between the Mervyn's department store (Eagle Station shopping center) and the Southwest Gas Corporation Operation Center, on the west and east respectively. The Evergreen Mountain View Care Center is located to the north and JC Penney's is located across Eagle Station Lane to the south. Properties to the west, north and south of the subject parcel are zoned General Commercial (GC). The property to the east of the proposed condominiums (the Southwest Gas Corporation Operation Center) is zoned Retail Commercial (RC).

Project Description

The proposed ~~MULTI-FAMILY~~ development project consists of 72 ~~APARTMENT~~ units with ~~UNCOVERED PARKING~~, common open space including landscaping and paved access and guest parking, visually screening perimeter fencing, and infrastructure and utilities to Carson City standards.

Exterior lighting meeting dark sky standards is proposed. All exterior building, parking and open space lighting will be shielded to avoid light shining off-site.

Utilities will be installed underground consistent with Carson City development standards. Water, sewer, electrical service, cable television and telephone will be installed. All utilities are currently available and adequate capacity exists to serve the project. A utility plan is included with the application.

Open space areas will be landscaped and will include walking paths and picnic and barbeque areas. The landscaping will include rock ground cover with trees and shrubs in the area between the perimeter fence and the walking path. To the inside of the walking path, the landscaping will include lawn or other vegetative ground cover, trees and shrubs. Landscaping will meet the City's development standards. A conceptual landscape plan is included with the application.

Perimeter, visually screening fencing is to be installed around the property boundary. The fencing will consist of STUCCO-COATED CMU fencing mounted on top the project's variable height retaining wall. The CMU fencing will provide visual screening to and from adjoining properties, and add a distinctive residential design element that enhances the park like setting. Furthermore, the CMU fencing has been specifically selected because it resists graffiti better than OTHER TYPE walls. The CMU fencing allows for easier graffiti clean up since paint does not adhere as well and can be clean off with a power washer. This will make on-going maintenance more cost effective and more likely to be readily accomplished by the homeowner's association.

Drainage will be controlled on-site and discharge to the City's storm drainage system will be metered to meet historic flows. Drainage control includes the use of surface flow through landscaped areas, curbs and gutters, and a landscaped drainage basin. A drainage report and grading plan are included with the application.

(DELETE REFERENCE TO HOMEOWNERS ASSOCIATION)

Special Use Permit Application Questionnaire

Question 1. How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

Land Use

Goal 1: Advocate land use patterns which create vitality, diversity and compatibility.

In general, the proposed project meets the intent of Goal 1 through its introduction of a high value residential use within a commercial office and retail area. The project in effect creates a type of "mixed use" which will add vitality and diversity to the

neighborhood and stimulate the neighborhood economy. The proposed multi-family use is compatible with the surrounding office and retail commercial uses.

Policy 1.1 Provide land for future development without sacrificing the character and qualities identified as desirable by the citizens of Carson City.

The proposed project is consistent with Policy 1.1. The development is an infill project that provides for the efficient use of land within the City's existing developed area. This extends the City's ability to provide land for future planned development. The project promotes the City's desired character and qualities through its attractive, high quality design and construction. The project will provide landscaped open space, pedestrian access and other design elements that reflect the type of development and community qualities citizens desire.

Policy 1.2 Establish land use patterns that are consistent with the circulation network (Streets and Highway Plan) and availability of public facilities and services.

The proposed project is consistent with the existing and future circulation network and all necessary public services and facilities are available. Eagle Village APARTMENTS is an infill project that will utilize existing streets, infrastructure and facilities that all have the existing capacity to serve the project. The project does not require additional off-site infrastructure improvements. Additionally, the anticipated traffic generated by the project is well within the capacity of the Eagle Station Lane and existing circulation network.

Policy 1.4 In the future, advocate a mixture of land uses where such a mix is compatible.

The Eagle Village APARTMENTS ; project is consistent with and directly implements this policy. The project provides for a mixture of compatible land uses in this commercial neighborhood that is bounded by residential uses. The proposed project creates a mixed land use pattern that promotes vitality, diversity and economic stimulation. The proposed mixed land uses take advantage of the fact that the majority of use for multi-family dwellings takes place during nights and weekends and the majority of office/commercial use takes place during weekdays.

Policy 1.6 Promote programs of redevelopment to improve the quality of the downtown area.

Although not specifically a downtown area "redevelopment" project, as an infill project the Eagle Village APARTMENTS ; promote the same type of quality improvement for its neighborhood as envisioned by Policy 1.6.

Policy 1.7 Limit or mitigate existing land use conflicts and zoning friction areas throughout Carson City.

The proposed project helps to limit land use conflicts through the development of multi-family dwellings on an existing undeveloped site that is compatible with the surrounding uses. The project provides housing stock in a compatible location which helps to alleviate the need and/or demand for such dwellings in potentially incompatible areas.

Policy 1.10 Encourage Cluster Development to protect Environmentally-sensitive Lands.

Although not technically a "cluster development," the proposed project helps to protect environmentally-sensitive lands by creating dwellings in a compact development pattern, in an infill location, utilizing existing infrastructure. This helps to reduce the demand for housing units, the construction of new infrastructure and other such pressures on environmentally sensitive lands.

Goal 2: Promote better community design, appearance and recognition of Carson City as identified in the various design guideline ordinances, Visual Preference Survey, Capital City Focus, and Downtown Master Plan.

Policy 2.1 Promote developments designed to best utilize and maintain the land resources.

The proposed MULTI-FAMILY USE is consistent with and implements this policy through the development of a higher density infill project that utilizes existing infrastructure. The project's density more efficiently uses both the immediate land resource and those land resources necessary for the infrastructure to serve the development of 12 dwelling units.

Policy 2.2 Promote a positive image of Carson City as the Capital of the State of Nevada, as a historic community, as a recreational center located in the high desert at the foot of the Sierra Nevada mountains, including a portion of the Lake Tahoe basin, and as a center of commerce for the State of Nevada.

The proposed project will help promote a positive image of Carson City through its pleasing design, landscaping and conformance to the City's design and development standards. The project will also help promote a positive image through its beneficial effects on the vitality of the neighborhood, economy and housing market.

Policy 2.4 Protect and enhance the character of residential neighborhoods, open views and vistas, and property values.

The proposed project meets the intent of this policy through the thoughtful choice of an infill location away from single family residential areas, and its quality design and construction materials.

Population

Goal 3: Enhance the quality of life for Carson City residents.

Policy 3.1 Provide well planned and implemented infrastructure to support the population growth with the City's water resources, sewer capacity, schools, roadways, emergency services, and other public facilities and services.

The project is consistent with this policy in that it utilizes existing infrastructure and capacity. The proposed development will connect to existing water and sewer lines,

6

streets, and other infrastructure. The project is within one mile of Carson City Fire Station #3.

Policy 3.2 Population growth shall be coordinated with and managed through the Land Use Plan and Growth Management Ordinance.

The proposed project meets the intent of this policy since the dwelling units are consistent with the City's land use as implemented through its zoning code. The proposed multiple family residential dwellings are permitted under the subject parcel's General Commercial zoning with the approval of the requested special use permit. Additionally, the project is anticipated to be within the annual growth management limit.

Economic Development

Goal 4: Ensure balanced development to maintain a sound local economy

Policy 4.2 Maintain and improve the industrial, commercial, and residential diversification of the local economy.

The proposed project is consistent with and directly promotes the implementation of this policy. The Eagle Village APARTMENTS will help diversify its neighborhood and the City's overall residential dwelling mixture, and improve the vitality of the neighborhood, adjacent commercial uses and the local economy.

Environmental Constraints

Goal 5: Protect life and property through the reduction of seismic risk.

Policy 5.1 Seismic risk should be an important consideration in the location and design of public and private facilities.

The project meets the intent of this policy. The Site Feasibility Study prepared by Pezonella Associates, Inc., dated September 14, 2005, states that "... there are no geologic hazards that will place unusual constraints on the project." No known active faults are located within the boundaries of the subject parcel and potential effects from other faults in the region can be addressed through structure design. The 3 STORY (APARTMENT) buildings will be constructed to meet existing seismic standards under applicable codes.

Although two questionable fault traces may cross the project site, the last probable movement is pre-Pleistocene (older than 1.8 million years) and the fault traces are not included on the Quaternary Fault Map of Nevada - Reno Sheet, Nevada Bureau of Mines and Geology, Map 79, dated 1984. The potential for liquefaction is estimated to be negligible.

Goal 6: Limit development in areas with environmental constraints.

Policy 6.1 Develop a land use supplement to protect and limit development in areas subject to environmental constraints.

The proposed project meets the intent of this policy due to the fact that the subject parcel is not in an area subject to environmental constraints.

Policy 6.2 Maintain requirements that minimize loss of life and property due to flooding and erosion as set forth in existing ordinances.

The proposed project meets the intent of this policy due to the fact that the subject parcel is within an unshaded C flood hazard zone which is not subject to development limitations. Additionally, the parcel is not subject to significant erosion potential and will be developed with landscaping and drainage improvements that will mitigate the potential for erosion.

Public Facilities and Services

Goal 7: Plan for the development of, and implement adequate community facilities and services.

Policy 7.2 Provide adequate public safety, sewer, water and roadway facilities to serve to the adopted levels of service in Chapter VI - Service Area.

The proposed project is consistent with and implements this policy since it utilizes or relies on existing sewer, water, roadway and Fire Department facilities which are adequate for the development. The existing water and sewer mains and roadways have sufficient capacity to serve the project. The Carson City Fire Department Station #3 is within one mile of the subject parcel and can provide timely response to fire and emergency medical incidents.

Parks and Recreation/Open Space Plan

Goal 8: Acquire, preserve, manage or jointly develop with other public or private interests additional areas for park and recreation use and open space preservation.

Policy 8.6 Promote lands designated for facilities to provide a broad range of community recreation activities.

The project meets the intent of this policy through its provision of landscaped common open space and picnic areas. The development will include two picnic and barbeque areas for the use of its residents. The common landscaped open space area will provide a curvilinear walking path and lawn areas.

Streets and Highways

Goal 9: Adopt plans for and develop adequate streets and highways for proper circulation within Carson City

Policy 9.1 Coordinate the development of transportation facilities with land use planning.

The proposed project meets the intent of this policy since the existing roadways are adequate for the anticipated project traffic and the proposed land use is within the

scope of the City's existing land use planning by virtue of its inclusion as a possible use in the current zoning district.

Policy 9.2 Encourage creative approaches in local and residential street design for pavement width, cross slope, landscaping, curb, gutter, sidewalk, and off-street parking.

The project meets the intent of this policy through the provision of adequate off-street parking for the entire development, the use of one-way interior circulation, inclusion of curb, gutter and sidewalks, and the integration of landscaped areas.

Policy 9.3 Preserve and/or enhance environmental and aesthetic values through street and highway planning.

The project meets the intent of this policy through the utilization of existing street facilities for access.

Policy 9.5 Support the Parks and Recreation plan to provide pedestrian and non-motorized vehicular traffic in conjunction with street planning.

The project meets the intent of this policy by providing pedestrian links to the project and interior pedestrian ways. The project will complete the sidewalk on the north side of Eagle Station Lane.

Urban, Suburban, and Rural Service Areas

Goal 13: Provide for an efficient growth pattern that balances environmental factors and the provision of public services with the level and type of development allowed.

Policy 13.2 Develop plans for future development based on the ability to provide public facilities and services.

The proposed development meets the intent of this goal and policy since it is an infill project that utilizes existing infrastructure with the capacity to serve the development. The project implements the City's desire for an efficient growth pattern by using undeveloped land within an existing developed area of the City that is already served by all of the necessary utilities and services.

Goal 14: Develop a master plan element and an ordinance addressing noise impacts to adjacent land uses which includes mitigation factors.

The project meets the intent of this goal through its use of insulating materials in the construction of the APARTMENT buildings and provision of some noise mitigation through the installation of solid CMU perimeter fencing. The picnic and barbeque areas are located in the development's OUTER common area which will DIVERT adverse noise impacts from any group activities on adjacent properties. Additionally, the fact that the APARTMENTS will generally have peak occupancies and outdoor use at different times than the surrounding commercial uses will help mitigate adverse noise impacts.

Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

In general, the proposed MULTI-FAMILY project will not be detrimental to the immediate vicinity, nor will it be detrimental to the general neighborhood. The project is compatible with the surrounding uses and greater neighborhood area. The APARTMENTS and their residents will help add vitality, diversity and economic stimulus to the immediate area and City. The project is compatible with the existing commercial and office uses, and will generally utilize facilities and have peak occupancies at different times than the surrounding commercial uses.

A. Describe the general types of land uses and zoning designations adjoining your property.

The general types of land uses and zoning designations adjoining the subject parcel are as follows:

North - Evergreen Mountain View Care Center, convalescent care facility, General Commercial (GC) zoning;
 East - Southwest Gas Corporation Operation Center, Retail Commercial (RC) zoning;
 West - Mervyn's, shopping center, General Commercial (GC) zoning;
 South - JC Penney, shopping center and parking, General Commercial (GC) zoning.

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Will the project involve any uses that are not contained within a building? If yes, please describe. If not, state that all uses will be within a building. Explain how construction-generated dust (if any) will be controlled. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors?

The proposed project is compatible with adjoining uses and existing development in the neighborhood. The proposed multi-family dwelling use is a typical use within and adjacent to commercial and office uses. The multi-family use creates a "mixed-use" element to the immediate neighborhood which can provide vitality and diversity, and is in keeping with the City's efforts to revitalize and stimulate commercial core areas of the City.

The APARTMENTS WILL not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. The proposed multi-family residential use is a less intense use than the existing commercial uses on the adjacent properties. Additionally, the residential use generally has peak occupancies and traffic which occur at different times than those of the adjacent office and retail commercial uses. The potential outside recreational uses provided for in the condominium common area such as barbequing should not generate significant noise, smoke, or other objectionable conditions to adversely affect neighboring properties. Additionally, the locations of the outdoor recreational amenities are such that they are mitigated through distance and buffering by the buildings.

Construction-generated dust (if any) will be controlled by the use of best management practices as established with the Nevada Division of Environmental Protection air quality permit that will be obtained. A water truck will be used on-site and cleared areas will have a dust palliative treatment applied as needed.

The proposed ~~MULTI-FAMILY~~ project will differ somewhat in appearance from the adjacent properties. The project will also be similar to the neighboring properties in many respects.

The ~~APARTMENT~~ buildings will appear as high quality multi-family residential structures. They will have recognizable residential design elements such as pitched roofs, ~~COVERED STAIRS~~, porches, etc. The ~~MULTI-FAMILY~~ project will also have extensive landscaping. In contrast, the existing retail commercial and office buildings in the neighborhood are considerably larger in scale and have box like appearances. The retail commercial uses have minimal landscaping, while the office uses have moderate landscaping.

The proposed project and adjacent properties will have similar appearances regarding off-street parking and access. All of the properties have or will have open surface parking for multiple vehicles. The proposed ~~MULTI-FAMILY~~ project will have more intense landscaping in and around the parking area.

The proposed multi-family dwelling project is compatible with the adjacent land uses and with the greater neighborhood area. The greater neighborhood is comprised of commercial, office, institutional, mobile home park and different densities of single-family residential uses. The proposed project will blend well with this mixture of uses. The development is particularly well suited as an infill project to be a "mixed use" element for its immediate neighborhood.

- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

The proposed project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood. The ~~MULTI-FAMILY~~ project is a less intense land use than the surrounding commercial and office uses; generating less noise, traffic and human occupancy than the adjoining uses. Since the adjoining properties have existing commercial/office uses, the proposed project will not adversely affect their development. Other residential or commercial uses in the general neighborhood will not be adversely affected by the proposed project due to the distance from the residential uses and compatibility with the commercial uses. Furthermore, the project's close proximity and direct street access to South Carson Street will reduce traffic impacts on the neighborhood.

- D. Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have when it is successfully operating? Will vehicles be making left turns? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? What will be the emergency vehicle response time? State how you have arrived at your conclusions. What City department have you contacted in researching your proposal? Explain the effect of your project with the existing traffic in the area.

The ~~APARTMENT~~ project will have a minor impact on vehicular traffic and a positive impact on pedestrian traffic that currently exists on the road serving the project. Eagle Station Lane is a paved two lane street with a center turn lane and on-street curb parking which meets Carson City standards. No improvement of the travel way is needed. The project will construct a sidewalk along its full frontage to tie into the existing sidewalks on the adjoining properties. Pedestrian links and on-site pedestrian ways are included in the project plans.

422 Traffic generated by the proposed project will constitute a minor increase in traffic on Eagle Station Lane. The project's close proximity and direct street access to South Carson Street will limit traffic impacts on the neighborhood. The Institute of Traffic Engineers (ITE) Trip Generation, 6th Edition, 1995, trip generation rates show the multi-family dwellings should generate 5.86 average daily vehicle trips per unit and a total of 422 trips per day. The ITE data for weekday peak hour vehicle trips shows that the development will generate only 32 A.M. and 38 P.M. trips. According to the ITE data, the project traffic will be far below the thresholds of 500 average daily trips and 80 peak hour trips that the City uses to determine if traffic impact studies are needed. The City Engineer and Development Engineering have not identified traffic as a significant potential impact.

The Carson City Fire Department Station #3 is within one mile of the subject parcel and can provide timely response to fire and emergency medical incidents. The Fire Department estimates that the response time should be within one to four minutes. Response times for Sheriff's Department personnel will depend on the location and availability of units at any given time.

- E. Explain any short range and long range benefit to the people of Carson City that will occur if your project is approved.

The proposed ~~MULTI-FAMILY~~ project will provide both short range and long range benefits to the people of Carson City. Short term the project will provide benefits to the City's economy through construction jobs, purchase of construction materials, sales tax revenues and other similar economic stimulations. Long term the City will benefit from increased ~~RENTAL UNITS~~, diversification and increase in the housing stock providing more choice for City residents, increased vitality in the immediate neighborhood and economic benefits to nearby businesses. Specifically, the project will ~~TEMPER~~ the moderately priced housing stock, and provide alternatives to both ~~CONDOMINIUM~~ housing and detached single family housing.

Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?

According to the Carson City School District, the proposed project will affect the District through an increase in students and the need for "either the square footage of the facilities or by increasing the student teacher ratio." Student transportation will be provided to Seeliger Elementary, Eagle Valley Middle School and Carson High School from this area. The School District estimates that the project will generate six

elementary students, five middle school students and 5 high school students.

(THESE FIGURES ARE SUBJECT TO CHANGE DUE TO MANY FACTORS BEYOND THE SCOPE OF THIS S.U.P. SUBMITTAL)

The project will likely have a minimal direct impact on the Sheriff's Department. The project's location within an existing developed and patrolled area minimizes the impacts on law enforcement. The potential increase in population may have an incremental impact on the ratio of deputies to the population. However, the project's small size dictates that it is not likely to cause a significant impact.

- B. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated?

Drainage will be controlled on-site and discharged to existing City storm water system improvements per City staff direction and City standards. On-site drainage will be conducted within and through the project utilizing surface flow through landscaped areas, curbs and gutters, a landscaped detention basin, and underground pipes. Drainage discharged to the City storm water system will be metered to meet historic flows based on City design standards. A drainage report and grading plan are included with the application.

- C. The water supplies serving the proposed project are adequate to meet the project needs without degrading supply and quality to others in the area. Water pressure is adequate. The existing water mains and water system components are sufficient and do not need to be upgraded or replaced for the project.

Water supplies and water mains serving the project are adequate for the project's needs without degrading supply and quality to others in the area. City staff state that the water pressure and flows are 105 psi and 4800 gallons per minute respectively. These are sufficient to meet the development's domestic needs and fire flow requirement of 1500 gallons per minute for two hours. The project will connect to the existing water main that is located within the Eagle Station Lane right-of-way.

- D. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system?

There is believed to be adequate capacity in the sewage disposal trunk line for the project requirements. The project will connect to the existing sewage disposal line that is located within the Eagle Station Lane right-of-way. No septic systems are proposed. The applicant has discussed the project with City staff and there do not appear to be any concerns or limitations regarding capacity in the sewage disposal lines or treatment system.

- E. What kind of road improvements are proposed or needed to accommodate your project? Have you spoken to Development Engineering or Regional Transportation regarding road improvements?

No new road improvements are required. The existing improvements of Eagle Station Lane and surrounding roadways are adequate for the proposed

~~APARTMENT~~ project. The project will complete the sidewalk on the north side of the street and construct access improvements consistent with City standards. Development Engineering had no comments regarding the need for road improvements other than meeting the standards for frontage improvements, sidewalks and street lighting.

- F. Indicate the source of the information that you are providing to support your conclusions and statements made in this packet

The source of the information provided to support conclusions and statements made in this submission include those noted in the text and those listed here. The following City departments and agencies have provided written comments and information regarding the proposed project: Assessor's Office, Building and Safety Division, Planning and Community Development, Development Engineering, Fire Department and School District. *(DELETE REFERENCES TO OLD PLANS)*

- G. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

Outdoor lighting will include exterior building and parking lot lights. All exterior building lights (e.g., porch, patio and exterior garage lights) will be shielded to avoid light shining off-site. Parking lot lights will consist of shielded dark sky standard fixtures on 14 foot tall posts. The general location of the parking lot lights are shown on the project's improvement plans.

- H. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscaping shown on the plan which complies with City ordinance requirements.

Project landscaping will include rock ground cover with trees and shrubs in the area between the perimeter fence and the walking path. To the inside of the walking path, the landscaping will include lawn or other vegetative ground cover, trees and shrubs. Landscaping, including the pedestrian path, will comprise approximately 1.44 acres or 39% of the site. The landscaping will be installed to meet the City's development standards. A conceptual landscape plan is included with the application and final landscape plans will be provided for the City's approval prior to construction.

- I. Provide a parking plan for your project. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot; and (3) how much of the off-site parking area is required for any business other than your own. Design and dimensions of parking stalls, landscape islands, and traffic aisles must be provided.

A parking plan and layout is provided as part of the project's development plans. The proposed parking exceeds the City's parking requirements. Two off-street parking spaces per dwelling unit and an additional off-street guest parking spaces are proposed.

(DELETE REFERENCES TO GARAGES)

ADDITIONAL FINDINGS SECTION 1.1B
OF DIVISION 1 - LAND USE & SITE DESIGN

1.1B - RESIDENTIAL DEVELOPMENT STANDARDS IN
NON-RESIDENTIAL DISTRICTS

THE FOLLOWING STANDARDS AND RESPONSE FINDINGS
APPLY TO APPROVAL OF A SPECIAL USE PERMIT FOR
THIS PROJECT LOCATED IN A GENERAL COMMERCIAL
(G.C.) ZONING DISTRICT.

1. PERMITTED USE :

RESPONSE: RESIDENTIAL USE IS PERMITTED IN
A G.C. DISTRICT

2. MAXIMUM PERMITTED DENSITY:

RESPONSE: DENSITY IS UN-LIMITED IN A NON-
RESIDENTIAL DISTRICT

3. MAXIMUM BUILDING HEIGHT:

RESPONSE: BUILDING HEIGHT (38 FT) IS LESS
THAN ALLOWABLE (45 FT) IN G.C. DISTRICT

4. SET-BACKS:

RESPONSE: THE PROJECT EXCEEDS ALL G.C.
REQUIRED SET-BACKS FOR FRONT-SIDE-
BACK YARD BOUNDRIES. THERE ARE NO
ADJACENT RESIDENTIAL ZONE PROPERTIES.

5. REQUIRED PARKING:

RESPONSE: THE REVISED SITE PLAN NOW CONFORMS WITH ALL DIVISION 2 PARKING STANDARDS, INCLUDING COMPACT AND HANDICAP SPACE COUNTS AND VEHICLE BACK-UP REQUIREMENTS.

6. OPEN SPACE:

RESPONSE:

- A. THE PROJECT EXCEEDS THE REQUIREMENT FOR PROVIDING COMMON OPEN SPACE
- B. THE PROJECT EXCEEDS THE REQUIREMENT FOR PROVIDING PRIVATE OPEN SPACE
- C. THE REQUIRED SET-BACKS ARE NOT INCLUDED IN THE ABOVE OPEN-SPACE PROVISIONS

7. LANDSCAPING:

RESPONSE: THE PROPOSED LANDSCAPE DESIGN COMPLIES WITH CARSON CITY DEVELOPMENT STANDARDS DIVISION 3 REQUIREMENTS

* PLEASE NOTE THAT ALL THE ABOVE RESPONSES ARE DOCUMENTED ON THE SITE AND BUILDING PLAN DRAWINGS PROVIDED IN THE S.U.P. PACKAGE.

B. SPECIAL USE PERMIT REVIEW STANDARDS: AT LEAST 2 AFFIRMATIVE FINDINGS, IN ADDITION TO THOSE REQUIRED BY SECTION 18.02.080, ARE REQUIRED FOR S.U.P. APPROVAL

A. THE DEVELOPMENT IS NOT SITUATED ON A PRIMARY COMMERCIAL ARTERIAL STREET FRONTAGE.

AFFIRMATIVE: EAGLE STATION AVE. IS NOT A PRIMARY COMMERCIAL ARTERIAL.

B. THE DEVELOPMENT IS INTEGRATED INTO A MIXED-USE DEVELOPMENT THAT INCLUDES COMMERCIAL DEVELOPMENT.

AFFIRMATIVE: ALTHOUGH THE PROJECT IS NOT MIXED-USE ITSELF, IT IS SURROUNDED BY COMMERCIAL DEVELOPMENT AND FUNCTIONS AS BEING INTEGRATED INTO THE G.C. ZONING TO ACHIEVE A MIXE-USE GOAL.

C. THE APPLICANT HAS PROVIDED EVIDENCE THAT THE SITE IS NOT VIABLE FOR COMMERCIAL USE.

AFFIRMATIVE: THE PROJECT LOCATION HAS POOR VISIBILITY AND LIMITED ACCESS THAT RESTRICTS ITS POTENTIAL OF SUCCESS AS A COMMERCIAL USE.

D. THE SITE IS DESIGNATED MIXED USE
COMMERCIAL, MIXED USE RESIDENTIAL, OR
MIXED USE EMPLOYMENT ON THE MASTER PLAN
LAND USE MAP AND THE PROJECT MEETS ALL
APPLICABLE MIXED USE CRITERIA & STANDARDS.
NON - AFFIRMATIVE : DOES NOT APPLY

THREE OUT OF FOUR AIN'T BAD!

Micheal Lawson, P.E.

1561 Summerwind Circle
Reno, NV 89523
775.224.9207
mlawsonpe@gmail.com

May 27, 2010

Ken Rose
35 Riata Court
Reno, NV 89521

Subject: Eagle Village Water System Analysis

Dear Mr. Rose:

The following is a letter report regarding the reanalysis of the water system design for the Eagle Village Apartment project in Carson City, NV.

Purpose

The proposed density of the project is being raised from 48 units to 72 units. The purpose of this report is to determine if the water system as previously designed and approved is sufficient for the increased project density.

Existing Design and System Analysis

The water system was previously design and analyzed by Western Engineering & Surveying Services (WESS) in December, 2008 using Carson City standards and modeled using the Haestad Methods program WaterCAD version 3.1 to test the worst case scenario, during fire flow. The proposed system was approved per this report.

This model was calibrated to an existing fire service connection with data provided by Carson City. This connection was tested on December 4, 2008. The test hydrant is located approximately 550 feet west of the project site on Eagle Station Lane.

The design fire flow is 1,500 GPM split between the two fire hydrants (within 1000 feet of each other), plus 1,500 GPM split between each of the six fire-sprinkler equipped buildings (250 GPM each). This conforms to the 2006 International Fire Code (Appendix B, Section B105.1). The model output of the approved report confirms this system is acceptable to Carson City standards.

Revised Conditions

The proposed density of the project is being raised from 48 units to 72 units. The buildings will be three-story with 4 units on each floor. The buildings will be equipped with fire sprinklers to each unit.

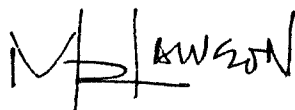
The design of the water system remains the same as previously approved. An 8" main will extend into the project and will connect to six (6) each 4" fire services for the buildings. Domestic water service will be provided by 2" (previously designed as 1 1/2") water laterals tapped directly off of the existing 8" water main located in Eagle Station Lane.

Conclusions

The following are conclusions regarding the proposed water system design.

1. The water system is design per Carson City and International Fire Code standards.
2. Per the previous water system analysis, the onsite water system maintains a minimum water pressure greater than 20 PSI in all locations and all flow velocities are at or below ten (10) feet per second.

Sincerely,



Micheal Lawson, P.E.
Professional Engineer #17896, State of Nevada

Micheal Lawson, P.E.

1561 Summerwind Circle
Reno, NV 89523
775.224.9207
mlawsonpe@gmail.com

May 28, 2010

Ken Rose
35 Riata Court
Reno, NV 89521

Subject: Eagle Village Sanitary Sewer Analysis

Dear Mr. Rose:

The following is a letter report regarding the reanalysis of the sanitary sewer system design for the Eagle Village Apartment project in Carson City, NV.

Purpose

The proposed density of the project is being raised from 48 units to 72 units. The purpose of this report is to determine if the sanitary system as previously designed and approved is sufficient for the increased project population.

Existing Design and System Analysis

The sanitary sewer system was previously design and analyzed by Western Engineering & Surveying Services (WESS) in December, 2008 using Carson City standards and modeled using the Haestad Methods program SewerCAD version 5.5. The proposed system was approved per this report.

Revised Conditions

The proposed density of the project is being raised from 48 units to 72 units. These apartments are expected to house 2.2 people per dwelling unit generating a project population of 159 persons. Following code, onsite systems are sized to service less than 5,000 people. The peak daily design flow used is 300 gallons per capita per day (Carson City Municipal Code 12.06.280) for a peak flow of 660 gallons per dwelling unit per day.

Peak Flow (per WESS) = 660 gpd/unit x 48 units = 31,680 gallons per day = 0.032 million gallons per day (MGD).

Peak Flow (with increased density) = 660 gpd/unit x 72 units = 47,520 gallons per day = 0.048 MGD.

Proposed Sanitary Sewer System

The proposed sanitary sewer system is an 8" diameter main extending into the project. Each building (6 each) will connect to this main by means of four (each) 6" diameter laterals for a total of 24 lateral connections.

The proposed 8" main is designed at a slope of 0.4% and can carry the following flowrates.

8" diameter, 0.4% slope, full flow = 491,200 gallons per day = 0.491 MGD

8" diameter, 0.4% slope, half full flow = 245,600 gallons per day = 0.246 MGD.

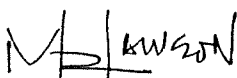
According to building code, the 6" laterals will be installed at a minimum slope of 2% (1/4" per foot). This will provide adequate capacity to serve a combination of 3 units as designed.

Conclusions

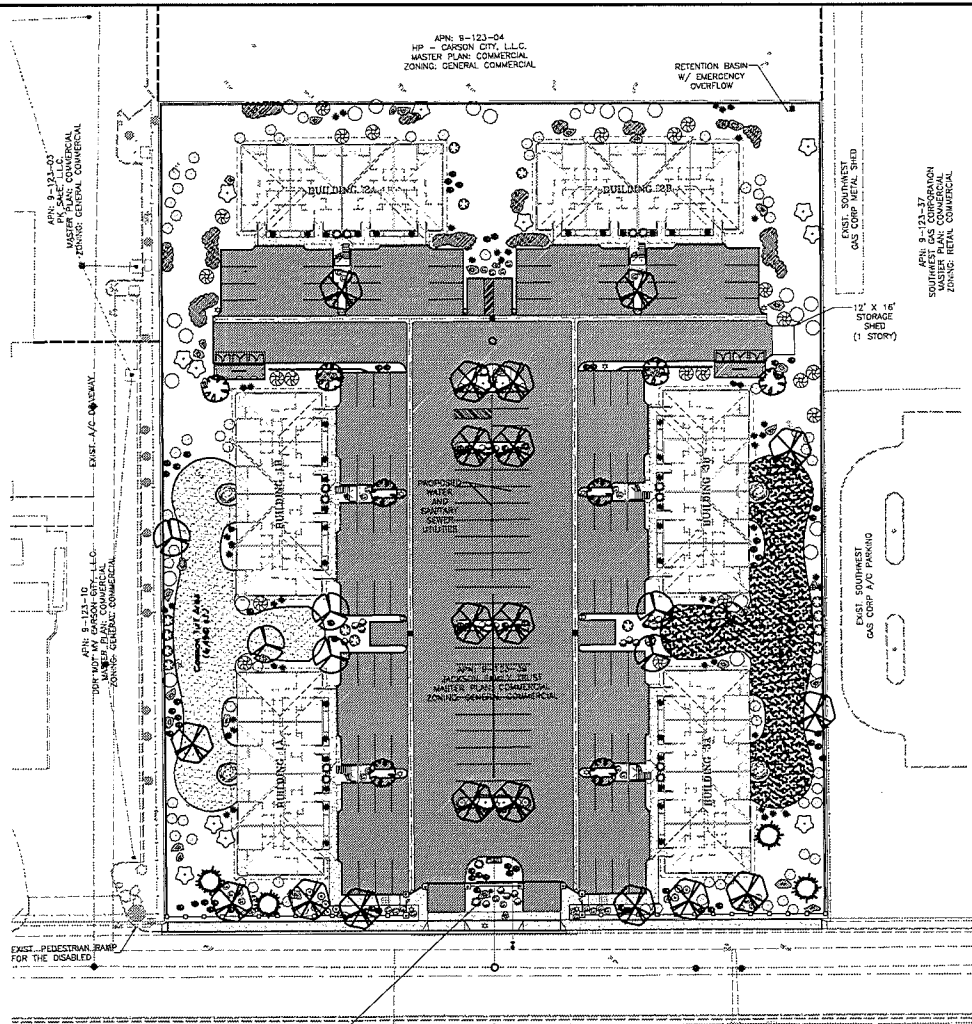
The following are conclusions regarding the proposed sanitary sewer system design.

1. The sanitary sewer is design per Carson City standards for service to a project of less than 5,000 people.
2. The daily flow from the increased project population can be carried acceptably by the proposed 8" main.

Sincerely,



Micheal Lawson, P.E.
Professional Engineer #17896, State of Nevada

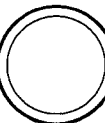
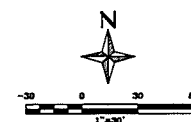


TREE & LANDSCAPE AREA REQUIREMENTS

- A. Impervious Paving and Walks = 66,254 sq. ft. Required Landscape Area = 13,250 sq. ft. (66,254 x 20%)
- B. Driveway Landscape Area provided = 62,436 sq. ft.
- C. A minimum of (1) line of required 2" caliper or 4" 1/4" evergreen size/4000 sq. ft. required landscape area: 13,250/4000 = 3.3 trees.
- D. Of the required trees, a minimum of 1 shade tree must be planted for every 10 parking spaces.
- E. Of the required trees, a minimum of 1 tree shall be placed along the right of way frontage for every 30 lineal feet: 360 LP = 12 trees. Shrub requirement: (6) 5-gal. shrub/each (1) required tree. Minimum Required shrubs = 126 (53 trees x 6 shrubs).

PROJECT/CLIENT INFO

Developer/Owner:
Jackson Quality Dwelling
Gordon Don Jackson
2528 Business Parkway Suite 'D'
Henderson, Nevada 89043
Office: (702) 267-6667
Fax: (702) 267-6667
Zoning: GC-General Commercial
APN: 9-123-32

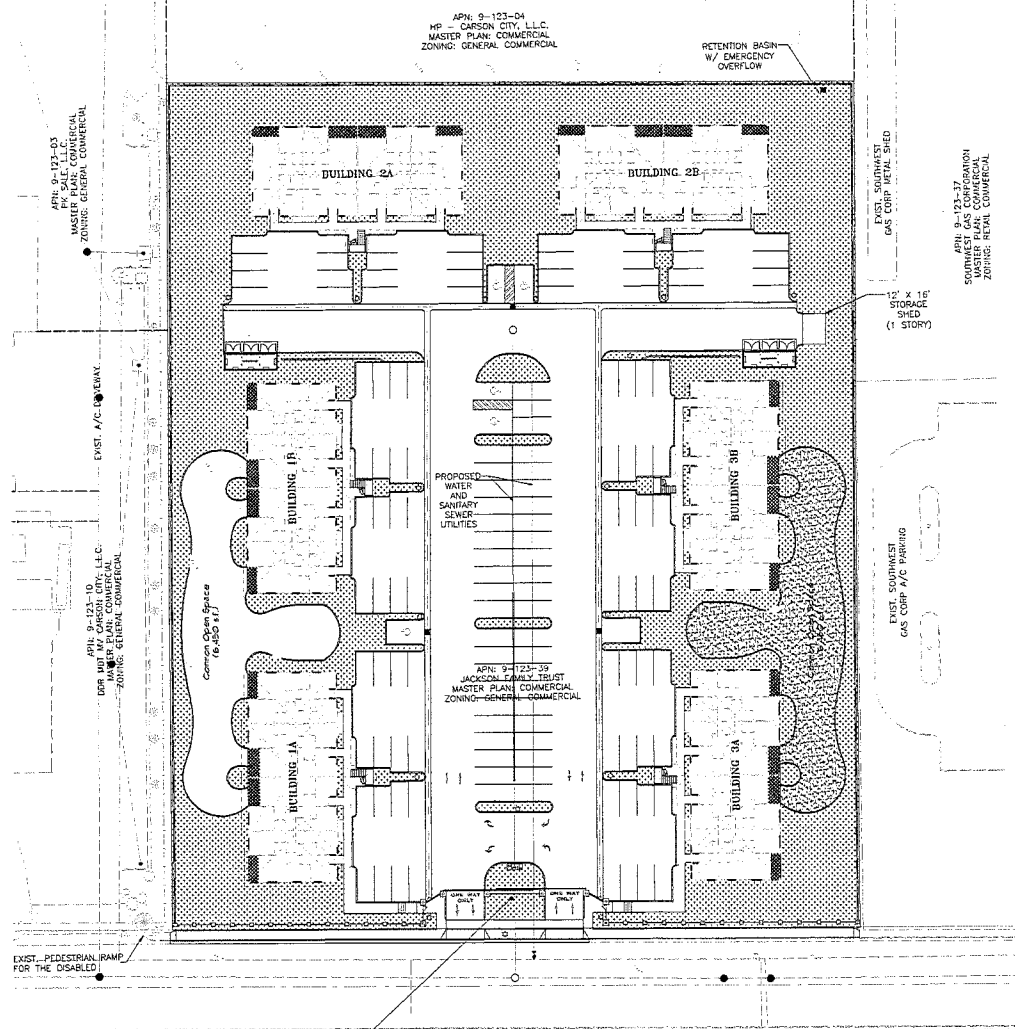


LANDSCAPE MASTER PLAN **APN : 9-123-32 EAGLE VILLAGE APARTMENTS** **EAGLE STATION LANE, CARSON CITY**

REVISION
1
2
3
4
5

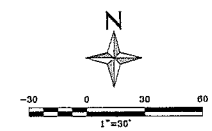
DATE: MAY 20, 2000
SCALE: 1" = 30'
DRAWN: MAL
CHECKED: DW

DRAWING TITLE:
LANDSCAPE
SHEET:
L1
OF 1 SHEETS



OPEN SPACE CALCULATIONS

	Private Area Required = 1,200 s.f. (12 units x 100 s.f.) Private Area Provided = 1,300 s.f. (1,040 s.f. from individual private patios. Additional 260 s.f. provided from common area).
	Common Open Space Required = 10,800 s.f. (12 units x 150 s.f.) Common Open Space Provided = 11,500 s.f.
	Impervious Paving and Walks = 66,994 s.f. Landscape Area Required = 13,398 (66,994 s.f. x 20%) Landscape Area Provided = 62,436 s.f.



SAURA WERBEL
& ASSOCIATES
LANDSCAPE ARCHITECTS
1000 17TH AVENUE
SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112
WWW.SAURAWERBEL.COM

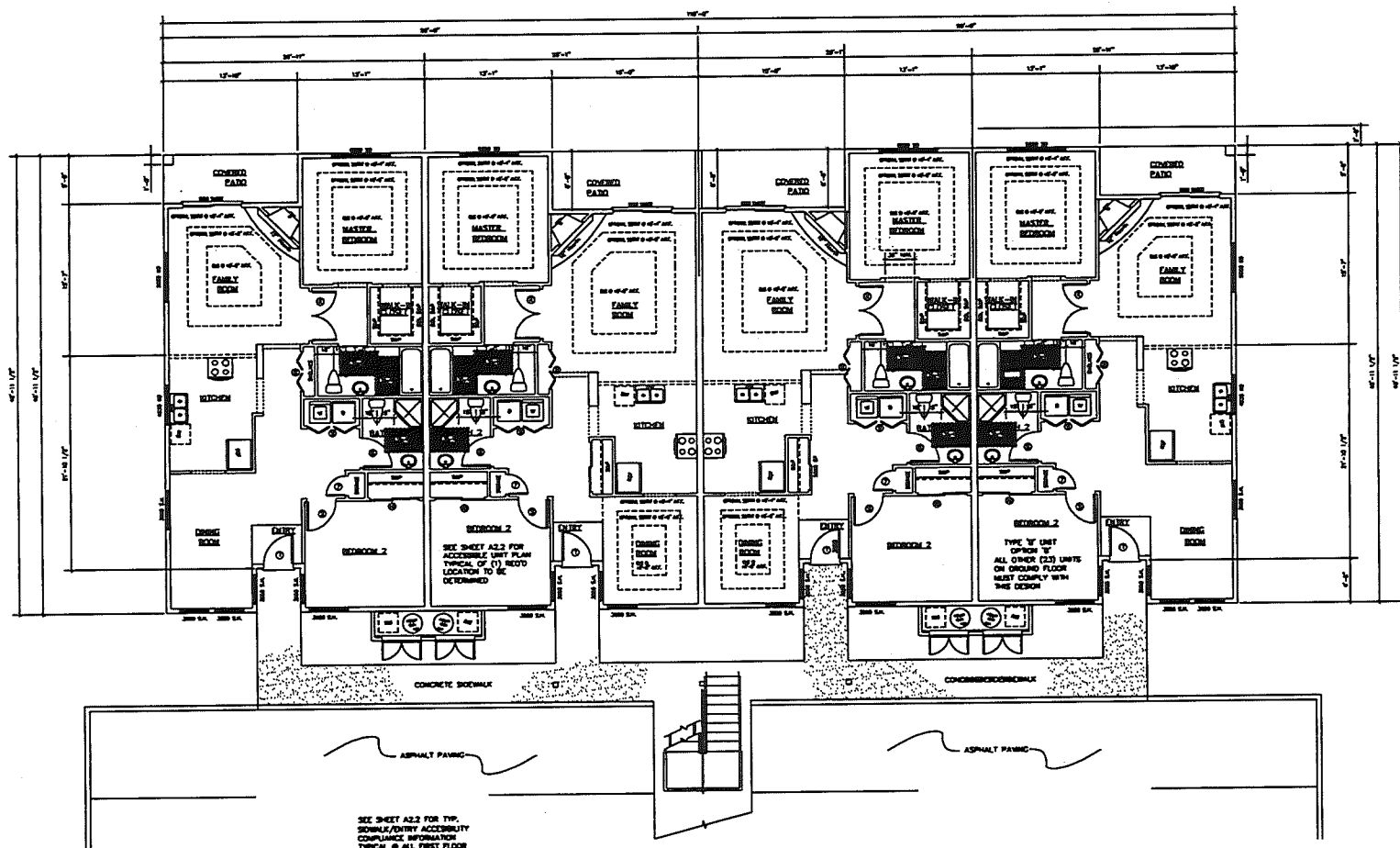


OPEN SPACE CALCULATIONS
APN : 9-123-32 EAGLE VILLAGE APARTMENTS
EAGLE STATION LANE, CARSON CITY

REVISION	
1	
2	
3	
4	
5	

DATE MAY 27, 2010
SCALE 1" = 30'
DRAWN MAL
CHECKED SH

DRAWING TITLE
CALCS
SHEET:
1
OF 1 SHEETS



UNIT - 1 1,200 SQ. FT.

UNIT - 2 1,200 SQ. FT.

UNIT - 3 1,200 SQ. FT.

UNIT - 4 1,200 SQ. FT.

NOTE:
PROVIDE HARD-WIRED ELECTRIC DOOR BELL WITH AUDIBLE TONE AT THE PRIMARY ENTRANCE TO THE ACCESSIBLE UNIT.
ALSO, PROVIDE PEEP-HOLE VIEWER IN FRONT DOOR LOCATED 48" ABOVE FINISHED FLOOR.

NOTE:
ALL UNOBSERVED SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED BETWEEN 15" AND 48" ABOVE FINISHED FLOORS.
ALL OBSERVED (COUNTED) SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO MORE THAN 48" ABOVE FINISHED FLOORS.

WALL LEGEND

REPRESENTS 2x4 WALLS w/ 2x4 STUDS STAGGERED @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3380

REPRESENTS 2x6 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3305 (EXTERIOR)
GA FILE NO. WP 3361 (INTERIOR)

REPRESENTS 2x4 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3305 (EXTERIOR)
GA FILE NO. WP 3510 (INTERIOR)

NOTE:
SEE SHEET A2.3 FOR WALL ASSEMBLY DETAILS



KEN KOSER - ARCHITECT
7870 TAMPA DRIVE, RENO, NEVADA
775-860-0955

PROJECT:
EAGLE VILLAGE
APARTMENTS
250 EAGLE STATION LANE
CARSON CITY, NEVADA
89701

DRAWING:
FIRST FLOOR PLANS

SCALE: 3/16" = 1'-0"

DATE:

DRAWN BY:

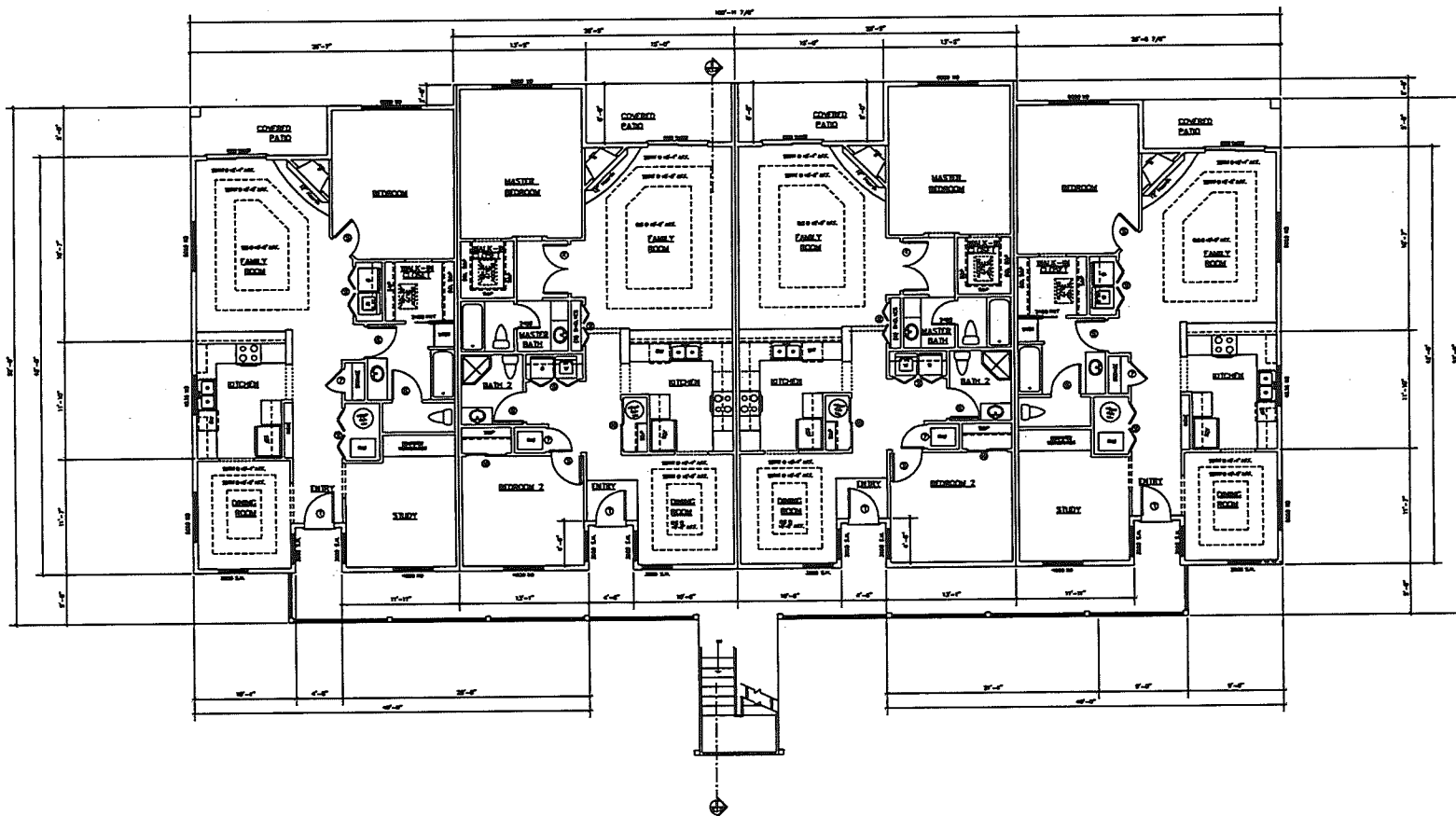
CHECKED BY:

ISSUES:

DATE TYPE

DRAWING:

A2



NOTE:
ALL UNOBTAINED SWITCHES, RECEPTACLES,
AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED
BETWEEN 15" and 48" ABOVE FINISHED FLOORS.
ALL OBTAINED (COURTESY) SWITCHES, RECEPTACLES,
AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED
NO MORE THAN 44" ABOVE FINISHED FLOORS.

WALL LEGEND

- REPRESENTS 2x4 WALLS w/ 2x4 STUDS STAGGERED @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3380
- REPRESENTS 2x4 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3805 (EXTERIOR)
GA FILE NO. WP 3861 (INTERIOR)
- REPRESENTS 2x4 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3805 (EXTERIOR)
GA FILE NO. WP 3810 (INTERIOR)

NOTE:
SEE SHEET A2.5 FOR WALL ASSEMBLY DETAILS



KEN ROSE - ARCHITECT
7870 TOWNSEND DRIVE, RENO, NEVADA
775-980-0995

PROJECT:
EAGLE VILLAGE
APARTMENTS
250 EAGLE STATION LANE
CARSON CITY, NEVADA
89701

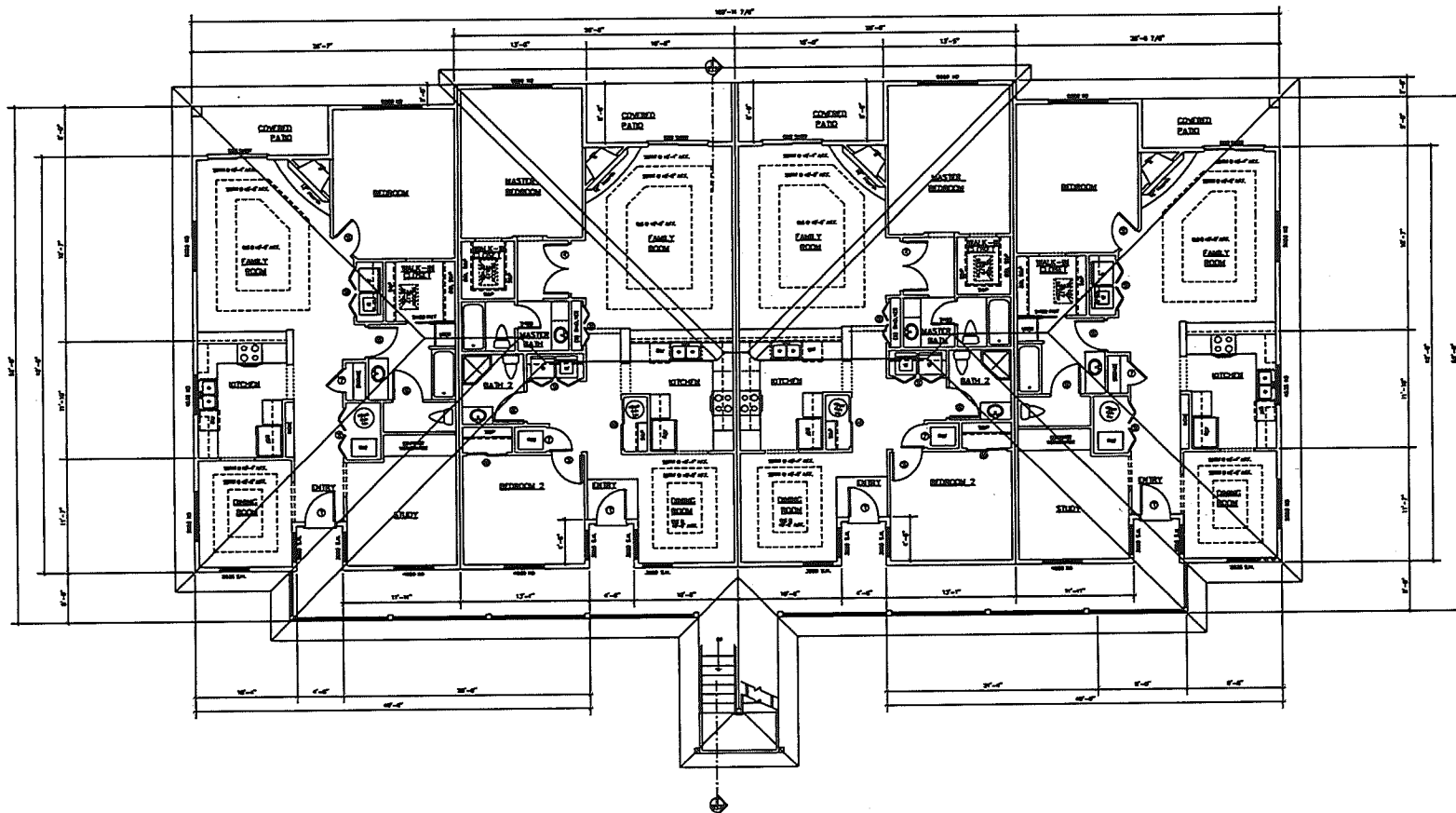
DRAWING:
SECOND FLOOR PLANS

SCALE: 3/16" = 1'-0"
DATE: 4/14/2010
DRAWN BY:
CHECKED BY:

ISSUES:	
DATE	TYPE

DRAWING:

A2.1



UNIT - 9 1,260 sq. ft.

UNIT - 10 1,260 sq. ft.

UNIT - 11 1,260 sq. ft.

UNIT - 12 1,260 sq. ft.

NOTE:
ALL UNOBTAINED SWITCHES, RECEPTACLES,
AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED
BETWEEN 12" and 48" ABOVE FINISHED FLOORS.
ALL UNOBTAINED (COUNTER) SWITCHES, RECEPTACLES,
AND ENVIRONMENTAL CONTROLS SHALL BE LOCATED
NO MORE THAN 44" ABOVE FINISHED FLOORS.

WALL LEGEND

- ===== REPRESENTS 2x4 WALLS w/ 2x4 STUDS STAGGERED @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 3380
- REPRESENTS 2x4 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105 (EXTERIOR)
GA FILE NO. WP 3581 (INTERIOR)
- REPRESENTS 2x4 WALLS @ 16" O.C.
WALL ASSEMBLY TO BE PER GA FILE NO. WP 8105 (EXTERIOR)
GA FILE NO. WP 3510 (INTERIOR)

NOTE:
SEE SHEET A2.5 FOR WALL ASSEMBLY DETAILS



KEN ROSE - ARCHITECT
7750 UNIVERSITY AVENUE, SUITE 100, NEVADA
70400-0000

PROJECT:
EAGLE VILLAGE
APARTMENTS
250 EAGLE STATION LANE
CARSON CITY, NEVADA
89701

DRAWING:
THIRD FLOOR PLANS

SCALE: 3/16" = 1'-0"

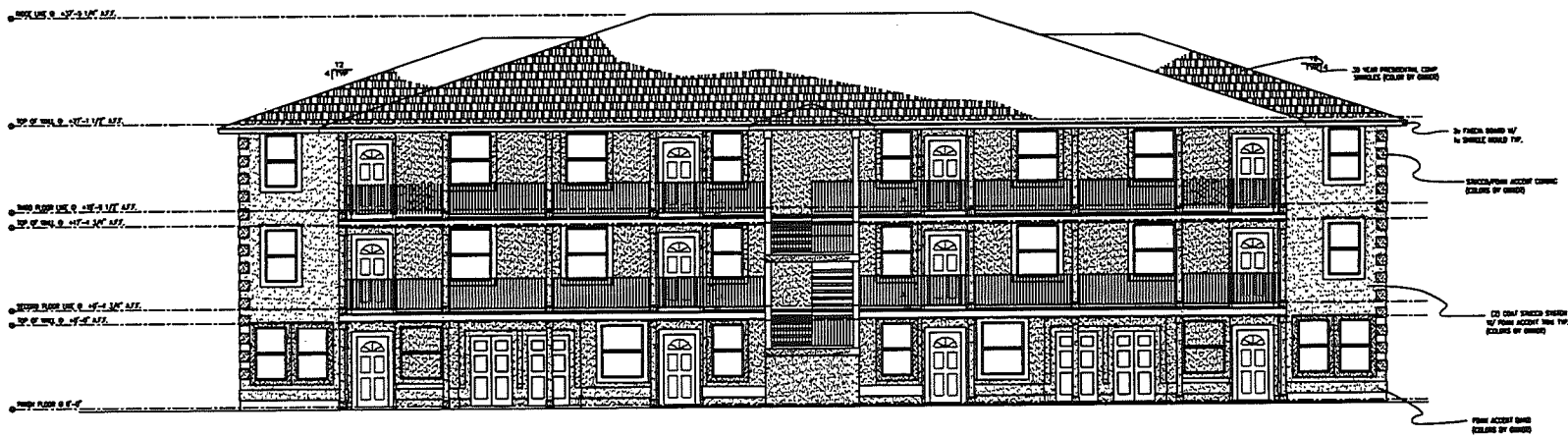
DATE: 4/14/2010

DRAWN BY:

CHECKED BY:

ISSUES:

DATE TYPE



① FRONT ELEVATION
SCALE: 3/16" = 1'-0"



② REAR ELEVATION
SCALE: 3/16" = 1'-0"



KEN ROSE - ARCHITECT
7870 TAMARA DRIVE, RENO, NEVADA
775-960-0959

PROJECT:
EAGLE VILLAGE
APARTMENTS
250 EAGLE STATION LANE
CARSON CITY, NEVADA
89701

DRAWING:
EXTERIOR ELEVATIONS

SCALE:

DATE:

DRAWN BY:

CHECKED BY:

ISSUES:

DATE TYPE

DRAWING:

A3

Micheal Lawson, P.E.

1561 Summerwind Circle
Reno, NV 89523
775.224.9207
mlawsonpe@gmail.com

June 9, 2010

Ken Rose
35 Riata Court
Reno, NV 89521

Subject: Eagle Village Apartments - Parking Lot Analysis

Dear Mr. Rose:

Attached please find a drawing illustrating the proposed vehicle turning movements within the parking lots at the Eagle Village Apartments project.

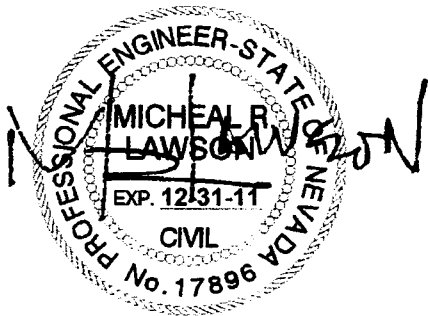
The drawing shows how a vehicle can use the expanded turnaround area along the building-side of the parking lot to assist in turning and exiting the parking lot.

The vehicle shown is a large pick-up truck with dimensions typical of a present-day one-half ton design. This vehicle has a turning radius of approximately 40 feet.

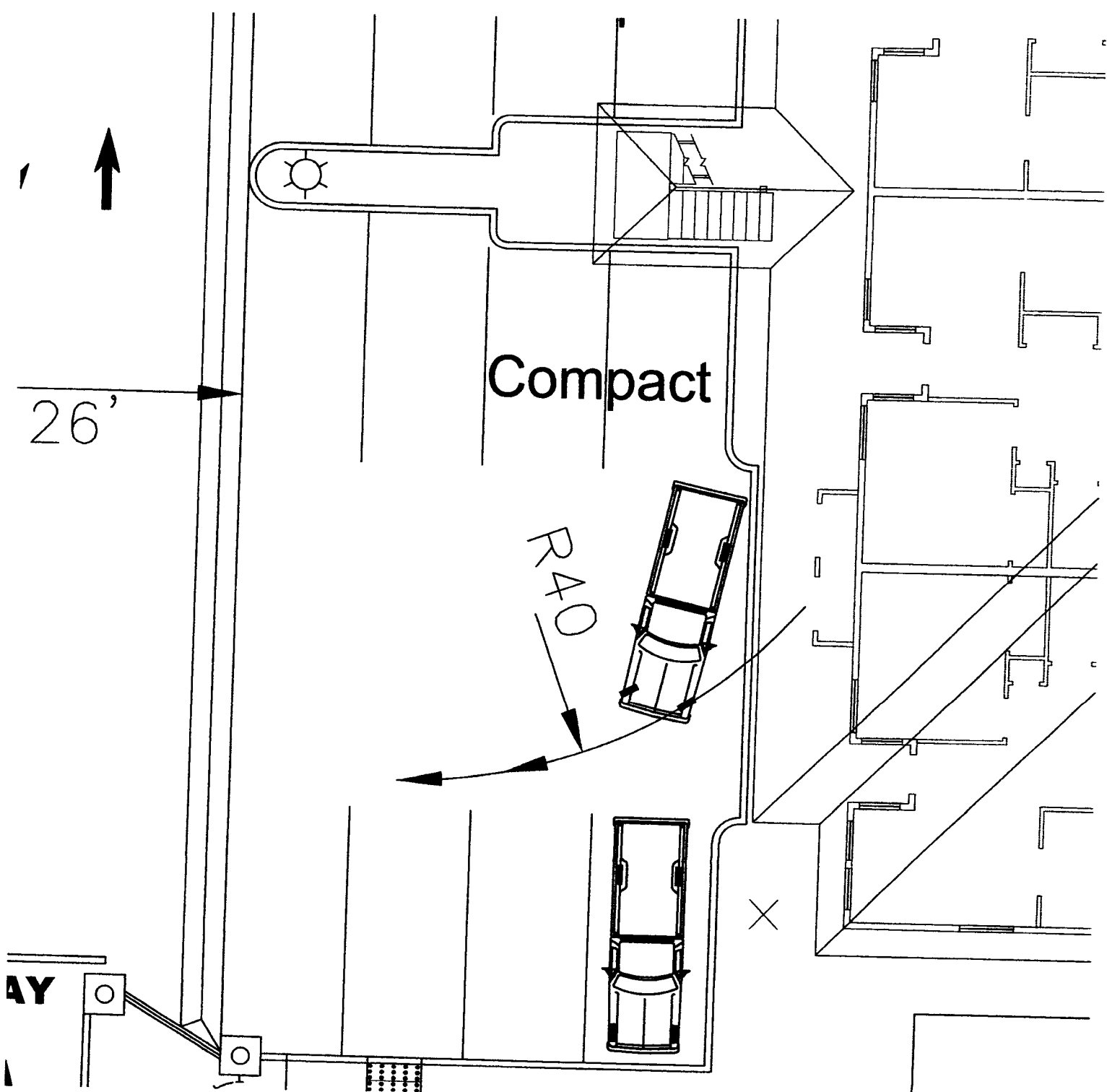
Based on the above criteria, vehicles will be able to park and exit this parking lot in an acceptable manner.

It may be reasonable to provide some signage that restricts over-size vehicles from parking in these areas.

Sincerely,



Micheal Lawson, P.E.
Professional Engineer #17896, State of Nevada



June 4, 2010

Ken Rose
35 Riata Court
Reno, NV 89521

Subject: Eagle Village Water System Analysis

Dear Mr. Rose:

The following is a letter report regarding the reanalysis of the water system design for the Eagle Village Apartment project in Carson City, NV.

Purpose

The proposed density of the project is being raised from 48 units to 72 units. The purpose of this report is to determine if the water system as previously designed and approved is sufficient for the increased project density.

Existing Design and System Analysis

The water system was previously design and analyzed by Western Engineering & Surveying Services (WESS) in December, 2008 using Carson City standards and modeled using the Haestad Methods program WaterCAD version 3.1 to test the worst case scenario, during fire flow. The proposed system was approved per this report.

This model was calibrated to an existing fire service connection with data provided by Carson City. This connection was tested on December 4, 2008. The test hydrant is located approximately 550 feet west of the project site on Eagle Station Lane.

The design fire flow is 1,500 GPM split between the two fire hydrants (within 1000 feet of each other), plus 1,500 GPM split between each of the six fire-sprinkler equipped buildings (250 GPM each). This conforms to the 2006 International Fire Code (Appendix B, Section B105.1). The model output of the approved report confirms this system is acceptable to Carson City standards.

Revised Conditions

The proposed density of the project is being raised from 48 units to 72 units. The buildings will be three-story with 4 units on each floor. The buildings will be equipped with fire sprinklers to each unit.

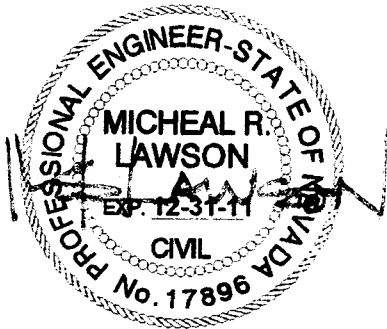
The design of the water system remains the same as previously approved. An 8" main will extend into the project and will connect to six (6) each 4" fire services for the buildings. Domestic water service will be provided by 2" (previously designed as 1 ½") water laterals tapped directly off of the existing 8" water main located in Eagle Station Lane.

Conclusions

The following are conclusions regarding the proposed water system design.

1. The water system is design per Carson City and International Fire Code standards.
2. Per the previous water system analysis, the onsite water system maintains a minimum water pressure greater than 20 PSI in all locations and all flow velocities are at or below ten (10) feet per second.

Sincerely,



Micheal Lawson, P.E.
Professional Engineer #17896, State of Nevada

June 4, 2010

Ken Rose
35 Riata Court
Reno, NV 89521

Subject: Eagle Village Sanitary Sewer Analysis

Dear Mr. Rose:

The following is a letter report regarding the reanalysis of the sanitary sewer system design for the Eagle Village Apartment project in Carson City, NV.

Purpose

The proposed density of the project is being raised from 48 units to 72 units. The purpose of this report is to determine if the sanitary system as previously designed and approved is sufficient for the increased project population.

Existing Design and System Analysis

The sanitary sewer system was previously design and analyzed by Western Engineering & Surveying Services (WESS) in December, 2008 using Carson City standards and modeled using the Haestad Methods program SewerCAD version 5.5. The proposed system was approved per this report.

Revised Conditions

The proposed density of the project is being raised from 48 units to 72 units. These apartments are expected to house 2.2 people per dwelling unit generating a project population of 159 persons. Following code, onsite systems are sized to service less than 5,000 people. The peak daily design flow used is 300 gallons per capita per day (Carson City Municipal Code 12.06.280) for a peak flow of 660 gallons per dwelling unit per day.

Peak Flow (per WESS) = 660 gpd/unit x 48 units = 31,680 gallons per day = 0.032 million gallons per day (MGD).

Peak Flow (with increased density) = 660 gpd/unit x 72 units = 47,520 gallons per day = 0.048 MGD.

Proposed Sanitary Sewer System

The proposed sanitary sewer system is an 8" diameter main extending into the project. Each building (6 each) will connect to this main by means of four (each) 6" diameter laterals for a total of 24 lateral connections.

The proposed 8" main is designed at a slope of 0.4% and can carry the following flowrates.

8" diameter, 0.4% slope, full flow = 491,200 gallons per day = 0.491 MGD

8" diameter, 0.4% slope, half full flow = 245,600 gallons per day = 0.246 MGD.

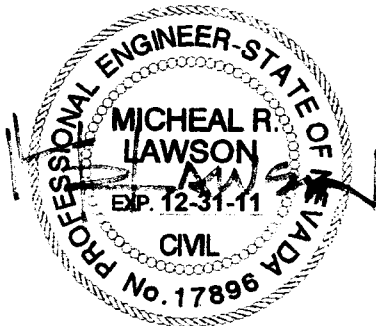
According to building code, the 6" laterals will be installed at a minimum slope of 2% (1/4" per foot). This will provide adequate capacity to serve a combination of 3 units as designed.

Conclusions

The following are conclusions regarding the proposed sanitary sewer system design.

1. The sanitary sewer is design per Carson City standards for service to a project of less than 5,000 people.
2. The daily flow from the increased project population can be carried acceptably by the proposed 8" main.

Sincerely,



Micheal Lawson, P.E.
Professional Engineer #17896, State of Nevada

From: Rory Hogen
To: Jennifer Pruitt
Date: 6/8/2010 8:37 AM
Subject: 250 Eagle Station Ln. Apts.

Jennifer - these are my comments for the conditions of approval of the special use permit:

1. The updated water and sewer capacity calculations for 24 extra apartment units must be resubmitted with an original signature and wet stamp.
2. The turn around areas for the inside parking spaces next to the buildings do not show dimensions on the plans. We need to see a submittal showing these dimensions and turning diagrams showing these areas are large enough to work. This submittal must also be wet stamped. This requirement was on both the major project review and the updated special use permit comments.

This is all I have. Thanks, Jennifer. Rory

MEMORANDUM

TO: Lee Plemel, Planning Director
Jennifer Pruitt, Senior Planner (Hardcopy and Email)

FROM: Roger Moellendorf, Parks and Recreation Director
Vern L. Krahn, Park Planner

DATE: June 21, 2010

SUBJECT: Parks and Recreation Department's comments for the
Wednesday, June 30, 2010, Planning Commission meeting

SUP-09-034	No Comments
SUP-10-036	No Comments
SUP-10-026	No Comments
MISC-10-039	Our department supports the "community directional" sign program for downtown public facilities. Our department wants to be involved with the specific sign location installation to avoid damaging existing City landscaping or irrigation systems.
ZCA-08-127	No Comments

File # (Ex: MPR #07-111)	<i>SUP- 10- 026</i>
Brief Description	<i>Eagle Village Apartments</i>
Project Address or APN	<i>APN #009-123-39</i>
Bldg Div Plans Examiner	<i>Kevin Gattis</i>
Review Date	<i>June 30, 2010</i>
Total Spent on Review	

BUILDING DIVISION COMMENTS:

These comments do not constitute a complete plan review, but are merely observations based on the information and plan sheets provided. The comments do not reflect all submittal requirements necessary for this project, but are those requirements that have generated concerns with similar projects in the past.

GENERAL COMMENTS

1. The building construction requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson-city.nv.us/Index.aspx?page=181
3. The new submittal shall include updated Mechanical, electrical, plumbing and structural drawings. In addition, revise the design criteria for the proposed changes.
4. Include the 2007 Northern Nevada Amendments under the "Basis of Design".
5. The revised parking plan will require a minimum of 5 accessible parking spaces based on number of spaces per Table 1106.1, 2006 IBC. Only 4 accessible parking spaces are shown.
6. 2006 International Building Code Section 1106.6: Accessible parking spaces shall be located on the shortest accessible route of travel from adjacent parking to an accessible building entrance.....Where buildings have multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located near the accessible entrances.
7. Note the location and slopes of the accessible routes from the accessible parking spaces to the structures.
8. Transfer all of the "red and blue line" comments from the approved plans that have been issued to MBI to the new submittal sets. Two permits for construction have been issues to date.
9. Minimum frost depth for footings is 24". Please correct on the cover sheet.



CARSON CITY FIRE DEPARTMENT

"Service with Pride. Commitment. Compassion"

MEMORANDUM

TO: Community Development

FROM: Duane Lemons, Fire Inspector

DATE: May 17, 2010

SUBJECT: AGENDA ITEMS FOR MAY 26, 2010 PLANNING COMMISSION MEETING.

We reviewed the agenda items for the May 26, 2010 Planning Commission Meeting and have the following comments:

- SUP-10-019 CC Parks & Red, Mark Palmer Eng We have no concern with the applicant's request.
- SUP-10-026 Jackson Family Living Trust We have no concern with the applicant's request.
- SUP-10-028 Carson City, Tom Grundy This project must meet all codes and ordinances as they relate to this request.

DL/llb



CARSON CITY FIRE DEPARTMENT

"Service with Pride. Commitment. Compassion"

MEMORANDUM

TO: Community Development

FROM: Duane Lemons, Fire Inspector

DATE: June 10, 2010

SUBJECT: AGENDA ITEMS FOR JUNE 30, 2010 PLANNING COMMISSION MEETING.

We reviewed the agenda items for the May 26, 2010 Planning Commission Meeting and have the following comments:

- SUP-10-026 Jackson Family Living Trust This request must meet all codes and ordinances as they relate to this request.
- SUP-10-036 Richard Campagni This request must meet all codes and ordinances as they relate to this request.
- SUP-09-034 Carson City Airport Authority We have no concern with this request.

DL/llb