

STAFF REPORT FOR PLANNING COMMISSION MEETING OF AUGUST 25, 2010

FILE NO: SUP-10-044

AGENDA ITEM: H-2

STAFF AUTHOR: Kathe Green, Assistant Planner

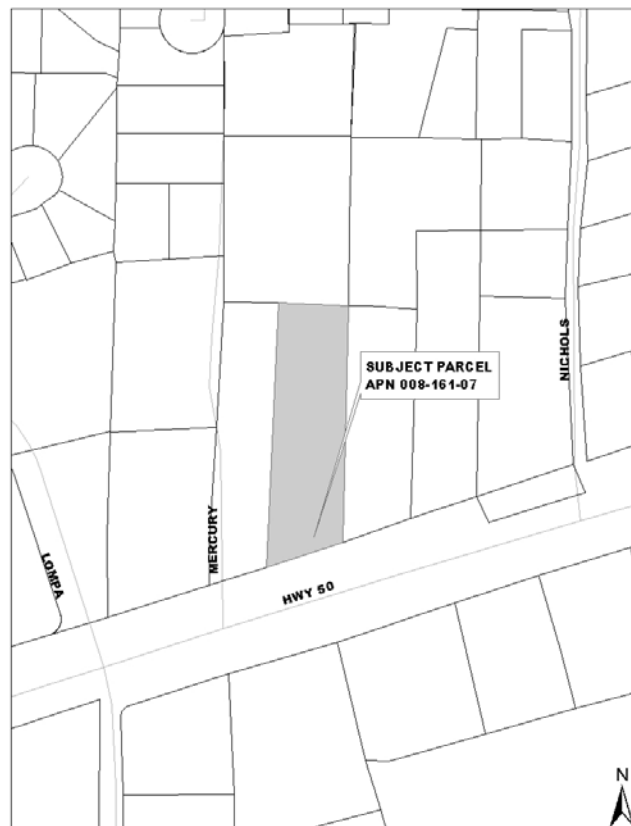
REQUEST: Special Use Permit to allow the continued use of an off-premises double faced advertising (billboard) sign with an overall height of no more than 28 feet with dimensions of 10 feet by 40 feet or 400 square feet on property zoned General Commercial.

APPLICANT/OWNER: Robert Polichio/Polichio Family 1998 Trust

LOCATION: 2794 Highway 50 East

APN: 008-161-07

RECOMMENDED MOTION: "I move to approve SUP-10-044, a Special Use Permit request from Polichio Family 1998 Trust to allow the continued use of a double faced maximum 28 feet high, 10 feet by 40 feet or 400 square feet off-premises (billboard) sign, on property zoned General Commercial located at 2794 Highway 50 East, Assessor's Parcel Number 008-161-07 based on the findings and subject to the conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further considerations.

The following conditions are applicable throughout the life of the billboard:

2. The maximum permitted sign height is 28 feet in height from adjacent street elevation if sign is proposed to be changed.
3. Any modifications or additions of light fixtures, excluding the replacement of light bulbs, require Planning Division approval and may require a Building Permit. Such modifications may only be done in accordance with the lighting standards of the Carson City Municipal Code. Any proposed change of lighting of the billboard shall be shielded so as not to project light and/or glare onto adjacent properties or right-of-way. A detailed lighting plan, including light fixture details ("cut sheets") must be provided with the building permit application if a light fixture change is proposed.
4. The sign support structure must be mono-pole in design, as shown on the plans approved with this application, and must be painted an earth-tone color as approved by the Planning Division. Any change of color requires submission of proposed color samples for the pole with any building permit application for review and approval by the Planning Division.
5. This approval is for the continued use of the existing off-premise sign only. Replacement of the sign structure may only be done in accordance with the provisions of the Carson City Municipal Code for new off-premise signs, with the approval of a new Special Use Permit.
6. Without further notice, the subject special use permit shall expire on September 15, 2015 (five years from the originally scheduled review date), unless a new special use permit to continue the use of the off-premise sign is acquired by that date. It is the applicant's responsibility to submit a complete special use permit application in sufficient time to be scheduled for review prior to the expiration date, by the August 2015 Planning Commission meeting.
7. Carson City business license fees shall be paid for the billboard and kept current at all times.
8. All portions of the billboard structure shall be maintained free of graffiti. Failure to do so may constitute cause for revocation of a business license and Special Use Permit.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits); and Development Standards, Section 4.8 (Requirements for Billboards and Off-Premises Signs).

MASTER PLAN DESIGNATION: Mixed Use Commercial (MUC)

ZONING: General Commercial (GC)

KEY ISSUES: Does the application meet the Development Standards regulations for off-premises (billboard) signs, and does the application continue to meet the required findings for approval of a special use permit? Is the proposed billboard still compatible with surrounding properties? Has the existing billboard caused material damage to surrounding properties?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH: General Commercial/Vacant land

SOUTH: General Commercial/Hwy 50 East, Video Centro, Sunrise Auto, ARCO

EAST: General Commercial/Auto rental and sales

WEST: General Commercial/Benson Feed Supply

SITE HISTORY

1. The original placement of this billboard has not changed.
2. On September 15, 2005 the Board of Supervisors approved reconsideration of the original denial by the Board of Supervisors on February 15, 2005, of the appeal of the decision to deny the request by the Planning Commission on December 15, 2004. This was a request to place a new billboard at this location.
3. This billboard is in compliance with the current billboard ordinance.

SITE DEVELOPMENT INFORMATION

1. PARCEL AREA: 1.08 acres
2. EXISTING PRIMARY USE: Vacant. Previously auto sales.
3. HEIGHT: Existing at approximately 28 overall above the existing grade. The distance from the bottom of the panel to the ground is 18 feet, with the top of the billboard being at 28 feet above the ground. The maximum allowed height for signs is 28 feet from street elevation. This billboard height is in compliance.
4. AREA: 400 square feet, the maximum allowed
5. NUMBER OF FACES: Two
6. LIGHTING: The billboard has existing lighting. Documentation was submitted with the original building permit showing Holophane Panel-Vue lighting for outdoor advertising would be installed. These are acceptable fixtures.

DISCUSSION: The subject parcel is located on the north side of Highway 50 East. An automobile sales business was also located on the parcel, but the building on site is now vacant and shown as available for rent. The billboard is located at the front of the property on the southwest portion of the parcel, parallel to and just east of an existing building. The billboard has been at this location for several years. No known complaints or concerns have been registered regarding the location or existence of the billboard.

The following is a review of the billboard with regard to the specific standards of Division 4 8.3:

4.8.3 – Billboard Requirements

- a. Special Use Permit Required — Approval of a special use permit is required for a billboard.
— The current special use permit will expire on September 15, 2010 unless a new Special Use Permit is approved. The applicant is requesting a renewal for an additional five year

period of time from the original review date, extending this time to September 15, 2015.

- b. Permitted Streets — Billboards are permitted along US Highway 50 between Lyon County and US Highway 395 (Carson Street). This sign is located on U S Hwy 50 East.
- c. Height — The maximum permitted sign height is 28 feet from the adjacent “permitted street” elevation —The height is in compliance.
- d. Number of Sign Faces — One sign face per side (single or double-faced sign) is permitted — The subject billboard has a double sign face.
- e. Zoning of the Site — New billboards are only permitted within the General Commercial (GC) or General Industrial (GI) zoning districts — The subject site is zoned General Commercial. This site is in compliance for zoning. **However, existing billboards that are being renewed are not required to meet this requirement.**
- f. Spacing Distance — Billboards may not be located within 1,000 feet of each other — This proposal does comply with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- g. Area of Sign — The maximum permitted sign area for billboards is 400 square feet per side — The billboard measures 10 feet by 40 feet (400 square feet) and is in compliance.
- h. Separation from Certain Uses and Zoning — A billboard sign may not be closer than 300 feet to a property zoned Agriculture (A), Conservation Reserve (CR), or any residential district — The billboard is not closer than 300 feet to such zoned property. The proposal, therefore, does comply with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- i. Downtown Redevelopment area — A billboard sign may not be within 1000 feet of a redevelopment area — The proposed location is greater than 1,000 feet of the nearest redevelopment area boundary and is in compliance with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- j. Prohibited Supporting Structures — A sign may not be attached to a roof or wall or other surface of a building. A sign must be a freestanding sign — The billboard is in compliance with this standard.
- k. Prohibited Characteristics and Materials — Signs cannot display three-dimensional objects, have movable reflective/lighted materials or beams, flash, be internally lit, have or simulate moving parts, nor may external lighting glare onto adjacent properties or rights-of-way —The billboard is in compliance with this standard.

PUBLIC COMMENTS: Public notices were mailed on August 6, 2010 to 35 adjacent property owners within 325 feet of the subject site, pursuant to the provisions of NRS and CCMC. As of the writing of this report, no letters in support or opposition to this proposed have been submitted to staff from a property owner in the vicinity. Any comments that are received after this report is

complete will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division. No comments or complaints have been received in regards to the billboard since it was placed in this location.

CITY DEPARTMENT/OUTSIDE AGENCY COMMENTS: The following comments were received from City departments.

BUILDING DIVISION COMMENTS:

- The Carson City Building Division has no comment.

FIRE DEPARTMENT COMMENTS:

- No comments received

ENGINEERING DIVISION COMMENTS:

- No preference or objection to the special use request.

HEALTH DEPARTMENT COMMENTS:

- No comments received

PARKS AND RECREATION:

- No comment received

FINDINGS: Pursuant to CCMC 18.02.080 (Special Use Permits), this application is reviewed with reference to the required findings written for the record in the applicant's justification letter and reviewed below. The extension of time, if approved, would add five years to the original approval date, to September 15, 2015.

1. The project will be consistent with the master plan elements. The continued use of the billboard is consistent with Guiding Principle 5, A Strong, Diversified Economic Base, Goal 5.2, to promote expansion of the retail service base, and Goal 5.4, to promote tourism activities and amenities, in that it will provide for advertising of businesses and tourism facilities in and around Carson City.
2. The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity. The continued use of the billboard meets this finding in that it is has already been placed, is located in a commercial area, and will have no negative economic impact to the surrounding commercial properties. The sign generates no significant noise, vibrations, fumes, odors, dust, glare or physical activity which could have an adverse impact on adjacent uses.
3. The project will have little or no detrimental effect on vehicular or pedestrian traffic. No additional vehicular and pedestrian traffic will be generated in conjunction with the existing sign that could aversely impact vehicular or pedestrian circulation in the subject area.
4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other

4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements. The existing sign will not require the extension or expansion of any public services and facilities and services.
5. The project meets the definition and specific standards set forth in Title 18 for billboards. The existing sign meets all the specific standards for the continued use of existing billboards set forth in Division 4.8 of the Carson City Development Standards.
6. The project will not be detrimental to the public health, safety, convenience and welfare. The existing sign meets all the requirements of the Carson City Municipal Code and will not be detrimental to the public health, safety, convenience, and welfare, and will cause no adverse impacts to surrounding properties.
7. The project will not result in material damage or prejudice to other property in the vicinity. The existing sign is located in a commercial or industrial area that is developed with other commercial or industrial uses. Therefore, the continued use of the sign will not result in material damage or prejudice to other property in the vicinity.

Respectfully submitted,

DEVELOPMENT SERVICES, PLANNING DIVISION


Kathe Green, Assistant Planner

Attachments:

Application SUP-10-044
Building Division comments
Engineering Division comments

File # (Ex: MPR #07-111)	<i>SUP-10-044</i>
Brief Description	<i>Billboard</i>
Project Address or APN	<i>APN #008-161-07</i>
Bldg Div Plans Examiner	<i>Kevin Gattis</i>
Review Date	<i>August 25, 2010</i>
Total Spent on Review	

BUILDING DIVISION COMMENTS: No comments

**Engineering Division
Planning Commission Report
File Number SUP 10-044**

TO: Planning Commission

FROM: Rory Hogen – City Engineer

DATE: July 29, 2010

MEETING DATE: August 25, 2010

SUBJECT TITLE:

Action to consider an application for a Special Use Permit from property owner Polichio Family Trust on behalf of the business at 2794 Hwy. 50 E, APN 08-161-07 to continue the use of an existing billboard on the subject property zoned GC.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

CCMC 18.02.080 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The proposal will not impact traffic or pedestrian facilities.

CCMC 18.02.080 (5d) - Public Services

The proposal will not impact existing public services.

Carson City Planning Division
2621 Northgate Lane, Suite 62 • Carson City NV 89706
Phone: (775) 887-2180 • E-mail: plandept@ci.carson-city.nv.us

FILE # SUP - 10 - 044

Polichio Family Trust 1998
PROPERTY OWNER

3355 Oldenwald Dr. RENO 89509
MAILING ADDRESS, CITY, STATE, ZIP

815-4771 815-1519
PHONE # FAX #

Name of Person to Whom All Correspondence Should Be Sent

Polichio

APPLICANT/AGENT

3355 Oldenwald Dr. RENO, Nev.
MAILING ADDRESS, CITY, STATE, ZIP

(775) 815-1519 815-4771
PHONE # FAX #

1949 PP @ f-mail.com.
E-MAIL ADDRESS

FOR OFFICE USE ONLY:

CCMC 18.02

SPECIAL USE PERMIT

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 6 Completed Application Packets (1 Original + 5 Copies) including:
 - ☐ Application Form
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Proposal Questionnaire With Both Questions and Answers Given
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date (1 copy)
 - ☐ Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

RECEIVED

JUL 14 2010

CARSON CITY
PLANNING DIVISION

Project's Assessor Parcel Number(s):

C

Street Address

2794 Hi Way 50 E. Carson City Nev. 89

ZIP Code

Project's Master Plan Designation

008-161-07

Project's Current Zoning

G.C.

Nearest Major Cross Street(s)

Lampa Ln.

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: 4.8.3, or Development Standards, Division _____, Section 4, a request to allow as a conditional use is as follows:

PROPERTY OWNER'S AFFIDAVIT

Robert Polichio

, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

[Signature]

Address

3355 Oldenwald Dr.
RENO, Nev. 89509

Date

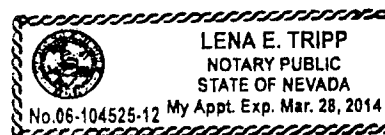
7-14-10

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY _____

On July 14, 2010, Robert Polichio, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Lena E. Tripp
Notary Public



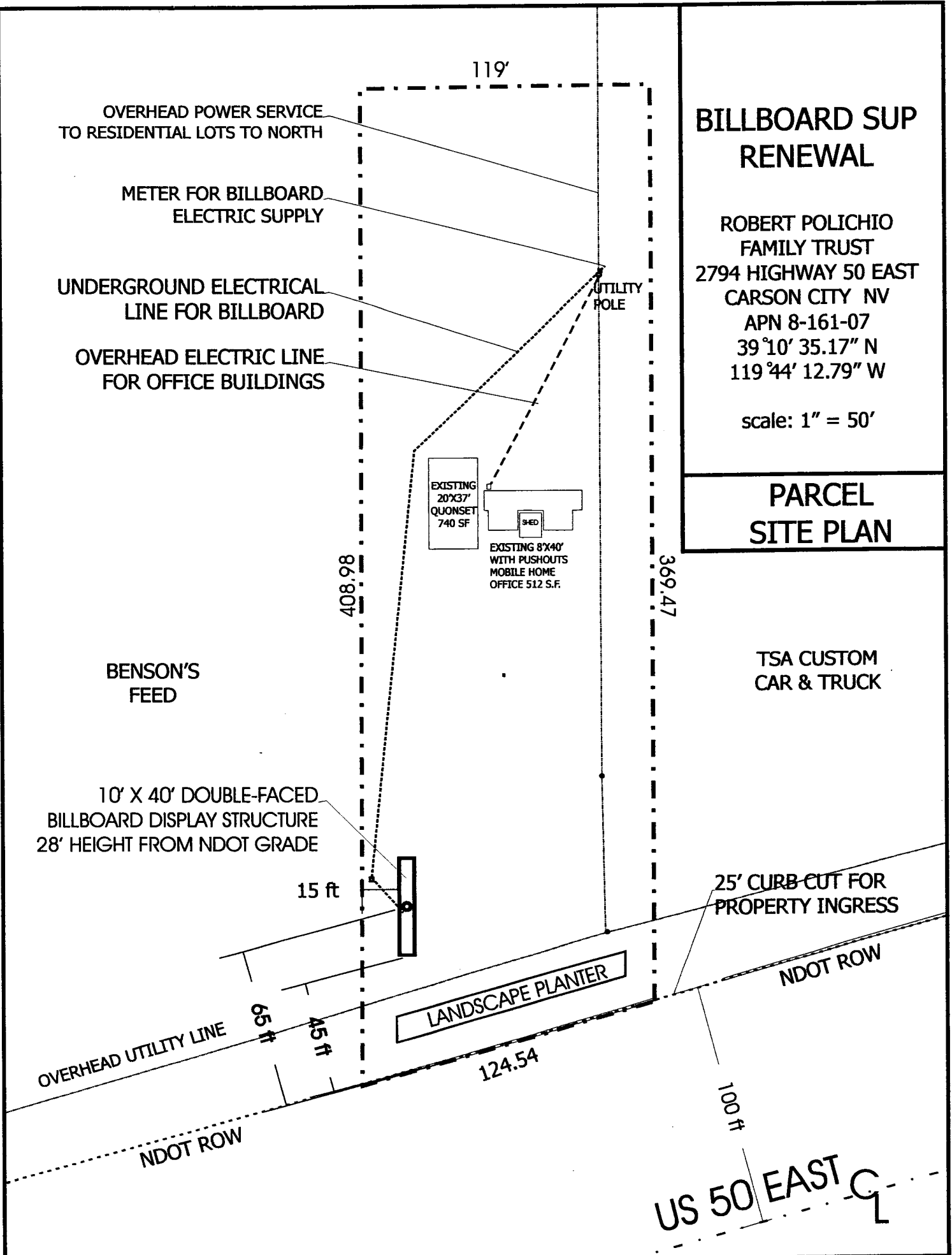
NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

BILLBOARD SUP RENEWAL

ROBERT POLICHIO
FAMILY TRUST
2794 HIGHWAY 50 EAST
CARSON CITY NV
APN 8-161-07
39°10' 35.17" N
119°44' 12.79" W

scale: 1" = 50'

PARCEL SITE PLAN

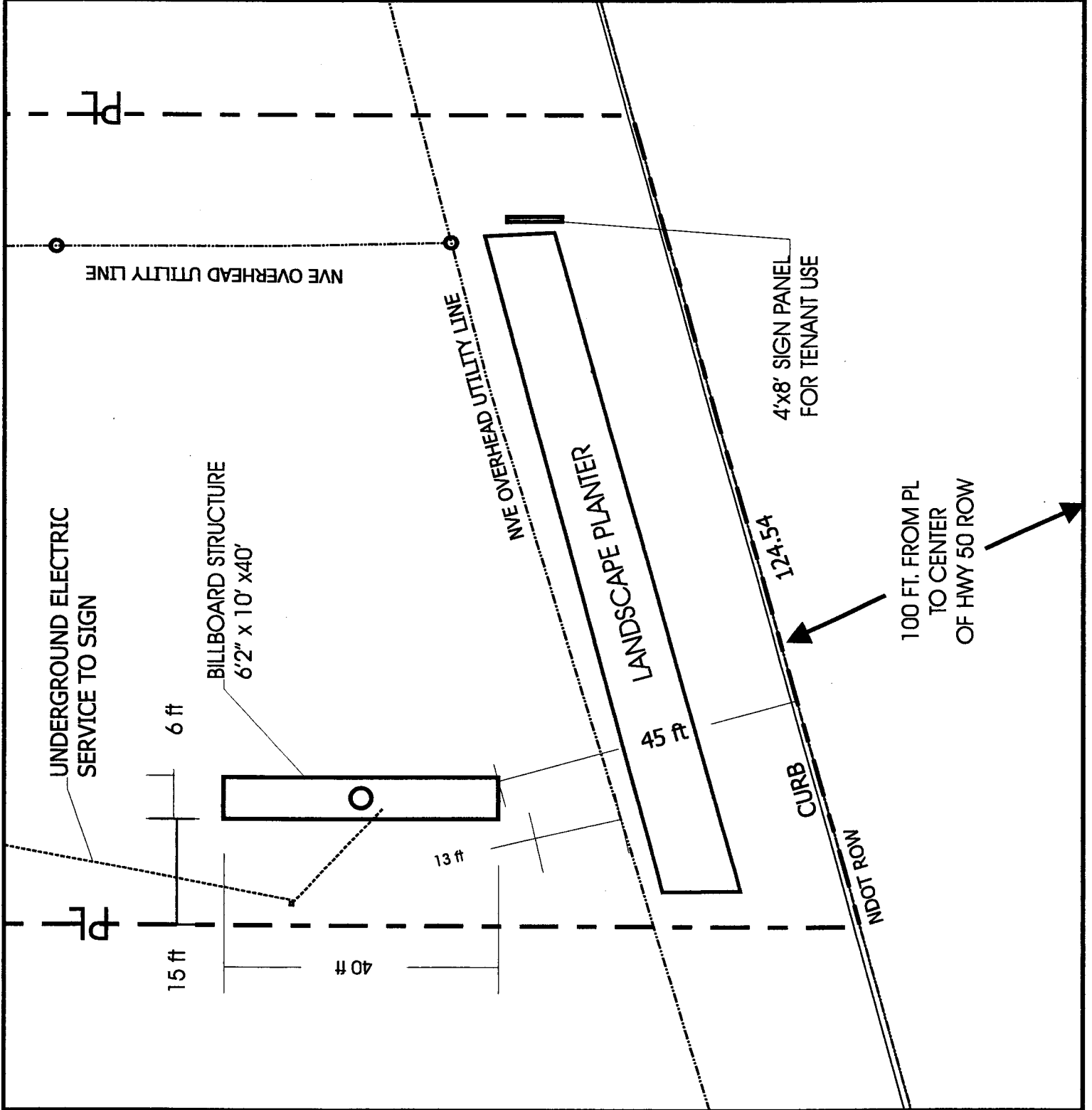


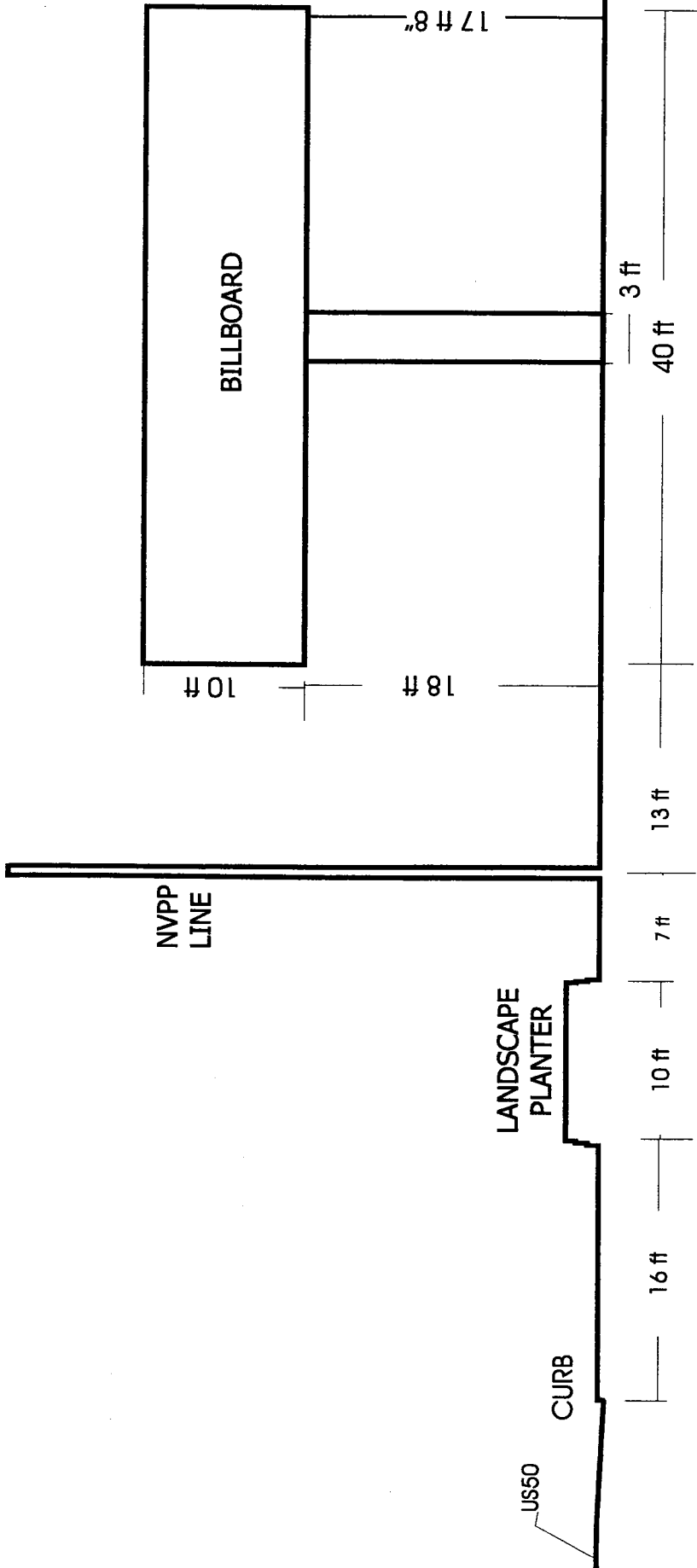
**BILLBOARD SUP
RENEWAL**

ROBERT POLICHIO
FAMILY TRUST
2794 HIGHWAY 50 EAST
CARSON CITY NV
APN 8-161-07

**BILLBOARD
SITE DETAIL**

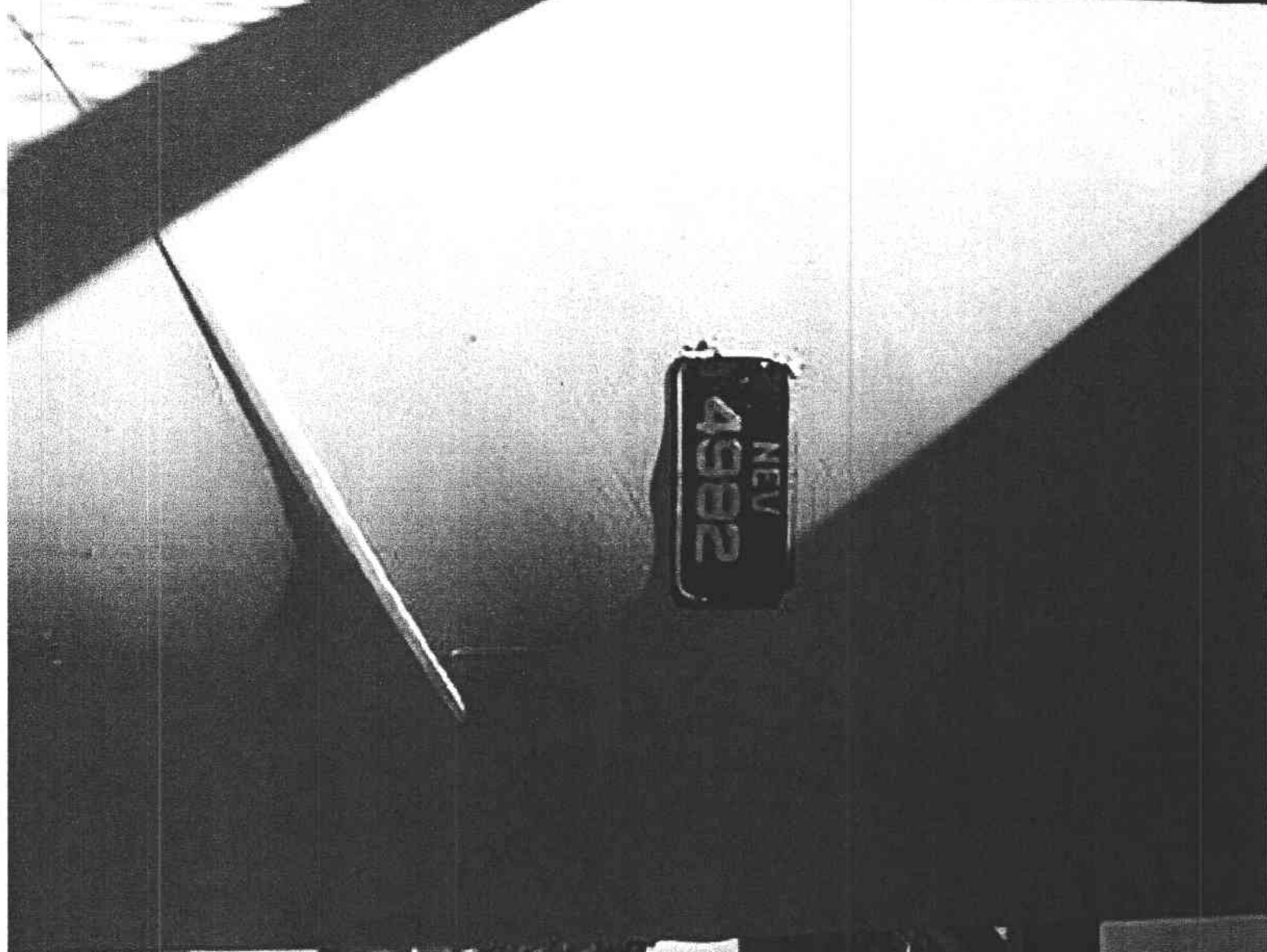
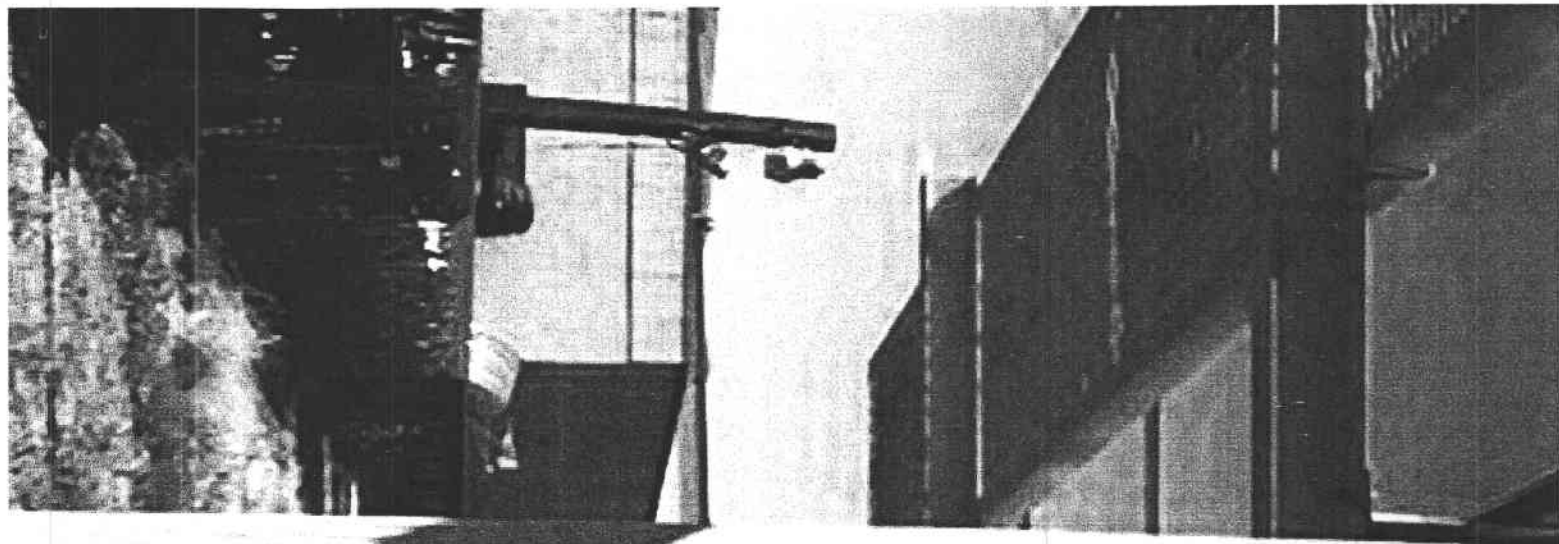
Scale: 1" = 20'



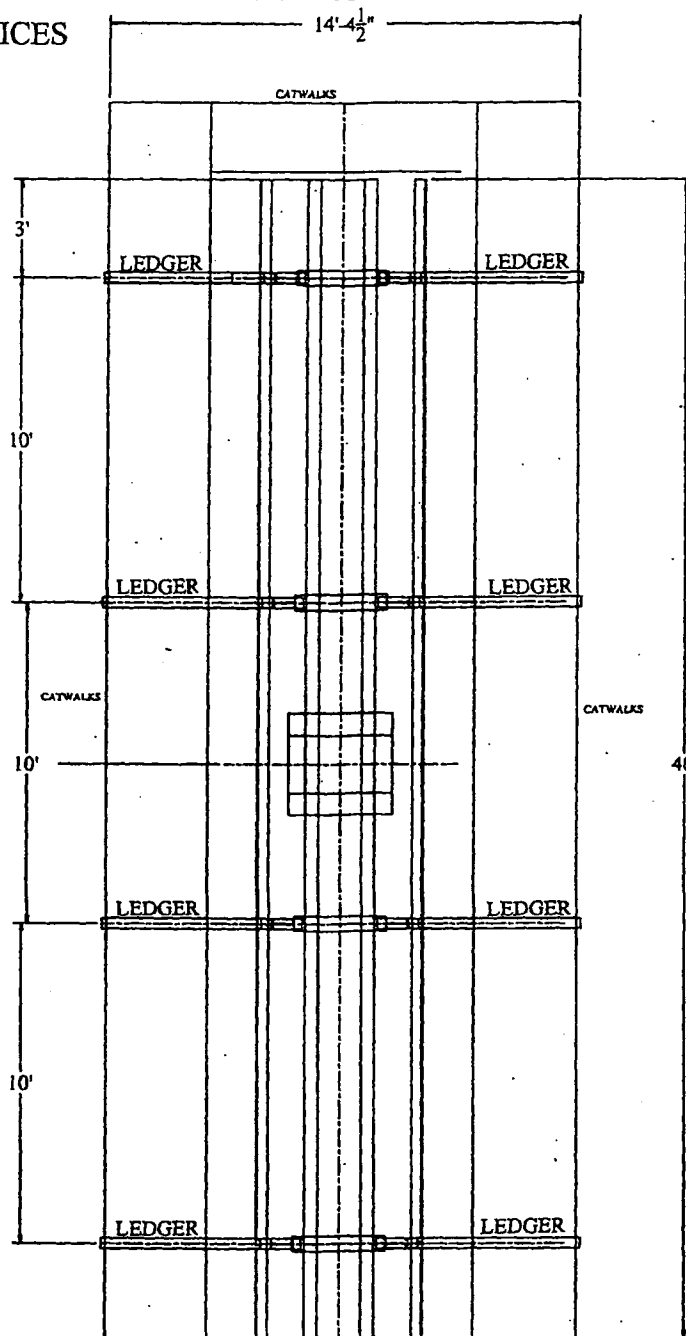


BILLBOARD SITE CUTAWAY
ROBERT POLICHIO FAMILY TRUST
2794 HIGHWAY 50 EAST CARSON CITY NV
APN 8-161-07

SCALE: 1" = 10'



CUSTOMER: SIGN SERVICES



SIGN DESCRIPTION:

10' x 40' CM, BB,
28' AOH

TRINITY
SIGN SERVICES LTD.
10045273
Sparks, Nevada
356-1331

PLANNING DIV. CARSON CITY APPROVED	DATE 3 AUG 2006
PERMIT NO. 06-072	BY [Signature]

NOTES

1. SIGN IS DESIGN FOR A 30# WIND LOAD AND 400 PSF/FT LATERAL SOIL PRESSURE
2. SIGN IS SUBJECT TO CHANGE AS SUGGESTED BY PROFESSIONAL ENGINEERING
3. CUSTOMER TO FILL IN REQUIRED AREAS OR INDICATE ANY DESIGN CHANGES
4. IF CHOICES EXIST CUSTOMER SHOULD CHECK ONE OR CONSULT MANUFACTURE FOR ASSISTANCE

TOP VIEW

SCALE 2X

REF DWG. NO. 0



TRINITY PRODUCTS
1969 W. TERRA LN.
O'FALLON, MO. 63366
800-456-7473

PRELIMINARY PLOT PLAN

DESCRIPTION: 10' x 40' CM, BB, 28' AOH

DRAWN BY: TB

DATE: 08/14/06

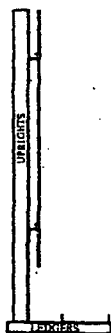
JOB #:

SHEET #: 2 OF 3

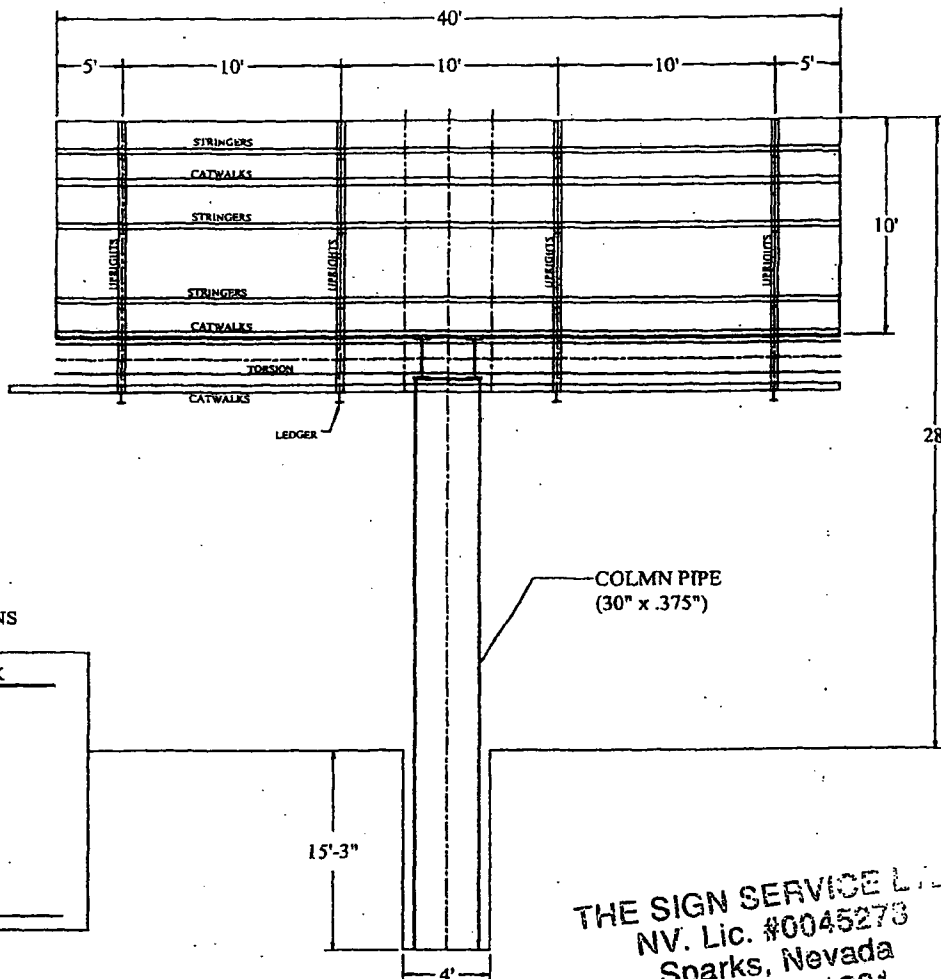
CUSTOMER: SIGN SERVICES

SIGN DESCRIPTION:

10' x 40' CM, BB,
28' OAH



SEE SHEET 3 TO FILL
OUT UPRIGHT SPECIFICATIONS



FILL IN FOOTING SPECIFICATIONS

FOOTING SELECTION CHECK BOX

BOLT CAGE	
AUGER (DIRECT)	X
SPREAD (DIRECT)	
CUBE (DIRECT)	
BACK HOE (DIRECT)	

FOOTING SIZE

3' x 14' AUGER

ELEVATION

THE SIGN SERVICE LTD.
NV. Lic. #0045273
Sparks, Nevada
356-1331

NOTES

- SIGN IS DESIGN FOR A 30# WIND LOAD AND 400 PSF/FT LATERAL SOIL PRESSURE
- SIGN IS SUBJECT TO CHANGE AS SUGGESTED BY PROFESSIONAL ENGINEERING
- CUSTOMER TO FILL IN REQUIRED AREAS OR INDICATE ANY DESIGN CHANGES
- IF CHOICES EXIST CUSTOMER SHOULD BY CHECK ONE OR CONSULT MANUFACTURE FOR ASSISTANCE

PLANNING DIV.
CARSON CITY
APPROVED

PERMIT NO. 06-972
DATE 31 AUG 2006

REF DWG. NO. 0



TRINITY PRODUCTS
1969 W. TERRA LN.
O'FALLON, MO. 63366
800-456-7473

PRELIMINARY PLOT PLAN

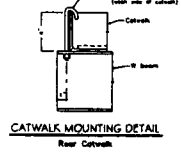
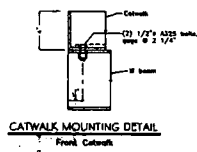
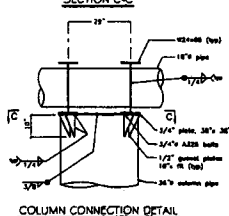
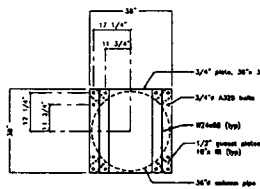
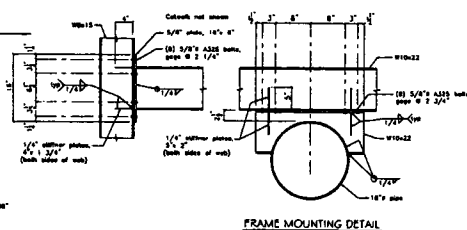
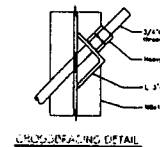
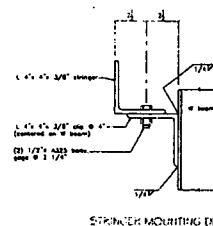
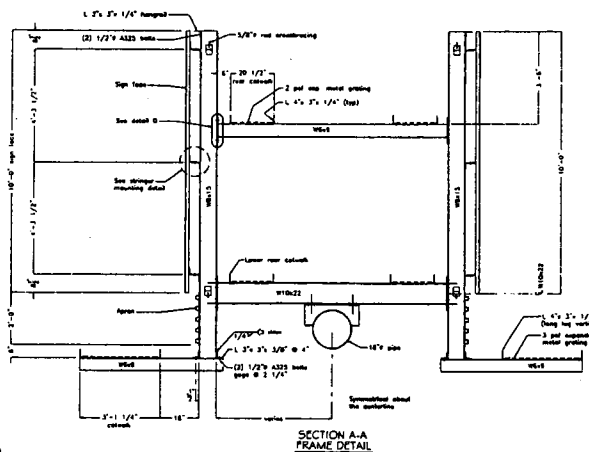
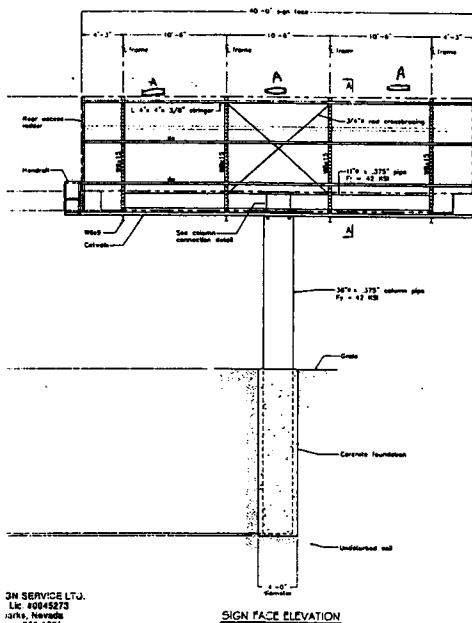
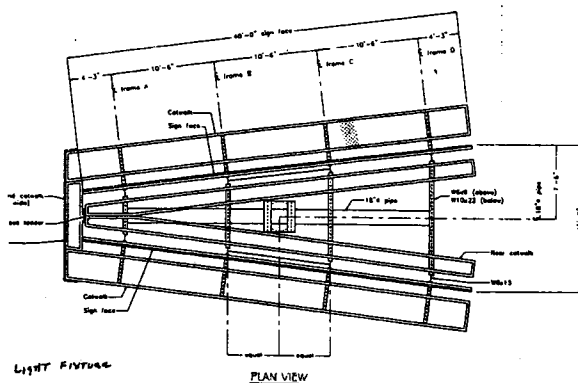
DESCRIPTION: 10'x40" CM, BB, 28' OAH

DRAWN BY: TB

DATE: 08/14/06

JOB #:

SHEET #: 1 OF 3



NOTES

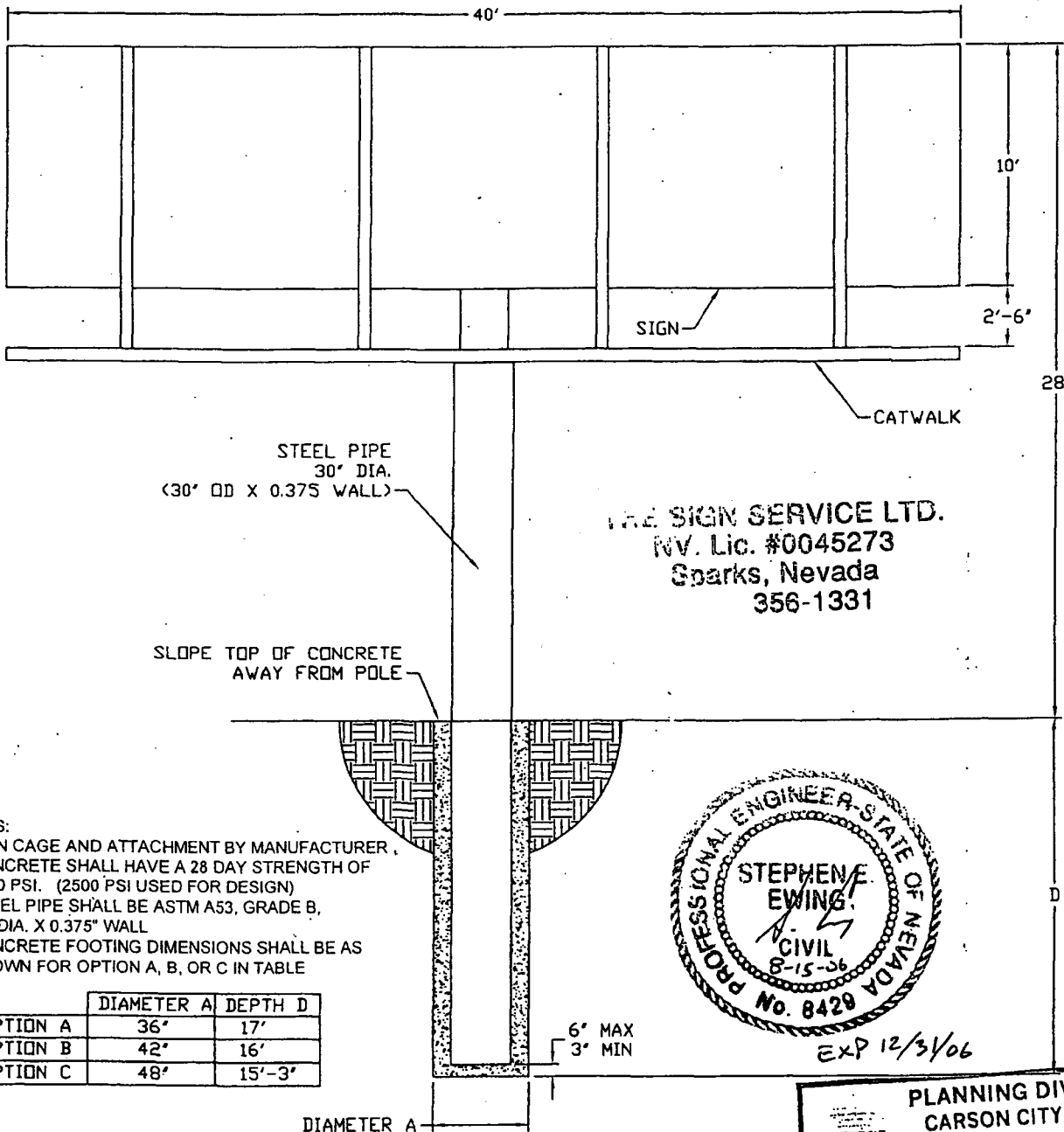
- Design conforms to the 2003 International Building Code
- Design winds = 100 mph (1-10 sec gust), exposure C
- Wind importance factor = $I = 0.87$
- Floor slab conforms to ASTM A333 grade 2, U.M.O.
- Structural steel shall conform to ASTM A16 except wind bracing beams which shall conform to ASTM A992.
- Welding shall be in accordance with AWS standards.
- Concrete shall obtain a 28 day compressive strength of $f'_c = 2000$ psi.
- Structural steel shall be fabricated and erected according to latest AWS specifications and standard practices.
- The contractor shall verify all dimensions and conditions in the field and notify the engineer of any discrepancies.
- GRC Engineering Inc. will not be responsible for maintaining the structural modification of this structure.
- GRC is a design consulting company. It is not to be responsible for any damage to the building or contents.

Trinity Metal P

10'-0" x
MONOPOU
CENTERMOU
28'-0"

ENG. _____ C
DATE July
DRAWING NUMBER _____

2194 Hwy 50 Galt

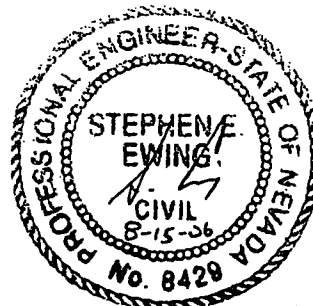


THE SIGN SERVICE LTD.
NV. Lic. #0045273
Sparks, Nevada
356-1331

NOTES:

1. SIGN CAGE AND ATTACHMENT BY MANUFACTURER
2. CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3000 PSI. (2500 PSI USED FOR DESIGN)
3. STEEL PIPE SHALL BE ASTM A53, GRADE B, 30" DIA. X 0.375" WALL
4. CONCRETE FOOTING DIMENSIONS SHALL BE AS SHOWN FOR OPTION A, B, OR C IN TABLE

	DIAMETER A	DEPTH D
OPTION A	36"	17'
OPTION B	42"	16'
OPTION C	48"	15'-3"



EXP 12/3/06

PLANNING DIV.
CARSON CITY
APPROVED

PERMIT NO. 06-072

BY

DATE 21 AUG 2006

Project:

Bill Board Sign
Carson City
Nevada

Manufacturer:
Trinity Products

Installation Contractor:
The Sign Service

Ewing Engineering

1575 Delucchi Lane, Suite 115. Reno, NV 89502
(775) 824-4550

SIZE

A

FSCM NO.

DWG NO.

6033

REV

A

SCALE

SHEET

1 OF 1

Ewing Engineering

Moment and Shear at Pole Base:

Part	Height (ft)	Width (ft)	Area (sq-ft)	Centroid (ft)	Wind Pressure (psf)	Wind Force (lb)	Wind Moment (lb-ft)
Sign A	10.50	40.00	420.00	23.00	17.30	7266.0	167118.0
Sign B	15.50	2.50	38.75	15.25	16.00	620.00	9455.0
Sign C	0.00	0.00	0.00	0.00	21.30	0.0	0.0
SUM =						7886.0	176573.0

FOUNDATION DESIGN

Foundation design is based on the following criteria. The contractor shall be responsible for verifying capacity of soil, unless a Geotechnical Engineer has been retained. The contractor shall notify the Engineer if significant amounts of clay are present.

Soil: Allowable Soil Bearing Capacity: 1500 psf at 12" into Grade
Allowable Lateral Pressure: 100 psf

Concrete: $f_c =$ 2500 psi

Steel: $F_y =$ 35 ksi $E_s =$ 29000 ksi

Lateral Pressure = 100 psf
 $C_w =$ 1
 $C_m =$ 2

Factored Allowable Lateral Pressure = $(150)(1.0)(2) =$ $p' =$ 200 psf/ft

Maximum Allowable Soil Pressure = 4788 psf

Applied Load = 7886.00 lbs/pole @ 22.39 ft Above Base

Boundary Condition = Nonconstrained

$$d = (A/2)(1 + (1 + (4.36 \cdot h/A)^{.5}))$$

$d =$ Depth of Embedment

$A =$ 2.34P/S1b

$b =$ Footing Width (ft)

$h =$ 22.39 ft

$P =$ 7886.00 lb

$S1 =$ $p'd/3$

THE SIGN SERVICE LLC
NV. Lic. #0045273
Sparks, Nevada
356-1331

(lb)	(ft)	Assumed (ft)	Assumed (ft)	(psf)		Calculated (ft)
P	h	b	d	S1	A	d
7886.00	22.39	3	17	1133.333	5.43	16.94
7886.00	22.39	3.5	16	1066.667	4.94	15.93
7886.00	22.39	4	15.15	1010	4.57	15.13

USE:

	Option A	Option B	Option C
Width =	3'	3.5'	4'
Depth =	17'	16'	15.25'

1575 Delucchi Suite 115, Reno NV 89509
Phone: (775) 824-4550 Fax: (775) 824-4547
Email: ewingengineering@sbcglobal.net

Ewing Engineering

POLE DESIGN

POLE DESIGN AT BASE

NUMBER OF POLES = 1
TYPE OF POLES = Steel Pipe
POLE MATERIAL = ASTM A53, GRADE B
Fy = 35 ksi
Fb = (Fy)(1.0)(.66) = 23.1 ksi

Assume Maximum Moment Occurs At 1 Ft Below Grade

Moment/Pole = 192345.0 lb-ft

Required S = 99.92 in³

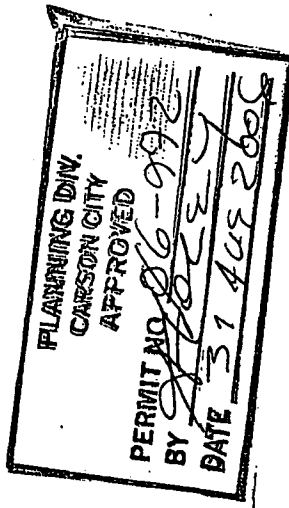
USE: 30" OD X 0.375" WALL STEEL PIPE

THE SIGN SERVICE LTD.
NV. Lic. #0045273
Sparks, Nevada
356-1331

1575 Delucchi Suite 115, Reno NV 89509
Phone: (775) 824-4550 Fax: (775) 824-4547
Email: ewingengineering@sbcglobal.net

CUSTOMER TO CHECK AND EDIT
ALL INFORMATION LISTED HERE

10' x 40' CM, BB,
28' OAH



UPRIGHT

LEDGERS

X	3' FRONT CATS
	2' FRONT CATS

	3' APRONS
X	2' APRONS
	NONE

X	B DECKING
	T - 111

SCALE 2X

REF DWG. NO. 0



TRINITY PRODUCTS
1969 W. TERRA LN.
O'FALLON, MO. 63366
800-456-7473

PRELIMINARY PLOT PLAN

DESCRIPTION:10'x40' CM, BB, 28'AOH

DRAWN BY: TB

DATE: 08/14/06

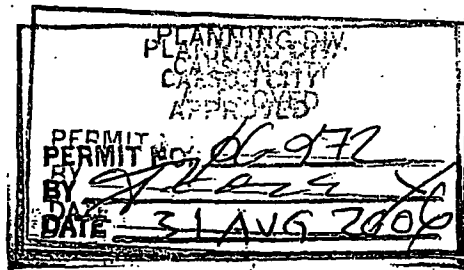
JOB #:

SHEET #: 3 OF 3

Ewing Engineering

STRUCTURAL CALCULATIONS AND SPECIFICATIONS

PROJECT: Carson City Bill Board Sign
Location: Carson City, Nevada
Date: 8/15/2006
Installed By: The Sign Service



DESIGN CRITERIA:

IBC:		2003	Edition	
Wind:	Speed	90	mph	3 sec
		75	mph	fastest mile
	Exposure	C		
Seismic:		D		
Elevation:	Less Than	5000	feet	
Snow:		20	psf	
Allowable Soil Pressure:		1500	psf	
Allowable Lateral Soil Pressure:		100	psf/ft	

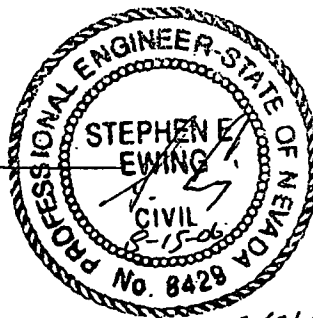
SCOPE OF WORK:

The scope of the work is limited to the design of the sign pole and pole foundation.

THE SIGN SERVICE LTD.
NV. Lic. #0045273
Sparks, Nevada
356-1331

Submitted by:

Stephen E. Ewing, P.E.
RCE#008429
Exp. 12/31/06



EXP 12/31/06

1575 Delucchi Suite 115, Reno NV 89509
Phone: (775) 824-4550 Fax: (775) 824-4547
Email: ewingengineering@sbcglobal.net

Ewing Engineering

WIND LOAD EVALUATION

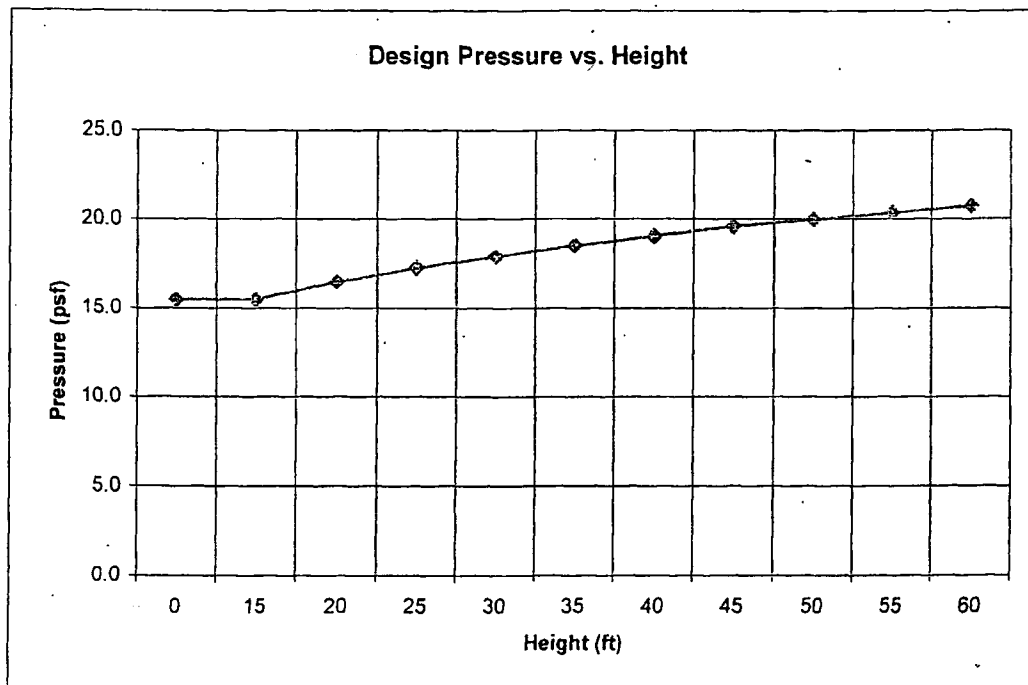
DESIGN WIND PRESSURE (P) = (L)(Iw)(Ps30)

SPEED = 90 mph 3 sec
 SPEED = 75 mph fastest mile
 EXPOSURE = C

THE SIGN SERVICE
 NV. Lic. #0045270
 Sparks, Nevada
 356-1331

COMBINED HEIGHT, EXPOSURE AND GUST FACTOR COEFFICIENT (Ce) IS SHOWN BELOW

(ft) HEIGHT	(psf) P	L	Ps30	Iw
0	15.5	1.21	12.8	1
15	15.5	1.21	12.8	1
20	16.5	1.29	12.8	1
25	17.3	1.35	12.8	1
30	17.9	1.4	12.8	1
35	18.6	1.45	12.8	1
40	19.1	1.49	12.8	1
45	19.6	1.53	12.8	1
50	20.0	1.56	12.8	1
55	20.4	1.59	12.8	1
60	20.7	1.62	12.8	1



1575 Delucchi Suite 115, Reno NV 89509
 Phone: (775) 824-4550 Fax: (775) 824-4547
 Email: ewingengineering@sbcglobal.net

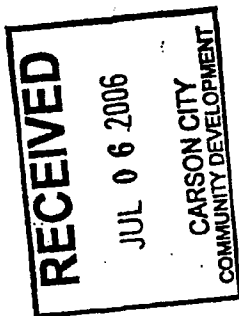
Sign Permit Inspection Report

Field Inspection by JERRY CLAUSSEN Title UTILITY INSPECTOR Date 7/10/06
Nearest existing or proposed off premise sign is owned by CLEAR CHANNEL The requested sign is 1,925
feet WEST (N, S, E, W) from the nearest sign. Permit number of nearest sign, if existing 0507
Approved for issuance by [Signature] Milepost US-50-CC-9.29 W
Permit number 4982 Issued by BILL BOWMAN Date 7/28/06

Standard Conditions

1. Any false or erroneous information will void the permit.
2. Sign shall not be erected or maintained from or over any Nevada Department of Transportation right-of-way.
3. Permit tag must be affixed to the sign and visible to controlled roadway prior to advertising being placed on sign.
4. It is the responsibility of the sign company to locate all property lines, including NDOT right-of-way lines.
5. Sign must be built within 180 days of the issuance of this permit or permit will be canceled with forfeiture of all fees.
6. Sign must be built in the EXACT location approved on the permit.
7. No flashing or intermittent lights, and illumination lights must be shielded from traffic.

Additional Conditions

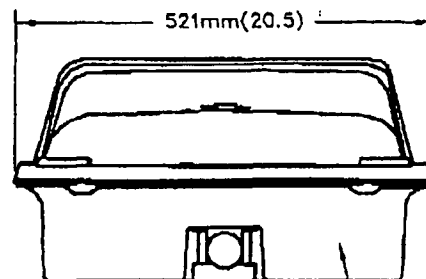
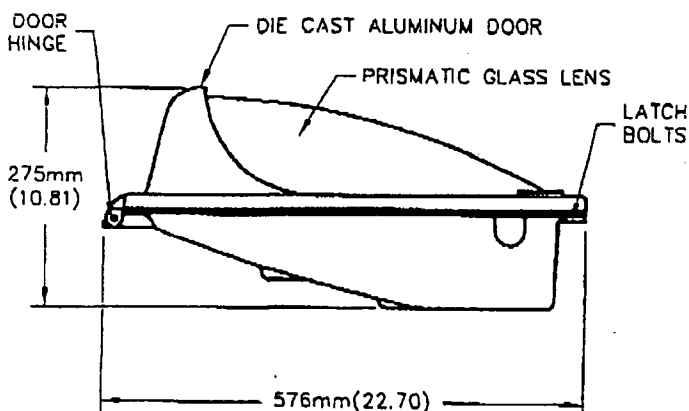


Jul 21 06 07:38a

714-822-1923

P. 2

PANEL-VUE® SERIES LUMINAIRE



U.L. LISTED
1572 WET LOCATION
C.S.A. LISTED
MAX AMBIENT: 40°C
MAX WEIGHT: 27kg (60lbs)

DIE CAST ALUMINUM HOUSING
CONTAINS: BALLAST, REFLECTOR
AND SOCKET ASSEMBLY

CATALOG NUMBER

P A N L

PANELVUE SERIES LUMINAIRE

SOURCE AND WATTAGE

- ☐ 100HP=100W HPS
- ☐ 15AHP=150W HPS
- ☐ 100MV=100W MV
- ☐ 175MH=175W MH
- ☐ 175MV=175W MV
- ☐ 250HP=250W HPS
- ☐ 250MH=250W MH
- ☐ 250MV=250W MV
- ☐ 400HP=400W HPS
- ☒ 400MH=400W MH
- ☐ 400MV=400W MV

VOLTAGE

- ☒ 12=120V
- ☐ 20=208V
- ☐ 24=240V
- ☐ 27=277V
- ☐ 34=347V
- ☐ 48=480V
- ☐ MT=MULTITAP
- ☐ DT=DUAL TAP
- ☐ NB=NON-BALLASTED
- ☐ VT=MULTIVOLT

MOUNTING

- ☐ 0=STANDARD

COLOR

- ☐ B=BROWN
- ☐ G=GRAY

OPTIONS: (FACTORY INSTALLED)

- ☐ SW=ON/OFF POWER SWITCH (120V, 240V, OR DT ONLY) (NO CSA)
- ☐ QD=QUICK DISCONNECT (NOT AVAILABLE WITH "SW" OR "SL" OPTIONS)
- ☐ SL=ON/OFF POWER SWITCH WITH LATCH OPTION (120V, 240V, AND DT ONLY) (NOT AVAILABLE WITH "T" MOUNT REFRACTOR DOWN) (NO CSA)
- ☐ OL=QUICK DISCONNECT WITH LATCH ASSEMBLY (NOT AVAILABLE WITH "SW" OR "SL" OPTIONS)
- ☐ L=LATCH ASSEMBLY

ACCESSORIES: (FIELD INSTALLED)

- ☐ LAMP
- ☐ 3BOLT=BRACKET FOR 3 BOLT MOUNTING
- ☐ 4BOLT=BRACKET FOR 4 BOLT MOUNTING
- ☐ BOLT6.5=BRACKET FOR 6.5 BOLT MOUNTING
- ☐ WG-213=WIRE GUARD
- ☐ DOORPROP=DOOR PROP
- ☐ 09181="T" MOUNTING ACCESSORY
- ☐ F1=SINGLE FUSING
- ☐ F2=DOUBLE FUSING

HOLOPHANE®
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

ORDER NO: _____
TYPE: _____

DRAWING NO: FM-1808
CAD MODEL: PANLD.DWG
DATE: 1-9-98
Sheet 1 of 1

©2002 ACUITY LIGHTING GROUP INC., 214 GARDWOOD AVE., NEWARK, OH 43023

LIGHTS DIRECTED DOWNWARD FROM TOP OF SIGN

GENERAL REVIEW OF PERMITS

Question 1. How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

A. Chapter 3: A Balanced Land Use Pattern

- The project meets applicable provisions of the Growth Management Ordinance.
- The project uses no water. Existing lighting will not be changed at this time.
- The project is not located in a priority infill development area.
- The project does not influence pathway connections or access.
- The project will not influence any existing site features.
- The project is not adjacent to county boundaries. Ingress/egress from the lot to US Highway 50 is not influenced by the project.
- The project is consistent with Master Plan Mixed-Use development policies because the billboard allows various commercial uses for over 95% of the remaining lot. The project is located on a primary street frontage that may be accessed by transit. It does not generate activity, nor influence housing development in the area.
- The project meets all applicable transition standards.
- The project is not situated to affect environmentally sensitive area.
- The project is sited outside the primary floodplain and geologic hazard areas.
- The project does not interfere with potential or existing services.
- The project is not within a Specific Plan Area. It is north of the Lompa Ranch SPA and west of the Eastern Portal SPA.

B. Chapter 4: Equitable Distribution of Recreational Opportunities

The project does not provide park facilities, nor influence the Open Space or Carson River Master Plans.

C. Chapter 5: Economic Vitality

The project may encourage re-use or redevelopment of underused retail spaces, support heritage tourism activities, or revitalization of the Downtown Core: the billboard provides advertising space which can conceivably be used to promote these economically-viable activities to Carson City residents and visitors.

D. Chapter 6: Livable neighborhoods and Activity Centers

The project uses durable materials.

Visual interest is dominated by given advertising on the board.

The project adheres to height and setback requirements.

The project is not in a MU Activity Center.

The project is not downtown.

Housing models are not applicable.

E. Chapter 7: A Connected City

Billboards are common business endeavors for high-transit streets such as US 50 East where it is situated.

The project does not maintain or enhance roadway connections, nor does it interfere with pathways.

Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

- A. Surrounding land use designations are Mixed-Use Commercial to the east, south and west; the north is Medium-Density Residential. Zoning and actual use: East: vehicle accessory sales, general commercial; South: Service station, general commercial; West: livestock feed and supply store, general commercial; North: Single Family 6000.
- B. The billboard has existed for 5 years and no problems have been reported. Commercial billboards are allowed by Carson City ordinance at specified intervals along US 50 east. Due to its relatively recent construction, the structure is actually more durable and less intrusive than most of the billboard structures on US 50.
- C. The actual billboard structure is not detrimental to use and enjoyment or development of surrounding properties. It does not influence the residential lots to the north, and the properties to the west and east are already developed.
- D. No additional lights or traffic controls are needed because of this billboard. Some concern has been voiced over billboards causing traffic safety issues because drivers are looking at them; no evidence exists that billboards are any more visually intrusive than other commercial signs or structures, unless placed in positions blocking driver visibility. NDOT setbacks that were adhered to prevent billboards and signs in Carson City from interfering with driver visibility.
- E. Rental of the billboard provides economic benefit and disposable income to the local owners of the parcel. Advertising—usually for retail or other companies with local outlets—promotes purchasing and the resultant commerce and taxes for Carson City. Further, a continued approval of this billboard removes the opportunity for another billboard to be constructed within its assigned linear spacing.

Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- A. The project does not affect the school district or the Sheriff's Office.
- B. The project does not affect drainage.
- C. The project does not require water.
- D. The project does not influence sewer.
- E. No road improvements are needed.
- F. Information from the existing sign and building permit.
- G. Existing lighting of the project: Four downward-directed Holophane Panel-Vue Luminaires, (two each side) 27'6" from ground. (see attached cutaway.) Lighting is directed downward at sign faces. 120 volt 400-watt metal halide bulbs.
- H. There is existing landscaping at the front of the lot in the streetside planter, compliant with ordinance.
- I. Parking availability for the site is not influenced by the billboard.



Master Plan Policy Checklist

Special Use Permit, Major Project Review & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☐ Located in a priority infill development area (1.2a)?
- ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?
- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☐ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☐ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1i)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?



- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☐ Use durable, long-lasting building materials (6.1a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☐ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
 - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

CARSON CITY
BUILDING DEPARTMENT
2621 NORTHGATE LANE, SUITE 6
CARSON CITY, NEVADA 89706

BUILDING DEPARTMENT
PHONE 775-887-2310
FAX 775-887-2202

DEVELOPMENT ENGINEERING
PHONE 775-887-2300
FAX 775-887-2283

PERMIT

Application/Permit Nbr	06-00000972	Date	9/06/06
Property Address	2794 HWY 50 E		
	008-161-07		
Tenant number/name	10' X 40' X 28' BILLBOARD		
Application description . . .	SIGNS		
Subdivision Name			
Property Zoning	NOT AVAILABLE		

Owner

Contractor

POLICHIO, FAMILY 1998 TRUST
PO BOX 854
CARSON CITY NV 89702

THE SIGN SERVICE
50 E GREG ST #103
SPARKS NV 89431
(702) 356-1331

Other struct info	HEIGHT OF SIGN	28.00
	ILLUMINATED Y/N	Y
	SIGN SIZE	400.00

Permit SIGNS - FREE STANDING
Permit Fee 623.55 Plan Check Fee 405.31
Issue Date 9/06/06 Valuation 48000

Permit ELECTRICAL PERMIT
Permit Fee 48.10
Issue Date 9/06/06

Fee summary

Permit Fee Total 671.65
Plan Check Total 405.31
Grand Total 1076.96

Handwritten: ~~Sign~~ Table

License Information

Classification: BILBOARDS
License status: ACTIVE
Status date: 12/14/2009
Application date: 1/07/2008
Issue date: 12/16/2009
Expiration date: 12/31/2010
Valid through date: 12/31/2010
Date license printed: 12/16/2009
Previous license: 09-00024645
Print flag: N
Comments: BILBOARD - SIDE A - FACING EAST
Restrictions: COMPLY W/DEV STANDARDS
Pin number: 9721

Business Information

Business number: 24424
Business name: THE POLICHO FAMILY 1998 TRUST
Mailing address: 3355 IDLEWILD DR
RENO NV 89509
Location address: 2794 HWY 50 E
Business phone: (775) 230-2816
Emergency phone: (775) 246-0973

Applicant Information

Applicant/qualifier: THE POLICHO FAMILY 1998 TRUST
Address: 612 W. 3RD ST.
CARSON CITY NV 89703
(775) 230-2816

Phone:
Social Security:
Drivers license:
Date of birth:
Email address:

Charges/Renewal Summary

Charges summary	Lic/Transfr	Add'l Chrg	Penalty	Interest
Amount charged:	426.60	.00	.00	.00
Amount paid:	426.60	.00	.00	.00
Amount due:	.00	.00	.00	.00
Unposted/Unapplied receipts				
New/transfer unposted:	.00	.00	.00	.00
New/transfer unapplied:	.00	.00	.00	.00
Renewal unapplied:	.00	.00	.00	.00
Renewal Summary				
Month:	JAN	FEB	MAR	APR
Year:	10	10	10	10
Renewal status:	R	R	R	R

Taxes paid. report.

License Information

Classification:	BILLBOARDS	AC
License status:	ACTIVE	
Status date:	12/14/2009	
Application date:	1/07/2008	
Issue date:	12/16/2009	
Expiration date:	12/31/2010	
Valid through date:	12/31/2010	
Date license printed:	12/16/2009	
Previous license:	09-00024645	
Print flag:	N	
Comments:	BILLBOARD - SIDE A - FACING EAST	
Restrictions:	COMPLY W/DEV STANDARDS	
Pin number:	9721	

Business Information

Business number: 24424
Business name: THE POLICHTO FAMILY 1998 TRUST
Mailing address: 3355 IDLEWILD DR
RENO NV 89509
2794 HWY 50 E
Location address:
Business phone: (775) 230-2816
Emergency phone: (775) 246-0973

Applicant Information

Applicant/qualifier: THE POLICHOIO FAMILY 1998 TRUST
Address: 612 W. 3RD ST.
CARSON CITY NV 89703
(775) 230-2816
Phone: _____

Phone:
Social Security:
Drivers license:
Date of birth:
Email address:

Charges/Renewal Summary

	Lic	Transfr	Add'l	Chrg	Penalty	Interest
Charges summary						
Amount charged:		426. ⁰⁰		. ⁰⁰	. ⁰⁰	. ⁰⁰
Amount paid:		426. ⁰⁰		. ⁰⁰	. ⁰⁰	. ⁰⁰
Amount due:		. ⁰⁰		. ⁰⁰	. ⁰⁰	. ⁰⁰
Unposted/unapplied receipts						
New/transfer unposted:			. ⁰⁰			
New/transfer unapplid:			. ⁰⁰			
Renewal unposted:			. ⁰⁰			
Renewal unapplid:			. ⁰⁰			
Renewal Summary	JAN	FEB	MAR	APR	MAY	JUN
Month:	10	10	10	10	10	10
Year:	R	R	R	R	R	R
Renewal status:	R	R	R	R	R	R
Renewal status:	R	R	R	R	R	R

Account #..... CB 043359
 Property Loc... 2794 HWY 50 E
 Billed to..... POLICHIO FAMILY 1998 TRUST
 3355 IDLEWILD DR
 RENO, NV 89509

Parcel #:
 District: 2.4

Outstanding Taxes:

Prior Year	Tax	Penlty/Intrst	Total	Amount Paid	Total Due
------------	-----	---------------	-------	-------------	-----------

No Prior Year Taxes

Current Year

Inst1					
Inst2					
Inst3	720.36	72.04	792.40	720.36	72.04
Inst4					
Totls	720.36	72.04	792.40	720.36	

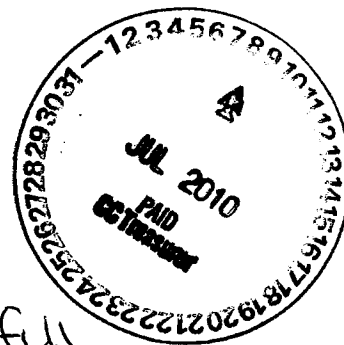
F9=Scan >/< >

F12=End F13=Show History

F14=Print Summary

F17=Account Inquiry

AK
 Check
 Taxes
 Paid in full.



Amanda King

Taxes - License