

# STAFF REPORT FOR PLANNING COMMISSION MEETING OF AUGUST 25, 2010

FILE NO: SUP-10-044

AGENDA ITEM: H-2

STAFF AUTHOR: Kathe Green, Assistant Planner

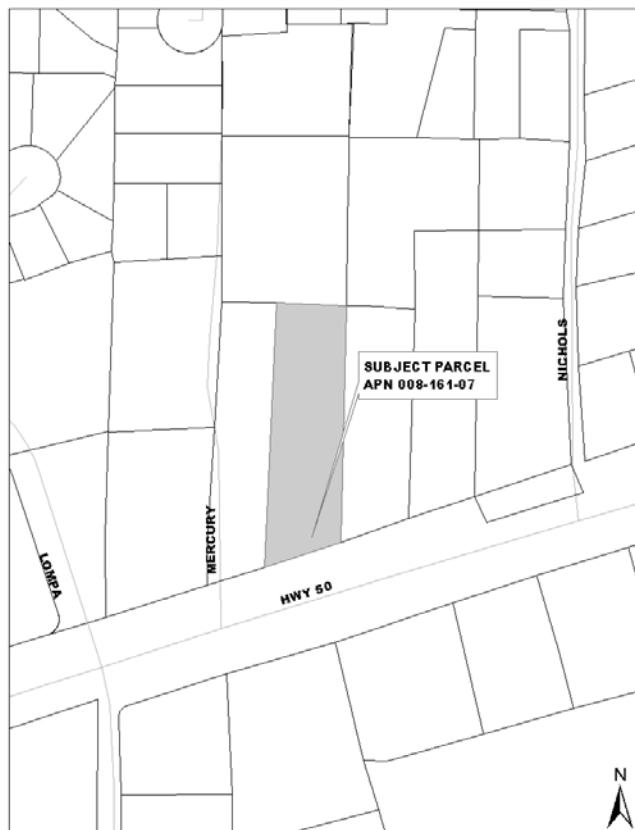
REQUEST: Special Use Permit to allow the continued use of an off-premises double faced advertising (billboard) sign with an overall height of no more than 28 feet with dimensions of 10 feet by 40 feet or 400 square feet on property zoned General Commercial.

APPLICANT/OWNER: Robert Polichio/Polichio Family 1998 Trust

LOCATION: 2794 Highway 50 East

APN: 008-161-07

**RECOMMENDED MOTION: "I move to approve SUP-10-044, a Special Use Permit request from Polichio Family 1998 Trust to allow the continued use of a double faced maximum 28 feet high, 10 feet by 40 feet or 400 square feet off-premises (billboard) sign, on property zoned General Commercial located at 2794 Highway 50 East, Assessor's Parcel Number 008-161-07 based on the findings and subject to the conditions of approval contained in the staff report."**



## **RECOMMENDED CONDITIONS OF APPROVAL:**

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further considerations.

### **The following conditions are applicable throughout the life of the billboard:**

2. The maximum permitted sign height is 28 feet in height from adjacent street elevation if sign is proposed to be changed.
3. Any modifications or additions of light fixtures, excluding the replacement of light bulbs, require Planning Division approval and may require a Building Permit. Such modifications may only be done in accordance with the lighting standards of the Carson City Municipal Code. Any proposed change of lighting of the billboard shall be shielded so as not to project light and/or glare onto adjacent properties or right-of-way. A detailed lighting plan, including light fixture details ("cut sheets") must be provided with the building permit application if a light fixture change is proposed.
4. The sign support structure must be mono-pole in design, as shown on the plans approved with this application, and must be painted an earth-tone color as approved by the Planning Division. Any change of color requires submission of proposed color samples for the pole with any building permit application for review and approval by the Planning Division.
5. This approval is for the continued use of the existing off-premise sign only. Replacement of the sign structure may only be done in accordance with the provisions of the Carson City Municipal Code for new off-premise signs, with the approval of a new Special Use Permit.
6. Without further notice, the subject special use permit shall expire on September 15, 2015 (five years from the originally scheduled review date), unless a new special use permit to continue the use of the off-premise sign is acquired by that date. It is the applicant's responsibility to submit a complete special use permit application in sufficient time to be scheduled for review prior to the expiration date, by the August 2015 Planning Commission meeting.
7. Carson City business license fees shall be paid for the billboard and kept current at all times.
8. All portions of the billboard structure shall be maintained free of graffiti. Failure to do so may constitute cause for revocation of a business license and Special Use Permit.

**LEGAL REQUIREMENTS:** CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits); and Development Standards, Section 4.8 (Requirements for Billboards and Off-Premises Signs).

**MASTER PLAN DESIGNATION:** Mixed Use Commercial (MUC)

**ZONING:** General Commercial (GC)

**KEY ISSUES:** Does the application meet the Development Standards regulations for off-premises (billboard) signs, and does the application continue to meet the required findings for approval of a special use permit? Is the proposed billboard still compatible with surrounding properties? Has the existing billboard caused material damage to surrounding properties?

### **SURROUNDING ZONING AND LAND USE INFORMATION**

NORTH: General Commercial/Vacant land

SOUTH: General Commercial/Hwy 50 East, Video Centro, Sunrise Auto, ARCO

EAST: General Commercial/Auto rental and sales

WEST: General Commercial/Benson Feed Supply

### **SITE HISTORY**

1. The original placement of this billboard has not changed.
2. On September 15, 2005 the Board of Supervisors approved reconsideration of the original denial by the Board of Supervisors on February 15, 2005, of the appeal of the decision to deny the request by the Planning Commission on December 15, 2004. This was a request to place a new billboard at this location.
3. This billboard is in compliance with the current billboard ordinance.

### **SITE DEVELOPMENT INFORMATION**

1. PARCEL AREA: 1.08 acres
2. EXISTING PRIMARY USE: Vacant. Previously auto sales.
3. HEIGHT: Existing at approximately 28 overall above the existing grade. The distance from the bottom of the panel to the ground is 18 feet, with the top of the billboard being at 28 feet above the ground. The maximum allowed height for signs is 28 feet from street elevation. This billboard height is in compliance.
4. AREA: 400 square feet, the maximum allowed
5. NUMBER OF FACES: Two
6. LIGHTING: The billboard has existing lighting. Documentation was submitted with the original building permit showing Holophane Panel-Vue lighting for outdoor advertising would be installed. These are acceptable fixtures.

**DISCUSSION:** The subject parcel is located on the north side of Highway 50 East. An automobile sales business was also located on the parcel, but the building on site is now vacant and shown as available for rent. The billboard is located at the front of the property on the southwest portion of the parcel, parallel to and just east of an existing building. The billboard has been at this location for several years. No known complaints or concerns have been registered regarding the location or existence of the billboard.

The following is a review of the billboard with regard to the specific standards of Division 4 8.3:

#### **4.8.3 – Billboard Requirements**

- a. Special Use Permit Required – Approval of a special use permit is required for a billboard.  
— The current special use permit will expire on September 15, 2010 unless a new Special Use Permit is approved. The applicant is requesting a renewal for an additional five year

period of time from the original review date, extending this time to September 15, 2015.

- b. Permitted Streets — Billboards are permitted along US Highway 50 between Lyon County and US Highway 395 (Carson Street). This sign is located on U S Hwy 50 East.
- c. Height — The maximum permitted sign height is 28 feet from the adjacent “permitted street” elevation —The height is in compliance.
- d. Number of Sign Faces — One sign face per side (single or double-faced sign) is permitted — The subject billboard has a double sign face.
- e. Zoning of the Site — New billboards are only permitted within the General Commercial (GC) or General Industrial (GI) zoning districts — The subject site is zoned General Commercial. This site is in compliance for zoning. **However, existing billboards that are being renewed are not required to meet this requirement.**
- f. Spacing Distance — Billboards may not be located within 1,000 feet of each other — This proposal does comply with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- g. Area of Sign — The maximum permitted sign area for billboards is 400 square feet per side — The billboard measures 10 feet by 40 feet (400 square feet) and is in compliance.
- h. Separation from Certain Uses and Zoning — A billboard sign may not be closer than 300 feet to a property zoned Agriculture (A), Conservation Reserve (CR), or any residential district — The billboard is not closer than 300 feet to such zoned property. The proposal, therefore, does comply with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- i. Downtown Redevelopment area — A billboard sign may not be within 1000 feet of a redevelopment area — The proposed location is greater than 1,000 feet of the nearest redevelopment area boundary and is in compliance with this standard. **However, existing billboards that are being renewed are not required to meet this requirement.**
- j. Prohibited Supporting Structures — A sign may not be attached to a roof or wall or other surface of a building. A sign must be a freestanding sign — The billboard is in compliance with this standard.
- k. Prohibited Characteristics and Materials — Signs cannot display three-dimensional objects, have movable reflective/lighted materials or beams, flash, be internally lit, have or simulate moving parts, nor may external lighting glare onto adjacent properties or rights-of-way —The billboard is in compliance with this standard.

**PUBLIC COMMENTS:** Public notices were mailed on August 6, 2010 to 35 adjacent property owners within 325 feet of the subject site, pursuant to the provisions of NRS and CCMC. As of the writing of this report, no letters in support or opposition to this proposed have been submitted to staff from a property owner in the vicinity. Any comments that are received after this report is

complete will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division. No comments or complaints have been received in regards to the billboard since it was placed in this location.

**CITY DEPARTMENT/OUTSIDE AGENCY COMMENTS:** The following comments were received from City departments.

**BUILDING DIVISION COMMENTS:**

- The Carson City Building Division has no comment.

**FIRE DEPARTMENT COMMENTS:**

- No comments received

**ENGINEERING DIVISION COMMENTS:**

- No preference or objection to the special use request.

**HEALTH DEPARTMENT COMMENTS:**

- No comments received

**PARKS AND RECREATION:**

- No comment received

**FINDINGS:** Pursuant to CCMC 18.02.080 (Special Use Permits), this application is reviewed with reference to the required findings written for the record in the applicant's justification letter and reviewed below. The extension of time, if approved, would add five years to the original approval date, to September 15, 2015.

1. The project will be consistent with the master plan elements. The continued use of the billboard is consistent with Guiding Principle 5, A Strong, Diversified Economic Base, Goal 5.2, to promote expansion of the retail service base, and Goal 5.4, to promote tourism activities and amenities, in that it will provide for advertising of businesses and tourism facilities in and around Carson City.
2. The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity. The continued use of the billboard meets this finding in that it is has already been placed, is located in a commercial area, and will have no negative economic impact to the surrounding commercial properties. The sign generates no significant noise, vibrations, fumes, odors, dust, glare or physical activity which could have an adverse impact on adjacent uses.
3. The project will have little or no detrimental effect on vehicular or pedestrian traffic. No additional vehicular and pedestrian traffic will be generated in conjunction with the existing sign that could adversely impact vehicular or pedestrian circulation in the subject area.
4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other

4. The project will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements. The existing sign will not require the extension or expansion of any public services and facilities and services.
5. The project meets the definition and specific standards set forth in Title 18 for billboards. The existing sign meets all the specific standards for the continued use of existing billboards set forth in Division 4.8 of the Carson City Development Standards.
6. The project will not be detrimental to the public health, safety, convenience and welfare. The existing sign meets all the requirements of the Carson City Municipal Code and will not be detrimental to the public health, safety, convenience, and welfare, and will cause no adverse impacts to surrounding properties.
7. The project will not result in material damage or prejudice to other property in the vicinity. The existing sign is located in a commercial or industrial area that is developed with other commercial or industrial uses. Therefore, the continued use of the sign will not result in material damage or prejudice to other property in the vicinity.

Respectfully submitted,

DEVELOPMENT SERVICES, PLANNING DIVISION



~~Kathe Green~~, Assistant Planner

Attachments:

Application SUP-10-044  
Building Division comments  
Engineering Division comments

<b>File # (Ex: MPR #07-111)</b>	<i>SUP-10-044</i>
<b>Brief Description</b>	<i>Billboard</i>
<b>Project Address or APN</b>	<i>APN #008-161-07</i>
<b>Bldg Div Plans Examiner</b>	<i>Kevin Gattis</i>
<b>Review Date</b>	<i>August 25, 2010</i>
<b>Total Spent on Review</b>	

**BUILDING DIVISION COMMENTS: No comments**

**Engineering Division  
Planning Commission Report  
File Number SUP 10-044**

**TO:** Planning Commission

**FROM:** Rory Hogen – City Engineer

**DATE:** July 29, 2010

**MEETING DATE:** August 25, 2010

**SUBJECT TITLE:**

Action to consider an application for a Special Use Permit from property owner Polichio Family Trust on behalf of the business at 2794 Hwy. 50 E, APN 08-161-07 to continue the use of an existing billboard on the subject property zoned GC.

**RECOMMENDATION:**

The Engineering Division has no preference or objection to the special use request

**DISCUSSION:**

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

**CCMC 18.02.080 (2a) - Adequate Plans**

The information submitted by the applicant is adequate for this analysis.

**CCMC 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

**CCMC 18.02.080 (5c) - Traffic/Pedestrians**

The proposal will not impact traffic or pedestrian facilities.

**CCMC 18.02.080 (5d) - Public Services**

The proposal will not impact existing public services.

Carson City Planning Division  
2621 Northgate Lane, Suite 62 · Carson City NV 89706  
Phone: (775) 887-2180 · E-mail: planddept@ci.carson-city.nv.us

FILE # SUP - 10 - 044

Policchio Family Trust 1998  
PROPERTY OWNER

3355 Old Lewis Rd. Reno 89509  
MAILING ADDRESS, CITY, STATE, ZIP

815-4771 815-1519  
PHONE # Fax #

Name of Person to Whom All Correspondence Should Be Sent

Policchio

APPLICANT/AGENT

3355 Old Lewis Rd. Reno, Nev.  
MAILING ADDRESS, CITY, STATE ZIP

(775) 815-1519 815-4771  
PHONE # Fax #

1949 PP @ g-mail.com.  
E-MAIL ADDRESS

FOR OFFICE USE ONLY:

CCMC 18.02

**RECEIVED**

JUL 14 2010

**SPECIAL USE PERMIT**

FEE: \$2,450.00 MAJOR  
\$2,200.00 MINOR (Residential zoning  
districts)

CARSON CITY  
PLANNING DIVISION

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

**SUBMITTAL PACKET**

- 6 Completed Application Packets  
(1 Original + 5 Copies) including:
  - Application Form
  - Site Plan
  - Building Elevation Drawings and Floor Plans
  - Proposal Questionnaire With Both Questions and Answers Given
  - Applicant's Acknowledgment Statement
  - Documentation of Taxes Paid-to-Date (1 copy)
  - Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

Project's Assessor Parcel Number(s): <u>C</u>	Street Address <u>2794 Hwy 50 E. Carson City, Nev. 89</u>	ZIP Code
Project's Master Plan Designation <u>008-161-07</u>	Project's Current Zoning <u>G.C.</u>	Nearest Major Cross Street(s) <u>Lompa Ln.</u>

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: 4.8.3, or Development Standards, Division \_\_\_\_\_, Section 4, a request to allow as a conditional use is as follows:

**PROPERTY OWNER'S AFFIDAVIT**

Robert Policchio, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature Policchio

Address 3355 Old Lewis Rd.  
RENO, Nev. 89509

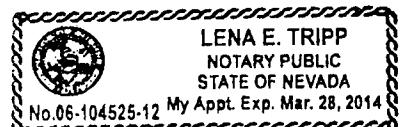
Date 7-14-10

Use additional page(s) if necessary for other names.

STATE OF NEVADA )  
COUNTY )

On July 14, 2010, Robert Policchio, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Leena E. Tripp  
Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

# BILLBOARD SUP RENEWAL

ROBERT POLICHO  
FAMILY TRUST  
2794 HIGHWAY 50 EAST  
CARSON CITY NV  
APN 8-161-07  
39°10' 35.17" N  
119°44' 12.79" W

scale: 1" = 50'

## PARCEL SITE PLAN

TSA CUSTOM  
CAR & TRUCK

BENSON'S  
FEED

10' X 40' DOUBLE-FACED  
BILLBOARD DISPLAY STRUCTURE  
28' HEIGHT FROM NDOT GRADE

15 ft

OVERHEAD UTILITY LINE

65

45

LANDSCAPE PLANTER

124.54

25' CURB CUT FOR  
PROPERTY INGRESS

NDOT ROW

100 ft

US 50 EAST C1

OVERHEAD POWER SERVICE  
TO RESIDENTIAL LOTS TO NORTH

METER FOR BILLBOARD  
ELECTRIC SUPPLY

UNDERGROUND ELECTRICAL  
LINE FOR BILLBOARD

OVERHEAD ELECTRIC LINE  
FOR OFFICE BUILDINGS

UTILITY  
POLE

EXISTING  
20'X37'  
QUONSET  
740 SF

EXISTING 8'X40'  
WITH PUSHOUTS  
MOBILE HOME  
OFFICE 512 S.F.

408.98

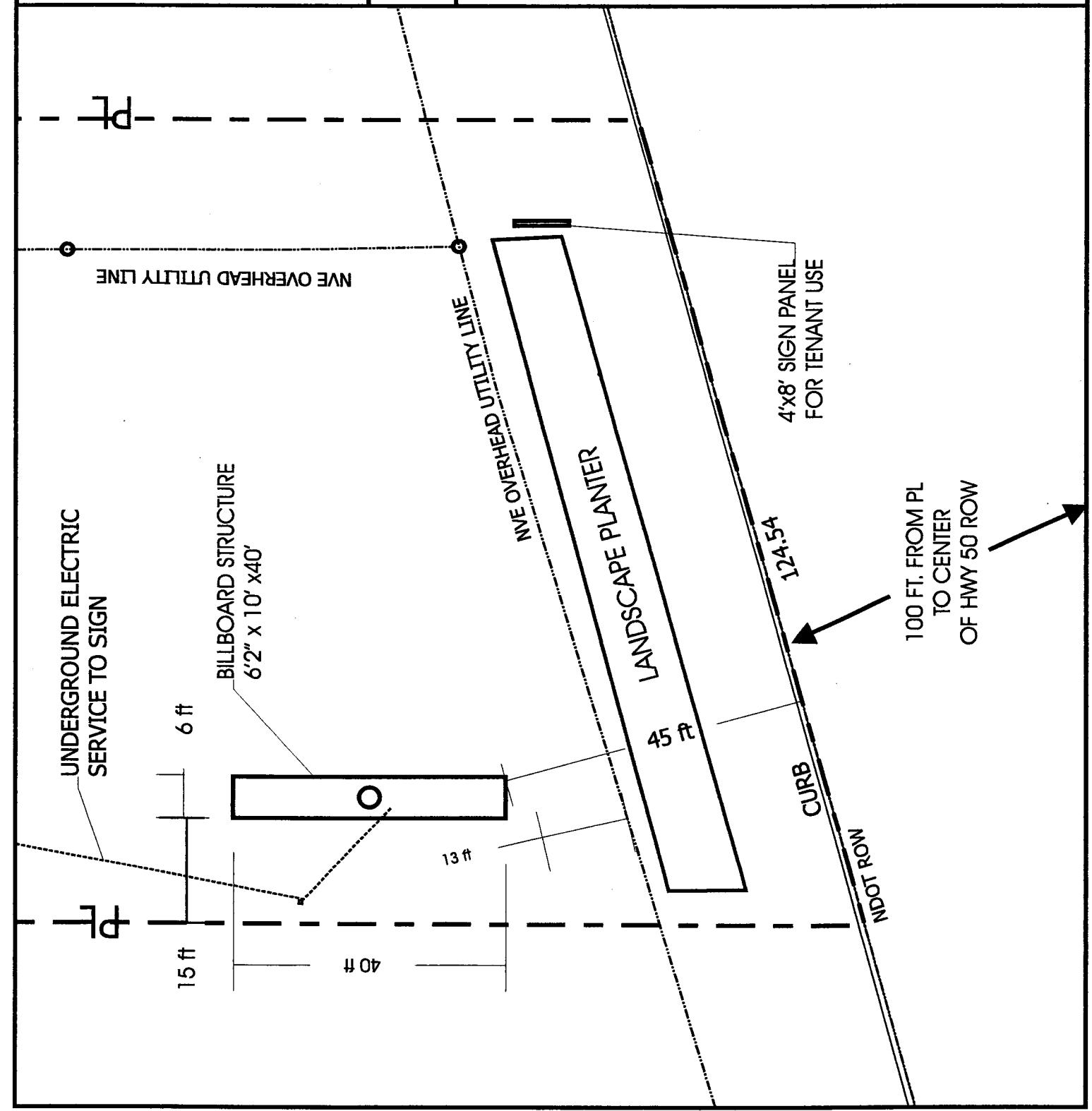
369.47

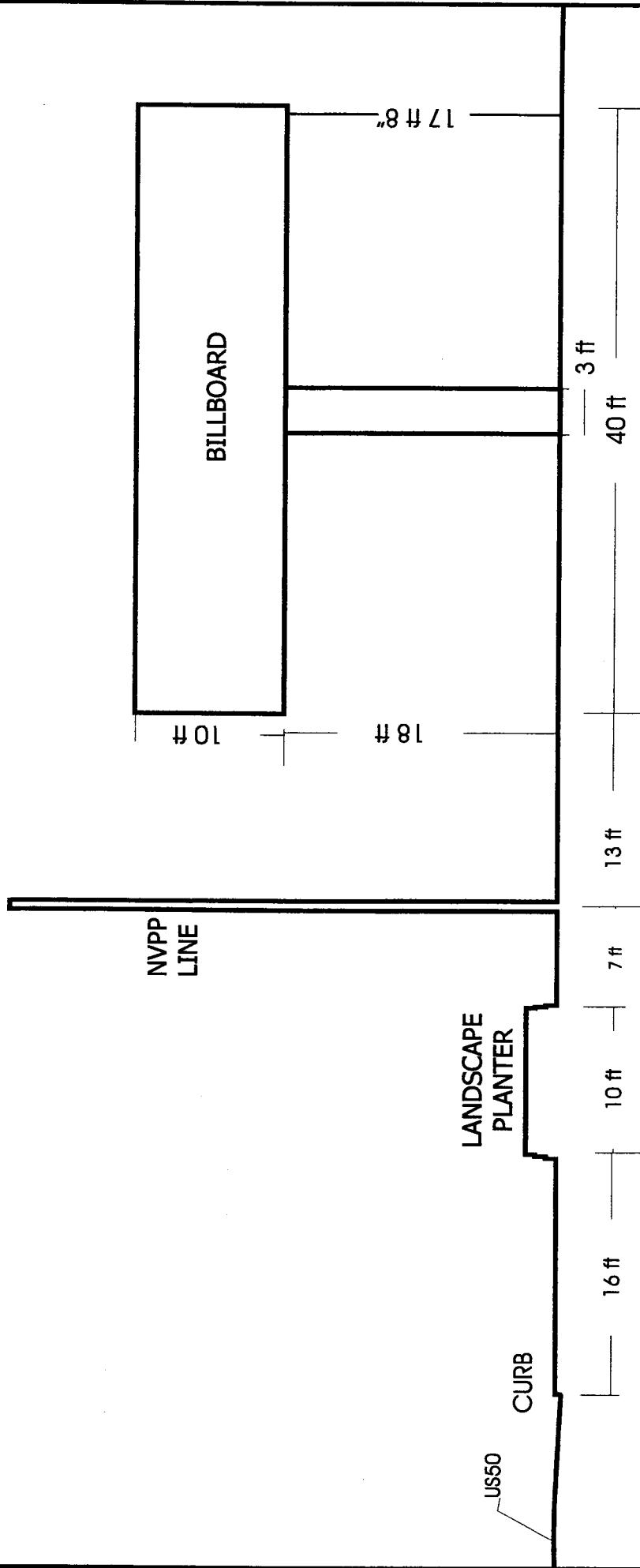
# BILLBOARD SUP RENEWAL

ROBERT POLICHO  
FAMILY TRUST  
2794 HIGHWAY 50 EAST  
CARSON CITY NV  
APN 8-161-07

## BILLBOARD SITE DETAIL

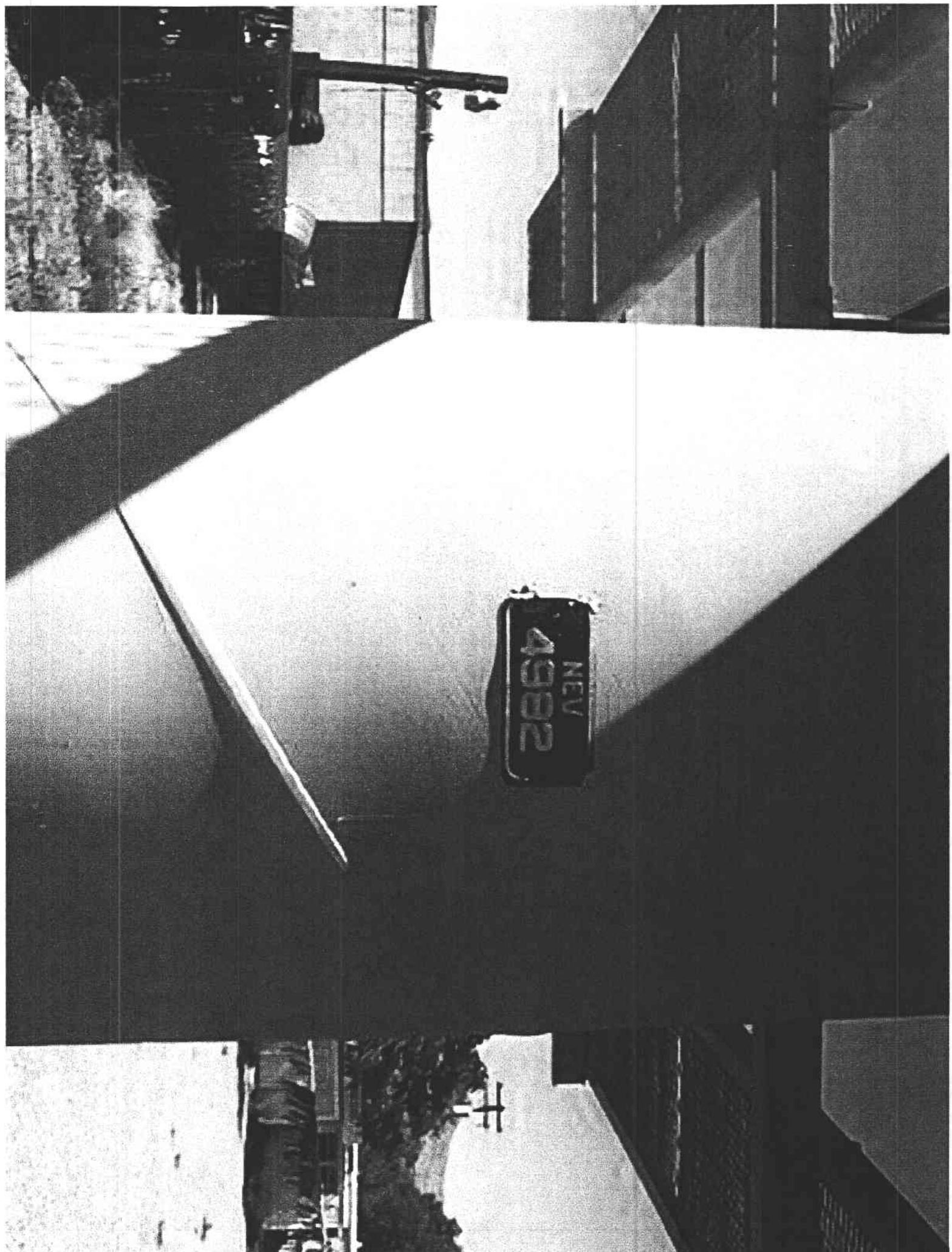
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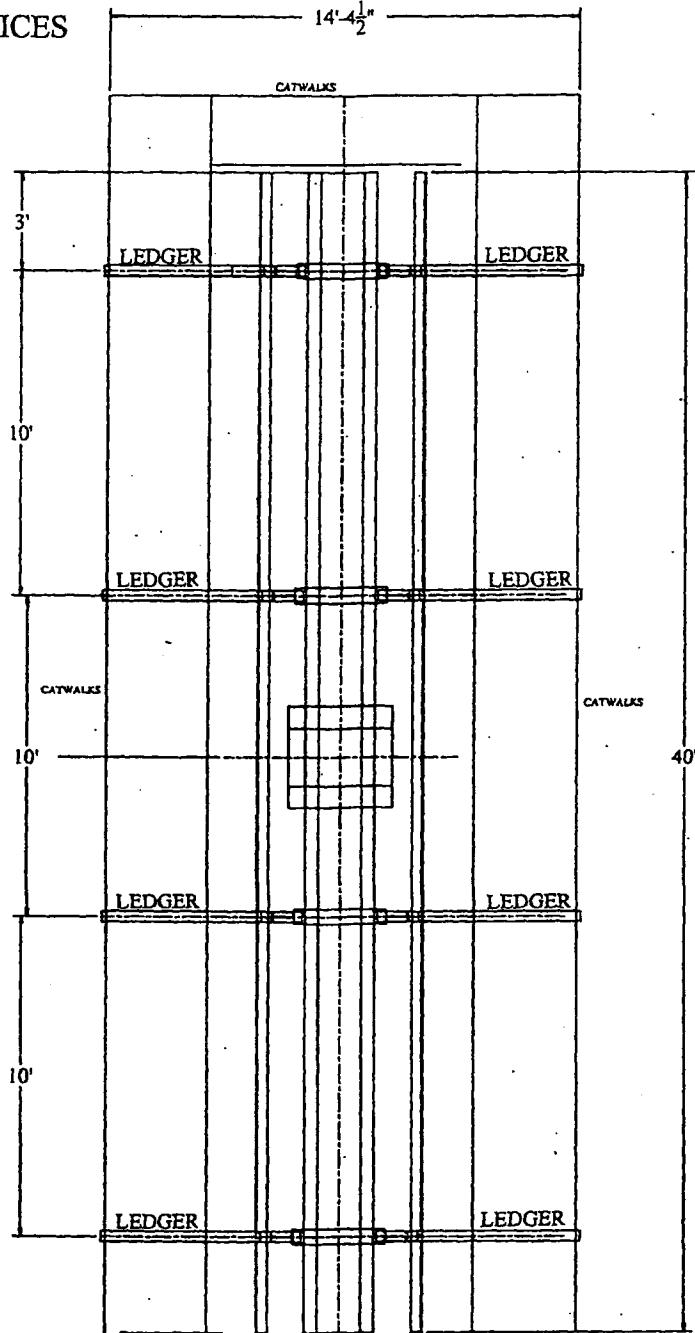


**BILLBOARD SITE CUTAWAY**  
ROBERT POLICHO FAMILY TRUST  
2794 HIGHWAY 50 EAST CARSON CITY NV  
APN 8-161-07

SCALE: 1" = 10'



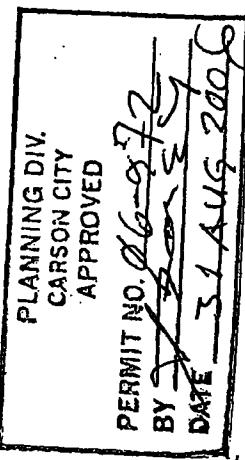
CUSTOMER SIGN SERVICES



SIGN DESCRIPTION:

10' x 40' CM, BB,  
28' AOH

TRINITY SERVICE LTD.  
10045273  
Sparks, Nevada  
356-1331



NOTES

1. SIGN IS DESIGN FOR A 30# WIND LOAD AND 400 PSF/FT LATERAL SOIL PRESSURE
2. SIGN IS SUBJECT TO CHANGE AS SUGGESTED BY PROFESSIONAL ENGINEERING
3. CUSTOMER TO FILL IN REQUIRED AREAS OR INDICATE ANY DESIGN CHANGES
4. IF CHOICES EXIST CUSTOMER SHOULD CHECK ONE OR CONSULT MANUFACTURE FOR ASSISTANCE

TOP VIEW  
SCALE 2X

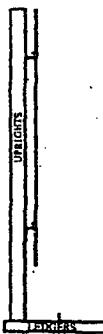
REF DWG. NO. 0

		TRINITY PRODUCTS 1969 W. TERRA LN. O'FALLON, MO. 63366 800-456-7473
<b>PRELIMINARY PLOT PLAN</b>		
DESCRIPTION: 10'x40' CM, BB, 28' AOH		
DRAWN BY: TB	DATE: 08/14/06	
JOB #:	SHEET #: 2 OF 3	

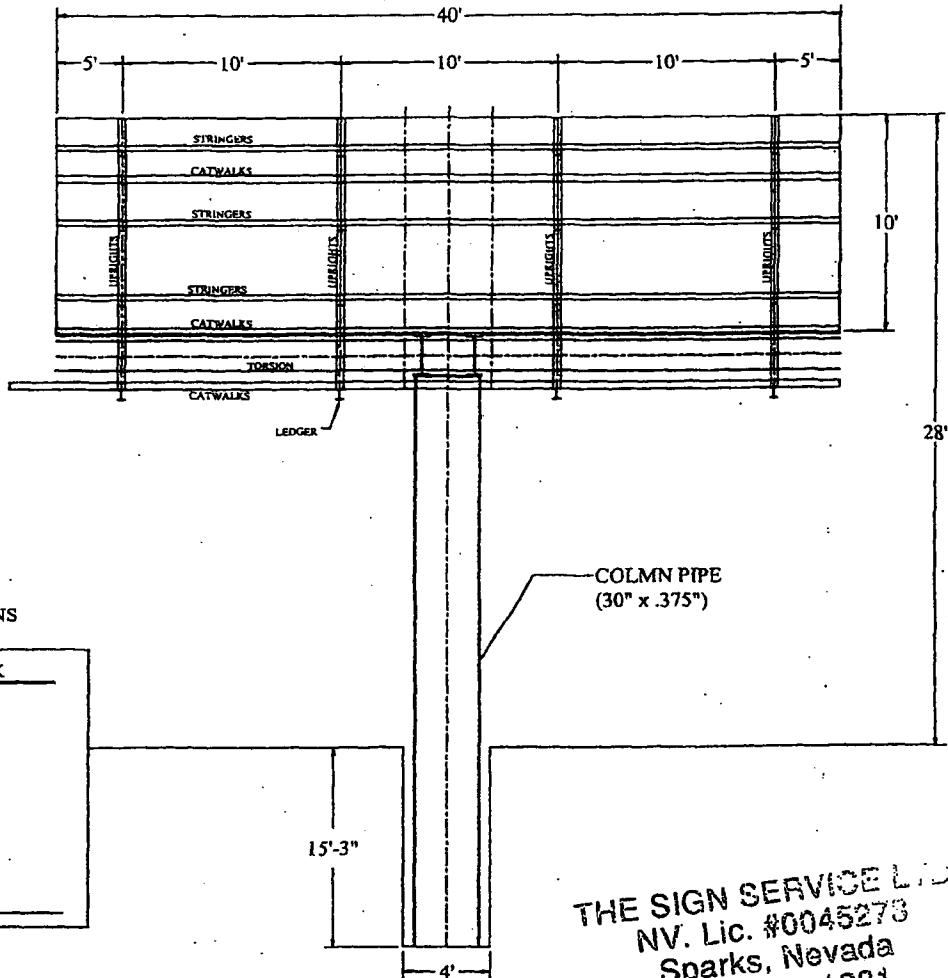
CUSTOMER: SIGN SERVICES

SIGN DESCRIPTION:

10' x 40' CM, BB,  
28' OAH



SEE SHEET 3 TO FILL  
OUT UPRIGHT SPECIFICATIONS



FILL IN FOOTING SPECIFICATIONS

FOOTING SELECTION CHECK BOX	
BOLT CAGE	
AUGER (DIRECT)	<input checked="" type="checkbox"/>
SPREAD (DIRECT)	
CUBE (DIRECT)	
BACK HOE (DIRECT)	

FOOTING SIZE  
3' x 14' AUGER

THE SIGN SERVICE L.I.D.  
NV. Lic. #0045273  
Sparks, Nevada  
356-1331

ELEVATION

NOTES

1. SIGN IS DESIGN FOR A 30# WIND LOAD AND 400 PSF/FT LATERAL SOIL PRESSURE
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PLANNING DIV.  
CARSON CITY  
APPROVED

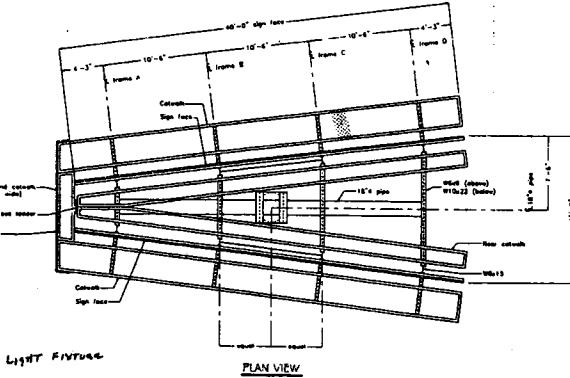
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DATE 31 AUG 2006

REF DWG. NO. 0

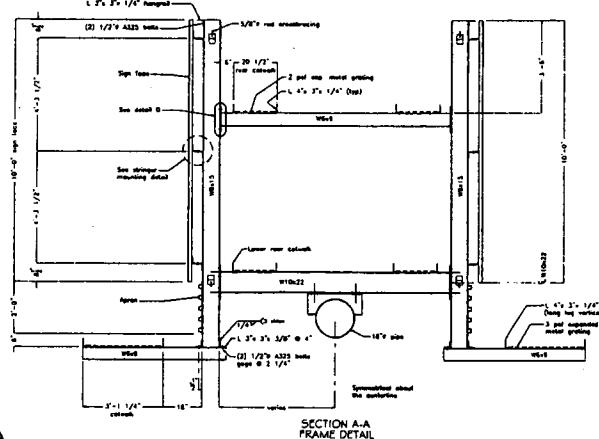


TRINITY PRODUCTS  
1969 W. TERRA LN.  
O'FALLON, MO. 63366  
800-456-7473

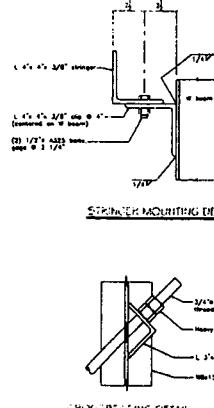
PRELIMINARY PLOT PLAN	
DESCRIPTION: 10'x40" CM, BB, 28' OAH	
DRAWN BY: TB	DATE: 08/14/06
JOB #:	SHEET #: 1 OF 3



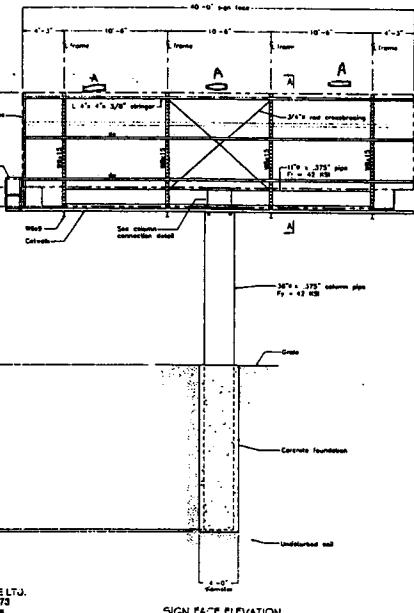
Light Fixture Plan View



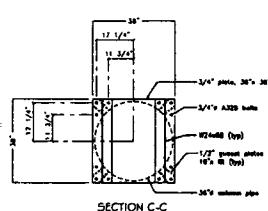
**SECTION A-A**  
**FRAME DETAIL**



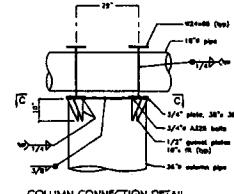
#### STRINGER MOUNTING DE



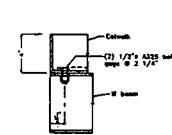
**SIGN FACE ELEVATION**



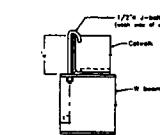
**SECTION C-**



COLUMN CONNECTION DATA



CATWALK MOUNTING DETAIL



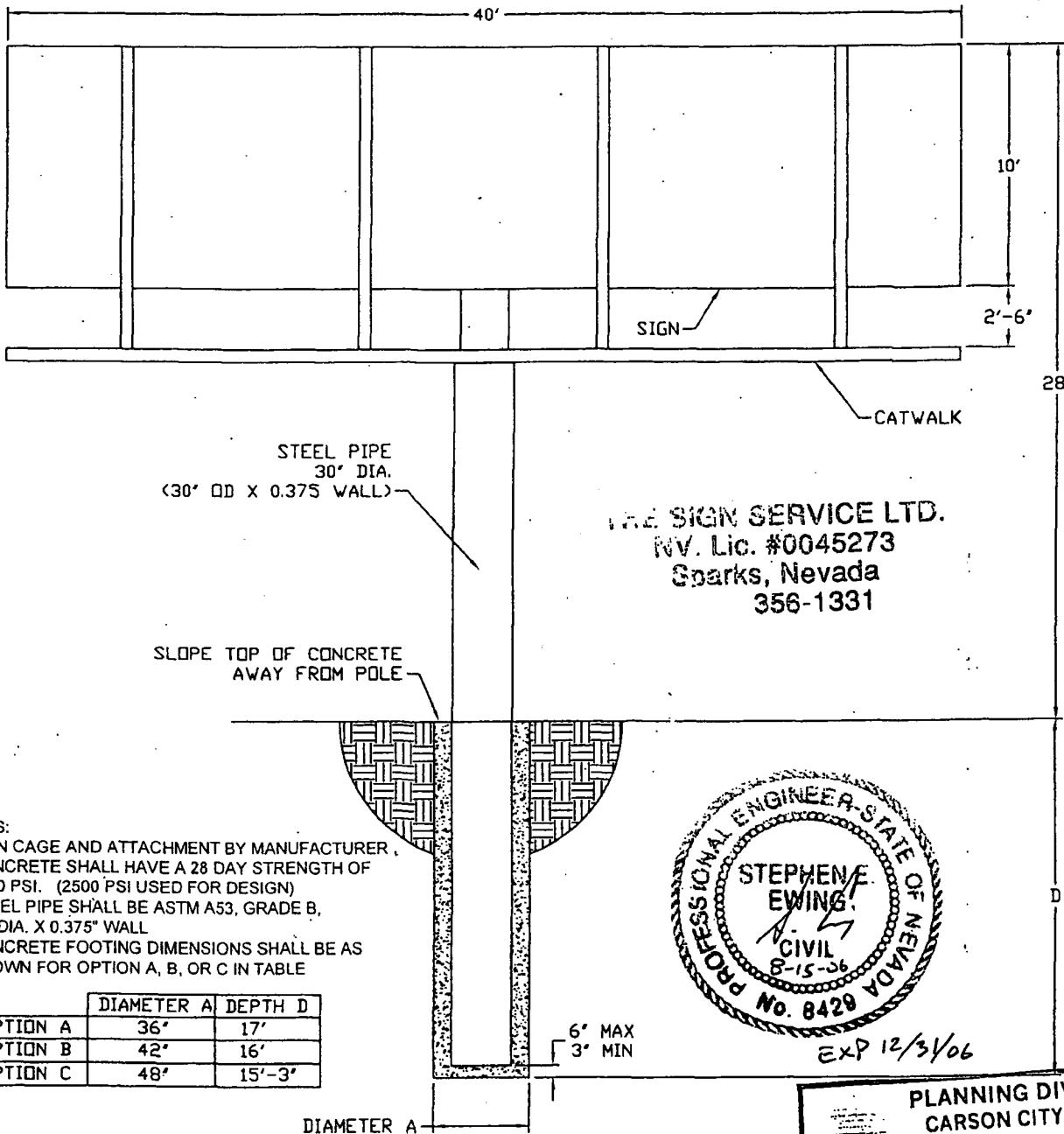
#### CATWALK MOUNTING DETAIL

**NOTES**

- Design conforms to the 2003 International Building Code
- Design loads = 1600 psf. (160 psf per foot). Exposure C
- Wind load = 100 psf. (10 psf per foot)
- Steel shall conform to ASTM A36, grade 36
- Structural steel shall conform to ASTM A572 except wide flange which shall conform to ASTM A992
- Welding shall be in accordance with AWS specifications
- Corrosion protection shall be a 20 day compressed coverage of
- Protective steel shall be hot-dipped and painted according to AWS specifications and standards
- The protective steel coating of dimensions and conditions and ready to be applied to the structure
- CSI Engineering Inc. will not be responsible for any damage or destruction/Installation of this structure

2194 Hwy 58 Germ

3N SERVICE LTD  
Lic. #0045273  
 Sparks, Nevada  
764-1231



Project:  Bill Board Sign Carson City Nevada  Manufacturer: Trinity Products  Installation Contractor: The Sign Service	Ewing Engineering		
	1575 Delucchi Lane, Suite 115, Reno, NV 89502		
	(775) 824-4550		
	SIZE A	FSCM NO.	DWG NO. 6033
SCALE		SHEET 1 OF 1	

# Ewing Engineering

## Moment and Shear at Pole Base:

Part	Height (ft)	Width (ft)	Area (sq-ft)	Centroid (ft)	Wind Pressure (psf)	Wind Force (lb)	Wind Moment (lb-ft)
Sign A	10.50	40.00	420.00	23.00	17.30	7266.0	167118.0
Sign B	15.50	2.50	38.75	15.25	16.00	620.00	9455.0
Sign C	0.00	0.00	0.00	0.00	21.30	0.0	0.0
		SUM =			7886.0	176573.0	

## FOUNDATION DESIGN

Foundation design is based on the following criteria. The contractor shall be responsible for verifying capacity of soil, unless a Geotechnical Engineer has been retained. The contractor shall notify the Engineer if significant amounts of clay are present.

Soil: Allowable Soil Bearing Capacity: 1500 psf at 12" into Grade  
Allowable Lateral Pressure: 100 psf

Concrete:  $f_c = 2500$  psi

Steel:  $F_y = 35$  ksi  $E_s = 29000$  ksi

Lateral Pressure = 100 psf  
 $C_w = 1$   
 $C_m = 2$

Factored Allowable Lateral Pressure =  $(150)(1.0)(2) = 300$  psf/ft

Maximum Allowable Soil Pressure = 4788 psf

Applied Load = 7886.00 lbs/pole @ 22.39 ft Above Base

Boundary Condition = Nonconstrained

$d = (A/2)(1+(1+(4.36 \cdot h/A)^{.5}))$   
 $d = \text{Depth of Embedment}$   $h = 22.39$  ft  
 $A = 2.34P/S1b$   $P = 7886.00$  lb  
 $b = \text{Footing Width (ft)}$   $S1 = p'd/3$

THE SIGN SERVICE LTD.  
 NV. Lic. #0045273  
 Sparks, Nevada  
 356-1331

(lb)	(ft)	Assumed (ft)	Assumed (ft)	(psf)		Calculated (ft)
P	h	b	d	S1	A	d
7886.00	22.39	3	17	1133.333	5.43	16.94
7886.00	22.39	3.5	16	1066.667	4.94	15.93
7886.00	22.39	4	15.15	1010	4.57	15.13

USE:

	Option A	Option B	Option C
Width =	3'	3.5'	4"
Depth =	17'	16'	15.25'

1575 Delucchi Suite 115, Reno NV 89509  
 Phone: (775) 824-4550 Fax: (775) 824-4547  
 Email: ewingengineering@sbcglobal.net

# Ewing Engineering

## POLE DESIGN

### POLE DESIGN AT BASE

NUMBER OF POLES = 1  
TYPE OF POLES = Steel Pipe  
POLE MATERIAL = ASTM A53, GRADE B  
Fy = 35 ksi  
Fb = (Fy)(1.0)(.66) = 23.1 ksi

Assume Maximum Moment Occurs At 1 Ft Below Grade

Moment/Pole = 192345.0 lb-ft

Required S = 99.92 in^3

**USE: 30" OD X 0.375" WALL STEEL PIPE**

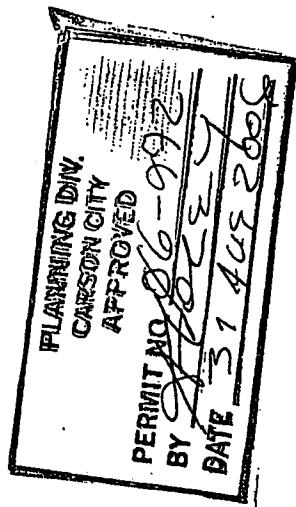
THE SIGN SERVICE LTD.  
NV. Lic. #0045273  
Sparks, Nevada  
356-1331

1575 Delucchi Suite 115, Reno NV 89509  
Phone: (775) 824-4550. Fax: (775) 824-4547  
Email: [ewingengineering@sbcglobal.net](mailto:ewingengineering@sbcglobal.net)

**CUSTOMER: SIGN SERVICES**

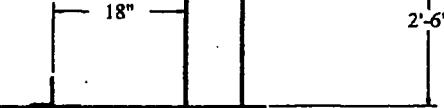
CUSTOMER TO CHECK AND EDIT  
ALL INFORMATION LISTED HERE

STRINGER  
L4x3x1/4"



STRINGER  
L4x3x1/4"

<input checked="" type="checkbox"/>	3' FRONT CATS
	2' FRONT CATS



APRON TYPE:

<input checked="" type="checkbox"/>	3' APRONS
<input checked="" type="checkbox"/>	2' APRONS
	NONE

<input checked="" type="checkbox"/>	B DECKING
	T-111

UPRIGHT ELEVATION

SCALE 2X

REF DWG. NO. 0

 <b>TRINITY PRODUCTS</b> 1969 W. TERRA LN. OFALLOON, MO. 63366 800-456-7473	
<b>PRELIMINARY PLOT PLAN</b>	
<b>DESCRIPTION: 10'x40' CM, BB, 28'AOH</b>	
<b>DRAWN BY: TB</b>	<b>DATE: 08/14/06</b>
<b>JOB #:</b>	<b>SHEET #: 3 OF 3</b>

# Ewing Engineering

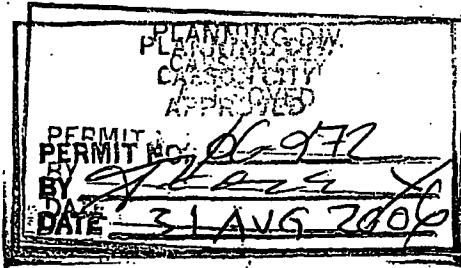
## STRUCTURAL CALCULATIONS AND SPECIFICATIONS

PROJECT: Carson City Bill Board Sign

Location: Carson City, Nevada

Date: 8/15/2006

Installed By: The Sign Service



### DESIGN CRITERIA:

IBC:	2003	Edition	
Wind:	Speed	90	mph
	Exposure	75	mph fastest mile
Seismic:		C	
Elevation:		Less Than	5000 feet
Snow:		20 psf	
Allowable Soil Pressure:		1500 psf	
Allowable Lateral Soil Pressure:		100 psf/ft	

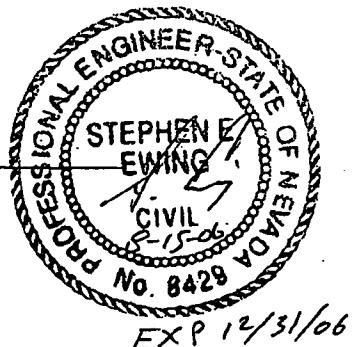
### SCOPE OF WORK:

The scope of the work is limited to the design of the sign pole and pole foundation.

THE SIGN SERVICE LTD.  
NV. Lic. #0045273  
Sparks, Nevada  
356-1331

Submitted by:

  
Stephen E. Ewing, P.E.  
RCE#008429  
Exp. 12/31/06



1575 Delucchi Suite 115, Reno NV 89509  
Phone: (775) 824-4550 Fax: (775) 824-4547  
Email: ewingengineering@sbcglobal.net

# Ewing Engineering

## WIND LOAD EVALUATION

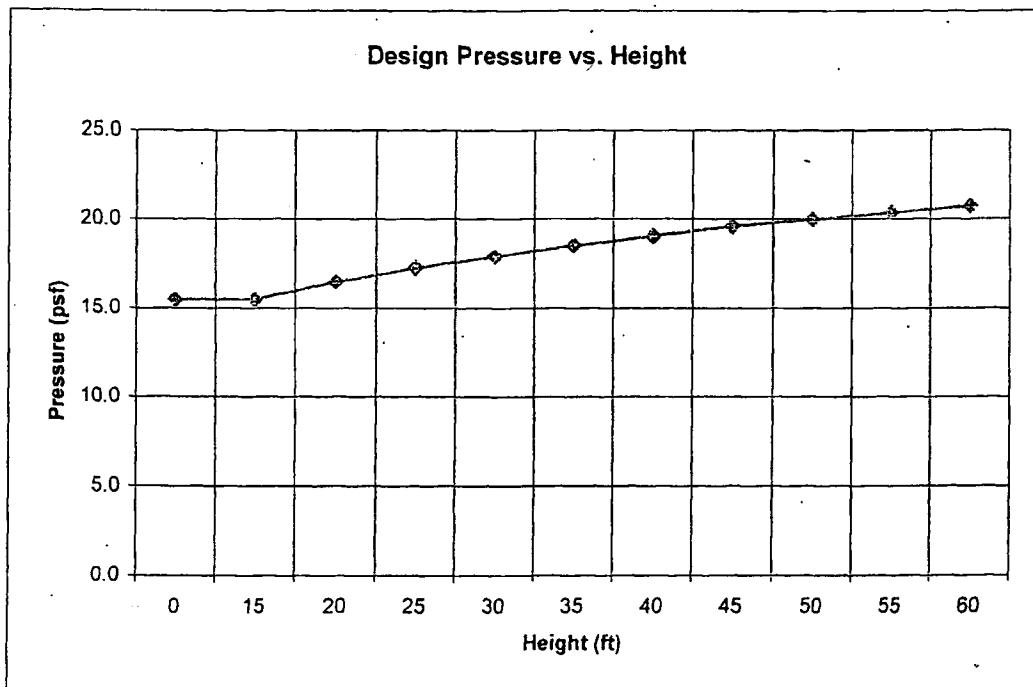
DESIGN WIND PRESSURE (P) = (L)(lw)(Ps30)

SPEED = 90 mph 3 sec  
SPEED = 75 mph fastest mile  
EXPOSURE = C

THE SIGN SERVICE  
NV. Lic. #0045273  
Sparks, Nevada  
356-1331

COMBINED HEIGHT, EXPOSURE AND GUST FACTOR COEFFICIENT (Ce) IS SHOWN BELOW

(ft) HEIGHT	(psf) P	L	Ps30	lw
0	15.5	1.21	12.8	1
15	15.5	1.21	12.8	1
20	16.5	1.29	12.8	1
25	17.3	1.35	12.8	1
30	17.9	1.4	12.8	1
35	18.6	1.45	12.8	1
40	19.1	1.49	12.8	1
45	19.6	1.53	12.8	1
50	20.0	1.56	12.8	1
55	20.4	1.59	12.8	1
60	20.7	1.62	12.8	1



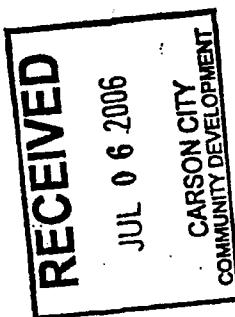
# Sign Permit Inspection Report

Field Inspection by JERRY CLAUSSEN Title Utility INSPECTOR Date 7/10/06  
Nearest existing or proposed off premise sign is owned by CLEAR CHANNEL The requested sign is 1,925  
feet WEST (N, S, E W) from the nearest sign. Permit number of nearest sign, if existing 0507  
Approved for issuance by JULIE Milepost US-50-CC-9.29 W  
Permit number 4982 Issued by Bill Bowman Date 7/28/06

## Standard Conditions

1. Any false or erroneous information will void the permit.
2. Sign shall not be erected or maintained from or over any Nevada Department of Transportation right-of-way.
3. Permit tag must be affixed to the sign and visible to controlled roadway prior to advertising being placed on sign.
4. It is the responsibility of the sign company to locate all property lines, including NDOT right-of-way lines.
5. Sign must be built within 180 days of the issuance of this permit or permit will be canceled with forfeiture of all fees.
6. Sign must be built in the EXACT location approved on the permit.
7. No flashing or intermittent lights, and illumination lights must be shielded from traffic.

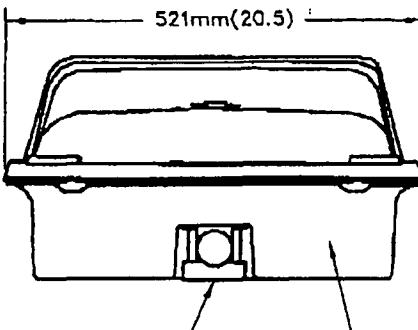
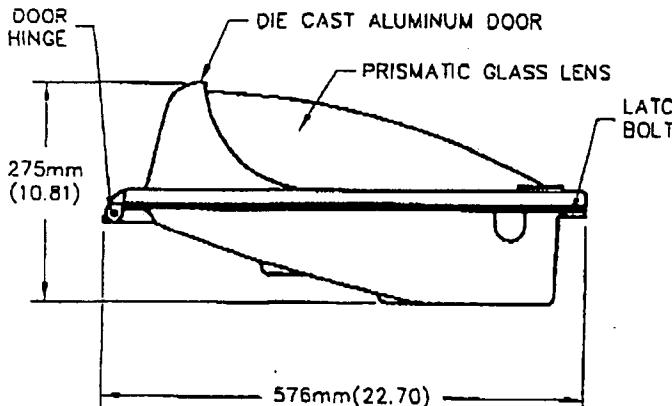
## Additional Conditions



Jul 21 06 07:38a

714-02-1923

P-2

PANEL-VUE® SERIES LUMINAIRE

U.L. LISTED  
1572 WET LOCATION  
C.S.A. LISTED  
MAX AMBIENT: 40°C  
MAX WEIGHT: 27kg (60lbs)

DIE CAST ALUMINUM HOUSING  
CONTAINS: BALLAST, REFLECTOR  
AND SOCKET ASSEMBLY

CATALOG NUMBERP A N LPANELVUE  
SERIES  
LUMINAIRE

SOURCE AND WATTAGE

- 100HP=100W HPS
- 15AHP=150W HPS
- 100MV=100W MV
- 175MH=175W MH
- 175MV=175W MV
- 250HP=250W HPS
- 250MH=250W MH
- 250MV=250W MV
- 400HP=400W HPS
- 400MH=400W MH
- 400MV=400W MV

VOLTAGE

- 12=120V
- 20=208V
- 24=240V
- 27=277V
- 34=347V
- 48=480V
- MT=MULTITAP
- DT=DUAL TAP
- NB=NON-BALLASTED
- VT=MULTIVOLT

MOUNTING

- D=STANDARD
- B=BROWN
- G=GRAY

COLOR

OPTIONS: (FACTORY INSTALLED)

- SW=ON/OFF POWER SWITCH (120V, 240V, OR DT ONLY) (NO CSA)
- QD=QUICK DISCONNECT (NOT AVAILABLE WITH "SW" OR "SL" OPTIONS)
- SL=ON/OFF POWER SWITCH WITH LATCH OPTION (120V, 240V, AND DT ONLY) (NOT AVAILABLE WITH "T" MOUNT REFRAC TOR DOWN) (NO CSA)
- QL=QUICK DISCONNECT WITH LATCH ASSEMBLY (NOT AVAILABLE WITH "SW" OR "SL" OPTIONS)
- L=LATCH ASSEMBLY

ACCESSORIES: (FIELD INSTALLED)

- LAMP
- 3BOLT=BRACKET FOR 3 BOLT MOUNTING
- 4BOLT=BRACKET FOR 4 BOLT MOUNTING
- BOLT6.5=BRACKET FOR 6.5 BOLT MOUNTING
- WG-213=WIRE GUARD
- DOORPROP=DOOR PROP
- 09181="T" MOUNTING ACCESSORY
- F1=SINGLE FUSING
- F2=DOUBLE FUSING

**HOLOPHANE®**  
LEADER IN LIGHTING SOLUTIONS  
An Acuity Brands Company

©2002 ACUITY LIGHTING GROUP INC., 214 OAKWOOD AVE., NEWARK, OH 43055

ORDER NO: \_\_\_\_\_  
TYPE: \_\_\_\_\_

DRAWING NO: FM-1908  
CAD MODEL: PANL0.DWG  
DATE: 1-9-98  
Sheet 1 of 1

LIGHTS DIRECTED Downward From Top of Sign

## GENERAL REVIEW OF PERMITS

***Question 1. How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?***

### **A. Chapter 3: A Balanced Land Use Pattern**

- The project meets applicable provisions of the Growth Management Ordinance.
- The project uses no water. Existing lighting will not be changed at this time.
- The project is not located in a priority infill development area.
- The project does not influence pathway connections or access.
- The project will not influence any existing site features.
- The project is not adjacent to county boundaries. Ingress/egress from the lot to US Highway 50 is not influenced by the project.
- The project is consistent with Master Plan Mixed-Use development policies because the billboard allows various commercial uses for over 95% of the remaining lot. The project is located on a primary street frontage that may be accessed by transit. It does not generate activity, nor influence housing development in the area.
- The project meets all applicable transition standards.
- The project is not situated to affect environmentally sensitive area.
- The project is sited outside the primary floodplain and geologic hazard areas.
- The project does not interfere with potential or existing services.
- The project is not within a Specific Plan Area. It is north of the Lompa Ranch SPA and west of the Eastern Portal SPA.

### **B. Chapter 4: Equitable Distribution of Recreational Opportunities**

The project does not provide park facilities, nor influence the Open Space or Carson River Master Plans.

### **C. Chapter 5: Economic Vitality**

The project may encourage re-use or redevelopment of underused retail spaces, support heritage tourism activities, or revitalization of the Downtown Core: the billboard provides advertising space which can conceivably be used to promote these economically-viable activities to Carson City residents and visitors.

### **D. Chapter 6: Livable neighborhoods and Activity Centers**

The project uses durable materials.

Visual interest is dominated by given advertising on the board.

The project adheres to height and setback requirements.

The project is not in a MU Activity Center.

The project is not downtown.

Housing models are not applicable.

### **E. Chapter 7: A Connected City**

Billboards are common business endeavors for high-transit streets such as US 50 East where it is situated.

The project does not maintain or enhance roadway connections, nor does it interfere with pathways.

***Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?***

- A. Surrounding land use designations are Mixed-Use Commercial to the east, south and west; the north is Medium-Density Residential. Zoning and actual use: East: vehicle accessory sales, general commercial; South: Service station, general commercial; West: livestock feed and supply store, general commercial; North: Single Family 6000.
- B. The billboard has existed for 5 years and no problems have been reported. Commercial billboards are allowed by Carson City ordinance at specified intervals along US 50 east. Due to its relatively recent construction, the structure is actually more durable and less intrusive than most of the billboard structures on US 50.
- C. The actual billboard structure is not detrimental to use and enjoyment or development of surrounding properties. It does not influence the residential lots to the north, and the properties to the west and east are already developed.
- D. No additional lights or traffic controls are needed because of this billboard. Some concern has been voiced over billboards causing traffic safety issues because drivers are looking at them; no evidence exists that billboards are any more visually intrusive than other commercial signs or structures, unless placed in positions blocking driver visibility. NDOT setbacks that were adhered to prevent billboards and signs in Carson City from interfering with driver visibility.
- E. Rental of the billboard provides economic benefit and disposable income to the local owners of the parcel. Advertising—usually for retail or other companies with local outlets—promotes purchasing and the resultant commerce and taxes for Carson City. Further, a continued approval of this billboard removes the opportunity for another billboard to be constructed within its assigned linear spacing.

***Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?***

- A. The project does not affect the school district or the Sheriff's Office.
- B. The project does not affect drainage.
- C. The project does not require water.
- D. The project does not influence sewer.
- E. No road improvements are needed.
- F. Information from the existing sign and building permit.
- G. Existing lighting of the project: Four downward-directed Holophane Panel-Vue Luminaires, (two each side) 27'6" from ground. (see attached cutaway.) Lighting is directed downward at sign faces. 120 volt 400-watt metal halide bulbs.
- H. There is existing landscaping at the front of the lot in the streetside planter, compliant with ordinance.
- I. Parking availability for the site is not influenced by the billboard.



# Master Plan Policy Checklist

## Special Use Permit, Major Project Review & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Date of Review: \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?
- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

## CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

## CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1i)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?



- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
  - Integrate an appropriate mix and density of uses (8.1a, e)?
  - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

**CARSON CITY**  
**BUILDING DEPARTMENT**  
**2621 NORTHGATE LANE, SUITE 6**  
**CARSON CITY, NEVADA 89706**

BUILDING DEPARTMENT  
PHONE 775-887-2310  
FAX 775-887-2202

DEVELOPMENT ENGINEERING  
PHONE 775-887-2300  
FAX 775-887-2283

**PERMIT**

Application/Permit Nbr . . . . . 06-00000972 Date 9/06/06  
Property Address . . . . . 2794 HWY 50 E  
. . . . . 008-161-07  
Tenant number/name . . . . . 10' X 40' X 28' BILLBOARD  
Application description . . . . . SIGNS  
Subdivision Name . . . . .  
Property Zoning . . . . . NOT AVAILABLE

Owner

POLICHIO, FAMILY 1998 TRUST  
PO BOX 854  
CARSON CITY NV 89702

Contractor

THE SIGN SERVICE  
50 E GREG ST #103  
SPARKS NV 89431  
(702) 356-1331

Other struct info . . . . .  
HEIGHT OF SIGN 28.00  
ILLUMINATED Y/N Y  
SIGN SIZE 400.00

Permit . . . . . SIGNS - FREE STANDING  
Permit Fee . . . . . 623.55 Plan Check Fee . . . . . 405.31  
Issue Date . . . . . 9/06/06 Valuation . . . . . 48000

Permit . . . . . ELECTRICAL PERMIT  
Permit Fee . . . . . 48.10  
Issue Date . . . . . 9/06/06

Fee summary

Permit Fee Total 671.65  
Plan Check Total 405.31  
Grand Total 1076.96

*Not signable*

License Master Inquiry-(OLN1101001)  
Screen detail for Program: OL OLN1101  
License 10-00024645

**License Information**

Classification: BILLBOARDS  
License status: ACTIVE  
Status date: 12/14/2009  
Application date: 11/07/2008  
Issue date: 12/16/2009  
Expiration date: 12/31/2010  
Valid through date: 12/31/2010  
Date license printed: 12/16/2009  
Previous license: 09-00024645  
Print flag: N  
Comments: BILLBOARD - SIDE A - FACING EAST  
Restrictions: COMPLY W/DEV STANDARDS  
Pin number: 9721

**Business Information**

Business number: 24424  
Business name: THE POLICHIO FAMILY 1998 TRUST  
Mailing address: 3355 IDLEWILD DR  
RENO NV 89509  
Location address: 2794 HWY 50 E  
Business phone: (775) 230-2816  
Emergency phone: (775) 246-0973

**Applicant Information**

Applicant/qualifier: THE POLICHIO FAMILY 1998 TRUST  
Address: 612 W. 3RD ST.  
CARSON CITY NV 89703  
(775) 230-2816

Phone: Social Security:  
Drivers license:  
Date of birth:  
Email address:

**Charges/Renewal Summary**

	Lic/Transfr	Add'l	Chrg	Penalty	Interest
Amount charged:	426.60	.00	.00	.00	.00
Amount paid:	426.60	.00	.00	.00	.00
Amount due:	.00	.00	.00	.00	.00
Unposted/Unapplied receipts	.00	.00	.00	.00	.00
New/transfer unposted:	.00	.00	.00	.00	.00
New/transfer unapplied:	.00	.00	.00	.00	.00
Renewal unposted:	.00	.00	.00	.00	.00
Renewal unapplied:	.00	.00	.00	.00	.00

**Renewal Summary**

Month:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Year:	10	10	10	10	10	10	10	10	10	10	10	10
Renewal status:	R	R	R	R	R	R	R	R	R	R	R	R

Taxes paid. report.



Account #..... CB 043359  
 Property Loc... 2794 HWY 50 E  
 Billed to..... POLICHIO FAMILY 1998 TRUST  
 3355 IDLEWILD DR  
 RENO, NV 89509

Parcel #:  
 District: 2.4

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

No Prior Year Taxes

Current Year

Inst1					
Inst2					
Inst3	720.36	72.04	792.40	720.36	72.04
Inst4					
<b>Totls</b>	<b>720.36</b>	<b>72.04</b>	<b>792.40</b>	<b>720.36</b>	

F9=Scan >/< >

F12=End

F13>Show History

F14=Print Summary

F17=Account Inquiry

AK  
 check  
 Taxes  
 Paid in full.



Amanda King

Taxes - license