

**STAFF REPORT FOR THE HISTORIC RESOURCES COMMISSION MEETING OF
MAY 12, 2011**

AGENDA ITEM: F-1

FILE NO: HRC-10-102

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

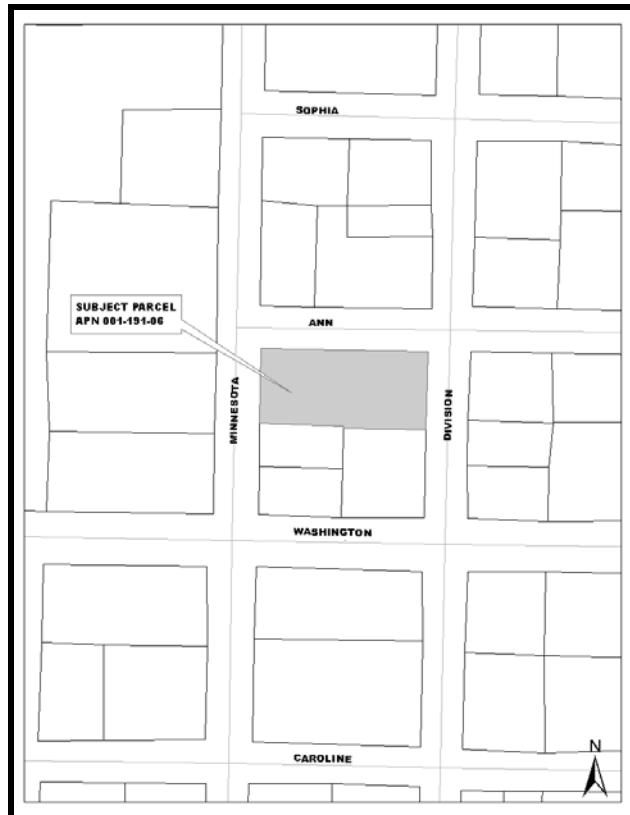
REQUEST: To allow the demolition of the existing single family residence, carriage house and sheds as previously approved by the HRC and approval of the revised development plan for a new eight unit apartment complex (2-four plexes) on property zoned Residential Office (RO).

APPLICANT: Al Salzano, Architect

OWNER: Herman Bauer

LOCATION/APN: 812 North Division Street / 001-191-06

RECOMMENDED MOTION: It is recommended that the Historic Resources Commission "Move to approve HRC-10-102, a request from Al Salzano, to allow the approval of the revised development plan of a new eight plex multi family apartment project on property zoned Residential Office (RO), located at 812 North Division Street, APN 001-191-06, subject to the conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the attached site development plan.
2. All on and off-site improvements shall conform to City standards and requirements.
3. This approval HRC-10-102 shall run concurrent with the approval of AB-10-038.
4. The applicant must sign and return the Notice of Decision within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Historic Resources Commission meeting for further considerations.
5. The applicant shall submit a copy of the signed Notice of Decision and conditions of approval with the building permit application.
6. Demolition of a historic place or cultural resource may begin only after approval by the HRC and issuance of other necessary approvals for a replacement building or site improvement.
7. The applicant will be required to provide detailed photographic documentation of the existing structure to the Planning Division for proper documentation of the structure proposed for demolition.
8. Commercial submittals shall show compliance with the following codes, and adopted amendments:
 - 2006 International Building Code
 - 2006 International Energy Conservation Code
 - 2006 International Fire Code
 - 2006 Uniform Mechanical Code
 - 2006 Uniform Plumbing Code
 - 2005 National Electrical Code
 - 2003 ICC/ANSI A117.1 (For accessible design)
9. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
10. As a part of a complete submittal, provide a separate plan sheet, which clearly shows the ***Accessible Route / Exit Discharge Plan***.
11. As a part of the submittal, include a complete "Architectural Design Analysis", which shall include a **complete** break down of the allowable area and height versus the actual area and height.
12. A complete Geotechnical Report will be required. The Geotechnical report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement,

lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures.

13. The proposed project shall meet the conditions of approval for AB-10-038.
14. The proposed project shall comply with the CCMC Development Standards 1.18 Residential Development Standards in Non-Residential Districts.
15. The proposed use (Multi Family Apartment) requires Special Use Permit approval.

LEGAL REQUIREMENTS: CCMC 18.05.015 (Procedure for Proposed Project) and 18.05.075 (Demolition of a Historic Place or Cultural Resource in the Historic District).

MASTER PLAN DESIGNATION: Mixed Use Residential

ZONING: Residential Office

PREVIOUS REVIEWS:

- April 05, 2011, the required Major Project Review, MPR-11-020, was conducted in the Planning Division. At the meeting, City staff provided the applicant with comments related to the proposed project. The HRC Chairman, Mike Drews, was in attendance at the MPR meeting.
- December 09, 2010, the HRC reviewed and approved the demolition of the existing single family dwelling unit and accessory structures and approved the conceptual plan with the stipulation that the applicant provide more detail on possible covered parking alternatives and materials for the proposed apartment complex.
- August 19, 2010, the Board of Supervisors approved AB-10-038.
- July 28, 2010, the Planning Commission reviewed and recommended approval to the Board of Supervisors AB-10-038. The request allowed the abandonment of an eight foot wide portion of N. Minnesota Street, W. Ann Street and N. Division Street, totaling a 3,814-square-foot area, more or less, adjacent to, properties located at 803 N. Minnesota Street, 444 W. Washington Street and 812 N. Division, APNs 001-191-02, 001-191-05 and 001-191-06.

DISCUSSION:

This item was before the Historic Resources Commission on December 09, 2010, for review and approval of the proposed project. The HRC approved the demolition of the existing structures on site pending review of the revised conceptual plan. The previous approval had a stipulation of the applicant to provide more detail on the proposed covered parking alternatives and materials information from the project architect. The project architect has provided an amended plan which includes carports for eight of the 16 required parking spaces on site. The carport structures have been redesigned to have a lighter, less massive design. The previous carport design was more substantial and designed to cover all 16 required parking spaces on site.

The project as previously presented is to demolish the existing single family residence and construct two two-story four-plex apartment buildings, totaling eight units and carports. The existing carriage house and sheds are also proposed for demolition.

Per the information provided in the survey completed in 1998 by Anita Ernst Watson, the one-story vernacular structure was erected on the north half of the block under the ownership of Mr. Shubael T. and Cecelia Swift sometime after 1869. Mr. and Mrs. Swift purchased the entire block. The house erected was a small wooden square structure with a gable roof. Over the years there have been alterations to the existing single family dwelling unit, more noticeable on the northwestern portion of the structure. After several ownership changes the property was purchased in 1935 by Arnold Lee Gillie, who was a mechanic and the property remained in the Gillie Family until it was sold in late 2009 to the current owner Herman Bauer.

5.27 Guidelines for New Construction

New construction which is appropriately designed is encouraged by the Carson City Historic Resources Commission (HRC). The Historic District should be an active and vital part of the city. New construction should look new and reflect the technology, building materials and design ideas of the present era. The design of new construction needs to be compatible and respectful of the historic building stock that surrounds it so that visual conflict and confusion are avoided. There is no formula that will guarantee "good design". There are specific elements of building design which can be identified, and therefore, addressed in a review process so that consistency

can be achieved. The following elements shall be individually assessed for their degree of appropriateness for each project.

5.27.1 Scale and Massing

The overall size and height of the new building should be consistent with the surrounding buildings.

The proposed structures are more consistent with the existing larger structures in this block. The surrounding buildings are a mix of rental units, commercial buildings and single family dwelling units, which will create a similar situation as today, if the proposed new multi family dwelling units are approved.

5.27.2 Shape

The overall shape of the building, particularly its roof type, height, and design emphasis (horizontal or vertical) should be consistent and harmonious with others in the environs.

The overall shape of the proposed structures will be significantly different than the existing single family dwelling unit on site. There is however other structures in this city block that are two or more stories in size relative to shape.

5.27.3 Setback

The front and side yard setbacks for the building should be approximately the same as others in the surrounding area and conform with CCMC Development Standards, Division 1, Land Use and Site Design.

The setbacks of the proposed dwelling units will conform to the setbacks noted in the Development Standards.

5.27.4 Site Elements

When at all possible avoid substantial site alteration by importing or exporting fill materials. Generally speaking vacant lots in the district were once occupied by a building. Attempt to place the new building as near as possible to the same grade as the original. Carefully consider the placement and relationship of the public sidewalk, side and front yard fences, driveway, gardens and accessory buildings when determining the location of the new building on the lot.

It is recommended to the applicant to carefully consider the placement and relationship of the public sidewalk, side and front yard fences, driveway, gardens and accessory buildings when determining the location of the new buildings on site.

5.27.5 Materials

Exterior siding should reflect the prevailing style of the neighborhood. A vertical or diagonal style siding should not be used when the dominant style is a horizontal drop or shiplap type. The exterior siding should blend in, not stand out.

The proposed materials are intended to blend into the surroundings and not stand out. The applicant has provided a detailed set of plans for HRC review that include the specific detail of all materials proposed for the multi dwelling units. The applicant will have the architect available at the HRC meeting to address the materials proposed. The applicant has noted in the application provided, that the proposed materials for the project are all consistent with the Bungalow/Craftsman style.

5.27.6 Windows and Doors

The rhythm and arrangement of the windows and doors should reflect the style of the building design and the predominant patterns found in existing buildings of the area. The ratio of the total surface area of openings to total wall surface area of new buildings should reflect that of historic buildings in the environs.

The ratio of the total surface area of openings to total wall surface is not excessive and very similar to the area of openings of others structures in close proximity. Staff has requested that the architect provide window alternatives at the HRC meeting for HRC review and approval.

5.27.7 Details and Other Elements

Trim details are often the single most relevant design feature which can be utilized to give harmony and compatibility to a new building. If existing buildings have boxed eaves, do not leave rafter tails exposed. If windows and doors typically have fanciful trim, incorporate trim with architecturally equal weight. If trim work is typically simple, do not use "ginger bread". Seek to design the new building so that the trim and architectural details compliment the existing buildings in the area.

The existing structure is basic in its design. The architect has incorporated these basic design elements into the proposed multi family project which are consistent with the Bungalow/Craftsman style.

5.27.8 Floor Elevations

The elevation of the first floor in relation to the street and the finish grade of the lot can often be a critical design feature. For example, if surrounding buildings normally have steps leading from street level up to the first floor level, then the new building should have a similar entrance level.

Per the information provided by the architect, the main floor elevation is consistent with adjacent structures.

PUBLIC COMMENTS:

Public notices were mailed to the adjacent property owners to the subject parcel in accordance with the provisions of NRS and CCMC 18.02.045. No comments have been received in favor or in opposition of the proposed project. Any comments that are received after this report is completed will be submitted prior to or at the Historic Resources Commission meeting, depending on their submittal date to the Planning Division.

Engineering Division comments:

- The Engineering Division has reviewed the request within our areas of purview relative to adopted standards and practices. Demolition and construction must meet all requirements of the State of Nevada and Carson City. All off site frontage improvements must be constructed and all utilities must be properly abandoned and relocated as required in the conditions of approval for Right of Way Abandonment #10-038.

Building Division comments:

1. Commercial submittals shall show compliance with the following codes, and adopted amendments:
 - 2006 International Building Code
 - 2006 International Energy Conservation Code
 - 2006 International Fire Code
 - 2006 Uniform Mechanical Code
 - 2006 Uniform Plumbing Code
 - 2005 National Electrical Code

- 2003 ICC/ANSI A117.1 (For accessible design)

2. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
3. As a part of a complete submittal, provide a separate plan sheet, which clearly shows the **Accessible Route / Exit Discharge Plan**. The **Accessible Route / Exit Discharge Plan** shall have the following minimum information from the accessible entrance of the facility to the public right of way. ('06 IBC Section 1007, 1104.1 & ICC/ANSI A117.1-2003 Chapter 4 & 5):
 - Indicate accessible route surface
 - Indicate accessible route slope
 - Indicate accessible route width (Minimum width is 36" (thirty-six inches); however, if the wheelchair is near a drop or change in elevation, a guard will be required. The reason is that a disabled person may not be able to hold a straight line with their wheelchair, and it may meander while navigating the accessible route.) (ICC/ANSI A117.1-2003 Section 4 03.5 & Table 403.5)
 - Indicate accessible route turn radius
 - Indicate all accessible ramps, with a dimensioned cross section details indicating slope & guardrails (where applicable)
 - Indicate the location and type of the detectable warning surface at curb ramps, island or cut-through medians (ICC/ANSI A117.1-2003 Sections 406.13, 406.14 & 705)
 - Indicate all accessible parking, with signage
 - Indicate location of all building and site accessible signage, with an elevation view to verify compliance with required text, height, etc.

NOTE: The *Accessible Route / Exit Discharge Plan* shall clearly show the accessible route from the accessible entrance of the facility to the accessible parking, public streets and sidewalks – as applicable to the site. ('06 IBC 1007.2, 1023.6, & 1104.1)

4. As a part of the submittal, include a complete "Architectural Design Analysis", which shall include a **complete** break down of the allowable area and height versus the actual area and height.
5. A complete Geotechnical Report will be required. The Geotechnical report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('03 IBC 1802.2.7 #2)

With the recommended conditions of approval and based upon the project complying with the Carson City Historic District Guidelines, the Historic Resources Commission Policies, and that the plans as submitted are in general conformance, it is recommended that the Historic Resources Commission approve the revised conceptual plan for HRC-10-102 subject to the recommended conditions of approval within this staff report. Staff will encourage the HRC to assist the applicant with the selection of appropriate materials for the proposed multi family dwelling units if needed.

Respectfully Submitted,

PUBLIC WORKS DEPARTMENT, PLANNING DIVISION

Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

Attachments:

Application (HRC-10-102)
MRC meeting minutes December 09, 2010
Building Division comments
Engineering Division comments

Carson City Planning Division

Historical Resources Commission Application

New Apartment Complex for Mr. Herman Bauer
812 N. Division Street
Carson City, Nevada

April 25, 2011

Salzano

architect

5935 grass valley rd
reno, nevada 89510
775.233.1984 cell
775.475.0796 fax
www.alsalzano.com
ajsalzano @ aol.com

TABLE OF CONTENTS:

HRC Application	2 Pages
Existing Site Photographs	3 Pages
Historical Survey – 812 N. Division St.	2 Pages
Bungalow/Craftsman Style	1 Page
Supporting Information	2 Pages
Color Renderings	2 Pages
8-1/2" x 11" Drawings	3 Pages
Preliminary Site Plan Drawing	
Exterior Elevations – Front & Ann St.	
Exterior Elevations – Rear & South	
Property Taxes (Original Packet Only)	1 Page

Carson City Planning Division
108 E. Proctor Street· Carson City NV 89701
Phone: (775) 887-2180 · E-mail: planning@carson.org

FILE # HRC - 11 -

Mr. Herman Bauer

PROPERTY OWNER

P.O. Box 301, Vineburg, CA 95487

MAILING ADDRESS, CITY, STATE, ZIP

707-939-0533 707-939-0533

PHONE # **FAX #**

metric1@comcast.net

E-MAIL ADDRESS

Name of Person to Whom All Correspondence Should Be Sent

Al Salzano, Architect 775-233-1984

APPLICANT/AGENT **PHONE #**

5935 Grass Valley Road, Reno, NV 89510

MAILING ADDRESS, CITY, STATE ZIP

775-233-1984 775-475-0796

PHONE # **FAX #**

ajsalzano@aol.com

E-MAIL ADDRESS

<u>Project's Assessor Parcel Number(s):</u>	<u>Street Address</u>	<u>ZIP Code</u>
01-191-06	812 N. Division Street	89703
<u>Project's Master Plan Designation</u>	<u>Project's Current Zoning</u>	<u>Nearest Major Cross Street(s)</u>
Mixed Use Residential	RO (Residential Office)	N. Division St. & W. Washington St.

Briefly describe the work to be performed requiring HRC review and approval. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. NOTE: The Historic District Ordinance and Historic District Design Guidelines, as well as Policy Statements, are available in the Planning Division to aid applicants in preparing their plans. If necessary, attach additional sheets.

Demolition of existing single-family residence, carriage house, and shed for replacement with an 8-unit apartment

complex. The new apartments are proposed to be two (2) two-story, 4-plex buildings in a Bungalow/Craftsman style to

blend with the historical character of the area.

FOR OFFICE USE ONLY:

**HISTORIC RESOURCES
COMMISSION**

FEE: None

SUBMITTAL PACKET

- Application Form with signatures
- Written Project Description
- 14 Completed Application Packets-Application form, maps, supporting documentation (1 Original + 13 Copies)
- CD containing application data (pdf format)
- Documentation of Taxes Paid-to-Date

Application Reviewed and Received By:

Submittal Deadline: See attached HRC application submittal schedule.

Does the project require action by the Planning Commission or the Board of Supervisors? Yes No If Yes, please explain:
Although it is an allowed use, Multi-Family housing projects in the 'RO' zoning requires a Special Use Permit.

Will the project involve demolition or relocation of any structure within or into the Historic District? Yes No If Yes, please describe:

Demolition of an existing Single-Family residence, carriage house, and shed currently on the property is proposed. All existing structures are in very poor condition and do not meet National Register significance criteria. All building materials will be salvaged by the V&T railroad.

Reason for project: To create an income-producing investment and attractive Multi-Family project on the property, which is currently in un-rentable, unusable condition, and has been vacant for a number of years.

SUPPORTING DOCUMENTATION

Each application requires 12 copies, folded to 8 1/2 x 11 inches, of quality site plan and drawings showing work to be performed on the subject project which requires HRC approval. Basically, this is any work which will affect the exterior of any structure and any modifications to the site, i.e., fences, walls, or major landscaping. The name of the person responsible for preparation of the plans and drawings shall appear on each sheet.

Attached is a Plan Checklist to aid preparation of plans and architectural drawings. It is understood that all checklist items will not be included in all projects. The list is intended to give the applicant an idea of the breadth of review by the Commission on those items which are included in the subject project. Photographs can be used for illustration and discussion, but are not acceptable as substitutes.

Owner's Signature

Applicant's/Agent's Signature

Mr Herman Bauer

Al Salzano, Architect

Owner's Printed Name

Applicant's/Agent's Printed Name



View South down Minnesota St. @ Ann St.



View from Ann St. looking S.E. across property toward existing structures



View from Ann St. looking at existing Carriage House & Shed



View from Ann St. near corner of Division St. looking S.W. at existing residence



View from corner of Division St. & Ann St. looking S.W. across property



View from Division St. looking West at existing residence

HISTORICAL SURVEY
CARSON CITY HISTORICAL DISTRICT
CARSON CITY COMMUNITY DEVELOPMENT



NAME: Swift House

ADDRESS: 812 N. Division

LOCATION: South side W. Ann, between N. Minnesota and N. Division

CONSTRUCTION DATE: 1869 (assessor)

HISTORICAL BACKGROUND

Abe Curry sold this entire block in 1862, then portions of the property sold several times. In 1869, Mr. Shubael T. and Mrs. Cecelia Swift, both natives of New York, purchased the entire block. Swift listed his occupation variously as working in a hay-yard and as a miner. In 1878, Swift was Sheriff of Carson City. The house erected on the north half of the block during his ownership was a small square wooden structure with a gabled roof, that sits well back from the street. The modest home is surrounded by a large parcel comprised of four full lots

and half of two others.¹

In 1873 the house passed through the hands of **Henry Rice** and on to the Slingerland family. The property was purchased in the names of **Mrs. Mary Slingerland** and the children, **Charles and Susan**. **James S. Slingerland** was the senator representing Roop and Washoe Counties during the second session of the Legislature in 1866. He also served as President pro tempore of the Senate during that session. Slingerland was Lieutenant Governor, 1867-1871, and listed his occupation for the 1870 census as Lt. Governor and blacksmith. He was out of politics and working as an assistant weigher at the U. S. Mint in 1873 when the family bought this house.

As Lt. Governor, Slingerland was also *ex officio* warden of the state prison, and during his tenure the prison burned. Slingerland submitted a report about the May 1867 fire to the Legislature. He described the old kitchen as "nothing but a tinderbox built of stone." Enough of the prison was saved to continue housing the prisoner in what was known as the "Territorial Addition." Slingerland conveyed some of his philosophy regarding treatment of prisoners when he asserted, "I have not proposed to consume precious time in trying to make an unmitigated rascal an honest man." He noted that the prisoners were "all cleanly clothed and well fed, each one is dressed in prison uniform, made of woolen cloth with stripes black and white. They all labor faithfully each day in the prison yard."

In 1907 **Susan Evaline Slingerland**, "Eva", was living in the house, and working as a teacher. Eva sold the house in 1916 to **Mary Jane McCabe**, the widow of **Arthur M. McCabe**. The Slingerlands came back into possession of the property in 1923 when the property was transferred to **Corrine Slingerland** and **L. McCabe**.

In 1935 the home was purchased by **Arnold Lee Gillie**, who was a mechanic. It has remained in the Gillie family up to the present time.

OTHER NAMES ASSOCIATED WITH PROPERTY:

1862, **I. P. Harley**; 1864, **Jordan Harley & wife, James Allen**;
1866, **Albert F. White & Caroline**

SOURCES:

Stewart Title; Carson City Directories; 1870 Ormsby County Census; Political History (107, 158); Thompson & West (547).

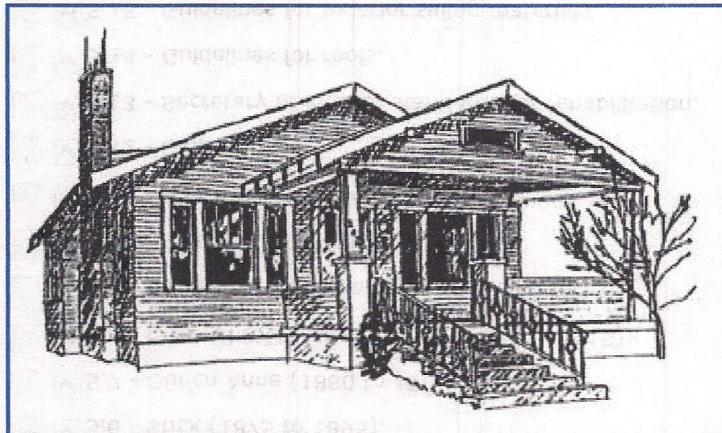
¹Town lots in nineteenth century towns, and Carson City was no exception, were generally small, about twenty-five feet wide. Several of the homes in this neighborhood, unlike those closer to the downtown section of the city, were set on spacious parcels encompassing one half of the block.

5.9 - Bungalow/Craftsman (circa 1905 to 1930).

Moving toward a modern lifestyle, the architects that popularized the Craftsman and Bungalow styles were among the first to emphasize comfort and convenience, concepts of human scale and sensible plans. Their designs helped shape a growing phenomenon of the time: the affordable small house for the middle class. The designs (in wood or brick) provided an easy to build, affordable house for the growing middle-class, who were moving to the suburban fringe of cities. The homes were also the first to include a detached garage.

The Craftsman style represented an independent western movement in American architecture. Its guiding force was the English Arts and Crafts movement, which rejected the mass reproduction and mediocre design associated with the Industrial Revolution in favor of the beauty and "honesty" of traditional handcraftsmanship and natural materials. The Craftsman ideas were widely disseminated in the pages of the Craftsman magazine, published from 1901 to 1916 by the furniture maker and designer Gustave Stickley. The style was adapted for countless small houses and bungalows but found its most sophisticated expression in the work of Pasadena architects Greene and Greene. Craftsman details often included inglenooks, built-in wood cabinets, wood beam ceilings and large fireplaces.

The Bungalow is often affiliated with the Craftsman but also may be influenced by Japanese, chalet and period styles. The Bungalow is typically a snug 1.5 story home with wide overhanging roof, deep porch and simple interior with built-in cupboards. The interior floor plan differs little from prior architectural styles with floor plans divided into small distinct rooms. 1 exception was the inclusion of a plumbed bathroom. Other conveniences such as central heating, electricity and gas ranges were becoming standard during this period.



The Craftsman Bungalow was the dominant residential building style in the United States between 1905 and 1920. The house at 202 North Curry Street, illustrated above, is a typical example. Note the exposed rafter ends, the purlins decorating the gable end, the 3 part windows with four-lights-over-one-light and the typical front porch with typical elephantine posts on piers. Also, 502 West Spear Street is an excellent example of a brick Bungalow and is similar to the brick Bungalows prevalent in southwest Reno. Few examples of the style survive in Carson City.

5.9.1 Characteristic Elements of the Style.

PLAN VIEW:	EXTERIOR SIDING:	WINDOWS:	ORNAMENTATION:
rectangular, square L-shaped masonry	wood shiplap, shingles	grouped in pairs or ribbons multi-pane over single, double-hung or fixed sash, decorative pane glass	stick work, dormers, extended rafter ends, eave braces and brackets, window boxes, balconies, bay windows, stone or large masonry exterior chimney, Oriental or flared roof line, exposed beams

HEIGHT:	ROOF:	ENTRANCE:	SPECIAL FEATURES
one or one and one-half story	low pitch, wide overhang eaves, hipped, front	raised entry porches, porch columns or piers baustrades	detached garage often in the same style as the house

ZONING ORDINANCE

18.06.075 – Demolition of historic place or cultural resource in historic district.

Paragraph 1 of this section states “Any application for demolition of a cultural resource in a historic district shall be approved when the HRC finds that one (1) or more of the following conditions exist:

- a. The cultural resource is a hazard to public health or safety....
- b. The cultural resource does not meet national register significance criteria.

While the existing residence on the subject property is not quite a public safety hazard, it is in a run-down condition. The existing Carriage House and Shed are a public safety hazard, as both structures are very near collapse. Further, the existing residence does not meet national register significance criteria and is of no particular Architectural significance.

DESIGN GUIDELINES

Division 5

5.27 – Guidelines for new construction.

The design of new construction needs to be compatible and respectful of the historic building stock that surrounds it so that visual conflict and confusion are avoided. The following elements shall be individually assessed for their degree of appropriateness for each project:

5.27.1 Scale and Massing:

Although the proposed two-story apartments are taller than the existing single-story residence on the subject property, the scale and massing of the apartments will be consistent with other adjacent two-story structures in the area.

5.27.2 Shape:

The proposed apartments are designed in a Bungalow/Craftsman style with appropriate detailing, roof pitch, etc. for that style. Therefore, the overall shape of the proposed buildings will be consistent and harmonious with the neighborhood.

5.27.3 Setback:

All building setbacks conform with the development standards and are approximately of same as adjacent structures.

5.27.5 Materials:

All exterior materials proposed are consistent with the Bungalow/Craftsman style.

5.27.6 Windows and Doors:

Windows and doors proposed are consistent with the Bungalow/Craftsman style.

5.27.7 Details and Other Elements:

Trims and eave detailing, etc. proposed are consistent with the Bungalow/Craftsman style.

5.27.8 Floor Elevations:

Main floor elevation proposed is consistent with adjacent structures. Further, it is difficult to provide an elevated main floor level and meet current Accessibility requirements for ground floor apartment units which are required to be accessible.

Treadway Manor Apartments

VRBOCK



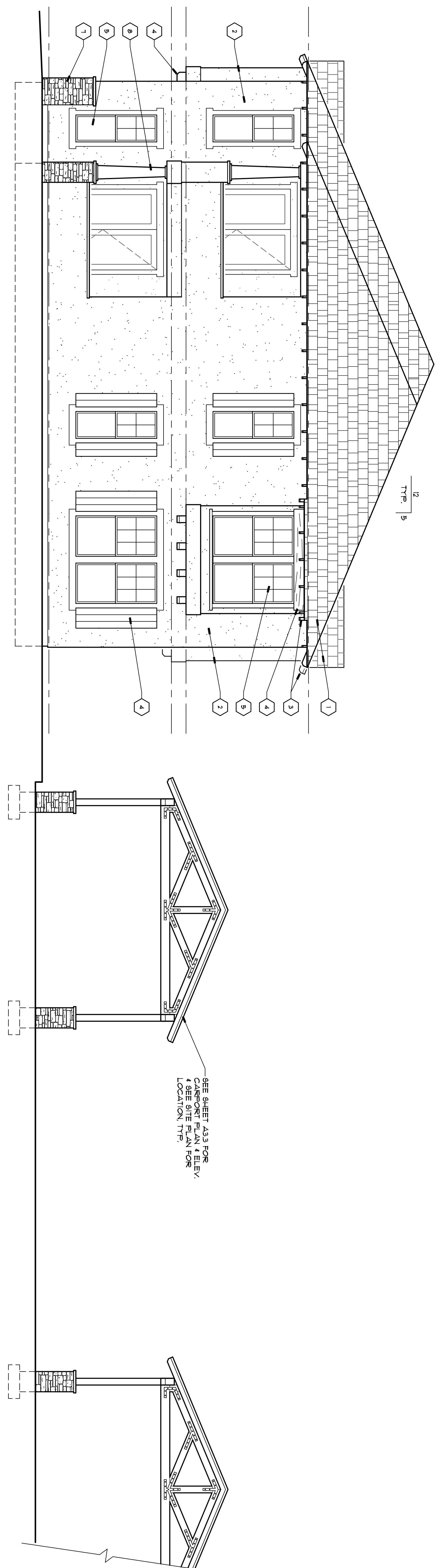
Treadway Manor Apartments

VIRBICK



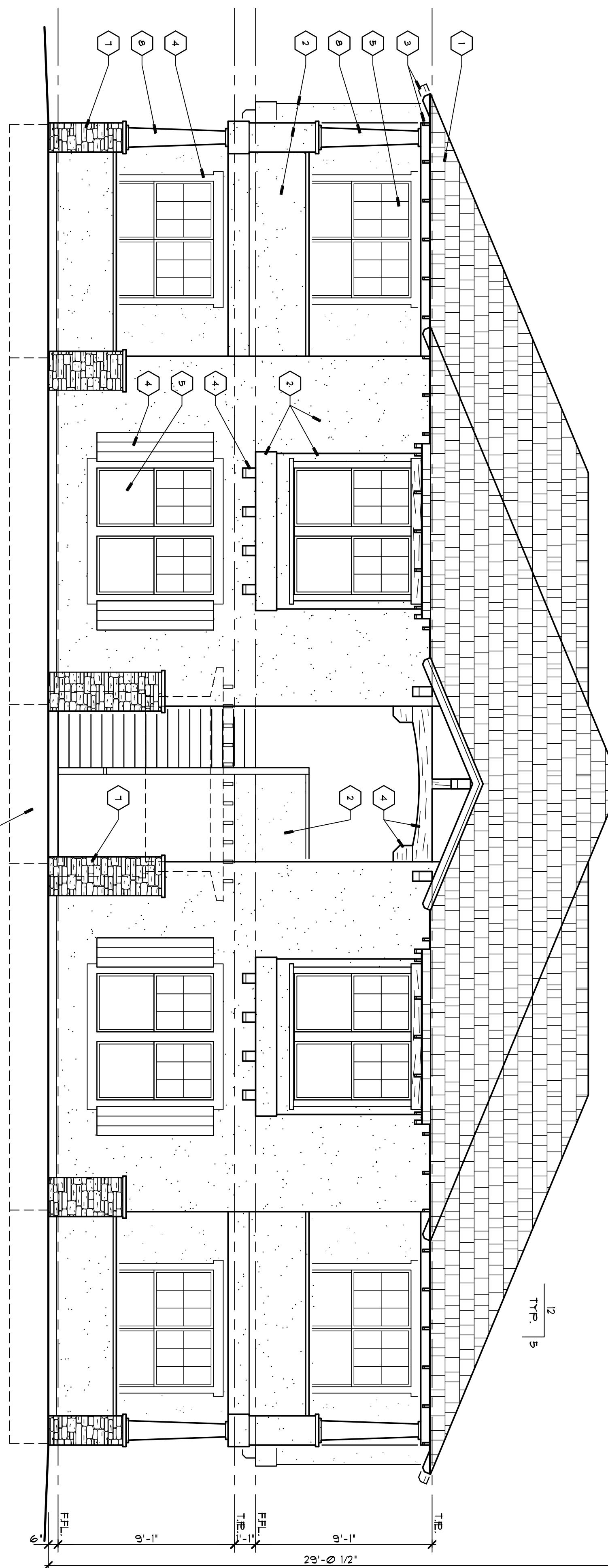
W. ANN ST. ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"



STUCCO APPLICATION NOTES:

1. APPLY 2-LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER OVER 1/2" PLATEAU (1/8" GAP @ ALL EDGES)
2. APPLY 1" X 20 GA. WIRE MESH.
3. APPLY DIAPOND WALL PREMIX STUCCO & ALLOW MIN. 10 DAYS TO CURE.
4. APPLY PAREX EXTERIOR STUCCO FOR MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER.
5. BEVEL ALL HORIZONTAL SURFACES THAT RECEIVE STUCCO FINISH.
6. PROVIDE CONTROL JOINTS AS REQ'D BY MANUF. SPECS.
4. WEEP SCREEDS AS REQ'D BY IIRC SECTION R-102.

ELEVATION NOTES & EXTERIOR COLORS:	
1	ASPHALT ROOF SHINGLES: GUARANTEED PRESIDENTIAL SHAKE COLOR: SHADOW GRAY
2	STUCCO BODY: 'PAREX' ACRYLIC - SWIRL FINE FINISH COLOR: WASHED SAND #10432
3	WOOD RAFTER TAILS & EAVES: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
4	WOOD TRIM, SHUTTERS & CORBELS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
5	DIVIDED LIGHT WINDOWS (CLAW-LEG) AND PEGSON: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: WHITE
6	PANES OVER 1 - PERMANENT GRILLES
7	ELDORADO CYPRESS VENEER: COLOR: ORCHARD
8	ENTRY DOOR: CRAFTSMAN STYLE #6203 STUCCO STONE VENEER: COLOR: NATURAL WOOD TONE
9	TAFFERED COLUMNS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: WHITE
10	VENTS, FLASHING & FLUES: COLOR: PAINT TO MATCH ROOF
11	CARPORT COVERED: FREE-FAB PRE-FINISHED METAL COLOR: CHOCOLATE BROWN

new apartment complex
Mr. Herman Bauer
812 N. Division Street
Carson City, Nevada

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Drawing date
EXTERIOR ELEVATIONS

SPL ARCHITECT

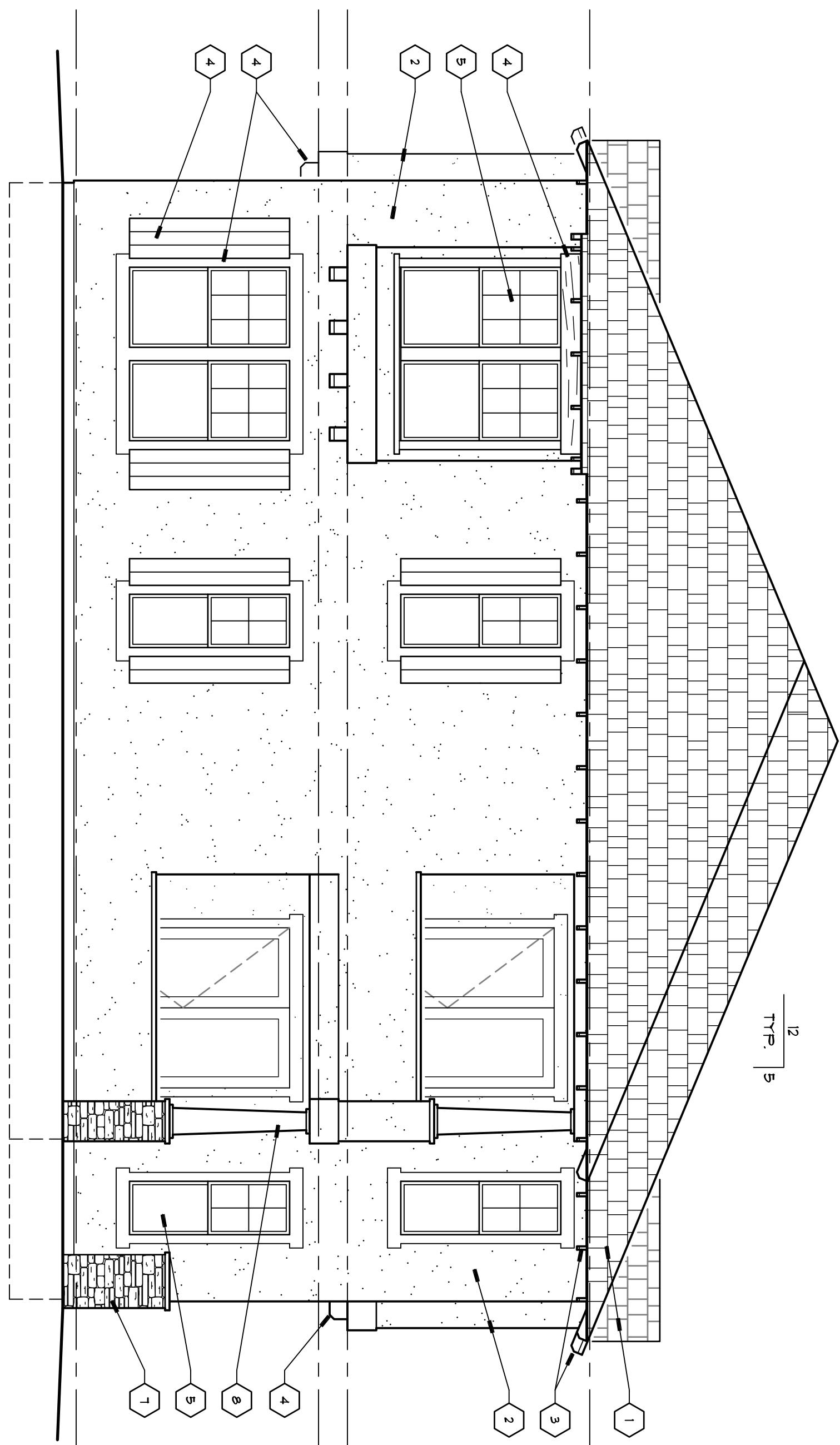
5955 Grass Valley Road
Reno, Nevada 89509
775.788.1984 CBL
775.451.0706 FAX
www.alzazano.com

Job No. 1002

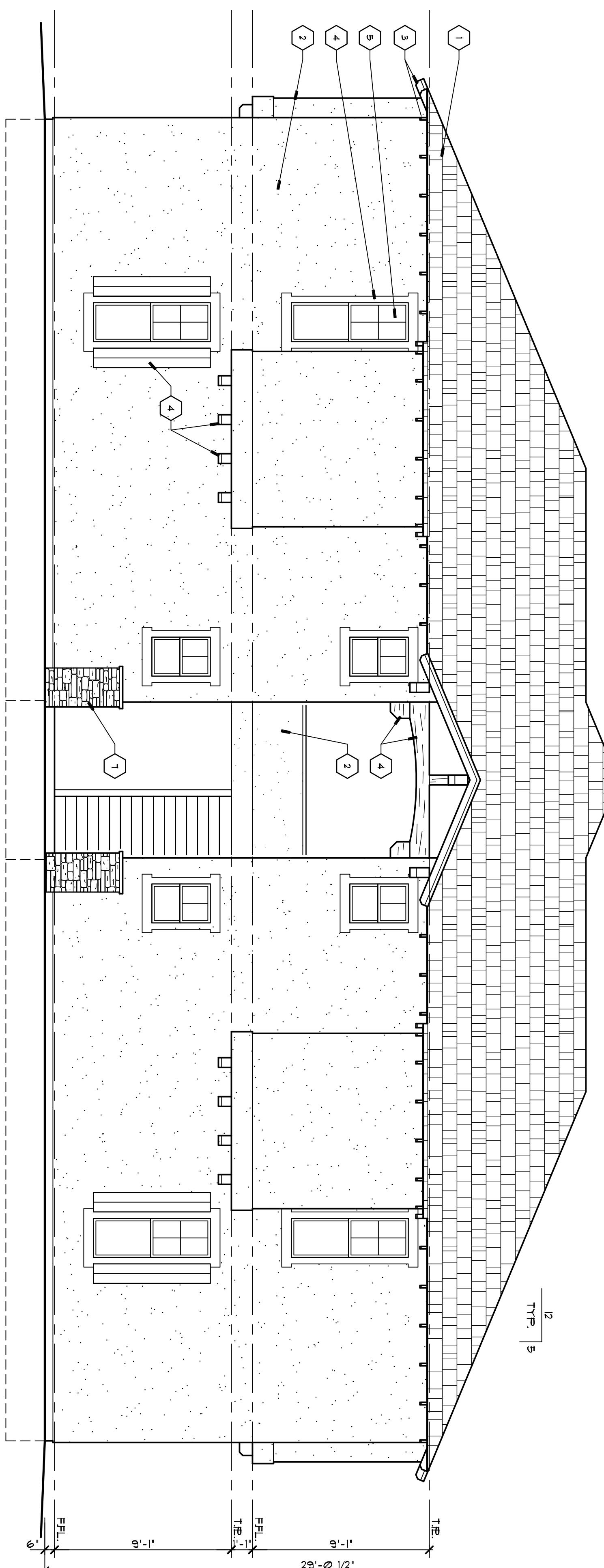
A3.1

Side elevation (south)

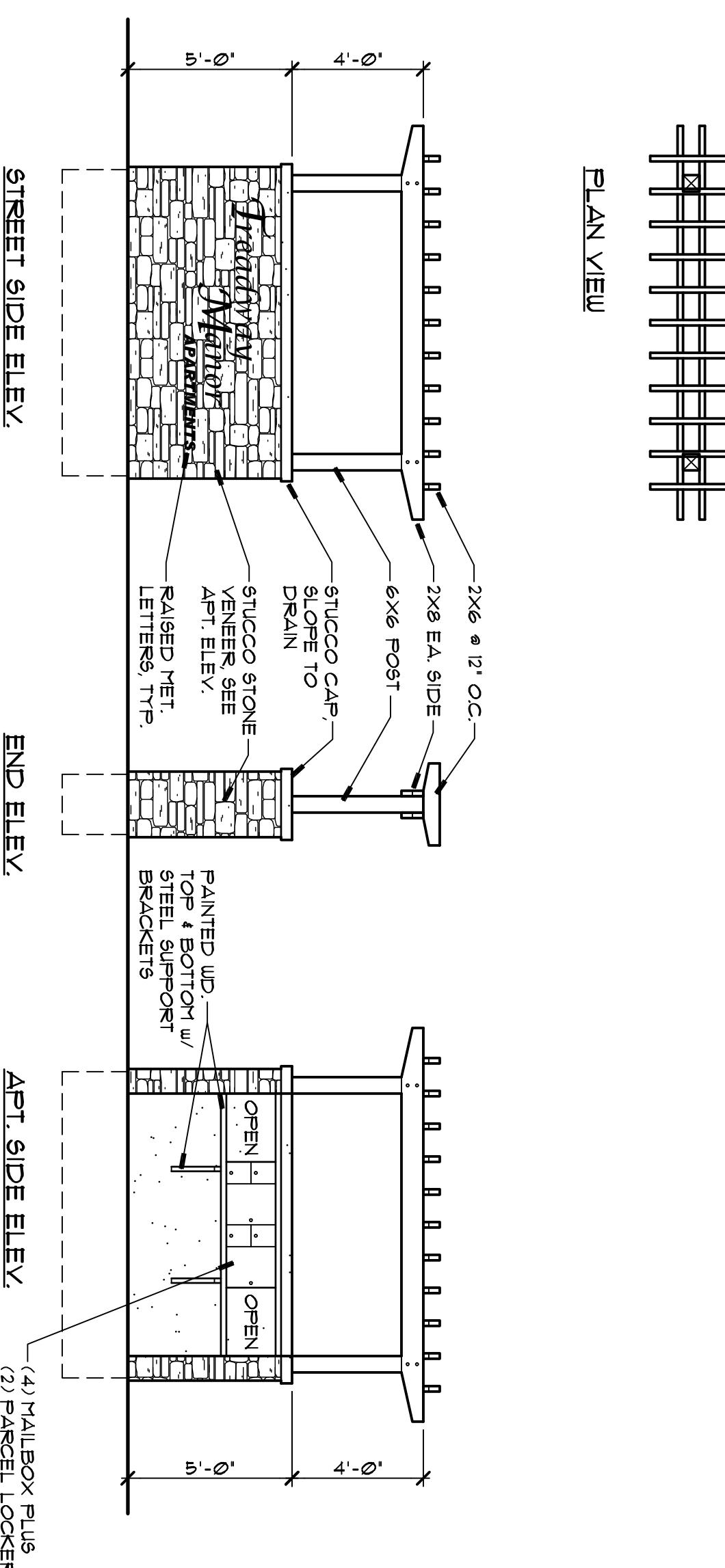
SCALE 1/4" = 1'-0"

**rear elevation (parking)**

SCALE 1/4" = 1'-0"

**sign wall elevation**

SCALE 1/4" = 1'-0"

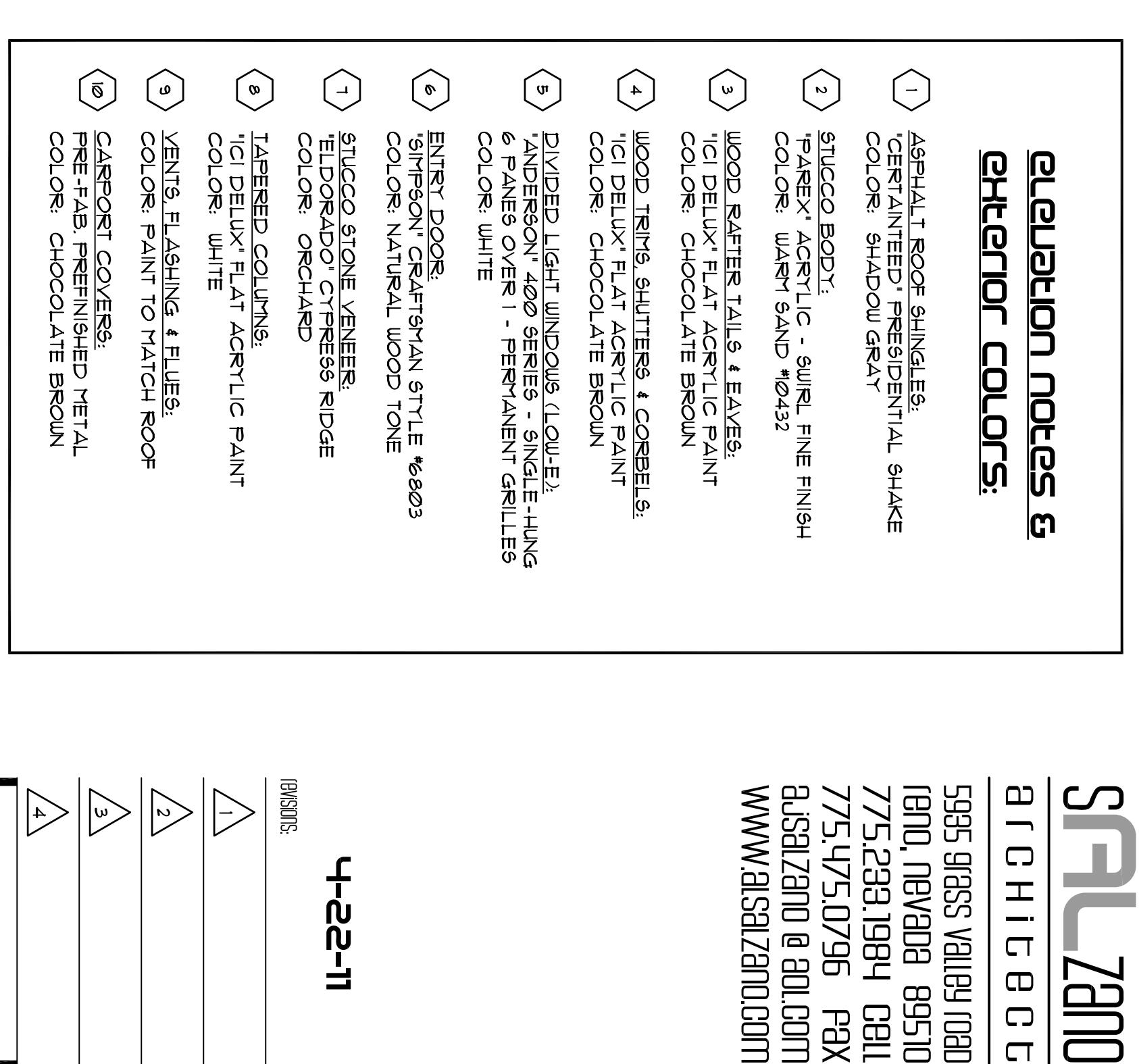
**Stucco application notes:**

1. APPLY 2-LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER OVER 1/2" PLATE, (1/8" GAP @ ALL EDGES)
2. APPLY 1" X 20 GA. WIRE MESH.
3. APPLY DIAPOND WALL PREMIX STUCCO & ALLOW MIN. 10 DAYS TO CURE.
4. APPLY PAREX EXTERIOR STUCCO PER MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER.
5. BEVEL ALL HORIZONTAL SURFACES THAT RECEIVE STUCCO FINISH.
6. PROVIDE CONTROL JOINTS AS REQ'D BY MANUF. SPECS.
4. WEEP SCREEDS AS REQ'D BY IFC. SECTION R-028

Architect
SALZANO
595 Grass Valley Rd
Reno, Nevada 8950
775.789.1984 cell
775.451.7956 fax
dalszano@salzano.com
www.dalszano.com

Elevation notes & exterior colors:

1. ASPHALT ROOF SHINGLES: GUARANTEED PRESIDENTIAL SHAKE COLOR: SHADOW GRAY
2. STUCCO BODY: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: WASH SAND #10422
3. WOOD RAFTER TAILS & EAVES: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
4. WOOD TRIM, SHUTTERS & CORBELS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
5. DIVIDED LIGHT WINDOWS (CLAW-LEG): 'ANDERSON' 400 SERIES - SINGLE HUNG 6 PANES OVER 1 - PERMANENT GRILLES COLOR: WHITE
6. ENTRY DOOR: SIEGEN CRAFTSMAN STYLE #6203 COLOR: NATURAL WOOD TONE
7. STUCCO, STONE VENEERS: 'ELDORADO' CYPRESS RIDGE COLOR: ORCHARD
8. TAFFERED COLUMNS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: WHITE
9. VENTS, FLASHING & FLUES: VENTS: FLASHING TO MATCH ROOF COLOR: PAINT TO MATCH ROOF
10. GUTTER COVERS: FREE-FLOW PRE-FINISHED METAL COLOR: CHOCOLATE BROWN



new apartment complex
Mr. Herman Bauer
812 N. Division Street
Carson City, Nevada

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FOR: [REDACTED]
Drawing date: [REDACTED]
Exterior elevations

Job No. 1002

A3.2

**Elevation notes &
exterior colors:**

- 1) ASPHALT ROOF SHINGLES: CERTIFIED PRESIDENTIAL SHAKE COLOR: SHADOW GRAY
- 2) STUCCO BODY: 'PAREX' ACRYLIC - SWIRL FINISH COLOR: WASHED SAND #10422
- 3) WOOD RAFTER TAILS & EAVES: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
- 4) WOOD TRIM, SHUTTERS & CORBELS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
- 5) DIVIDED LIGHT WINDOWS (CLOUDE): 'ANDERSON' 400 SERIES - SINGLE HUNG 6 PANES OVER 1 - PERMANENT GRILLES COLOR: WHITE
- 6) ENTRY DOOR: SIEGEN CRAFTSMAN STYLE #6203 COLOR: NATURAL WOOD TONE
- 7) EL DORADO CYPRESS RAILING COLOR: ORCHARD
- 8) STUCCO STONE VENEER: 'EL DORADO' CYCLES RAILING COLOR: CHOCOLATE BROWN
- 9) TAFFERED COLUMNS: 'ICI' DELUX FLAT ACRYLIC PAINT COLOR: WHITE
- 10) VENTS, FLASHING & FLUES: COLOR: PAINT TO MATCH ROOF
- 11) CARPORT COVERS: FREE-FAB PRE-FINISHED METAL COLOR: CHOCOLATE BROWN

5995 Grass Valley Road
Reno, Nevada 89509
775.299.1984 cell
dalsazano @ aol.com
www.dalsazano.com

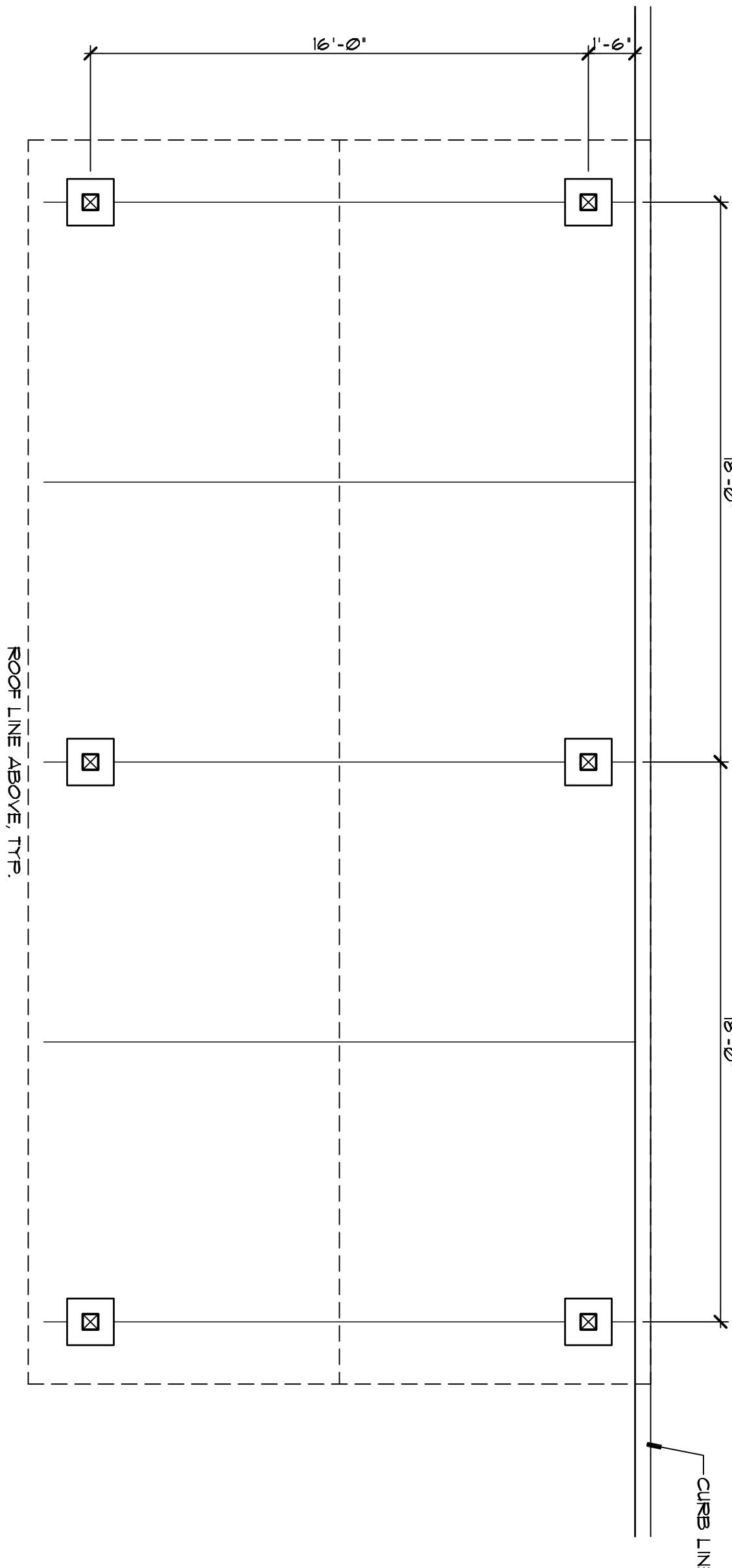
4-22-11	PHOTOS:
1	_____
2	_____
3	_____
4	_____

Stucco application notes:

1. APPLY 2-LAYERS 40# BLACK ASPHALT IMPREGNATED PAPER OVER 1/2" PLATE. (1/8" GAP @ ALL EDGES)
2. APPLY 1" X 20 GA. WIRE MESH.
3. APPLY DIAMOND WALL PREMIX STUCCO & ALLOW MIN. 10 DAYS TO CURE.
4. APPLY 'PAREX' EXTERIOR STUCCO PER MANUF. SPECS. COLOR & TEXTURE SHALL BE SELECTED BY OWNER.
5. BEVEL ALL HORZ. SURFACES THAT RECEIVE STUCCO FINISH.
6. PROVIDE CONTROL JOINTS AS REQ'D BY MANUF. SPECS.
4. WEEP SCREEDS AS REQ'D BY I.C. SECTION R-902.

carport plan

SCALE 1/4" = 1'-0"


new apartment complex

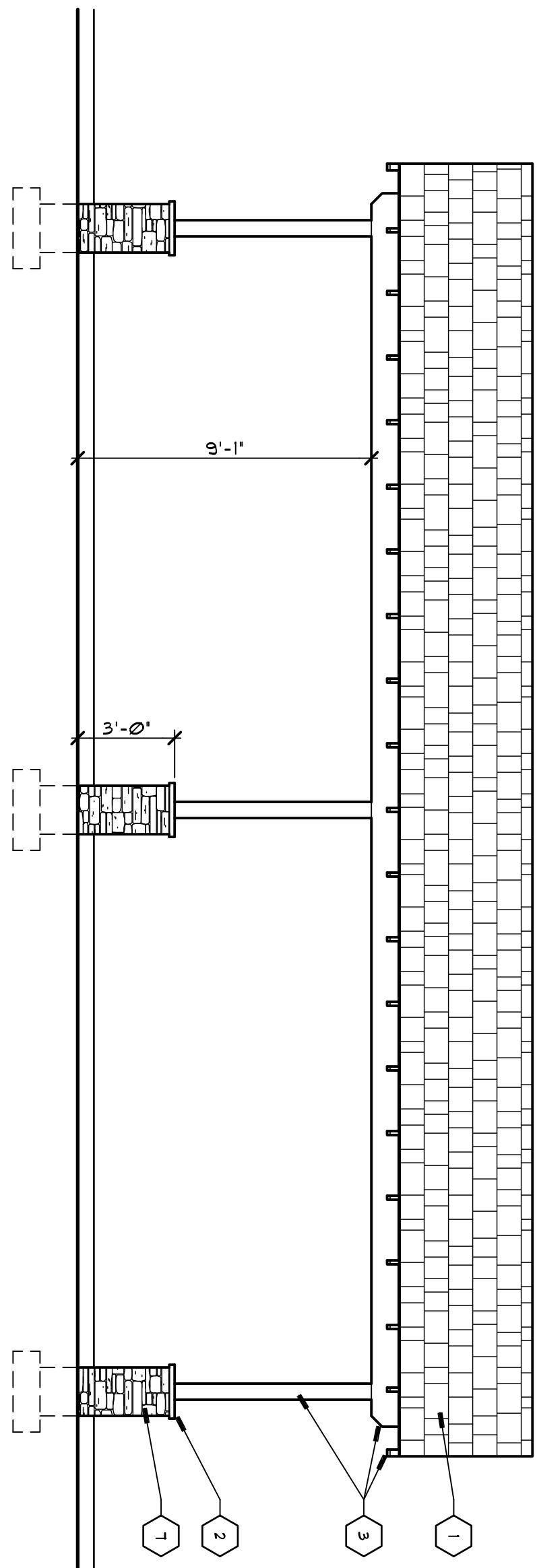
 Mr. Herman Bauer
 812 N. Division Street
 Carson City, Nevada

FOR: _____

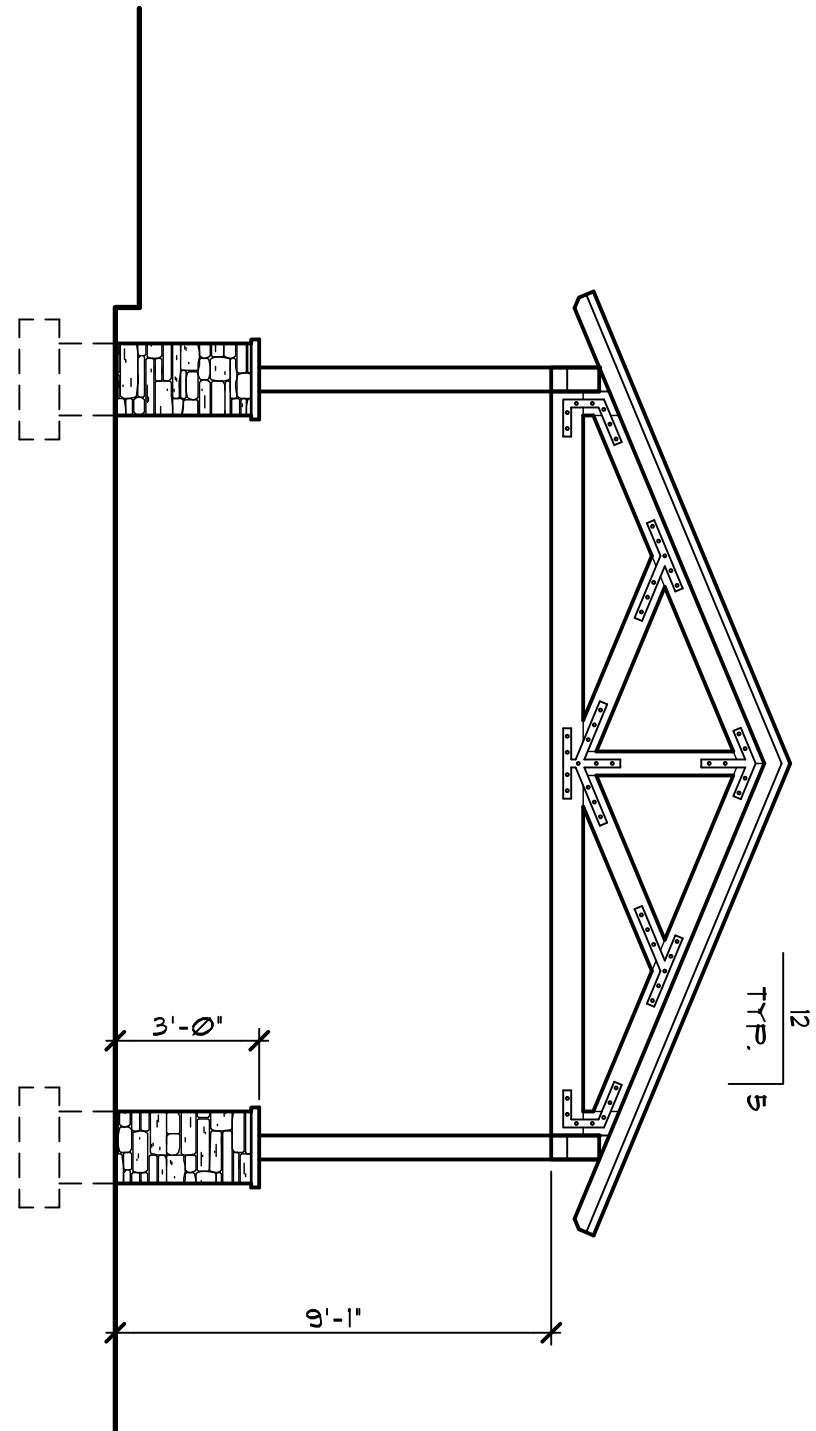
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east/west elevation

SCALE 1/4" = 1'-0"


north/south elevation

SCALE 1/4" = 1'-0"

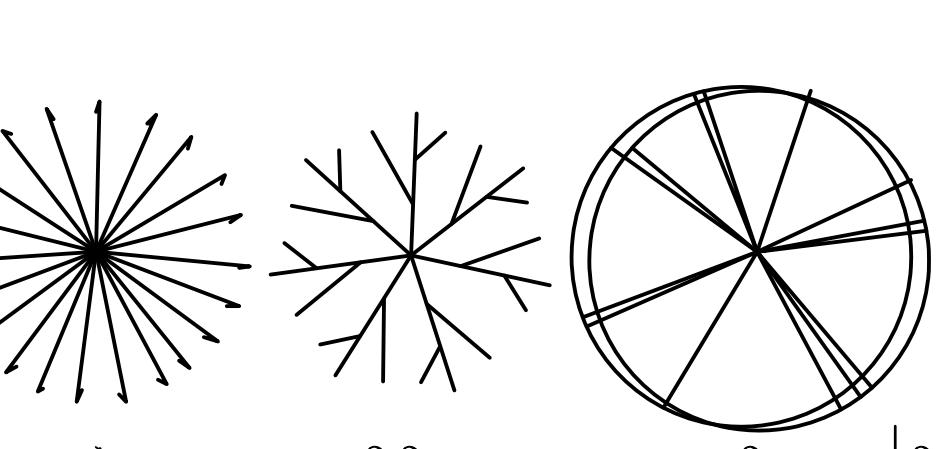
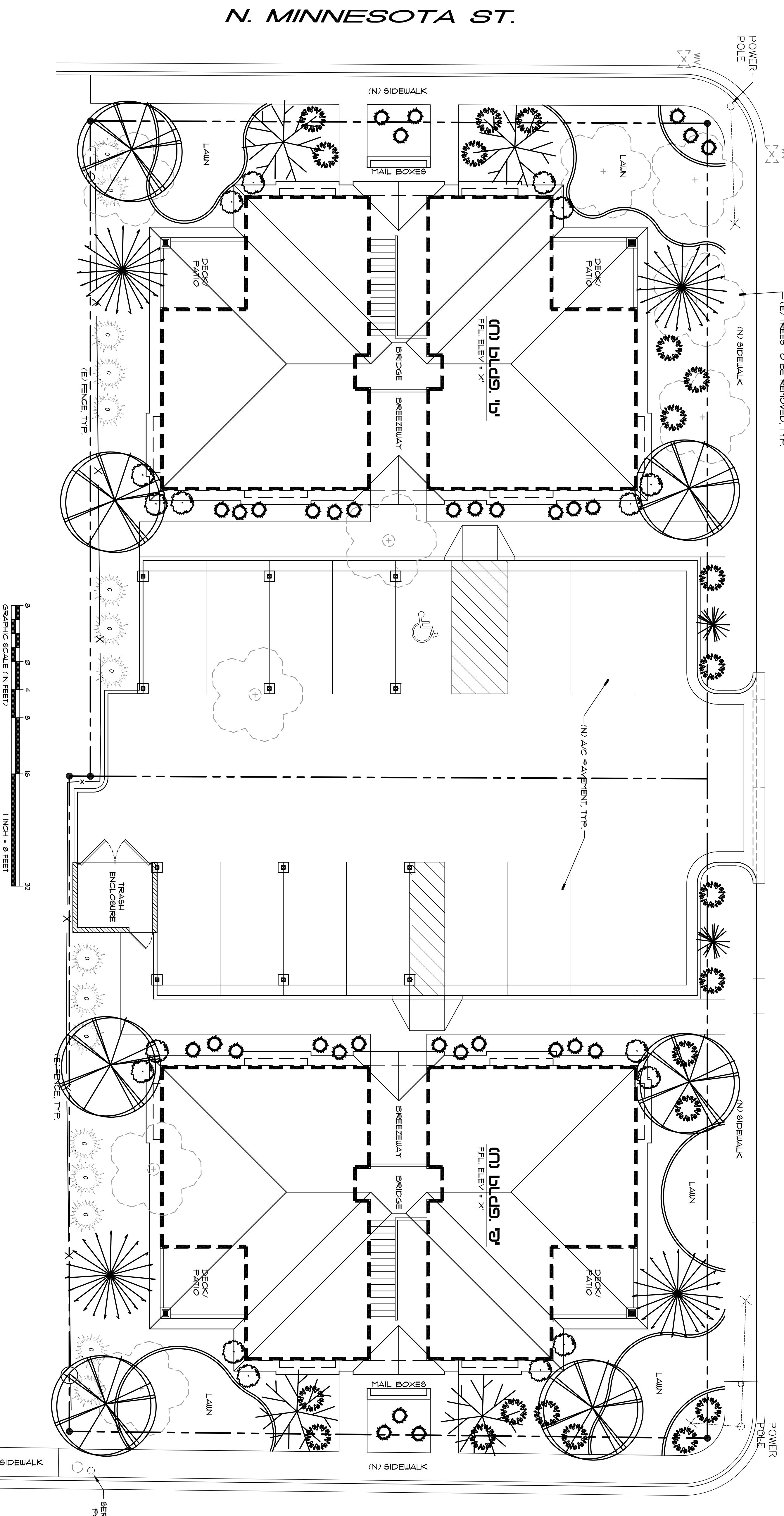


N. MINNESOTA ST.

W. ANN ST.

N. DIVISION ST.

4-22-11

tree legend:

Preliminary Landscape Plan

scale 1/8" = 1'-0"
APR. 19-06

north

shrub legend:

COMMON NAME BOTANICAL NAME IRR. KNOTE SIZE SPACING QNTY.

GALLERY PEAR PYRUS CALLERYANNA ① 2' CAL. SEE PLAN 1

CANADIAN RED CHokeCHERRY PRUNUS VIRGINIANA, CANADIAN RED ② 2' CAL. SEE PLAN 4

AUSTRIAN PINE PINUS NIGRA ③ 6'-1 FT. SEE PLAN 4

COMMON NAME BOTANICAL NAME IRR. KNOTE SIZE SPACING QNTY.

SWISS MT. PINE PINUS MUGO ④ 15 GAL. 2'

OLD GOLD JUNIPER JUNIPERUS CHINENSIS 'OLD GOLD' ⑤ 5 GAL. 4' O.C. 22

OREGON GRAPE MAHONIA AQUIFOLIUM ⑥ 5 GAL. 4' O.C. 17

BLUE BEARD COPTOPTERIS spp. ⑦ 5 GAL. 3' O.C. 33

SEA GREEN JUNIPER JUNIPERUS CHINENSIS 'SEA GREEN' ⑧ 5 GAL. 6' O.C. 16

SITE AREA CALCULATIONS

TOTAL SITE AREA: 16,130 SF.
TOTAL PREVIOUS AREA (EXCLUDING BLDG. FOOTPRINT): 12,517 SF.
MIN. 20% LANDSCAPE AREA REQUIRED: 1,451 SF.
ON-SITE LANDSCAPE AREA PROVIDED: 1,426 SF.
TOTAL LANDSCAPE AREA PROVIDED: 1,426 SF.

TOTAL LANDSCAPE AREA PROVIDED: 5,387 SF.

TREES - CARSON CITY DEVELOPMENT STANDARDS 2.1
(1) TREE PER 400 SF. OF LANDSCAPE AREA (5,387 SF. / (14) TREE)
(INC. (1) TREE PER 30 LF. OF STREET FRONTAGE (334 LF. / (11) TREE))
TOTAL TREES REQUIRED = (14) TOTAL SHRUBS REQUIRED = (84)
LAWN: FESCUE BLEND SOD
MAX LAWN AREA 50% OF LANDSCAPE AREA = 2,693 SF.
LAWN AREA SHOWN = 1,062 SF.ALL PREVIOUS LANDSCAPE PLANTER AREAS WILL BE COVERED WITH
USED BARRELED DECORATIVE LANDSCAPE ROCK, WASHED
CLEAN PRIOR TO INSTALLATION.**new apartment complex**Mr. Herman Bauer
812 N. Division Street
Carson City, NevadaDRAWING
PRELIMINARY
LANDSCAPE PLANJULY
1002