

STAFF REPORT FOR PLANNING COMMISSION MEETING MAY 25, 2011

FILE NO: SUP-11-027 AND VAR-11-031

AGENDA ITEMS: H-4 A and B

STAFF AUTHOR: Jennifer Pruitt, Principal Planner

REQUESTS:

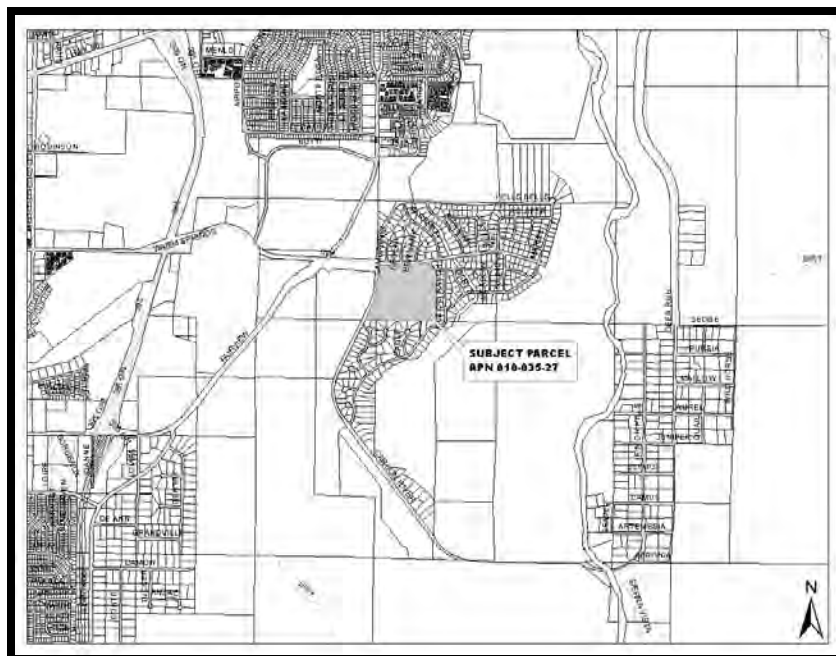
- 1) A **Special Use Permit** for modifications to the existing Eagle Valley Middle School campus including a new gymnasium with associated locker rooms, new administrative offices, site improvements which include a new "Main Street" which leads into the main building and other site improvements within the Public (P) zoning district; and
- 2) A **Variance** to reduce the number of required parking spaces on site from 218 to 115, which includes the construction of additional parking spaces with the proposed site modifications where 95 on-site parking spaces are currently provided.

APPLICANT / OWNER: Carson City School District

LOCATION: 4151 E. 5th Street

APN: 010-035-27

RECOMMENDED MOTION: "I move to approve SUP-11-027 and VAR-11-031, a Special Use Permit for modifications to the existing Eagle Valley Middle School and a Variance to reduce the number of required parking spaces as requested by the applicant, subject to the conditions and based on the findings contained in the staff report, and to direct staff to return SUP-11-027 back to the Planning Commission next month to address the permanent storage container portion of the request."



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision / conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. The applicant shall meet all the conditions of approval and commence the use (obtain and maintain a valid building permit) for which this permit is granted within twelve months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning and Community Development Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.
3. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
4. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson.org/building
5. Provide a **Geotechnical Report** for the proposed construction. The Geotechnical Report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('06 IBC 1802.2 & 1802.2.7 #2)

Conditions required to be incorporated into the proposed development plan.

6. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
7. All improvements shall conform to City standards and requirements.
8. Proper trash enclosure(s) shall be provided pursuant to the Carson City Development Standards 1.2.6.
9. Lighting fixture details and "cut-sheets" shall be submitted with a Building Permit application in compliance with Development Standards Division 1.3 Lighting. Any lighting fixtures shall be so installed as to project light downward and away from adjoining properties and glare to the sky.
10. All roof-top equipment on new portions of the building shall be screened pursuant to Carson City Development Standards Division 1.1.7.

11. The applicant shall submit a landscape plan for any areas of new landscaping in compliance with Carson City Development Standards Division 3 (Landscaping).
12. Reflective, untreated roofs shall be prohibited unless painted flat, non-glossy paint to compliment or match the primary color of the primary exterior building material(s).
13. Exterior building colors should blend with existing and surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color. Bold colors shall be avoided except when used as accent or trim.
14. Building plans must be submitted in accordance with Nevada Administrative Code (NAC) 444.56818 and any other applicable codes.
15. The submitted plans must meet all applicable standards set forth in NAC 444.56816 to 444.56862 inclusively.
16. Fire Department access must be maintained to the building. One option is to install 2 ½ inch hose stations in the corridors on the west side of the school.
17. Currently a fire hydrant and post indicator valve exist in the round-about at the school entrance. Both of these items and the fire department connection must be moved to a location approved by the Carson City Fire Department
18. All roads must be a minimum of 20 foot width, 13'-16" vertical clearance for fire department access.

The following shall be submitted or included as part of a building permit application:

19. The applicant shall submit a copy of the Notice of Decision / conditions of approval, signed by the applicant and owner.
20. Dust control measures must be employed during the construction period and also incorporated into the manufacturer recommended maintenance program.
21. Hours of construction will be limited to 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. Saturday and Sunday, unless modified by the Planning Director for special construction needs.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits) and 18.04.170 (Public)

MASTER PLAN DESIGNATION: Public /Quasi Public

ZONING DISTRICT: Public (P)

KEY ISSUES: Will the proposed school addition and site improvements cause material damage to surrounding properties? Is this an appropriate location for the proposed use?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH: Single Family 21,000-P- Residential
SOUTH: Single Family 21,000-P- Residential
EAST: Single Family 21,000-P- Residential
WEST: Public Regional-Open Space

SITE HISTORY

- On May 9, 2011 the School District conducted a Neighborhood meeting related to the proposed project. Approximately 20 members of the public attended the neighborhood meeting.
- On April 05, 2011 MPR-11-024 was review by City Staff for the proposed Eagle Valley School Expansion project.
- On December 05, 2010 the Planning Commission approved SUP-10-090 for the placement of a Photovoltaic array, the approval was appealed to the BOS. On January 06, 2011, the Board of Supervisors approved the location of the Photovoltaic array.
- On August 04, 2009- City staff conducted a Major Project Reviewed (MPR-09-067) a plan to allow site improvements include, an upgrade of bus parking and circulation, teacher parking area, school district maintenance building, green house and nursery, park and track improvements, new bus barn w/ solar photovoltaic on roof, multiple wind turbines on site within the Public (P) zoning district. (The project was not pursued further by the School District.)
- On June 27, 2005- the Planning Commission reviewed and approved Special Use Permit (SUP-05-084) for the modifications to the existing Eagle Valley Middle School including a new storage building and other site improvements within the Public (P) zoning district.
- On June 28, 2000 - the Planning Commission reviewed and approved Special Use Permit (U-99/00-44) to allow a freestanding reader board sign (four feet by 8 feet) overall height of 12 feet on the Eagle Valley Middle School campus within the Public (P) zoning district.
- On July 31, 1996- the Regional Planning Commission reviewed and approved Special Use Permit (U-92/93-27) for the modifications to the existing Eagle Valley Middle School including three modular classrooms and other site improvements within the Public (P) zoning district.

ENVIRONMENTAL INFORMATION

- FLOOD ZONE: Zone X
- SLOPE/DRAINAGE: The site is improved.
- SOILS: 71- Urban Land

SITE DEVELOPMENT INFORMATION

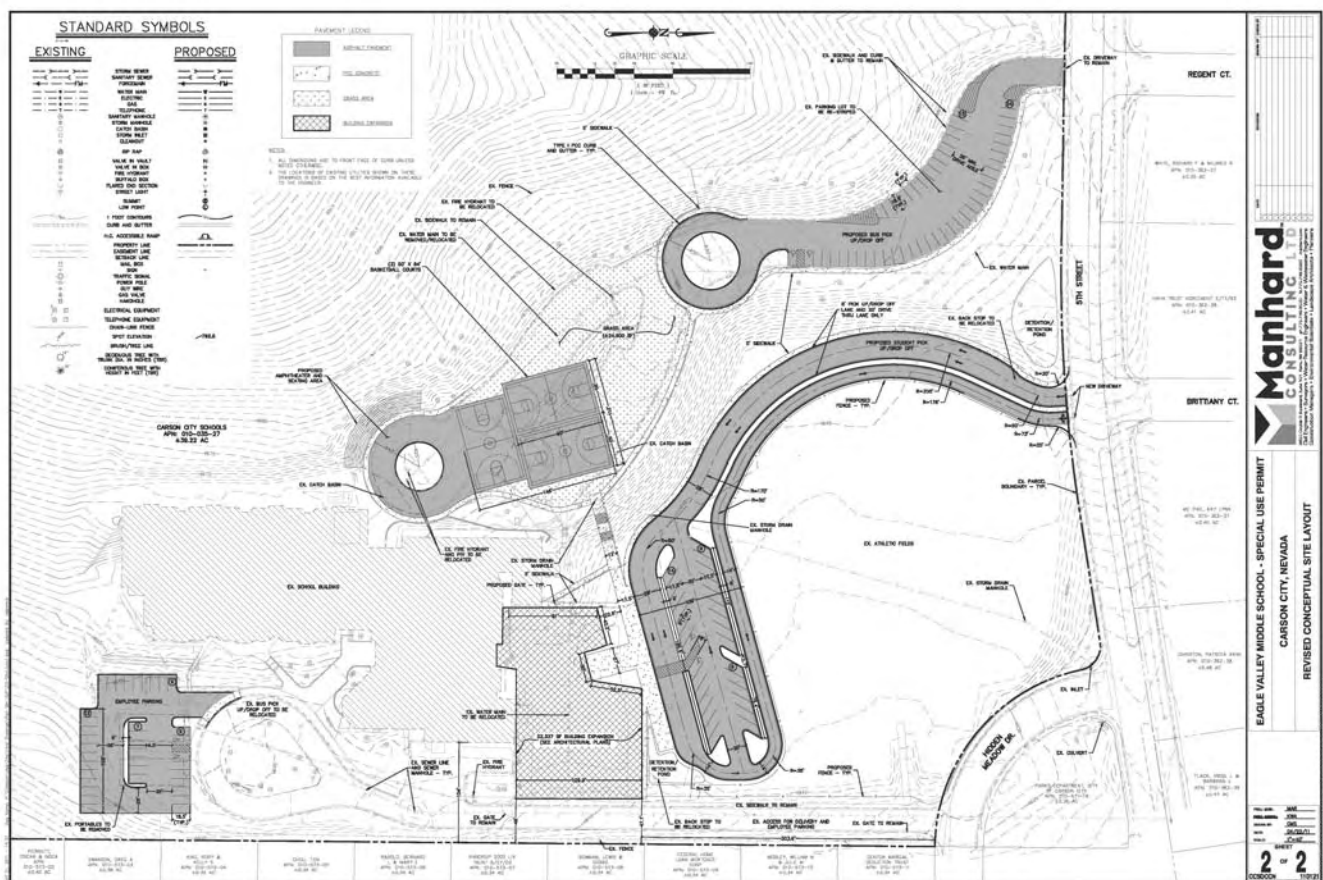
- | | |
|------------------------|---|
| 1.PARCEL AREA: | 39.22 Acres |
| 2.EXISTING BUILDING: | Approximately 65,950 square feet |
| 3.PROPOSED EXPANSION: | 22,337 square feet |
| 4.PROJECT HEIGHT: | Approximately 30 feet in overall height |
| 5.EXISTING LAND USE: | Middle School Educational Facility |
| 6.REQUIRED SETBACKS: | Set according to the approval of a Special Use Permit |
| 7.PROVIDED SETBACKS: | Northern: 538 feet
Western: 1054 feet existing
Southern 277 feet existing
Eastern: 103 feet existing |
| 8.PARKING EXISTING: | 95 parking spaces on site |
| PROPOSED PARKING | 115 parking spaces* |
| REQUIRED PARKING | 218 parking spaces |
| 9.VARIANCES REQUESTED: | *VAR-11-031 |

DISCUSSION:

A Special Use Permit and a Variance are required for the following reasons:

- According to CCMC Section 18.04.170, Public zoning district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the Special Use Permit for all development.
- According to CCMC 18.16 (Development Standards), Division 2 (Parking and Loading), a middle school is required to have 1.5 on-site parking spaces for each employee or faculty member plus one parking space for every 20 square feet of seating area in auditorium or assembly areas. The Eagle Valley Middle School would be required to provide 218 spaces based upon this requirement, but only 95 spaces are currently provided and 115 spaces are proposed as part of the site modifications.

Per the applicant, in 2009-2010 the Carson City School District Board of Trustees directed the Superintendent to commission a review of the District's Facilities Master Plan. This effort resulted in the District placing a bond question before the voters at the general election in 2010. Among the projects outlined were improvements to Eagle Valley Middle School. These improvements included rehabilitation and renovation of the facilities infrastructure, upgrading its core space to accommodate the changed curriculum and reduce maintenance and operational costs of the building. Equally important was a commitment to resolve the traffic and pedestrian issues of the school and surrounding neighborhoods.



Parking Variance

The School District has submitted a Variance as part of the new construction to address the existing condition of on-site parking that does not meet current Carson Standards for the number of spaces provided. In considering the Variance, a few facts should be noted:

- The original school construction pre-dates City codes requiring parking.
- Prior expansions of the school, including placement of the portable classrooms, has **not** required approval of a parking variance.
- A 17% **increase** in available on-site parking will result from the new construction, increasing the number of on-site spaces from 95 to 115.
- Per Carson City Development Standards Division 2, an elementary school is required to provide 1.5 parking spaces per employee plus one space per 20 square feet of seating area in an auditorium or assembly area. Based upon the school having 81 employees ($81 \times 1.5 = 122$ spaces) and $1920/20 = 96$ spaces, new gym totaling 218 parking spaces would be required for Eagle Valley Middle School ($122 + 96 = 218$).
- CCMC 18.04.170 (Public zoning district) states that all development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the Special Use Permit.

This is similar and consistent with the past approval of the modifications to Bordewich-Bray Elementary School, Empire Elementary School and Carson Middle School, which are older school sites that also did not satisfy current parking requirements as a result of the recent expansions.

Staff believes that the factors above warrant approval of the parking Variance and Special Use Permit, as further substantiated in the required findings below. The site could not physically accommodate the full number of required parking spaces without compromising open space on site. The School District has demonstrated that current parking conditions, which will be improved, do not warrant the construction of so many parking spaces.

In March 2011, the School District obtained temporary (up to 90 days) approval by the Planning Director for the placement of two metal storage containers on the Eagle Valley Middle School campus pursuant to CCMC Development Standards 1.10(9a). At that time the Director advised the School District to include a request for permanent placement of the metal storage containers with the subject Special Use Permit. Unfortunately, the request was not included in this application prior to publishing the notice of public hearing. Staff has included additional language with the recommended motion for the Planning Commission to direct staff to properly notice and bring the metal storage container portion of the subject Special Use Permit back to the Planning Commission in June 2011 for review.

PUBLIC COMMENTS: Public notices were mailed on May 06, 2011 notices were sent to 74 adjacent property owners within 300 feet of the subject site pursuant to the provisions of NRS and CCMC. Any comments that are received after this report is complete will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division.

OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS: The following comments were received from various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Fire Department comments:

1. Fire Department access must be maintained to the building. One option is to install 2 ½ inch hose stations in the corridors on the west side of the school.
2. Currently a fire hydrant and post indicator valve exist in the round-about at the school entrance. Both of these items and the fire department connection must be moved to a location approved by this department.
3. All roads must be a minimum of 20 foot width, 13'-16" vertical clearance for fire department access.

Engineering Division comments:

- The Engineering Division has no preference or objection to the special use request. Drainage issues and proper handicapped access issues must be addressed.

Health Department comments:

Carson City Health and Human Services has the following comments regarding this project in regards to the building expansion:

1. Building plans must be submitted in accordance with Nevada Administrative Code (NAC) 444.56818 and any other applicable codes.
2. The submitted plans must meet all applicable standards set forth in NAC 444.56816 to 444.56862 inclusively.

Building Division comments:

NOTE: These comments do not constitute a complete plan review, but are merely observations based on the information provided.

GENERAL PLAN SUBMITTAL COMMENTS:

1. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.

2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson.org/building
3. Provide a **Geotechnical Report** for the proposed construction. The Geotechnical Report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('06 IBC 1802.2 & 1802.2.7 #2)

Parks and Recreation comments:

- No comments

FINDINGS: Staff recommends approval of the Special Use Permit based the findings below, pursuant to CCMC 18.02.080 (Special Use Permits), subject to the recommended conditions of approval, and further substantiated by the applicant's written justification.

As herein described, the proposed project is consistent with the following applicable goals and policies (in italics) of the Master Plan in accordance with the seven findings (in bold) required for approval of a Special Use Permit:

The proposed development will be consistent with the master plan elements.

Question 1: How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

The proposed Eagle Valley Middle School expansion and site improvements are keeping with, and not contrary to the Master Plan Elements as related to the following applicable goals:

Chapter 3: A Balanced Land Use Pattern

Establishing a balance of land uses within the community promotes vitality and long-term economic stability. A balanced community is able to provide employment opportunities for its residents as well as a diverse choice of housing, recreational opportunities, and retail services. Carson City strives to maintain its strong employment base and extensive network of public lands while increasing housing options and the availability of retail services to serve residents of the City and surrounding growth areas.

Goal 5.1d: Foster Cooperation on Master Plan Issues, Coordination of Services. The City shall coordinate with internal service departments as well as other governmental organizations, such as the school district, that provide services to residents, to ensure that existing and new neighborhoods have adequate services and schools. The proposed project is keeping with the goal to cooperate on master plan issues and coordinate services by furthering the desires of the community to fund school projects. A school bond question was passed by the Carson City voters in the 2010 general election that included improvements for Eagle Valley Middle School for rehabilitation and renovation. The proposed project is consistent with the master plan by meeting the City's

goal to work with the Carson City School district and the voters of Carson City to provide adequate school services.

Chapter 7: Livable Neighborhoods and Activity Center

A connected city allows residents to travel within the community, and to other centers within the region, in a variety of ways using a safe, efficient, multi-modal transportation system. Carson City will promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities, and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks. Additionally, the City will seek opportunities to expand existing transit services as feasible to increase travel choices for the community and to support a more compact pattern of growth.

Goal 11.2c: Maintain and Enhance Roadway Connections and Networks consistent with the Transportation Master Plan. The Eagle Valley Middle School expansion and site improvements will enhance the school's connection to the adjacent roadway (5th Street) by providing an additional vehicle entrance and exit between the existing east and west entrances. The addition of this vehicle entrance and exit will allow for the separation of student drop off/pick-up (including visitor parking), from bus-drop off/pick-up and staff parking, resulting in reduced conflict between the various vehicles entering and exiting Eagle Valley Middle School.

- 2. The proposed development will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

The effect of the proposed development will not be detrimental to the immediate vicinity or the general neighborhood and will, in fact, enhance the several aspects of the area. Transportation movements in the surrounding area will be enhanced by providing an additional vehicle entrance and exit specifically designed for student drop-off/pick-up. The relocation of the bus drop off/pick-up from the east side of the school to the west side will provide enhancement to the general neighborhood as it will reduce noise conflict between the school and the adjacent residents to the east.

The proposed expansion of the building including relocation of administrative offices will be an enhancement to security for the school and the safety of students by providing a secure main entrance to check visitors in and out while allowing other existing entrances additional control. The proposed site improvements to the school including additional sidewalk area on the east side of the west vehicle entrance will enhance pedestrian connectivity from 5th Street to the school entrance.

An increase in student and staff population is not anticipated with the proposed expansion, therefore, impact to the surrounding neighborhood is expected to be minimal.

The proposed construction will improve conditions related to the use, peaceful enjoyment and economic value of surrounding properties and will improve conditions related to other impacts such as noise by enclosing the campus, relocating classrooms away from existing homes, improving parking, improving traffic circulation and generally improving the appearance of the facilities.

3. The proposed development will have little or no detrimental effect on vehicular or pedestrian traffic.

Sufficient consideration has been exercised in adapting the expansion of Eagle Valley Middle School to existing improvements in the vicinity. Because the proposed project includes the expansion of an existing facility, rather than a new facility, considerations to adapt to existing improvements are necessary for the project to be considered feasible. The site improvements are adapted to the existing site to enhance the circulation patterns of the existing school traffic and reduce existing traffic conflicts between vehicles entering and exiting the school. Water and sewer for the project is not expected to change and has been adapted for existing usage. Additional impervious areas are anticipated as a part of the project and additional detention/retention areas have been conceptually planned for to maintain drainage flows from the project site. Additional parking has been provided as a part of the expansion, although an increase in student and teacher population is not anticipated.

The Applicant met with Carson City staff in a Major Project Review meeting on April 5, 2011 and has made revisions to the expansion and site improvement plans based on those comments. In addition, the Applicant held a Neighborhood Outreach meeting to obtain comments and address concerns from the surrounding area on May 09, 2011.

Per the Engineering Division the proposal will have an effect on traffic and pedestrian access. A traffic study showing the feasibility of the changes must be submitted and approved as part of this project.

4. The proposed development will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The proposed construction will more adequately accommodate the existing Eagle Valley Middle School population and will have no additional impact on other city services. The new construction will improve fire safety within the building in meeting current codes.

The applicant submitted a Conceptual Drainage Letter dated April 13, 2011 by Kenneth W. Anderson P.E. for review by the Engineering Division as part of this SUP review.

5. The proposed development meets the definition and specific standards set forth in Title 18 for such particular use and meets the purpose statement of that district.

The proposed development meets the purpose of the Public zoning district, which is to accommodate the wide range of public institutional uses to meet the needs of the citizens of Carson City and to establish site plan approval through the Special Use Permit process to ensure compatibility with adjacent neighborhoods.

6. The proposed development will not be detrimental to the public health, safety, convenience and welfare.

The proposal will have positive impacts to the public health, safety, convenience and welfare by improving vehicular and traffic circulation patterns on and adjacent to the site and providing a better educational environment and public facilities for the citizens of Carson City.

7. The proposed development will not result in material damage or prejudice to other property in the vicinity.

The proposed construction will improve conditions related to the negative impacts to surrounding properties such as noise and traffic by enclosing the campus, relocating classrooms away from existing homes, improving parking, improving traffic circulation and generally improving the appearance of the facilities.

VARIANCE FINDINGS: Staff's recommendation of approval of the Variance is based upon the findings as required by CCMC Section 18.02.085 (Variances) enumerated below and further substantiated in the applicant's written justification.

1. That because of special circumstances applicable to the subject property, including shape, size, topography or location of surroundings, the strict application of the zoning ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity or under identical zone classification.

Rationale: The school has operated on the subject property for many years and was established prior to current parking requirements. The site is not adequate to accommodate the required number of parking spaces per the Carson City Municipal Code (218 spaces), and the School District has demonstrated that the school can function with the existing parking (115 spaces) without significantly impacting adjacent roadways and neighborhoods. The strict application of the code would deprive the School District of the ability to improve the school facilities to modern standards in a similar manner as has been done to other school facilities within the Public zoning district elsewhere in the community.

2. That the granting of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant.

Rationale: The strict application of the code would deprive the School District of the ability to improve the school facilities to modern standards in a similar manner as has been done to other school facilities elsewhere in the community. Granting the Variance allows the School district to continue the use of the property as a school as it has been used for many years.

3. That the granting of the application will not, under the circumstances of the particular case, adversely affect to a material degree the health or safety of persons residing or working in the neighborhood of the subject property and will not be materially detrimental to the public welfare or materially injurious to property or improvements in the neighborhood of the subject property.

Rationale: The proposed construction will improve conditions related to the use, peaceful enjoyment and economic value of surrounding properties and will improve conditions related to other impacts such as noise by enclosing the campus, relocating classrooms away from existing homes, improving parking, improving traffic circulation and generally improving the appearance of the facilities.

Respectfully submitted,

PUBLIC WORKS, PLANNING DIVISION

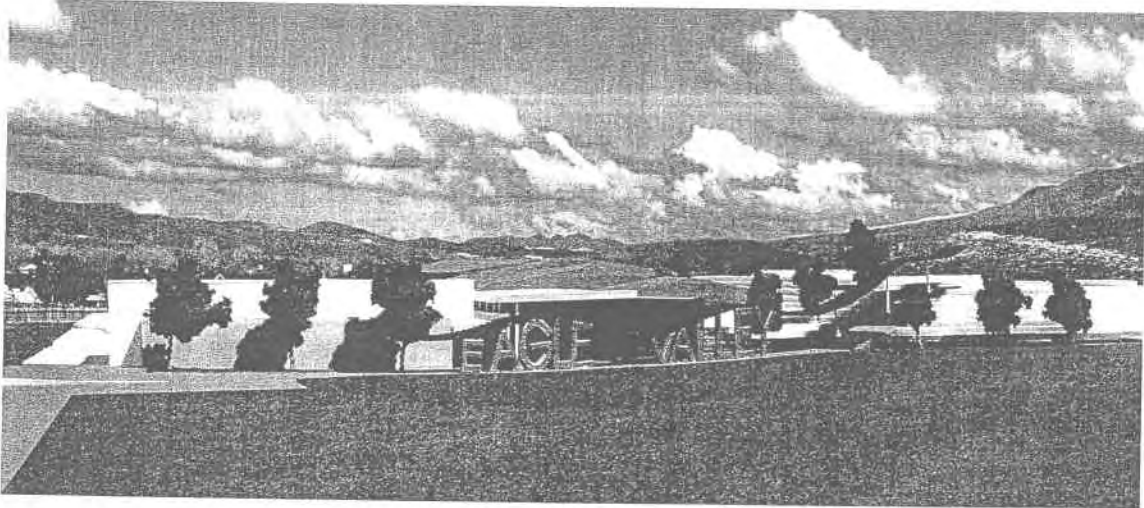
Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

Attachments:

- Application (SUP-11-027)
- Application (VAR-11-031)
- Building Division comments
- Engineering Division comments
- Health Department
- Fire Department
- Parks and Recreation comments
- Neighborhood Meeting flyer
- Public comment

**Please join us for a
Neighborhood Meeting
to discuss
Proposed Expansion and Site Improvements Plans
for Eagle Valley Middle School**



**Monday, May 9, 2011
at 6:00pm**

**Eagle Valley Middle School
Library
4151 E. Fifth Street
Carson City, NV**

Proposed expansion plans include a 22,337 square-foot expansion of the existing building to accommodate a new gymnasium, relocate administrative offices and provide a new, secure entrance to the school. Site improvements include the addition of a third vehicle entrance and exit from 5th Street exclusively for student drop-off/pick-up and visitor parking, relocation of basketball courts, additional sidewalk and more.

Questions? Please call Mike Mitchell at (775) 815-5317

MEMORANDUM

TO: Community Development

FROM: Duane Lemons, Fire Inspector

DATE: May 9, 2011

SUBJECT: AGENDA ITEMS FOR MAY 25, 2011 PLANNING COMMISSION MEETING.

We reviewed the agenda items for the Planning Commission Meeting and have the following comments:

- AB-11-026 State of Nevada We have no concern with the applicant's request.
- SUP-11-027 Carson City Schools
 - Fire Department access must be maintained to the building. One option is to install 2 ½" hose stations in the corridors on the west side of the school.
 - Currently a fire hydrant and post indicator valve exist in the round-about at the school entrance. Both of these items and the fire department connection must be moved to a location approved by this department.
 - All roads must be a minimum of 20' width, 13'-16" vertical clearance for fire department access.
- SUP-11-028 Gary Hitt, Kelly Clark The applicant must meet all codes and ordinances as they relate to this request.
- SUP-11-029 & ZMA-11-030 Carson City (Parks & Rec) The applicant must meet all codes and ordinances as they relate to this request.

DL/llb

From: Kathe Green
To: Brod, Janice; Pruitt, Jennifer
Date: 5/10/2011 8:09 AM
Subject: Fwd: Planning Commission Comments for May 25, 2011

>>> Dustin Boothe 5/9/2011 6:17 pm >>>
Kathe:

Please see comments below

AB-11-026

Carson City Health and Human Services has no comments regarding the project as described in the packet received.

Sup-11-027

Carson City Health and Human Services has the following comments regarding this project in regards to the building expansion:

1. Building plans must be submitted in accordance with Nevada Administrative Code (NAC) 444.56818 and any other applicable codes.
2. The submitted plans must meet all applicable standards set forth in NAC 444.56816 to 444.56862 inclusively.

SUP-11-028

Carson City Health and Human Services has no comments regarding the project as described in the packet received.

SUP-11-029

Carson City Health and Human Services has no comments regarding the project as described in the packet received.

Sup-11-030

Carson City Health and Human Services has no comments regarding the project as described in the packet received.

Dustin Boothe, REHS
Carson City Health and Human Services
900 E. Long St.
Carson City, NV 89706
(775) 887-2190 ext. 7220

Please Note I have a new E-Mail address.
dboothe@carson.org

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the sender immediately by reply email and delete this email from your system.

Carson City Development Engineering
Planning Commission Report
File Number VAR-11-031

TO: Planning Commission

FROM: Rory Hogen, E.I.

DATE: April 26, 2011

MEETING DATE: May 25, 2011

SUBJECT TITLE:

Action to consider a Variance application from Mike Mitchell on behalf of owner Carson City School District to reduce the number of existing on site parking spaces at Eagle Valley Middle School at 4151 E. Fifth St., apn 10-035-27.

RECOMMENDATION:

Development Engineering has no preference or objection to the variance request, and no recommended conditions of approval.

DISCUSSION:

Development Engineering has reviewed the request within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.085, Variances:

CCMC 18.02.085 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.085 (5c) - Adverse Affects to the Public

The Engineering Division finds that the granting of the application will not, under the circumstances of the particular case, adversely affect to a material degree the health or safety of persons residing or working in the neighborhood of the subject property and will not be materially detrimental to public welfare or materially injurious to property or improvements in the neighborhood of the subject if the conditions of approval are met.

**Engineering Division
Planning Commission Report
File Number SUP 11-027**

TO: Planning Commission

FROM Rory Hogen, E.I.

DATE: April 26, 2011

MEETING DATE: May 25, 2011

SUBJECT TITLE:

Action to consider an application for a Special Use Permit from Mike Mitchell for Carson City School District to construct additions to the Eagle Valley Middle School and make changes in the parking and access areas at 4151 E. Fifth St., apn 10-035-27.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request. Drainage issues and proper handicapped access issues must be addressed.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

CCMC 18.02.080 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The proposal will have an effect on traffic and pedestrian access. A traffic study showing the feasibility of the changes must be submitted and approved as part of this project.

CCMC 18.02.080 (5d) - Public Services

Existing facilities appear to be adequate for this project.

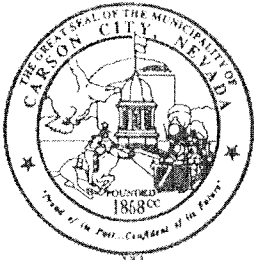
File # (Ex: MPR #07-111)	<i>SUP-11-027</i>
Brief Description	<i>Eagle Valley Middle School</i>
Project Address or APN	<i>101-035-27</i>
Bldg Div Plans Examiner	<i>Kevin Gattis</i>
Review Date	<i>May 25, 2011</i>
Total Spent on Review	

BUILDING DIVISION COMMENTS:

NOTE: *These comments do not constitute a complete plan review, but are merely observations based on the information provided.*

GENERAL PLAN SUBMITTAL COMMENTS:

1. This project requires an application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
2. The plans submitted for review shall comply with the prescriptive requirements found in the Carson City Building Division handout titled: *Commercial Submittal Requirements*. This handout may also be found online at: www.carson.org/building
3. Provide a **Geotechnical Report** for the proposed construction. The Geotechnical Report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('06 IBC 1802.2 & 1802.2.7 #2)



CARSON CITY, NEVADA

CONSOLIDATED MUNICIPALITY AND STATE CAPITAL

MEMORANDUM

To: Lee Plemel, Planning Director
Jennifer Pruitt, Senior Planner

From: Roger Moellendorf, Parks and Recreation Director *[Signature]*
Scott Fahrenbruch, Director of Operations
Juan F. Guzman, Open Space Manager *[Signature]*
Vern L. Krahn, Park Planner *[Signature]*

Subject: Parks and Recreation Department's comments for the Wednesday,
May 25, 2011, Planning Commission meeting

Date: May 11, 2011

AB-11-026	No Comments
SUP-11-027	No Comments
VAR-11-031	No Comments
SUP-11-028	No Comments
SUP-11-029	<p>Over the past few months, our department has been working the AT&T representatives to locate a cellular communication facility on the top of Lone Mountain. Besides the public benefit of providing better coverage, this project will enhance the public access to the park property from the corner of Winnie Lane and Roop Street and a portion of the crest trail. Staff believes that the applicant has done a good job in addressing the project's potential visual, grading, and construction impacts. Our department requests that the Planning Commission impose the following conditions on the special use permit:</p> <p>1) The applicant is required to work with Parks and Recreation Department staff to construct an all weather access road on Cemetery property that connects the Cemetery's internal road system to the project site. Care must be exercised to minimize any impact to the adopted Cemetery Master Site Plan (Refer to Exhibit A).</p> <p>2) Construct a secondary path down to the corner of Roop Street and Winnie Lane to connect to the pedestrian facilities at the intersection.</p>
ZMA-11-030	The Parks and Recreation Department supports this Zoning Map Amendment even if the Planning Commission does not approve SUP-11-029. Currently, Lone Mountain Park has PC zoning on the west side of the property and SF6 on the property's east side. Our department believes the entire park must have a zoning designation that reflects the City's ownership and is in compliance with the Master Plan Land Use Map.

Exhibit A

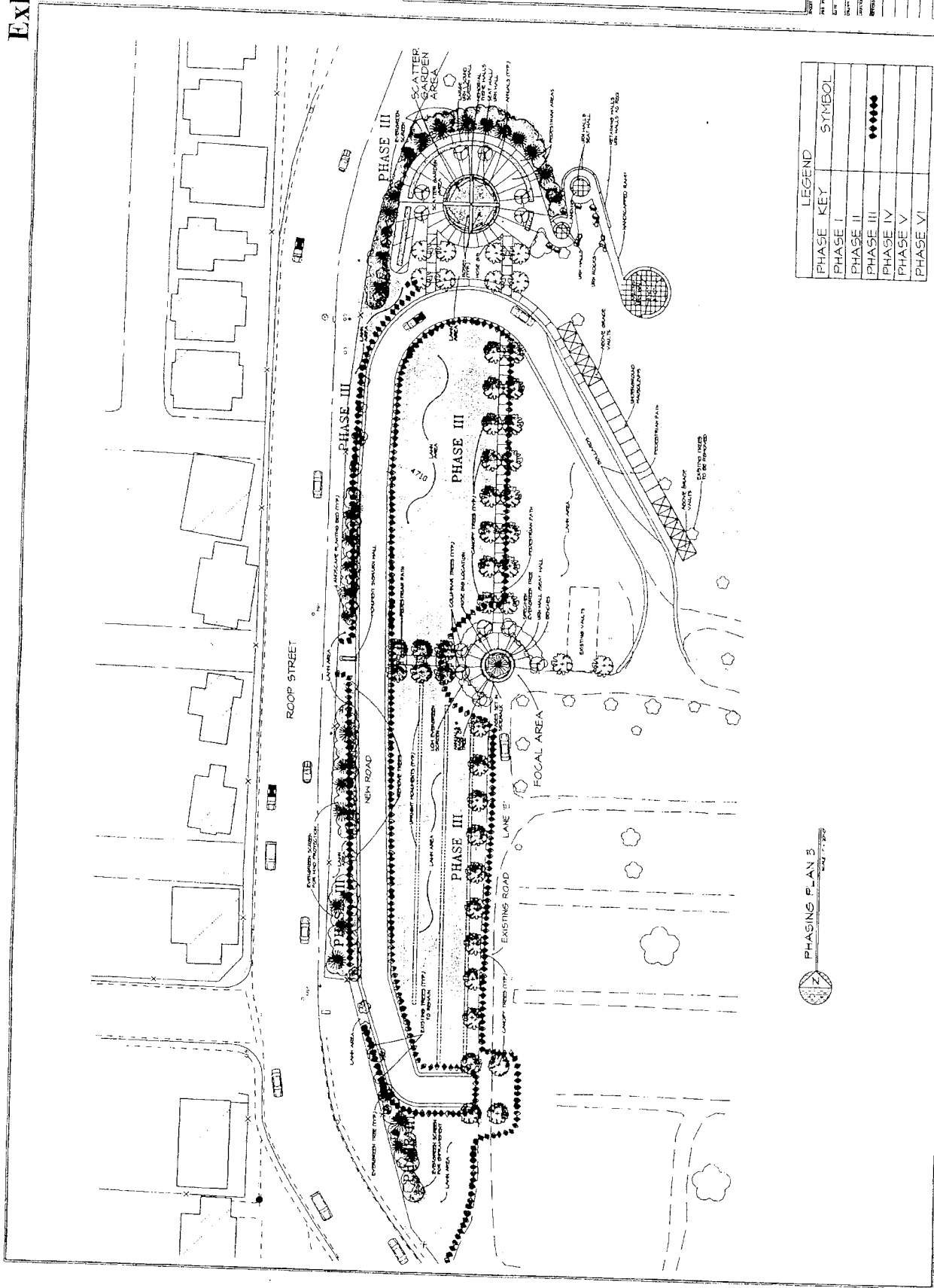
CA THE XES
ARCHITECTURE • LANDSCAPE ARCHITECTURE • INTERIOR ARCHITECTURE

300 N. GARDEN STREET • SUITE 100 • CARSON CITY, NEVADA 89201 • PHONE: (702) 885-1111 • FAX: (702) 885-1112

LONE MOUNTAIN CEMETERY
MASTER SITE PLAN
CARSON CITY, NEVADA

DATE: 10/1/01
BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
DESIGNED BY: J. H. HARRIS

1E-2



VAR-11-031
Sup-11-027

RECEIVED

MAY 18 2011

CARSON CITY
PLANNING DIVISION

May 17, 2011

Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

Dear Planning Commission:

Subject: Variance-11-031 Meeting Scheduled for May 25, 2011

I am writing to the Carson City Planning Commission regarding the school district's proposed construction of a new gymnasium, administrative offices, etc. and the reduction of current parking spaces at Eagle Valley Middle School.

According to the Neighborhood Meeting I attended on May 9th at Eagle Valley Middle School, it was mentioned that parking spaces would be reduced and that the gymnasium would be expanded to house all of the students for school assemblies, school events, etc. It was also mentioned that because the current gymnasium was not large enough, the eighth grade graduation ceremonies are being held at the high school.

Because parking spaces will be reduced by the proposed construction of the gymnasium, administrative offices, etc. and school events will be increased, there seems to have not been any planning to include additional parking at the middle school so that parents and patrons could attend the school events, such as, open house, eighth grade graduation ceremonies, possible future athletic functions, etc. Currently, the additional parking required for any school events ends up on our streets and for some of us who live in courts (cul-de-sacs), we do not have a pass through for traffic. According to the Public Hearing notice, the parking spaces required under Municipal Code guidelines are not being met by the proposed construction plans.

My recommendation is that the construction plans include a parking area for school events. According to the information provided at the Neighborhood Meeting, a turnaround just west of the school, which is not being utilized by the parents for dropping off their kids at school, may be a perfect location for a parking area. By including a parking area next to the middle school, the homeowners in the area will not have to contend with the increased amount of traffic we will have on our streets for school events, plus deal with some of the disrespectful parents and patrons who park in front of our homes.

Carson City Planning Division

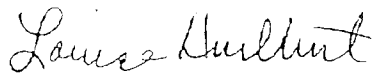
Page 2

May 17, 2011

It was also mentioned at the Neighborhood Meeting that there would be a cost savings by the installation of the solar panels and upgrades to the existing school facilities. Maybe some of the cost savings could be utilized for the building of a parking area at Eagle Valley Middle School.

Thank you, in advance, for allowing me the opportunity to submit my comment letter regarding the reduction of parking spaces at Eagle Valley Middle School.

Sincerely,

A handwritten signature in cursive script that reads "Louise Hurlbut".

Louise Hurlbut

Regent Court Resident

Carson City, NV

EAGLE VALLEY MIDDLE SCHOOL CARSON CITY, NEVADA

**Building Expansion & Site Improvements Special Use
Permit Application**

and

Parking Reduction Variance Application

Updated Submittal

April 22, 2011

(Original Submittal April 14, 2011)

Prepared For:



Prepared By:



Manhard
CONSULTING LTD

**3476 Executive Pointe Way, Suite 12
Carson City, NV 89706
(775) 882-5630**

Eagle Valley Middle School Expansion Special Use Permit and Variance

Submitted April 22, 2011

TABLE OF CONTENTS

1. Special Use Permit Application
2. Variance Application
3. Proposed Site Plan – 11" x 17" and 24" x 36"
4. Proposed Floor Plans – 11" x 17" and 30" x 42"
5. Proposed Exterior Lighting
6. Project Description including Site History
7. Special Use Permit Proposal Questionnaire (including Master Plan Policy Checklist)
8. Variance Proposal Questionnaire
9. Applicant's Acknowledgment Statement
10. Project Impact Report – Drainage Letter
11. Proposed Exterior Elevations – 11" x 17" and 30" x 42"
12. Proposed Conceptual Landscape Plan – 11" x 17" and 24" x 36"

* Please note that the following items have been excluded from the final submittal as they are not applicable for this application.

- Documentation of Property Taxes Paid to Date – Exempt, School Property
- Water Project Impact Report – Minimal Impact, no report necessary
- Sewer Project Impact Report – Minimal Impact, no report necessary
- Traffic Impact Report – Minimal Impact, explanation provided in Project Description

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02

FILE # SUP - 11 -

CARSON CITY SCHOOLS

PROPERTY OWNER

1402 WEST KING STREET, CARSON CITY, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP

(775) 283-2000

(775) 283-2090

PHONE #

FAX #

Name of Person to Whom All Correspondence Should Be Sent

MIKE MITCHELL C/O CARSON CITY SCHOOL DISTRICT

APPLICANT/AGENT

1402 WEST KING STREET, CARSON CITY, NV 89703

MAILING ADDRESS, CITY, STATE ZIP

(775) 815-0537

(775) 283-2090

PHONE #

FAX #

mammgmt@gmail.com

E-MAIL ADDRESS

SPECIAL USE PERMIT

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 6 Completed Application Packets (1 Original + 5 Copies) including:
 - ☐ Application Form
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Proposal Questionnaire With Both Questions and Answers Given
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date (1 copy)
 - ☐ Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

Project's Assessor Parcel Number(s):
010-035-27

Street Address
4151 E. FIFTH STREET, CARSON CITY, NV 89701

ZIP Code

Project's Master Plan Designation
PUBLIC/QUASI-PUBLIC

Project's Current Zoning
P (PUBLIC)

Nearest Major Cross Street(s)
5TH STREET

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:
SPECIAL USE PERMIT FOR BUILDING EXPANSION, SITE IMPROVEMENTS AND FLOOR PLAN MODIFICATIONS AT EAGLE VALLEY MIDDLE SCHOOL

PROPERTY OWNER'S AFFIDAVIT

I, RICHARD STOKES, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Richard W. Stokes
Signature

1402 W. KING ST. CC, NV 89703
Address

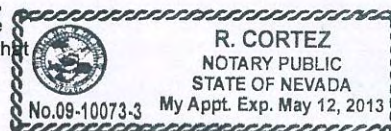
13 April 2011
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA)
COUNTY CARSON CITY)

On April 13, 2011, RICHARD W. STOKES, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

R. Cortez
Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02

VARIANCE

FILE # VAR - 11 -

CARSON CITY SCHOOLS

PROPERTY OWNER

1402 WEST KING STREET, CARSON CITY, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP

(775) 283-2000

(775) 283-2090

PHONE #

FAX #

Name of Person to Whom All Correspondence Should Be Sent

MIKE MITCHELL C/O CARSON CITY SCHOOL DISTRICT

APPLICANT/AGENT

1402 WEST KING STREET, CARSON CITY, NV 89703

MAILING ADDRESS, CITY, STATE ZIP

(775) 815-0537

(775) 283-2090

PHONE #

FAX #

mammgmt@gmail.com

E-MAIL ADDRESS

FEE: \$2,150.00 + noticing fee + CD containing application digital data (all to be submitted once application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 6 Completed Application Packets
(1 Original + 5 Copies)
- ☐ Application Form
- ☐ Site Plan
- ☐ Building Elevation Drawings and Floor Plans
- ☐ Proposal Questionnaire With Both Questions and Answers Given, supporting documentation
- ☐ Applicant's Acknowledgment Statement

- ☐ Documentation of Taxes Paid-to-Date (1 copy)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

Project's Assessor Parcel Number(s):
010-035-27

Street Address
4151 E. FIFTH STREET, CARSON CITY NV 89701

ZIP Code

Project's Master Plan Designation
PUBLIC/QUASI-PUBLIC

Project's Current Zoning
P (PUBLIC)

Nearest Major Cross Street(s)
5TH STREET

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal.

In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow a variance as follows:

VARIANCE TO ALLOW FOR REDUCTION IN MINIMUM NUMBER OF PARKING SPACES REQUIRED BY CODE WITH EXPANSION OF

EAGLE VALLEY MIDDLE SCHOOL FROM 218 SPACES TO 130 SPACES. NOTE THAT EXISTING PARKING CONDITIONS ARE

ALREADY BELOW THE CODE REQUIREMENT (95 EXISTING SPACES VS. 146 REQUIRED BY CODE).

PROPERTY OWNER'S AFFIDAVIT

I, RICHARD STOKES, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Richard W. Stokes
Signature

1402 W. KING ST. CC, NV 89703
Address

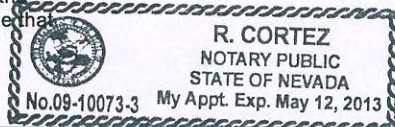
13 April 2011
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA)
COUNTY CARSON CITY)

On April 13, 2011, RICHARD W. STOKES, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

R. Cortez
Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning Division personnel can help you make the above determination.

Map showing the project site area in Carson City, Nevada. The map includes the following features:

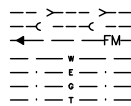
- Streets:** SR 530, F FIFTH ST (SR 513), CARSON CITY FREEWAY (FUTURE), FAIRVIEW DR., CARSON RIVER RD (SR 513), BLISSYS RANCH RD.
- Project Site:** A red shaded area located near the intersection of Carson River Rd and Blissys Ranch Rd.
- North Arrow:** Located in the top right corner, pointing towards the top of the map.

UTILITIES CONTACT

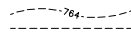
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STANDARD SYMBOLS

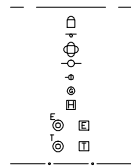
EXISTING



STORM SEWER
SANITARY SEWER
WATER MAIN
ELECTRIC
GAS
TELEPHONE
SANITARY MANHOLE
STORM MANHOLE
CATCH BASIN
STORM INLET
CLEANOUT
RIP RAP
VALVE IN VAULT
VALVE IN BOX
FIRE HYDRANT
BUFFALO BOX
FLARED END SECTION
STREET LIGHT
SUMMIT
LOW POINT

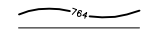
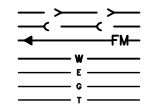


1 FOOT CONTOURS
CURB AND GUTTER
H.C. ACCESSIBLE RAMP

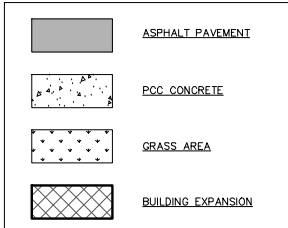


PROPERTY LINE
EASEMENT LINE
SETBACK LINE
MAIL BOX
SIGN
TRAFFIC SIGNAL
POWER POLE
GUY WIRE
GAS VALVE
HANDHOLE
ELECTRICAL EQUIPMENT
TELEPHONE EQUIPMENT
CHAIN-LINK FENCE
SPOT ELEVATION
BRUSH/TREE LINE
DECIDUOUS TREE WITH
TRUNK DIA. IN INCHES (TBR)
CONIFEROUS TREE WITH
HEIGHT IN FEET (TBR)

PROPOSED

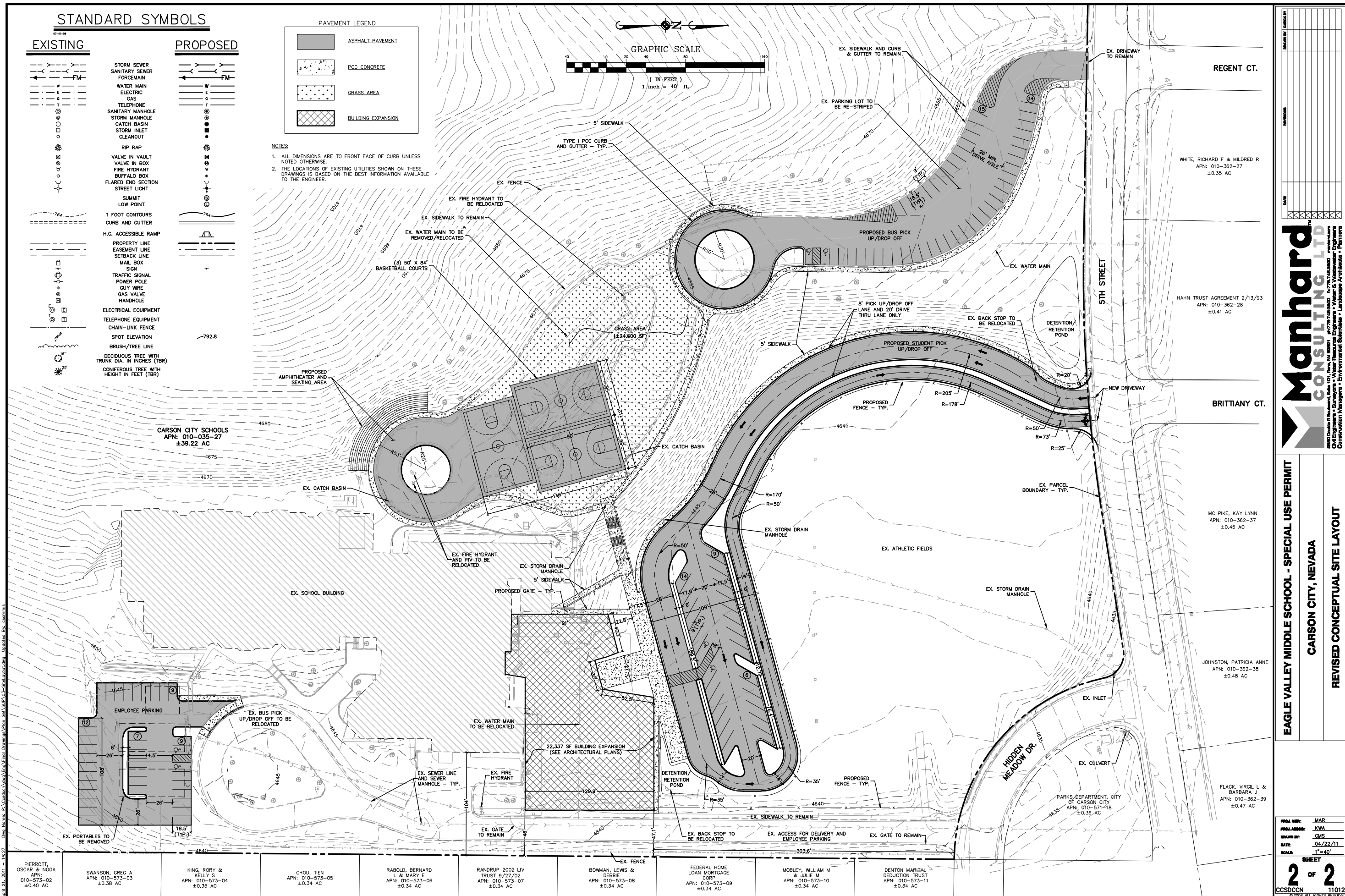
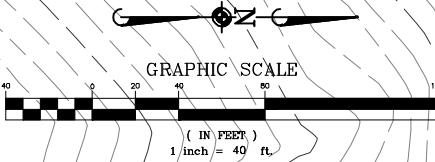


PAVEMENT LEGEND



NOTES:

1. ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER.

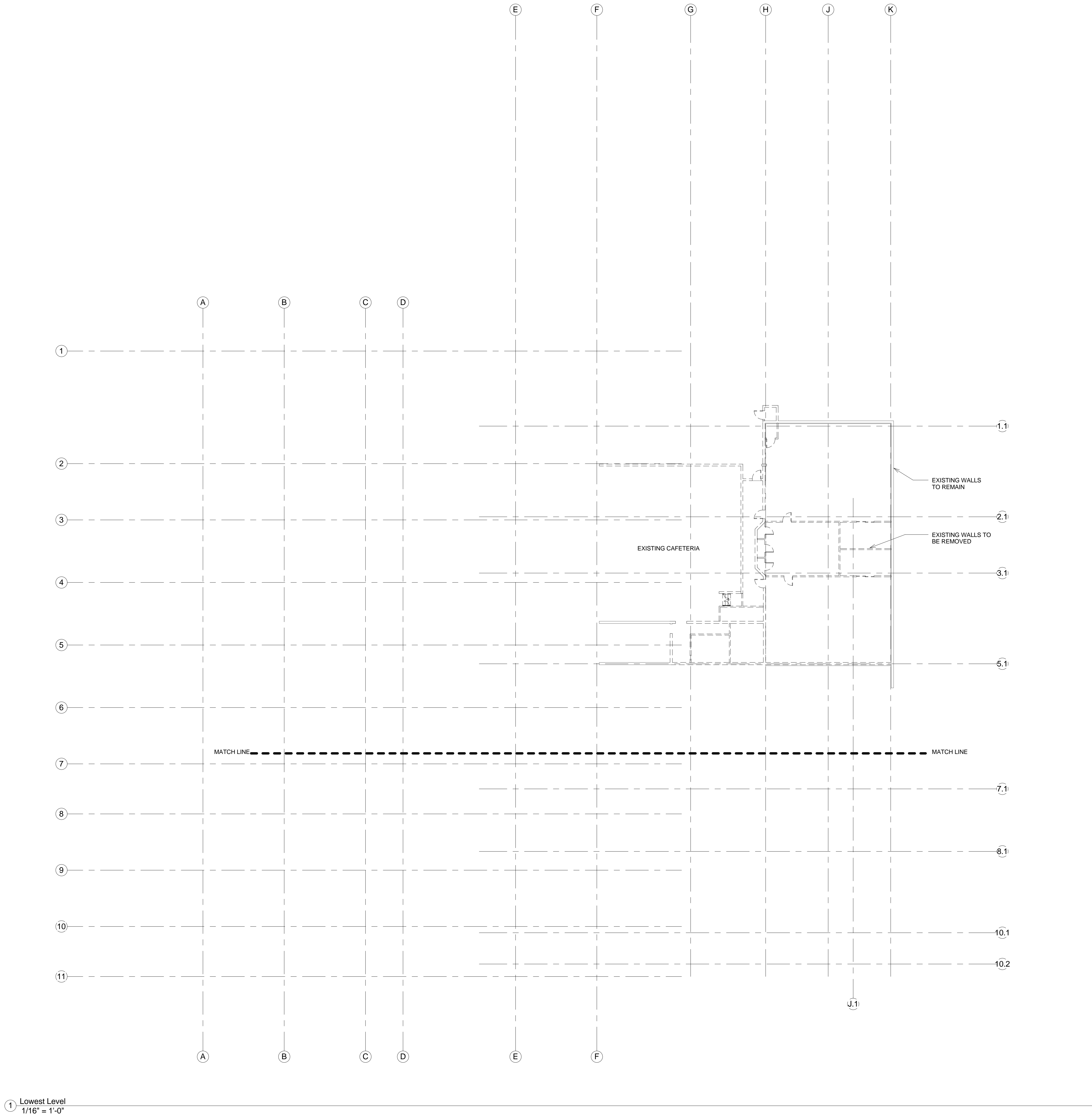


Manhard CONSULTING LTD.
Civil Engineering & Surveying
Construction Management • Environmental Sciences • Planning

EAGLE VALLEY MIDDLE SCHOOL - SPECIAL USE PERMIT
CARSON CITY, NEVADA
REVISED CONCEPTUAL SITE LAYOUT

PLOT NO.: MAR
PLOT AREA: KWA
DRAWN BY: CMS
DATE: 04/22/11
SCALE: 1"=40'
SHEET 2 OF 2
CCSDCCN 110121
© 2008 ALL RIGHTS RESERVED

April 21, 2011 - 14:27 Draw Name: P:\Carson\New\Site\Drawings\Plan Set\301\03-SiteLayout.dwg Updated By: ccmmt



construction and materials shall comply with 2006 international building code (ibc) and/or local code requirements.

/// the design and drawings contained herein are protected under n.r.s. 623 and usc copyright title 17. unauthorized duplication or distribution is a violation of state and federal law.

drawn: Author
checked: Checker

Revision Schedule		
#	Date	Description

Eagle Valley Remodel/Addition
Carson City School District
4151 East 5th Street
Carson City, Nevada

Project Status

drawing title
LOWEST LEVEL

job number
1102.1

date
12 APRIL 2011

drawing number
A2.0

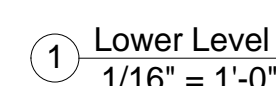
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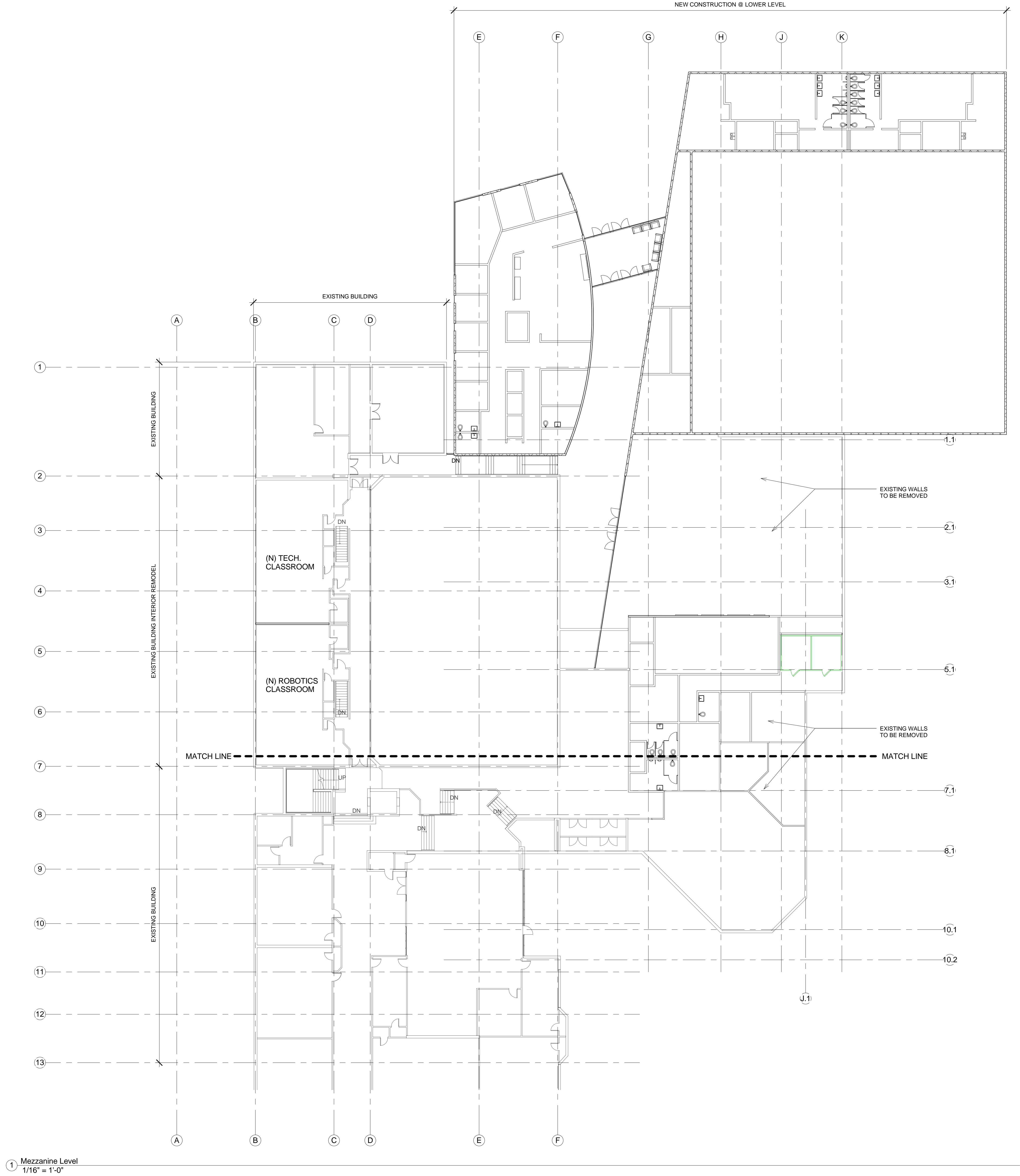
Revision Schedule		
#	Date	Description

Project Status

drawing number

4/19/2011 4:03:49 PM





construction and materials shall comply with 2006 international building code (ibc) and/or local code requirements.

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drawn: Author
checked: Checker

Revision Schedule		
#	Date	Description

Eagle Valley Remodel/Addition
Carson City School District
4151 East 5th Street
Carson City, Nevada

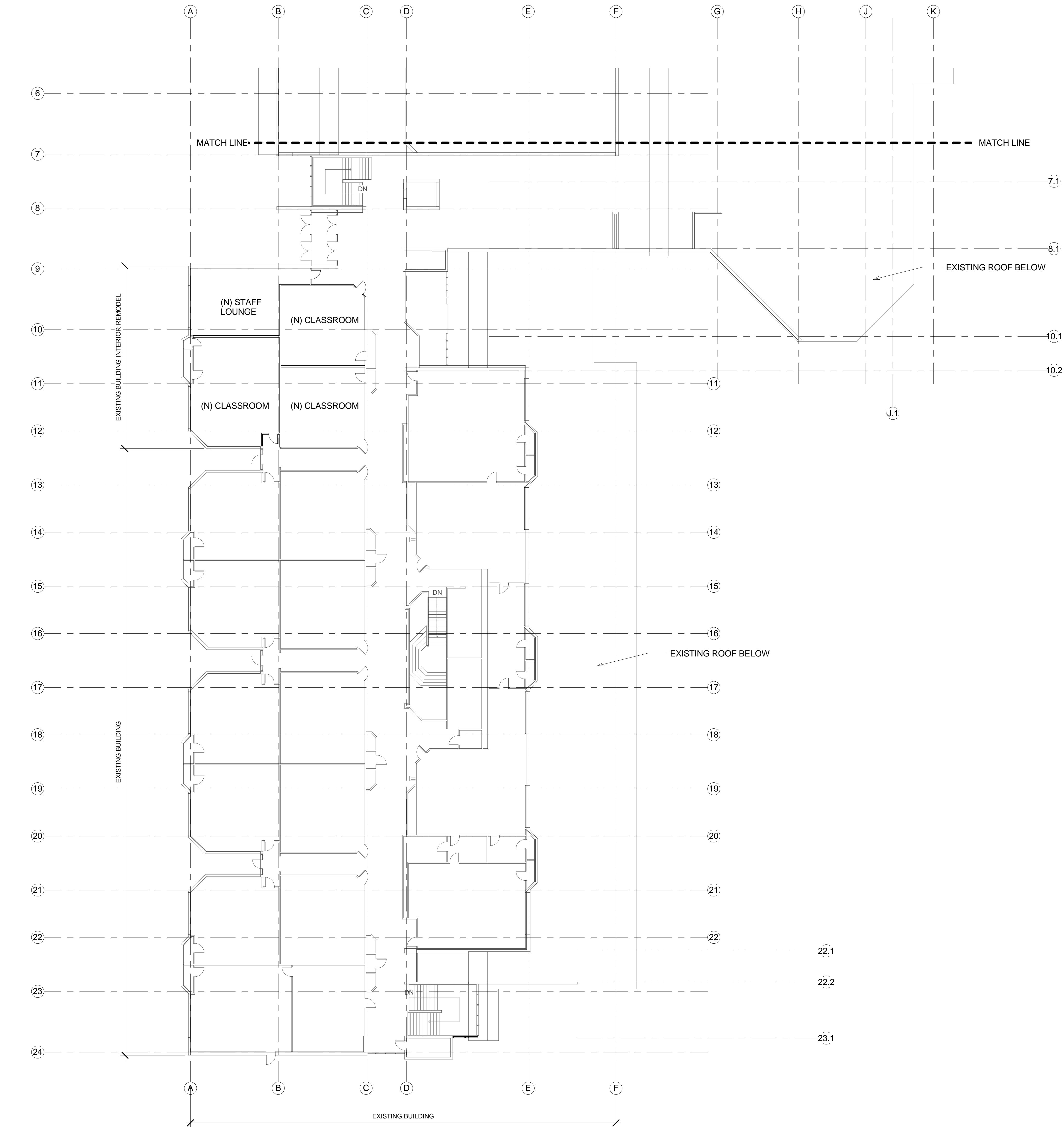
Project Status

drawing title
MEZZANINE LEVEL

job number
1102.1

date
12 APRIL 2011

drawing number
A2.2



1 Upper Level
1/16" = 1'-0"

construction and materials shall comply with 2006 international building code (ibc) and/or local code requirements.

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drawn: Author
checked: Checker

Revision Schedule		
#	Date	Description

**Eagle Valley Remodel/Addition
Carson City School District
4151 East 5th Street
Carson City, Nevada**

Project Status	
drawing title	UPPER LEVEL
job number	1102.1
date	12 APRIL 2011
drawing number	A2.4

INDIRECTTM

Cubic INDIRECTTM



ARCHITECTURAL AREA LIGHTING

*"to create, inspire and nurture
EXCELLENCE in each other"*



ENERGY EFFICIENCY

The light sources employed in the Indirect family of fixtures are the most efficient sources commercially available today. The reflectors are designed to direct the illumination on the ground with no stray light which translates into wasted energy. The result is more light with less energy consumption.

LIGHT POLLUTION

The Indirect family of fixtures is designated as a cutoff fixture with only 1% of light emitted above 90 degrees horizontal.

LONGEVITY

AAL manufactures all its products to have a life span as long as the building or space they illuminate. The primary material used for all our products is aluminum to resist corrosion and the need for maintenance. Aluminum will not need the periodic refinishing required of steel products that will eventually rust and corrode. All our internal parts and fasteners are made of aluminum or stainless steel. The lamp enclosures are kept dust free and dry to prevent light degradation and maintain a high level of energy efficiency.

SUSTAINABILITY

AAL develops our products with recycling and resource management in mind. We recycle all incoming packaging materials. Our products are shipped in easy to recycle packaging materials. Our state of the art finishing system uses eco friendly cleansing and preparation chemicals that are harmless enough to send to the drain without further processing. Our powder coating process eliminates the release of volatile chemicals into the atmosphere. AAL makes the Indirect, like all AAL products, with renewable materials such as aluminum and stainless steel.

CONTENTS


Elevated Scale	6
Illumination	8
Order Information - Cubic Indirect	10
Specification - Cubic Indirect	12
Installation - Cubic Indirect	13
Order Information - Indirect	14
Specification - Indirect	16
Installation - Indirect	17



AAL is a registered continuing education provider.

The Indirect™ is registered and protected by numerous patents granted by the United States Patent Office.
U.S. Patent D468,478 S

©2009 Architectural Area Lighting.
Printed on recycled paper.



An indirect luminaire that employs
the most efficient sources
commercially available. The

INDIRECT

family of fixtures is perfect for
projects that require a sense of
mood as much as a sense of light.



INDA-WMA



INDC-WMA2



INDC-PTS4

The Indirect family features three distinct designs.

The **Cubic Indirect** features an angular design that is a perfect complement to the rectilinear and angular compositions of modern architecture.



Cubic Indirect wall mount
INDC



Cubic Indirect post top
INDC

The **Indirect** features a straight fixed head for a clean look, and an adjustable head for aiming the light when the upper reflector is titled.

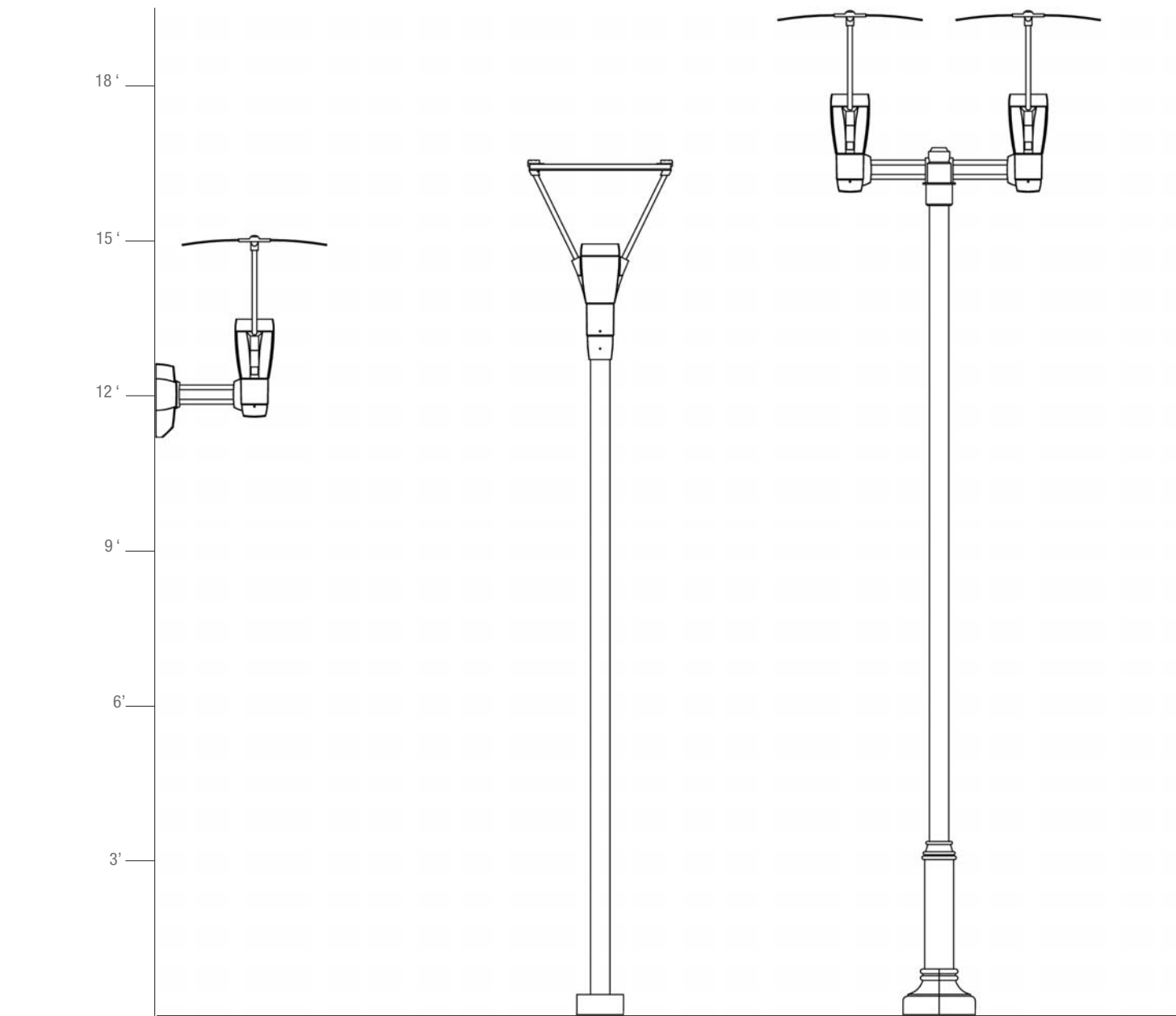


Indirect straight fixed head
INDF

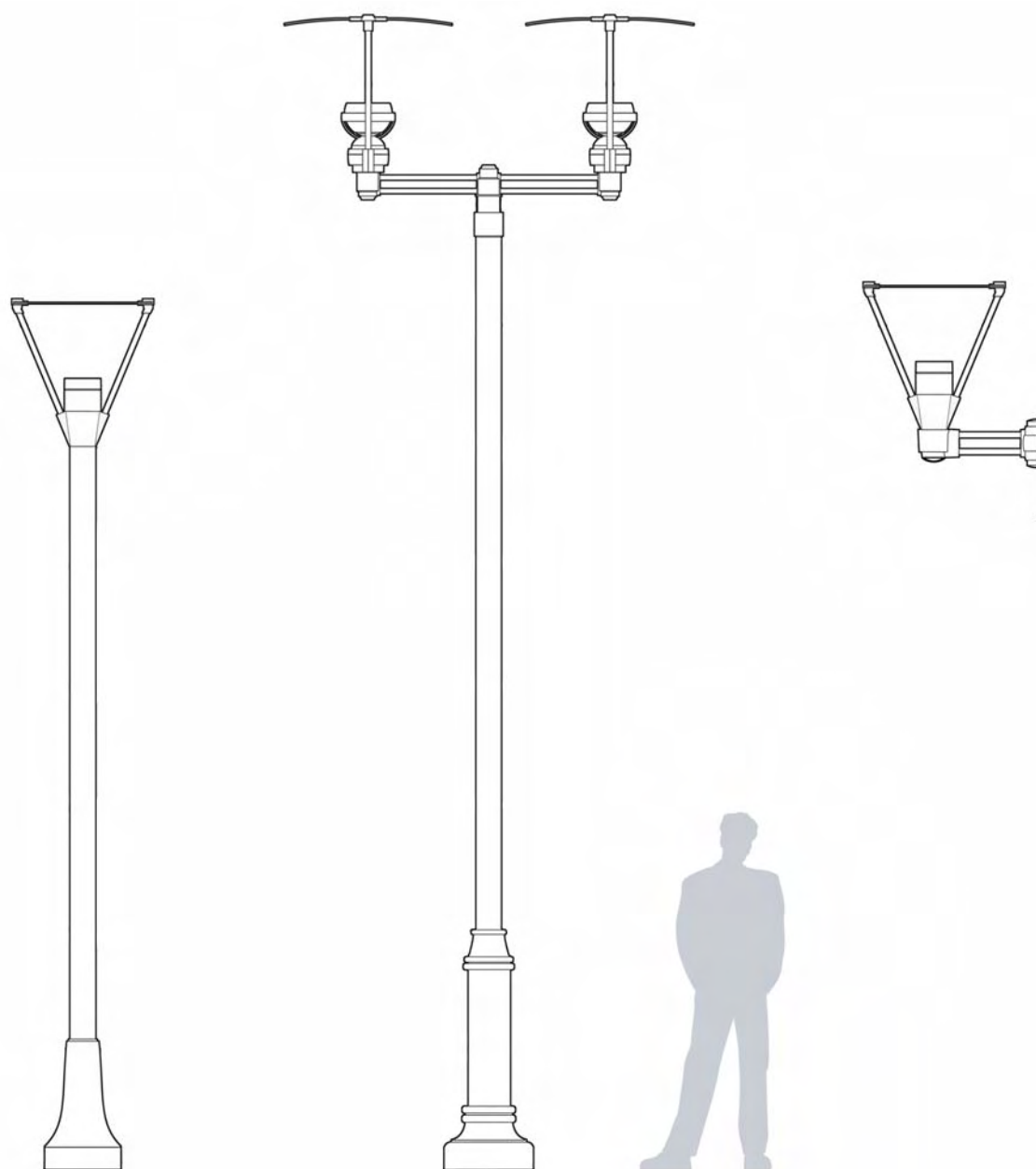


Indirect adjustable head
INDA

All three models feature stainless steel vertical struts and can be configured with a round or square upper reflector.



FIXTURE	INDC	INDC	INDC
REFLECTOR	SQ	RD	SQ
MOUNTING	WMA2	PTS4	PMAT2
POLE	—	PS4-4S14	DB6-4R16



INDF	2-INDA	INDF
SQ	SQ	RD
–	PMAT	WMA
PR5-5R12, BC5-5	DB10-5R16 with AD5	–

Egress

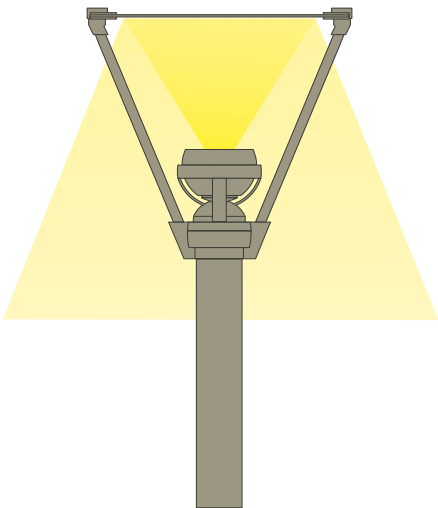
The Cubic Indirect's emergency lighting option, in the wall mount version, illuminates corridors, building entrances and exterior passages for added safety and security. The hidden MR16 lamp, powered as a remote head, is able to be angled 15° in either direction, and provides code-required 1 footcandle path-of-egress illumination, from the building toward the common way.

The Cubic Indirect eliminates the need for secondary fixtures used as emergency egress lighting. All emergency lighting options are installed in the housing, thereby eliminating external compartments or secondary fixtures which result in extra material and labor costs.



Dark Sky Friendly

Other indirect luminaires typically throw 40 to 50 percent of their light output upwards into the sky. The result is poor efficiency as well as light pollution. The Indirect's specially designed lower reflector precisely focuses the light energy onto the upper reflector with virtually no stray uplight. The Indirect and Cubic Indirect emits one percent upward, earning an IES "cutoff luminaire" classification from an independent photometric testing lab.



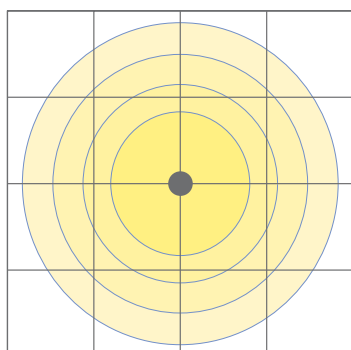
AAL Indirect

AAL Indirect	Others
• 1% uplight	• 40 to 50% uplight
• IES cutoff luminaire	• IES non-cutoff luminaire

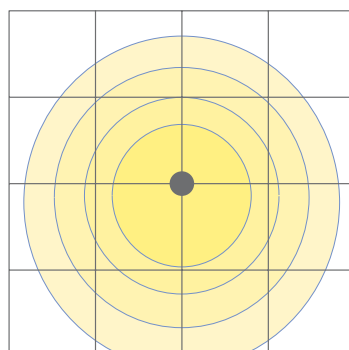
Reflector Adjustment

The Indirect and Cubic Indirect upper reflector can be tilted 15 or 30 degrees for an asymmetrical light distribution. The locking clamp design ensures a consistent tilt angle on all fixtures.

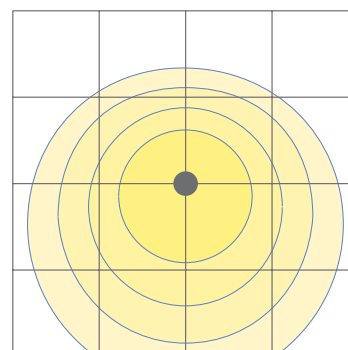
The Indirect model INDIA has an adjustable lamp head to focus the light beam onto the center of the shade, when the shade is tilted. This improves efficiency and minimizes any stray light beyond the reflector.



Horizontal position
Type 5 symmetric light pattern



15° tilt position
asymmetric light pattern



30° tilt position
asymmetric light pattern

Wind Tunnel Tested

The Indirect was tested at wind speeds of 140MPH/225KPH, (which was the maximum speed of the test equipment). The Indirect's robust, mechanical design exhibited no shaking or twisting during the extreme test conditions.



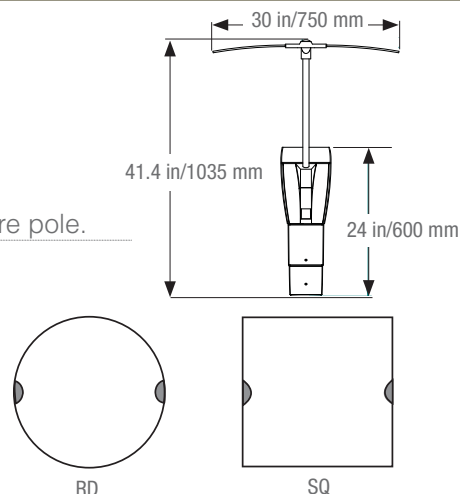
1	2	3	4	5	6
FIXTURE	REFLECTOR-UPPER	LAMP/BALLAST	MOUNTING	OPTIONS	COLOR
INDC	RD	CF	WMA2	CDC	BLK

1. FIXTURE

INDC Square straight, fixed head. Post top mount.
Slips over a 2 3/8 inch O.D. tenon
(5 in/127 mm square pole) or a 4 in/100 mm square pole.

2. REFLECTOR - UPPER

RD 30 inch round upper reflector
SQ 30 inch square upper reflector



3. LAMP/BALLAST

CF	Electronic 120 thru 277 volt ballast. -18°C starting temp. Use 4-pin 26, 32 or 42 watt lamp.
70MH	70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.
70MHEB	70 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.
70MHT6	70 watt metal halide 120/277/347 volt ballast. Use G12 base, T6 ceramic lamp.
70MHT6EB	70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T6 lamp.
100MH	100 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.
150MHEB	150 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.
150MHT6EB	150 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T6 lamp.
150PSMH	Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use medium base ED-17 lamp.
150PSMHT6	Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use G12 base, T6 ceramic lamp.
70R111	70 watt metal halide 120/277 volt ballast. Use R111 lamp.
70R111EB	70 watt electronic metal halide 120/277 volt ballast. Use R111 lamp.
IL55	55 watt induction lamp system with generator. -25°C start temp. Specify 120, 208, 240 or 277 volt.
IL85	85 watt induction lamp system with generator. -25°C start temp. Specify 120, 208, 240 or 277 volt.
30LED-WW	30 light emitting diode array (33 watt). Warm white (3500K). 120 thru 277 volt.
30LED-BW	30 light emitting diode array (33 watt). Bright white (5100K). 120 thru 277 volt.

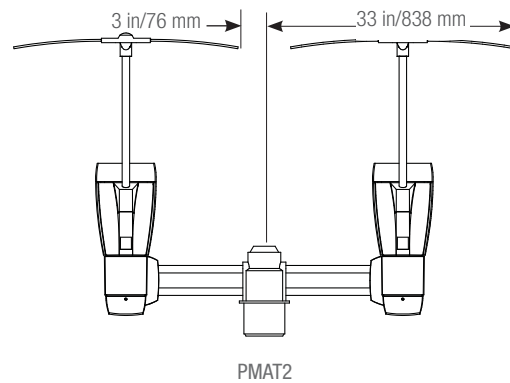
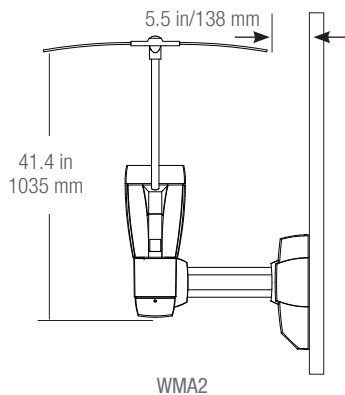
All ballasts are factory wired for 277 volts. Lamps not included (except IL and LED options).

All applicable ballasts are EISA compliant

1	2	3	4	5	6
FIXTURE	REFLECTOR-UPPER	LAMP/BALLAST	MOUNTING	OPTIONS	COLOR
INDC	RD	CF	WMA2	CDC	BLK

4. MOUNTING – Must choose one

WMA2	Wall mounted arm, 10 lbs. Features built in MR16 egress (50 watt).
WMA2-NEG	Wall mounted arm, 10 lbs. No egress lamp. Blocked opening.
PMAT2	Twin pole mount arm, slips over a 4 in/100 mm O.D. pole or tenon.
PTS5	Post top mount slips over a 2 3/8 inch O.D. round tenon (5 in/127 mm square pole)
PTS4	Post top mount slips over a 4 in/100 mm square pole



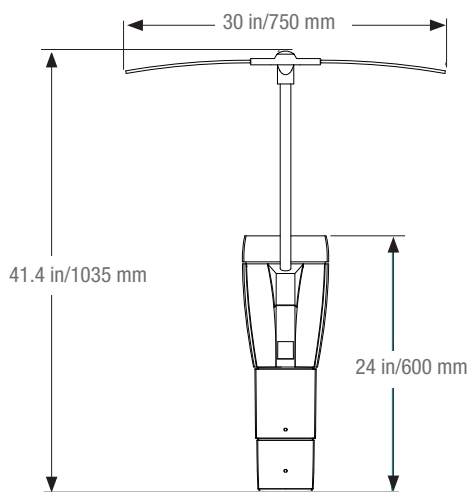
5. OPTIONS

CDC	Center deflector cone for round reflector. Provides a wider light distribution.
SR	Two aluminum rings attached to the fixture. Factory installed.
CFH	Color filter holder attached to the fixture includes solid rings. Factory installed.
LAMP R111	70 watt metal halide R111 reflector lamp.

6. COLOR

All standard and premium AAL colors available.

For RAL and custom colors, please submit a 4-digit RAL number or color chip for custom colors.



WT: 45 lbs.

EPA: Square Sail

Sail @ 30° = 5.23

Sail @ 0° = 1.80

Round Sail

Sail @ 30° = 4.54

Sail @ 0° = 1.61

UPPER REFLECTOR

The upper reflector shall be light weight aluminum composite. The reflector shall be finished in a white, fluoropolymer finish. The reflector shall be attached to the cast aluminum pivot joints and secured with four stainless steel bolts. Two cast aluminum, adjustable knuckles shall connect the reflector assembly to the vertical, stainless steel struts. The struts are #316 stainless steel with a minimum .075 inch wall thickness. The struts shall be clamped in place with 5/16-18 set screws for attachment to the upper reflector and the lamp module.

LAMP MODULE

The reflector shall be enclosed in cast aluminum housing. The front cover is secured with four cap screws for re-lamping and internal access. The top glass element is clear, tempered glass. The top cover and electrical module are sealed with memory retentive, molded silicone gaskets. The parabolic reflector shall be pre-focused to illuminate the upper reflector with no stray light beyond the reflector. All internal and external hardware is stainless steel.

HOUSING

The post top model shall slip over a 2 3/8 inch O.D. tenon (5 in/127 mm square pole) or 4 in/100 mm square pole.

SAFETY

The wall mounted luminaire (WMA2) includes an integral secondary source to provide code-required 1 footcandle emergency path-of-egress illumination from building to the public way. The hidden MR16 lamp, powered as a remote head, is able to be angled up to 15° in either direction.

ELECTRICAL MODULE

The ballast is mounted on a pre-wired plate with a quick disconnect plug. Magnetic metal halide ballasts are high power factor, rated for -30°C starting. Electronic metal halide ballasts are rated for -30°C starting, sound rating A, 120 thru 277 volt. Sockets are pulse rated porcelain for medium base ED-17; bi-pin, G12 for T-6 lamps; GX8.5 for R111. The compact fluorescent shall have an electronic transformer, 120 thru 277 volt.

FINISH

Fixture finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry off and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance. The reflector shall be painted white. The lens frame shall be painted black to further control any up light. The vertical struts are stainless steel. All other fixture parts shall be finished in the same specified color.

CERTIFICATION

The fixture shall be listed with ETL and U.L. for outdoor, wet location use, UL1598 and Canadian CSA Std. C22.2 NO.250. IP=66

EISA COMPLIANCE

AAL is committed to complying with U.S. EISA requirements. All applicable products manufactured for sale in the United States after January 1, 2009, meet EISA requirements.

WARRANTY

Fixture is warranted for three years. Ballast components carry the ballast manufacturer's limited warranty. Any unauthorized return, repair, replacement or modification of the Product(s) shall void this warranty. This warranty applies only to the use of the Product(s) as intended by AAL and does not cover any misapplication or misuse of said Product(s), or installation in hazardous or corrosive environments. Contact AAL for complete warranty language, exceptions, and limitations.



Tool-less access to integral ballast assembly



Hidden MR16 lamp in wall mount (WMA2) provides code-required 1 foot candle emergency path-of-egress illumination

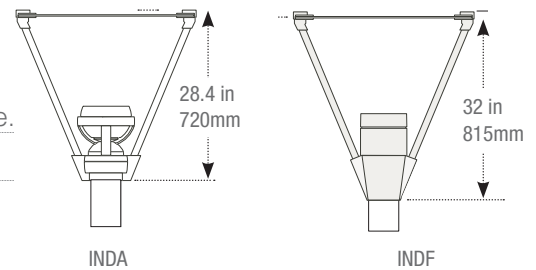


Lens frame painted black to further control uplight

1	2	3	4	5	6
FIXTURE	REFLECTOR-UPPER	LAMP/BALLAST	MOUNTING	OPTIONS	COLOR
INDF	RD	70MH	WMA	CDC	BLK

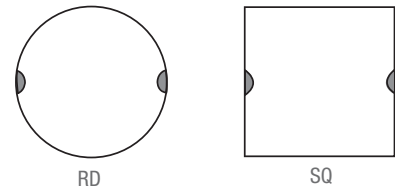
1. FIXTURE

INDA	Adjustable head. Slips over a 5 in/127 mm O.D. pole.
INDF	Fixed head. Slips over a 5 in/127 mm O.D. pole.



2. REFLECTOR - UPPER

RD	30 inch round upper reflector
SQ	30 inch square upper reflector



3. LAMP/BALLAST

CF	Electronic 120 thru 277 volt ballast. -18°C starting temp. Use 4-pin 26, 32 or 42 watt lamp. For INDA - 26 watts only.
70MH	70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. For INDF model only.
70MHEB	70 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp. For INDF model only.
70MHT6	70 watt metal halide 120/277/347 volt ballast. Use G12 base, T-6 ceramic lamp.
70MHT6EB	70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic lamp.
100MH	100 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. For INDF model only.
150MHEB	150 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp. For INDF model only.
150PSMH	Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use medium base ED-17 lamp. For INDF model only.
150PSMHT6	Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use G12 base, T6 lamp.
IL-55	55 watt induction lamp system with generator. -25°C start temp. Specify 120, 208, 240 or 277 volt. For INDF model only.
IL-85	85 watt induction lamp system with generator. -25°C start temp. Specify 120, 208, 240 or 277 volt. For INDF model only.
30LED-WW	30 light emitting diode array (33 watt). Warm white (3500K). 120 thru 277 volt.
30LED-BW	30 light emitting diode array (33 watt). Bright white (5100K). 120 thru 277 volt.

All ballasts are factory wired for 277 volts. Lamps not included (except IL and LED options).

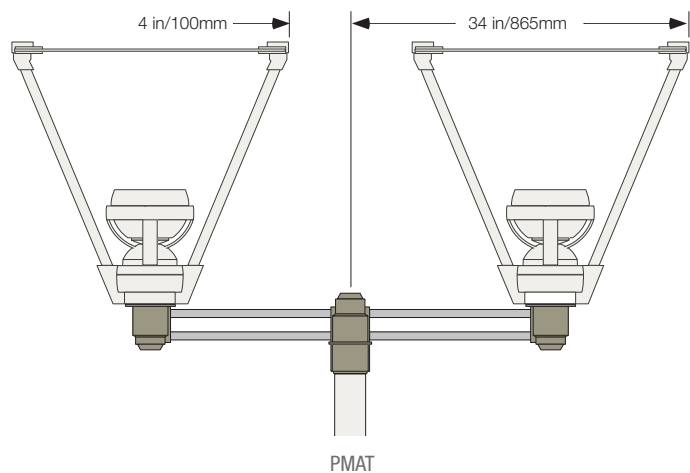
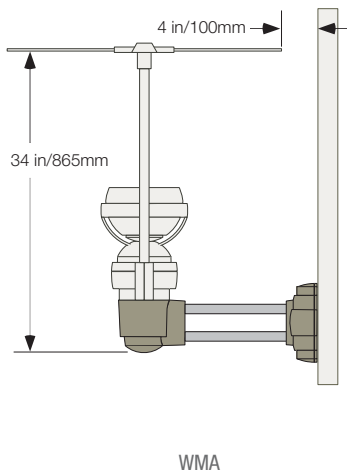
All applicable ballasts are EISA compliant

1	2	3	4	5	6
FIXTURE	REFLECTOR-UPPER	LAMP/BALLAST	MOUNTING	OPTIONS	COLOR
INDF	RD	70MH	WMA	CDC	BLK

4. MOUNTING

WMA Wall mounted arm, 10 lbs. EPA: 0.68

PMAT Twin pole mount arm, slips over a 4 in/100mm O.D. pole or tenon, 14 lbs. EPA: 0.83



5. OPTIONS

CDC Center deflector cone for round reflector. Provides a wider light distribution.

SR Two aluminum rings attached to the fixture. Factory installed. **INDA only.**

CFH Color filter holder attached to the fixture. Factory installed. **INDA only.**

LAMP70 Philips® 70 watt clear T-6 ceramic metal halide lamp, CDM70/T6/830

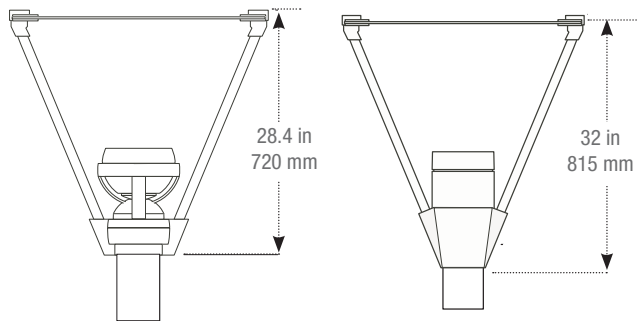
LAMP150 Philips® 150 watt clear T-6 ceramic metal halide lamp, CDM70/T6/830

AD5 Cast aluminum adapter for the PMAT arm to slip over a 5 in/127 O.D. mm pole

6. COLOR

All standard and premium AAL colors available.

For RAL and custom colors, please submit a 4-digit RAL number or color chip for custom colors.



UPPER REFLECTOR

The upper reflector shall be a light weight aluminum composite. The reflector shall be finished in a white, fluoropolymer finish. The reflector shall be attached to the cast aluminum pivot joints and secured with four stainless steel bolts. Two cast aluminum, adjustable knuckles shall connect the reflector assembly to the vertical, stainless steel struts. The struts are #304 stainless steel with a minimum .250" wall thickness. The struts shall have threaded connections for attachment to the upper reflector and the lamp module.

LAMP MODULE

The reflector shall be enclosed in cast aluminum housing. The front cover is secured with four cap screws for relamping and internal access. The front glass element is clear, tempered glass. The front cover and electrical module are sealed with memory retentive, molded silicone gaskets.

The parabolic reflector shall be prefocused to illuminate the upper reflector with no stray light beyond the reflector. The fixture shall be IES rated as a cutoff. The INDA model lamp module swivels, to center the beam on a tilted reflector, by loosening two stainless steel cap screws. All internal and external hardware is stainless steel.

HOUSING

The INDA and INDF post top models shall slip over a 5 in/127 mm O.D. pole.

ELECTRICAL MODULE

The ballast is mounted on a prewired plate with a quick disconnect plug. Magnetic metal halide ballasts are high power factor, rated for -30°C starting. Electronic metal halide ballasts are rated for -30°C starting, sound rating A, 120 thru 277 volt. Sockets are pulse rated porcelain, bi-pin, G12 for T-6 lamps. A porcelain screw base for the mini-cand T-4 halogen lamp. The compact fluorescent shall have an electronic transformer, 120 thru 277 volt.

FINISH

Fixture finish consists of a five stage pretreatment regimen with a polymer primer sealer, oven dry off and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance.

The reflector shall be painted white. The vertical struts are stainless steel. All other fixture parts shall be finished in the same specified color.

CERTIFICATION

The fixture shall be listed with ETL and U.L. for outdoor, wet location use, UL1598 and Canadian CSA Std. C22.2 NO.250. IP=66

EPA: INDA or INDF

round upper reflector/ 0° tilt: 3.65

square upper reflector/ 0° tilt: 4.40

round upper reflector/ 30° tilt: 6.52

square upper reflector/ 30° tilt: 6.62

EISA COMPLIANCE

AAL is committed to complying with U.S. EISA requirements. All applicable products manufactured for sale in the United States after January 1, 2009, meet EISA requirements.

WARRANTY

Fixture is warranted for three years. Ballast components carry the ballast manufacturer's limited warranty. Any unauthorized return, repair, replacement or modification of the Product(s) shall void this warranty. This warranty applies only to the use of the Product(s) as intended by AAL and does not cover any misapplication or misuse of said Product(s), or installation in hazardous or corrosive environments. Contact AAL for complete warranty language, exceptions, and limitations.



Also available with fixed head for streamlined look



INDF



INDA



INDC-PTS4

INDA



INDA



INDIRECT™ Cubic INDIRECT™



Architectural Area Lighting
16555 East Gale Ave. | City of Industry | CA 91745
T 626.968.5666 | F 626.369.2695 | www.aal.net/aal/indindc110.html



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Construction Management
Environmental Sciences
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April 22, 2011

Ms. Jennifer Pruitt, AICP, LEEP AP
Principal Planner
Carson City Community Development, Planning Division
108 E. Proctor Street
Carson City, NV 89701

RE: Eagle Valley Middle School Expansion and Site Improvements – Special Use Permit and
Parking Variance
APN 010-035-27, Carson City, Nevada

Dear Jennifer:

On behalf of the Carson City School District, I would like to submit the enclosed Special Use Permit and Parking Variance applications for the proposed expansion of Eagle Valley Middle School in Carson City, Nevada. Per discussions with Carson City Planning, I understand that a Special Use Permit is required to address the proposed expansion and site improvements, and a Parking Variance is required to address the number of parking spaces provided versus what is required by code. I have provided a description of the project below, as well as a brief site history, as requested. The required proposal questionnaires for both the Special Use Permit and Variance are enclosed with this submittal and may be found under separate section (see Sections 7 & 8).

Please note that it is the intention of the Applicant to hold a Neighborhood Outreach meeting to obtain comments and address concerns about the proposed expansion prior to the Planning Commission meeting.

PROJECT DESCRIPTION

Building Expansion:

- We are proposing that the building be expanded by 22,337 sf on the north side (see site plan and floor plans enclosed). This expansion will include a new gymnasium with associated locker rooms, new administrative offices, a new "Main Street" that leads into the main building and a new secure entrance adjacent to the admin offices. The new gym will be provided in addition to the existing gym and the locker rooms will be relocated from the existing gym to the new gym. Showers will not be included in the new locker rooms, as it has been determined their use is minimal. The new gym will be large enough to allow for two (2) basketball courts side by side during practice, gym classes, etc., and one full-size basketball court with bleachers for public games.
- The administrative offices will move from their current location to the front of the new expansion. The current offices will be modified to accommodate a staff lounge or additional classrooms.

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- The entrance and Main Street will be created to provide for a single, secure entrance into the school for visitors, allowing administration to check them in before they continue to their final destination.
- A covered sidewalk will be provided along the north side of the school as is shown on the enclosed site plan.
- There has been discussion about either moving the existing restrooms from the main section of the school or to build new restrooms near the new gym in the "equipment storage" area shown on the floor plan. Either scenario would provide restroom access for the general public during public games when the remainder of the school isn't accessible. Final determination for the restrooms has not been made yet.
- Modifications to the existing gym/locker rooms are included and will consist of converting the old locker rooms into Technology and Robotics Centers, which are currently in the cafeteria (see T & R on the site plan).
- Minor modifications to the cafeteria, kitchen, band and science rooms will also be included as a part of the improvements.

Site Improvements/Modifications:

- To accommodate the proposed expansion, the existing outside basketball courts will be moved from their current location on the north side of the building to the northwest corner of the building as shown on the site plan. This area will also include a new "gathering" area for students before school and during breaks, and a possible amphitheater would be located in the existing turnaround.
- The existing east vehicle entrance to the school is currently utilized for bus drop off and deliveries. However, the bus drop off area will be relocated to the existing west vehicle entrance with the proposed site modifications. Deliveries will continue at the east vehicle entrance, and staff parking will be added at the south end of the entrance.
- The existing west vehicle entrance to the school will be modified to perpetuate some existing parking and will include a new vehicle turnaround, as well as a sidewalk along the eastern side to accommodate pedestrian traffic from the existing crosswalk at 5th Street and Regent Court to the new proposed gathering area. Some existing parking will be displaced with the proposed site plan revisions, however, displaced parking is accounted for at the east vehicle entrance and the new vehicle entrance outlined below.
- A new vehicle entrance is proposed to be added from 5th Street between the existing east and west entrances. This entrance will be exclusively for student drop-off/pick up and visitor parking and is intended to eliminate the current conflict between staff parking and student drop-off/pick-up. This vehicle entrance will provide one-way circulation that will allow students to be dropped off or picked up and then allow vehicles to continue out onto 5th Street. Visitor parking displaced with modifications to the west vehicle entrance will be provided near the school entrance as shown on the site plan.

Drainage:

The proposed site modifications will result in an increase in impervious area, therefore detention/retention will be required. Please refer to the enclosed Drainage Letter under Section 10 for additional information.

Water & Sewer:

Significant increases in water and sewer usage, if any, are not anticipated with the proposed expansion. Water and sewer modifications include the relocation of existing locker rooms and restrooms, as well as the elimination of locker room showers. Minor modifications in the kitchen and cafeteria are proposed, however, should not result in an increase in usage. Engineering has recognized the minimal change in water and sewer uses based on preliminary floor plans, therefore, project impact reports for water and sewer have not been included.

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Traffic:

An increase in traffic is not expected with the proposed expansion, as the number of students and faculty will not increase. Traffic movements will be modified to reduce the current conflict that exists between buses, staff parking and student drop off/pick up. The addition of a third vehicle entrance between the east and west vehicle entrances will help eliminate the current conflict created by student drop off/pick up. This third vehicle entrance will be solely for student pick-up/drop off and visitor parking and will have a one-way traffic movement entering and exiting. The enclosed site plan shows integration of this third vehicle entrance with the intersection of 5th Street and Brittany Court. The east vehicle entrance will now be for staff parking and deliveries only. The west vehicle entrance will now be for staff parking and bus-drop off only.

Parking:

There are 95 existing parking spaces at Eagle Valley Middle School today. To meet code requirements for current conditions, 146 parking spaces would be required. The proposed expansion will increase the parking by 20 spaces to 115 spaces. To meet code requirements for the proposed expansion, 218 parking spaces would be required.

Existing Conditions

95	Spaces Provided
146	Spaces Required

Proposed Conditions:

115	Spaces Provided
218	Spaces Required

Because a parking discrepancy already exists, additional parking is proposed, and neither student nor teacher population is expected to increase as a result of the proposed expansion, the continuation of a reduced number of parking spaces should not have a negative impact on the school. A variance application for parking has been included as a part of this application to address the reduced parking conditions.

Landscaping:

A conceptual landscape plan has been provided as a part of this updated submittal and shows landscaping for the areas affected by the proposed expansion and site improvements.

SITE HISTORY

Eagle Valley Middle School was built in the mid 1980's. The property was received from the BLM via the "Public Purpose and Recreation Act" and can only be used for public educational purposes; therefore the District cannot sell or use the property for any other use.

The school occupies approximately 50% of the 39.22-acre property. With the exception of a natural turf, athletic field surrounded by a "decomposed granite" running track, the remaining property is undeveloped, naturally vegetated "sagebrush".

Recently, a 300 Kw, photovoltaic electric solar array project was approved and construction has begun. This project will occupy approximately two acres of the site.

The school was designed for 500-600 students. During the mid 1990's to 2005/2006 the student population at Eagle Valley Middle School grew to 900+ students. Portable classroom buildings were brought onto the site to accommodate this growth. This growth, plus a changing curriculum, greatly impacted the building and its infrastructure.

During the 2006-2010 period the attendance boundaries for the District's middle school were adjusted, sending 100+ students to Carson Middle School. Carson Middle School was remodeled and expanded to accommodate this change. Also during this period, the neighborhoods surrounding Eagle Valley Middle School grew and today, this area of Carson City has significant traffic and pedestrian congestion.

In 2009-2010 the Carson City School District Board of Trustees directed the Superintendent to commission a review of the District's Facilities Master Plan. This effort resulted in the District placing a bond question before the voters at the general election in 2010. Among the projects outlined were improvements to Eagle Valley Middle School. These improvements included rehabilitation and renovation of the facilities infrastructure, upgrading its core space to accommodate the changed curriculum and reduce maintenance and operational costs of the building. Equally important was a commitment to resolve the traffic and pedestrian issues of the school and surrounding neighborhoods. These projects are included in this Special Use Permit application.

If you have questions or require additional information, please don't hesitate to contact me at (775) 332-4716 or sdorr@manhard.com. Thank you for your continued assistance.

Sincerely,



Susan Dorr
Planning & Entitlement Manager



Civil Engineering
Surveying
Water Resources Management
Water & Wastewater Engineering
Supply Chain Logistics
Construction Management
Environmental Sciences
Landscape Architecture
Land Planning

April 22, 2011

Special Use Permit Proposal Questionnaire (including Master Plan Policy Checklist)

Question 1: How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

The proposed Eagle Valley Middle School expansion and site improvements are keeping with, and not contrary to the Master Plan Elements as related to the following applicable goals:

Chapter 3: A Balanced Land Use Pattern

Goal 5.1d: Foster Cooperation on Master Plan Issues, Coordination of Services. The City shall coordinate with internal service departments as well as other governmental organizations, such as the school district, that provide services to residents, to ensure that existing and new neighborhoods have adequate services and schools.

The proposed project is keeping with the goal to cooperate on master plan issues and coordinate services by furthering the desires of the community to fund school projects. A school bond question was passed by the Carson City voters in the 2010 general election that included improvements for Eagle Valley Middle School for rehabilitation and renovation. The proposed project is consistent with the master plan by meeting the City's goal to work with the Carson City School district and the voters of Carson City to provide adequate school services.

Chapter 7: A Connected City

Goal 11.2c: Maintain and Enhance Roadway Connections and Networks consistent with the Transportation Master Plan.

The Eagle Valley Middle School expansion and site improvements will enhance the school's connection to the adjacent roadway (5th Street) by providing an additional vehicle entrance and exit between the existing east and west entrances. The addition of this vehicle entrance and exit will allow for the separation of student drop off/pick-up (including visitor parking), from bus-drop off/pick-up and staff parking, resulting in reduced conflict between the various vehicles entering and exiting Eagle Valley Middle School.

2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

The effect of the proposed development will not be detrimental to the immediate vicinity or the general neighborhood and will, in fact, enhance the several aspects of the area. Transportation movements in the surrounding area will be enhanced by providing an additional vehicle entrance and exit specifically designed for student drop-off/pick-up. The relocation of the bus drop off/pick-up from the east side of the school to the west side will provide enhancement to the general neighborhood as it will reduce noise conflict between the school and the adjacent residents to the east. The proposed expansion of the

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building including relocation of administrative offices will be an enhancement to security for the school and the safety of students by providing a secure main entrance to check visitors in and out while allowing other existing entrances additional control. The proposed site improvements to the school including additional sidewalk area on the east side of the west vehicle entrance will enhance pedestrian connectivity from 5th Street to the school entrance.

An increase in student and staff population is not anticipated with the proposed expansion, therefore, impact to the surrounding neighborhood is expected to be minimal.

Question 3: Has sufficient consideration been exercised in adapting the project to existing improvements in the vicinity?

Sufficient consideration has been exercised in adapting the expansion of Eagle Valley Middle School to existing improvements in the vicinity. Because the proposed project includes the expansion of an existing facility, rather than a new facility, considerations to adapt to existing improvements are necessary for the project to be considered feasible. The site improvements are adapted to the existing site to enhance the circulation patterns of the existing school traffic and reduce existing traffic conflicts between vehicles entering and exiting the school. Water and sewer for the project is not expected to change and has been adapted for existing usage. Additional impervious areas are anticipated as a part of the project and additional detention/retention areas have been conceptually planned for to maintain drainage flows from the project site. Additional parking has been provided as a part of the expansion, although an increase in student and teacher population is not anticipated.

The Applicant met with Carson City staff in a Major Project Review meeting on April 5, 2011 and has made revisions to the expansion and site improvement plans based on those comments. In addition, the Applicant intends to hold a Neighborhood Outreach meeting to obtain comments and address concerns from the surrounding area prior to the Planning Commission meeting.

Master Plan Policy Checklist

Special Use Permit, Major Project Review & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: EAGLE VALLEY MIDDLE SCHOOL EXPANSION & SITE IMPROVEMENTS

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☐ Located in a priority infill development area (1.2a)?
- ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?
- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☐ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

Shall coordinate with internal service departments as well as other governmental organizations, such as the school district, that provide services to residents, to ensure that existing and new neighborhoods have adequate services and school sites. (1.5d)

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☐ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?

- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☐ Use durable, long-lasting building materials (6.1a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☐ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
 - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☒ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?



Civil Engineering
Surveying
Water Resources Management
Water & Wastewater Engineering
Supply Chain Logistics
Construction Management
Environmental Sciences
Landscape Architecture
Land Planning

April 22, 2011

Variance Proposal Questionnaire

Question 1: Describe the special circumstances or conditions applying to the property under consideration which exist making compliance with the provisions of this title difficult and a cause of hardship to, and abridgment of a property right of the owner of the property; and describe how such circumstances or conditions do not apply generally to other properties in the same land use district and explain how they are not self-imposed.

This request for a variance with relation to required parking is related to the Eagle Valley Middle School, where parking is already well below code requirements at 95 spaces versus 146 spaces required. As a part of the expansion, the Applicant proposes to add 20 spaces for a total of 115 spaces, however, the code requirement with expansion would be 218 spaces. Because the expansion of the school is not anticipated to generate additional student or teacher population, minimal (if any) additional traffic to the school is expected, and special circumstances exist making the requirement to bring parking counts to code minimums unnecessary for the use. Requiring the school to provide 218 spaces as required by code would place a hardship on the school by forcing them to use valuable land area for unnecessary parking that could instead be used for student services and/or amenities now or in the future.

Question 2: Explain how granting of the variance is necessary to do justice to the applicant or owner of the property without extending and special privilege to them.

Granting of the requested parking variance is necessary to do justice to Eagle Valley Middle School and would not be extending special privilege to them because current conditions already allow for reduced parking at the site and have proven to be adequate for the school use. Carson Middle School was faced with a comparable situation with parking requirements during their recent expansion and were granted a variance from parking on similar grounds due to the determination that parking at the levels required by code are not necessary for the middle school use.

Question 3: Explain how the granting of the variance will not result in material damage or prejudice to the other properties in the vicinity nor be detrimental to the public health, safety and general welfare.

The granting of the variance request to allow for a reduced number of total parking spaces at Eagle Valley Middle School from the code requirement of 218 to 115 will not be detrimental to surrounding properties because the number of total parking spaces with the proposed development is actually increasing from the existing number of 95, although an increase in student and teacher population at the school is not anticipated.

Manhard Consulting, Ltd.

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ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

Richard W. Stokes
Applicant

13 April 2011
Date