

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF JULY 27, 2011

FILE NO. SUP-11-042

AGENDA ITEM: H-3

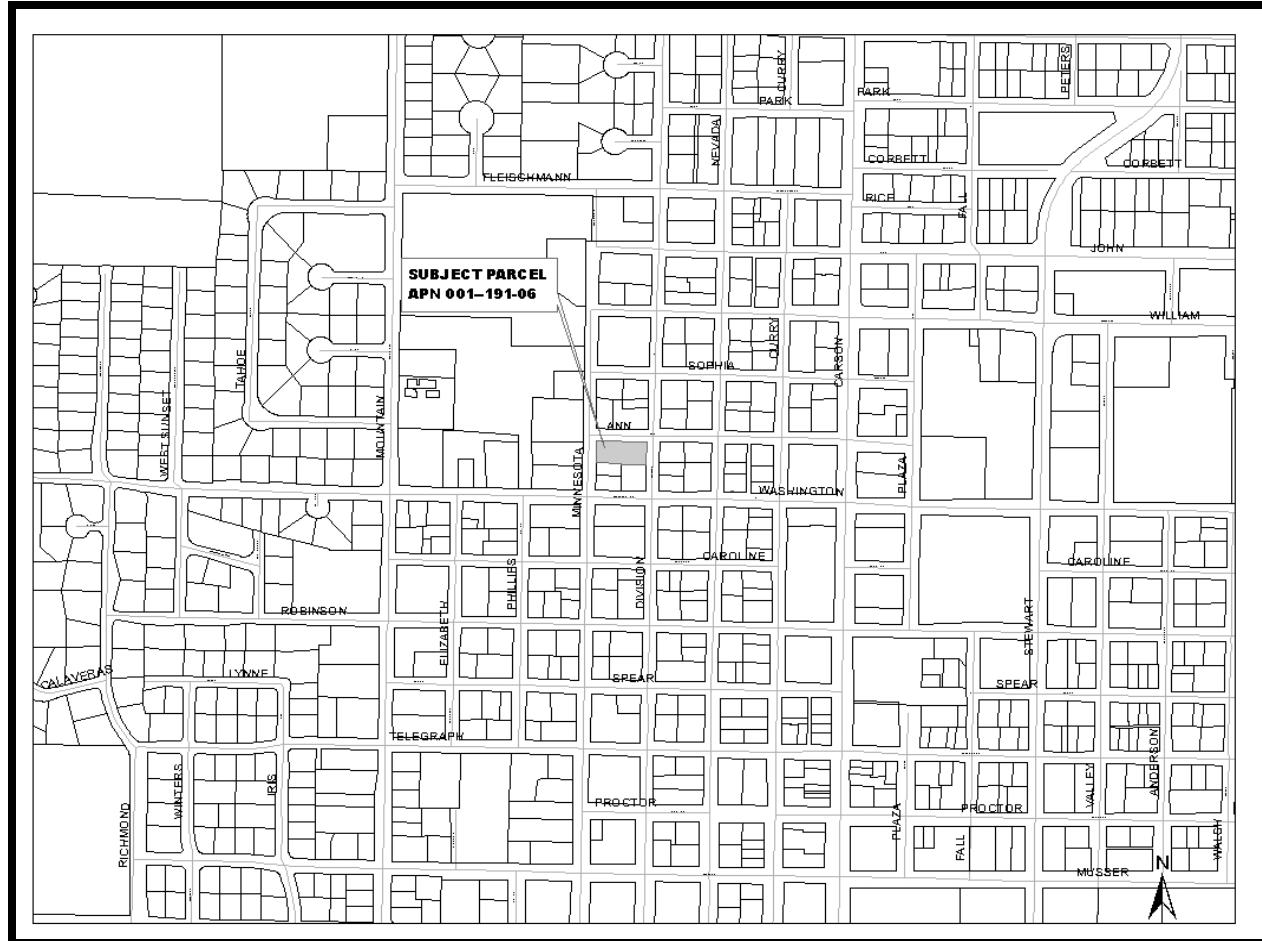
STAFF AUTHOR: Jennifer Pruitt, Principal Planner

REQUEST: Special Use Permit to allow eight multi-family dwelling units within the Residential Office (RO) zoning district.

OWNER/APPLICANT: Herman Bauer/Al Salzano, Architect

LOCATION/APN: 812 N. Division Street/ 001-191-06

RECOMMENDED MOTION: "I move to approve SUP-11-042, a Special Use Permit request to allow eight multi family dwelling units within the Residential Office zoning district, located at 812 N. Division Street, APN 001-191-06, based on the findings and subject to the conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is approved by August 19, 2014. This approval for SUP-11-042 shall run concurrently with the approvals of AB-10-038 and HRC-10-102.

The following shall be submitted with any building permit application:

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval, signed by the applicant and owner, with any building permit application.

The following applies to the site throughout the life of the project:

6. Trash and debris must be stored inside an appropriate trash container within an approved trash enclosure on the site of the proposed development.
7. The applicant shall provide a final landscaping plan, in compliance with Division 3 of the Carson City Municipal Code, to the Planning Division for review and approval with any associated permit application.
8. The applicant shall provide lighting within public parking areas and access ways to provide safety and security. All light sources shall be located and installed in such a way as to prevent spillover lighting onto adjoining properties, and glare to the sky. Lights must be recessed or shielded with a 90-degree cutoff so that light is projected downward and not horizontally or upward. Light sources or refractors shall not extend below the bottom of the shield. Exterior light fixture details shall be submitted with a building permit application submission for review and approval.
9. Ground-mounted equipment (HVAC, etc.) shall be screened from view through the use of landscaping or architectural means.
11. Exterior building colors shall be muted or earth-tone in color. Bold colors shall be prohibited except when used as accent or trim. Provided colors of stucco described as Pacific Sand for the main color and an accent color of Pueblo

submitted with the application are acceptable.

12. Provide 16 on-site parking spaces, including one handicapped space.
13. The proposed project shall meet the conditions of approval for AB-10-038.
14. The proposed project shall meet the conditions of approval for HRC-10-102.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), CCMC 18.04.110 Residential Office (RO), CCMC DS 1.18 Residential Development Standards in Non-Residential Districts.

MASTER PLAN DESIGNATION: Mixed Use Residential

PRESENT ZONING: Residential Office (RO)

KEY ISSUES: Will the proposed multi family use be in keeping with all of the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION

EAST: Residential Office-Office Uses

WEST: Residential Office—Apartments, Office Use and Commercial uses

NORTH: Residential Office-Apartments and Office Use

SOUTH: Residential Office- Single Family Uses and Office Use

ENVIRONMENTAL INFORMATION

- 1 FLOOD ZONE: XS Zone (areas of minimal flooding)
- 2 EARTHQUAKE FAULT: Zone II
- 3 SLOPE/DRAINAGE: Site is primarily flat
- 4 SOILS: 71: Urban Land

SITE DEVELOPMENT INFORMATION

- 1 LOT SIZE: 13,929 square feet existing, 16,730 square feet with approved AB-10-038.
- 2 STRUCTURE SIZE: Existing single-family dwelling 688 square feet. This project is proposed as two 4,256 sf four-plex structures to replace the single-family dwelling unit.
- 3 STRUCTURE HEIGHT: Two stories approximately 29+ feet overall height.
- 4 PARKING: The proposed two four plex units are required to provide 16 parking spaces. The plan provided identifies 16 parking spaces, including one handicapped parking space specifically for the proposed multi family use; eight of the parking spaces are proposed to be covered with carports and eight spaces are uncovered.

5 SETBACKS:

Required:

<u>Front</u>	<u>L Side</u>	<u>R Side</u>	<u>Rear</u>
10 feet	10 feet	10 feet	20 feet

Proposed:

<u>Front</u>	<u>L Side</u>	<u>R Side</u>	<u>Rear</u>
10 feet	10 feet	10 feet	NA

6 VARIANCES REQUESTED: None

ADDITIONAL REVIEWS:

- On July 21, 2011, the HRC is scheduled to review the application. Staff will provide the HRC action to the Planning Commission as late information.
- On May 12, 2011, the HRC conditionally approved the proposed project. Unfortunately, there was a noticing error and the item was required to return to the HRC for proper notice and reconsideration of the proposed project.
- April 05, 2011, the required Major Project Review, MPR-11-020, was conducted in the Planning Division. At the meeting, City staff provided the applicant with comments related to the proposed project. The HRC Chairman, Mike Drews, also attended the MPR meeting.
- December 09, 2010, the HRC reviewed and approved the demolition of the existing single family dwelling unit and accessory structures and approved the conceptual plan with the stipulation that the applicant provides more detail on possible covered parking alternatives and materials for the proposed apartment complex.
- August 19, 2010, the Board of Supervisors approved AB-10-038.
- July 28, 2010, the Planning Commission reviewed and recommended approval to the Board of Supervisors AB-10-038. The request allowed the abandonment of an eight foot wide portion of N. Minnesota Street, W. Ann Street and N. Division Street, totaling a 3,814-square-foot area, more or less, adjacent to, properties located at 803 N. Minnesota Street, 444 W. Washington Street and 812 N. Division, APNs 001-191-02, 001-191-05 and 001-191-06.

DISCUSSION:

A Special Use Permit is required for the following reason:

- According to CCMC Section 18.04.110.3 Residential Office Conditional Uses, Multi-family use requires a special use permit.

The applicant, AL Salzano of AL Salzano Architect, is proposing (two) two-story four-plex buildings on a Residential Office zoning district site. The subject site of 13,929 square feet currently has a 688 square foot single-family dwelling unit slated for demolition. Demolition is proposed for the existing carriage house and sheds on site.

The subject site is within the Carson City Historic District. This item has been before the Historic Resources Commission multiple times for various reasons. The buildings are designed in a Craftsman/Bungalow style of architecture to be compatible with the neighborhood and the historic district of Carson City.

The proposed multi-family project must comply with Development Standards 1.18, Residential Development standards in Non-Residential Districts criteria:

1.18 Residential Development Standards in Non-Residential Districts.

The following standards are intended to establish minimum standards and Special Use Permit review criteria for residential development within the Neighborhood Business (NB), Retail Commercial (RC), General Commercial (GC), Residential Office (RO) and General Office (GO) zoning districts.

1. Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts.

There is a diverse group of mixed area uses in this area of Carson City, which includes office uses, commercial uses, single-family dwelling units and multi-family dwelling units. This parcel, in particular, has been vacant for years and has a single-family dwelling unit and accessory structures on site.

2. Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of this chapter.

The applicant has met all the current requirements for the maximum permitted density. The proposed project satisfies the setback, parking, open space and height requirements subject to the Residential Office zoning district.

3. Maximum building height shall be the maximum height established by the zoning district in which the project is located.

The maximum building height requirement is set at 35 feet in the Residential Office zoning district. The proposed project is approximately 29+ feet tall at its highest point, the ridgeline.

4. Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:

- a. In the NB, RC, GC and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district.
- b. A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area.

This property is not adjacent to a residential or single-family zoning district. Therefore, the minimum required setback in the Residential Office zoning district is 10 feet. The proposed project would have a 10 foot setback on the front, 10 foot setback on the sides and the rear setback is non applicable.

- A. *The proposed project is in the RO zoning district, and in this case, it is considered a non-residential zoning district.*
- B. *The proposed project meets all of the set back requirements. It is not located on an arterial street, but is on a collector street.*

5. Required parking: Two spaces per dwelling unit; and in compliance with the Development Standards Division 2, Parking and Loading.

The proposed multi-family project is in compliance with the Development Standards for parking, with one designated handicap parking space included in 16 on-site parking spaces which is the number required for the proposed multi-family use.

6. Open Space.

- a. A minimum of 150 square feet per dwelling unit of common open space must be provided. For projects of 10 or more units, areas of common open space may only include contiguous landscaped areas with no dimension less than 15 feet, and a minimum of 100 square feet per unit of the common open space area must be designed for recreation, which may include but not be limited to picnic areas, sports courts, a softscape surface covered with turf, sand or similar materials acceptable for use by young children, including play equipment and trees, with no dimension less than 25 feet.

- b. A minimum of 100 square feet of additional open space must be provided for each unit either as private open space or included in the common open space area.
- c. Front and street side yard setback areas may not be included toward meeting the open-space requirements.

The proposed multi family project is required to provide a minimum of 2,000 square feet of open space. The project as proposed includes 2,375 square feet of open space. The proposed open space includes approximately 1,415 square feet of common open space (1,200 square feet required) and 960 square feet of private open space as patio areas (800 square feet required). The setback areas are not included in the open space calculations provided.

- 7. Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping.

All the landscaping on the proposed project will comply with the Carson City Development Standards Division 3. The drawings shall be created by a Licensed Landscape Architect or other professional allowed to create and submit plans. The submitted plans will be modified as needed to comply with Development Standards Division 3 Landscaping.

- 8. Special Use Permit review standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code:

- a. The development is not situated on a primary commercial arterial street frontage.

The proposed project is not a primary commercial arterial street.

- b. The development is integrated into a mixed-use development that includes commercial development

Currently, the property sits within a mix-use development area that also includes office, commercial and residential development. A primary dwelling unit slated for demolition is already on the site. The property is centrally located in Carson City and is located in the Historic District.

This project will add value to the area, by placing a more aesthetically pleasing apartment complex, where an unoccupied

single-family dwelling is located. New sidewalks, curbs and gutters will be installed as a result of the proposed project. Trees will be relocated from the subject site to the Carson City Greenhouse project. The new landscaping which is proposed for the site will compliment the proposed apartment project. The project will be using durable long lasting building materials such as weather resistant stucco and 40-year composition roof shingles.

c. The applicant has provided evidence that the site is not a viable location for commercial uses.

The applicant has noted that the proposed site is not viable for commercial development. The applicant has noted that the vacancy rate of existing professional office spaces in Carson City is currently very high.

d. The site is designated Mixed-Use Commercial, Mixed-Use Residential or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable mixed-use criteria and standards.

This item is applicable to the proposed project. The project is located in an area identified as MUR. The applicant has included in the packet, the Interim Mixed-Use Evaluation Criteria.

With the recommended conditions of approval, the applicant has made the findings to grant approval. The Planning Division staff is in support of this special use permit application. Therefore, staff recommends, that the Planning Commission approve SUP-11-042 based on the required findings as noted on the following pages.

PUBLIC COMMENTS: Public notices were mailed to 32 adjacent property owners within 300 feet of the subject site. At the writing of this report, no comments have been received in favor or opposition to the proposal. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on July 27, 2011, depending on the date of submission of the comments to the Planning and Community Development Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Division:

1. Commercial submittals shall show compliance with the following codes, and adopted amendments:

- 2006 International Building Code

- 2006 International Energy Conservation Code
- 2006 International Fire Code
- 2006 Uniform Mechanical Code
- 2006 Uniform Plumbing Code
- 2005 National Electrical Code
- 2003 ICC/ANSI A117.1 (For accessible design)

2. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.

3. As a part of a complete submittal, provide a separate plan sheet, which clearly shows the ***Accessible Route / Exit Discharge Plan***. The ***Accessible Route / Exit Discharge Plan*** shall have the following minimum information from the accessible entrance of the facility to the public right of way. ('06 IBC Section 1007, 1104.1 & ICC/ANSI A117.1-2003 Chapter 4 & 5):

- Indicate accessible route surface
- Indicate accessible route slope
- Indicate accessible route width (Minimum width is 36" (thirty-six inches); however, if the wheelchair is near a drop or change in elevation, a guard will be required. The reason is that a disabled person may not be able to hold a straight line with their wheelchair, and it may meander while navigating the accessible route.) (ICC/ANSI A117.1-2003 Section 4 03.5 & Table 403.5)
- Indicate accessible route turn radius
- Indicate all accessible ramps, with a dimensioned cross section details indicating slope & guardrails (where applicable)
- Indicate the location and type of the detectable warning surface at curb ramps, island or cut-through medians (ICC/ANSI A117.1-2003 Sections 406.13, 406.14 & 705)
- Indicate all accessible parking, with signage
- Indicate location of all building and site accessible signage, with an elevation view to verify compliance with required text, height, etc.

NOTE: The *Accessible Route / Exit Discharge Plan* shall clearly show the accessible route from the accessible entrance of the facility to the accessible parking, public streets and sidewalks – as applicable to the site. ('06 IBC 1007.2, 1023.6, & 1104.1)

4. As a part of the submittal, include a complete “Architectural Design Analysis”, which shall include a **complete** break down of the allowable area and height versus the actual area and height.

5. A complete Geotechnical Report will be required. The Geotechnical report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('03 IBC 1802.2.7 #2)

Fire Department:

- Applicant must meet all codes and ordinances as they relate to this request.

Engineering Division:

- The Engineering Division has no preference or objection to the special use request.

Health Division: No comments regarding the project as described in the packet received.

- The Carson City Health and Human Services has no comments on this project.

Environmental Control Authority: No comments or requirements for the project.

- ECA has no requirements for this project.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

Chapter 3: A Balanced Land Use Pattern

The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

The applicant states this project is an infill project and is in keeping with the intent of the Master Plan, and is adjacent to mixed-use areas. The proposed multi family project will be more sustainable than the vacant single- family dwelling unit on site.

Chapter 5: Economic Vitality

The applicant notes that this project is within the Historic District and is designed to blend with and enhance the historical character of the area. The project will also provide living opportunities near downtown (5.6.c).

Chapter 6: Livable Neighborhoods and Activity Centers

The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Use durable, long-lasting building materials (6.1a). The project is proposed to be built with a stucco exterior finish and a 40-year composition roof.

Chapter 7: A Connected City

The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

The proposed project will provide new pedestrian sidewalks with ADA ramps on all street frontages, which are not currently in place.

The applicant has noted that the proposed project will utilize durable, long lasting materials such as a 40-year roof, weather-resistant-stucco and improved landscaping on site.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

Although the property is currently zoned Residential Office, a vacant single family dwelling unit and accessory structures of poor condition are located on the property are scheduled for demolition. The applicant is proposing to put in a modern apartment complex with historical architectural influences with adequate parking and improved landscaping. The applicant states the proposed addition of the proposed apartments will not negatively affect change the values of the area as the addition of more multi-family housing units will be in harmony with existing uses.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

As noted by the applicant, there will be an increase of traffic due to the proposed increase of density because of the proposed project. As noted previously, the proposed project will provide improvements on all street frontages of the subject site.

Per the information provided by Development Engineering, this proposal will have minor effects on traffic or pedestrian facilities.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The proposed project will not have a significant impact on the school district that is already in existence.

All of the land area that will be paved or have a compacted surface with regards to drainage will be addressed by the project engineer.

Currently water and sewer services are available in the immediate vicinity and servicing the subject site.

No road improvements will be required other than replacing curb, gutter, sidewalk and road areas, which are destroyed or marred during construction for improvements to the site. In addition, a driveway approach may be required to be constructed for access to the site. As part of the proposed project, the applicant will replace the sub-standard sewer lateral in W. Ann Street.

Fire protection will be provided by Fire Station #1 and police protection will be provided by the Sheriff's office of Carson City.

Per the information provided by Development Engineering Division, this proposal will have little effect on existing public services. The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The purpose of the Residential Office zoning district is to preserve the desirable characteristics of the residential environment insofar as possible while permitting selected, nonresidential uses; to promote the development of offices in appropriately located areas in the vicinity of commercial zones and multiple family residential zones, along major thoroughfares, or in other portions of the city in conformity with the Master Plan; and to preserve adequate usable open space for the benefit of the occupants within the area and to ensure appropriate development of sites occupied by other uses in a manner comparable to and harmonious with the residential uses in the area or district.

Multi Family is a conditional use in accordance with Title 18.04.110.3 Residential Office (RO) Conditional Uses. Therefore, the project requires approval of a special use permit. The project also requires compliance with Development Standards 1.18 Residential Development Standards in Non-Residential Districts.

This project is subject to Historic District 18.06.010 Purpose-Applicability. The purpose of the Historic District code is to promote the educational, cultural and economic values of Carson City, and the health, safety and general welfare of the public through the preservation, maintenance and protection of districts, sites, buildings, and objects of significant historical, archaeological and cultural interest within Carson City.

This project is subject to the Historic District Development Standards 5.27 Guidelines for New Construction. New construction which is appropriately designed is encouraged by the Carson City Historic Resources Commission. The Historic District should be an active and vital part of the city. New construction should look new and reflect the technology, building materials and design ideas of the present era. The design of new construction needs to be compatible and respectful of the historic building stock that surrounds it so that visual conflict and confusion are avoided. There is no formula that will guarantee "good design". There are specific elements of building design, which can be identified, and therefore, addressed in a review process so that consistency can be achieved. As noted previously, the project has been designed in a Craftsman/Bungalow

style per the Carson City Historic District Design Guidelines.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The proposed project is centrally located and will allow great access to Carson City. The project is also in Redevelopment District #1. The project is located in an area of Carson City, which is clearly a mixture of uses, which include residential, commercial and office uses.

Placing this new housing opportunity so near to all of these places allows opportunities and access to the local community. This housing opportunity would be within walking distance of many of the facilities available in the downtown area as well.

Trash and debris must be stored inside an appropriate trash container within an approved trash enclosure on the site of the proposed development.

7. Will not result in material damage or prejudice to other property in the vicinity.

If the project is allowed to proceed, the benefit to the community will be well placed and desirable housing, with modern conveniences at a central location. The local business community, families and Carson City would see better opportunities arise in the long and short range. Affordable, safe, housing offered to the public with an abundance of access to all that Carson City offers, would be plus for everyone.

The centrally located site is within an area that currently has a mix of office, commercial, multi-family and residential uses and will not result in material damage or prejudice to other properties within the vicinity.

Respectfully Submitted,

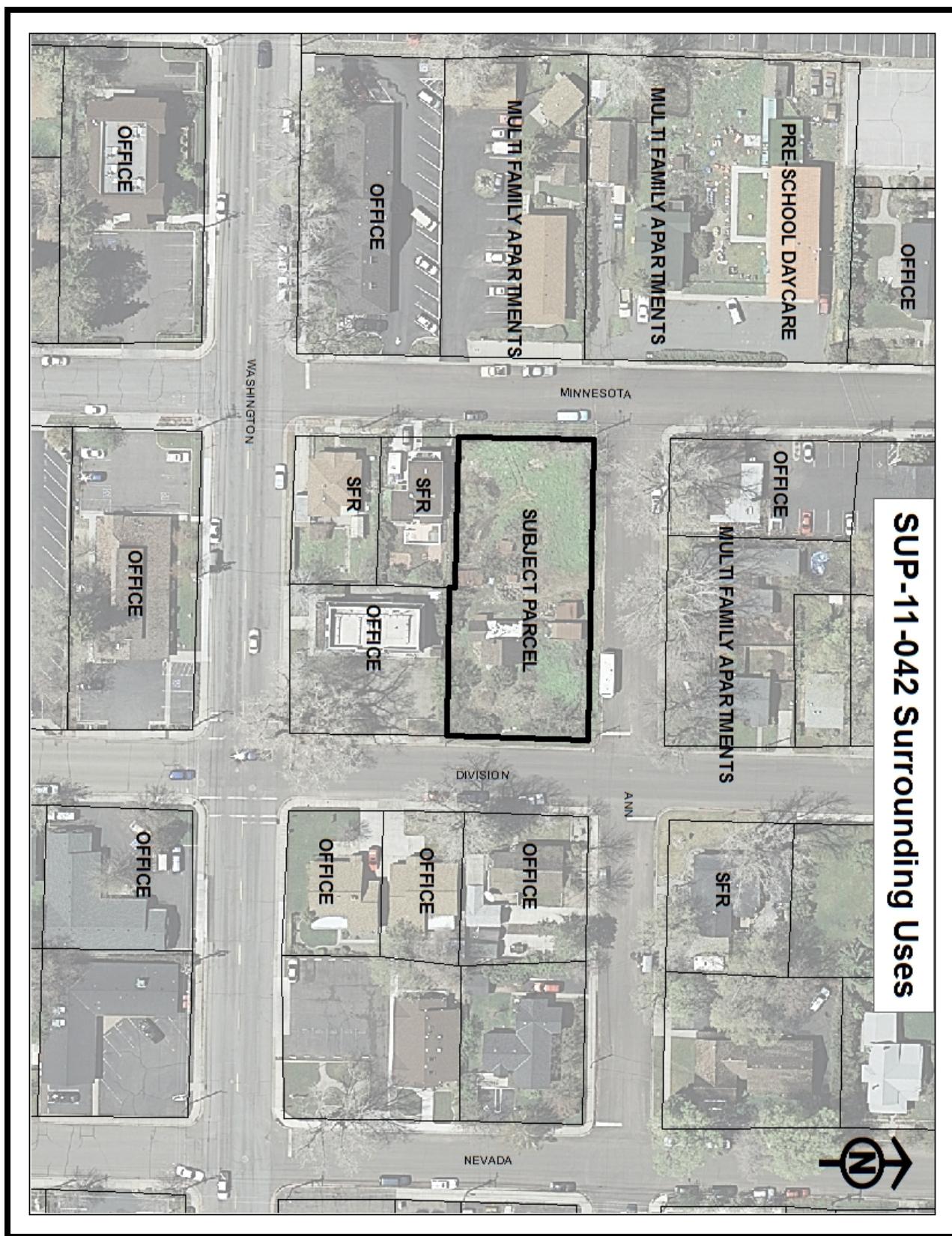
PUBLIC WORKS DEPARTMENT, PLANNING DIVISION

Jennifer Pruitt

Jennifer Pruitt, AICP, LEED AP
Principal Planner

Attachments:

AB-10-038 Notice of Decision
Building Division comments
Fire Department comments
Engineering Division comments
Environmental Control comments
Application (SUP-11-042)





Carson City Planning Division

108 E. Proctor St.
Carson City, Nevada 89701
(775) 887-2180
Planning@carson.org
www.carson.org

BOARD OF SUPERVISORS AUGUST 19, 2010

NOTICE OF DECISION

A request for a right-of-way abandonment, AB-10-038, was received from Tri State Surveying (property owners: Herman C. Bauer, Alexander Kirsch and Jeannie Bangham) to reduce the existing right-of-way width by eight feet adjacent to properties zoned Residential Office (RO), located at North Minnesota, North Division, and West Ann Streets, APN's 001-191-02, -05, and -06 and authorize the mayor to sign the Order of Abandonment.

The Board of Supervisors conducted a public hearing on August 19, 2010, in conformance with City and State legal requirements, and approved AB-10-038 based on the conditions of approval contained in the staff report, and to authorize the Mayor to sign the Order of Abandonment.

RIGHT-OF-WAY ABANDONMENT AND CONDITIONS OF APPROVAL:

1. Prior to the recordation of said abandonment, the applicant shall be responsible for the submittal of all necessary legal documentation and title search materials if required by the Planning Division in order to fully complete the abandonment process.
2. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further considerations (this Notice of Decision will be mailed to the applicant for signature after approval by the Board of Supervisors).
3. All other departments' conditions of approval, which are attached, shall be incorporated as conditions of this report.
4. This abandonment pertains to:
 - APN: 001-191-02: The area of the proposed abandonment adjacent to this parcel is 360 square feet, more or less.
 - APN: 001-191-05: The area of the proposed abandonment adjacent to

this parcel is 696 square feet, more or less.

- APN: 001-191-06: The area of the proposed abandonment adjacent to this parcel is 2,758 square feet, more or less.

5. The abandonment is conditioned upon construction of curb, gutter and 5 foot wide sidewalk, with appropriate driveway approaches and accessible curb ramps, along all three frontages of the Bauer property as shown conceptually on the map exhibit prepared by Tri State Surveying, sealed by Gregory S. Phillips, PLS dated 6/8/10. Construction of said frontage improvements will require relocation of existing overhead utility lines such that there will be no utility poles or anchors located within the new sidewalk area. Required frontage improvements and utility relocations will be designed, permitted, and constructed by the applicant at no expense to Carson City.
6. Records indicate that there are existing public utilities within the right of way areas to be abandoned. Said utilities shall be continued and not be affected by the abandonment. Each utility company may reserve an easement along the alignment of existing utility infrastructure as well as in a public utilities easement for future utility installation or relocation.
7. Recordation of the abandonment shall not occur until such time as the City has accepted construction of the frontage improvements and utility relocations described above.
8. Conditional approval for the requested abandonment shall expire **four years** after Board of Supervisor approval of the original application, unless the applicant has completed the required frontage improvements and utility relocations, or unless an extension of time has been granted by the Board of Supervisors.

This decision was made on a vote of 4 ayes, 0 nays and 1 absent.

Lee Plemel, Planning Director

LP/jmb

Mailed: _____ By: _____

Please sign and return this notice of decision with 10 days of receipt.

I have read and acknowledge the Conditions of Approval as approved by the Carson City Board of Supervisors.

APPLICANT and/or OWNER SIGNATURE

DATE

(Applicant/Owner Printed Name)

RETURN TO:
Carson City Planning Division
108 E. Proctor St.
Carson City, NV 89701

Enclosures:

1. Planning Commission Notice of Decision (2 copies – Please sign and return only one; the second copy is for your records.)
2. Self-Addressed Stamped Envelope

File # (Ex: MPR #07-111)	HRC-10-102
Brief Description	Bauer 8 Unit Complex
Project Address or APN	APN #01-191-06
Bldg Div Plans Examiner	Kevin Gattis
Review Date	May 12, 2011
Total Spent on Review	

BUILDING DIVISION COMMENTS:

1. Commercial submittals shall show compliance with the following codes, and adopted amendments:
 - 2006 International Building Code
 - 2006 International Energy Conservation Code
 - 2006 International Fire Code
 - 2006 Uniform Mechanical Code
 - 2006 Uniform Plumbing Code
 - 2005 National Electrical Code
 - 2003 ICC/ANSI A117.1 (For accessible design)
2. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.
3. As a part of a complete submittal, provide a separate plan sheet, which clearly shows the **Accessible Route / Exit Discharge Plan**. The **Accessible Route / Exit Discharge Plan** shall have the following minimum information from the accessible entrance of the facility to the public right of way. ('06 IBC Section 1007, 1104.1 & ICC/ANSI A117.1-2003 Chapter 4 & 5):
 - Indicate accessible route surface
 - Indicate accessible route slope
 - **Indicate accessible route width** (Minimum width is 36" (thirty-six inches); however, if the wheelchair is near a drop or change in elevation, a guard will be required. (ICC/ANSI A117.1-2003 Section 4 03.5 & Table 403.5)
 - Indicate accessible route turn radius
 - Indicate all accessible ramps, with a dimensioned cross section details indicating slope & guardrails (where applicable)
 - Indicate the location and type of the detectable warning surface at curb ramps, island or cut-through medians (ICC/ANSI A117.1-2003 Sections 406.13, 406.14 & 705)
 - Indicate all accessible parking, with signage
 - Indicate location of all building and site accessible signage, with an elevation view to verify compliance with required text, height, etc.

NOTE: The **Accessible Route / Exit Discharge Plan** shall clearly show the accessible route from the accessible entrance of the facility to the accessible parking, public streets and sidewalks – as applicable to the site. ('06 IBC 1007.2, 1023.6, & 1104.1)

The ground floor units are required to be either "Type A or B" accessible.
4. As a part of the submittal, include a complete "Architectural Design Analysis", which shall include a **complete** break down of the allowable area and height versus the actual area and height.

5. A complete Geotechnical Report will be required. The Geotechnical report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures. ('06 IBC 1802.2.7 #2)



CARSON CITY FIRE DEPARTMENT

"Service with Pride, Commitment, Compassion"

MEMORANDUM

TO: Community Development

FROM: Duane Lemons, Fire Inspector

DATE: June 22, 2011

SUBJECT: AGENDA ITEMS FOR JULY 27, 2011 PLANNING COMMISSION MEETING.

We reviewed the agenda items for the Planning Commission Meeting and have the following comments:

- ZCA-08-127 Carson City Planning We have no concern with the applicant's request.
- SUP-04-090a Granite Construction Co. We have no concern with the applicant's request.
- SUP-11-042 Herman Bauer The applicant must meet all codes and ordinances as they relate to this request.
- AB-11-043 Robert Morris & Kay Ellen Armstrong, Nancy & Kurt Grange We have no concern with the applicant's request.

DL/lb

**Engineering Division
Planning Commission Report
File Number SUP 11-042**

TO: Planning Commission

FROM: Rory Hogen, E.I.

DATE: July 6, 2011

MEETING DATE: July 27, 2011

SUBJECT TITLE:

Action to consider an application for a Special Use Permit from Al Salzano, applicant, and Herman Bauer, owner to construct a multi family apartment dwelling in Residential Office zoning at 812 N. Division St., apn 01-191-06.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Below are our comments:

- 1) All construction and improvements must meet the requirements of Carson City and State of Nevada Codes and Development Standards.
- 2) All requirements set forth in the Conditions of Approval for the right of way abandonment for this project also apply to this Special Use Permit.
- 3) The City has agreed to fund 50% of the cost of the replacement of the 5" clay sewer main in Ann St. up to \$20,000. This is subject to Board of Supervisors approval.

CCMC 18.02.080 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The proposal will affect traffic or pedestrian facilities, but the changes will be minor.

CCMC 18.02.080 (5d) - Public Services

Existing facilities appear to be adequate for this project.

June 22, 2011

Major Project Review Committee

Re: # SUP – 11-042

Dear Kathe,

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the SUP -11-042 @812 N Division St. project:

1. ECA has no requirements for this project.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor
Ken Arnold, Public Works Environmental Manager

Carson City Planning Division

Special Use Permit Application

New Apartment Complex for Mr. Herman Bauer
812 N. Division Street
Carson City, Nevada

July 2011

SALZANO
ARCHITECT

5935 grass valley rd
reno, nevada 89510
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www.alsalzano.com
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RECEIVED

JUL 05 2011

CARSON CITY
PLANNING DIVISION

L SUP - 11 - 042

812 N. Division Street – Treadway Manor Apartments

SPECIAL USE PERMIT APPLICATION QUESTIONNARE

Question 1:

How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

Addressing each of the Master Plan themes in order, the first being a “Balanced Land Use Pattern.” This project will provide Multi-family housing in a mixed-use Residential Office (RO) zoning, which meets the theme intent of providing a diverse choice in housing. Although not within the downtown mixed-use area, the project is an in-fill project in an older developed neighborhood, utilizing existing city resources per the theme.

The second theme of “Equitable Distribution of Recreational Opportunities” is not applicable to this project, although open space on-site is provided for apartment residents per City code.

The third theme of “Economic Vitality” mentions a supply of varied housing choices which this project provides. Additionally, the project is located in the Historic District, and is being designed to blend with and enhance the historical character of the area. The project also revitalizes a currently run-down property in the City.

Theme four is “Livable Neighborhoods & Activity Centers” which has the focus of increasing the quality of development, encouraging in-fill, creating a diversified mix of housing, and protecting and enhancing the City’s historic resources – all of which are provided by this project.

Theme five is “A Connected City”, and the only portion of the project that could be considered to address this theme is that new pedestrian sidewalks with ADA curb ramps are being provided on all three existing street fronts, none of which currently have sidewalks.

Question 2:

Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

- A. Most of the surrounding adjacent uses are existing single-family residences. A few have been converted to office use. There are adjacent multi-family uses slightly farther to the North and South of similar size to the proposed project.
- B. Although most of the surrounding properties are single-story, single-family residences, there are similar two-story multi-family projects to the North and South of the property. The use is not detrimental, as it is still a residential use. The only uses that are not contained in the building are the required exterior open space areas. Construction generated dust and noise will be controlled using appropriate techniques and best building practices. The project is designed to blend with the historical character of the neighborhood and the greater Historic District, being designed in a Craftsman/Bungalow style per the Historical District Guidelines.
- C. The proposed project will not be detrimental to the surrounding uses or the neighborhood, as the use is still residential – just small scale multi-family vs. single-family. Also, the quality of the development is high and it will be an asset to the area.
- D. The impact on pedestrian and vehicular traffic from the proposed project will be minimal. There will be an increase in traffic due to the increased density. New sidewalks are provided on all three existing street frontages, so pedestrian access will be improved with the project.

- E. Short-range benefits from the proposed project would be construction jobs. Long-range benefits to the City would be from the diversity of housing provided, tax revenue, and the quality of the project improving the neighborhood and surrounding property values.

Question 3:

Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

- A. Effect on schools and Sheriff services will be minor, as the increased density is very minor.
- B. Drainage from the project will be accommodated by improvements to the existing sewer in West Ann Street. The project will require that a sub-standard sewer line be replaced by the project.
- C. The existing water supply is adequate to serve the project with good pressure and in good repair. The site is not served by a well.
- D. The site is not on a septic system and the sewer capacity to serve the project is adequate. As previously stated, the project will be required to replace a sub-standard sewer lateral in W. Ann Street.
- E. No road improvements are required. New sidewalk & curb improvements are required to be provided with ADA compliant curb ramps at both intersections.
- F. The source of information for the above is a Major Project Review and Historical Resource Commission review, both of which have previously been completed for the proposed project.
- G. The only outdoor lighting that will be provided with the project will be porch lighting as part of the structures. Most porch lighting will be under roofs and will be recessed can down lighting, so all exterior lighting will not produce glare and will be "dark sky" compatible.
- H. Landscaping will consist of small lawn areas for minor outdoor recreation by the apartment residents, and native plant materials that require minimal water use. Landscaping will meet all City requirements and accent the intersections of both street corners on the property.
- I. All required parking is provided on-site. A portion of the parking is covered with canopy structures designed to be compatible with the character of the apartments and the historic district.

812 N. Division Street – Treadway Manor Apartments

PROJECT DESCRIPTION

The proposed project is a new 8-unit apartment complex consisting of two 2-story buildings, each containing two apartment units per floor. The buildings front on the East and West street frontages with common parking between the buildings. Approximately half of the parking is covered with canopy structures designed to match the character of the apartment buildings.

The project is located in the historic district and is designed to meet all requirements thereof. The buildings are designed in a Craftsman/Bungalow style of Architecture to be compatible with the neighborhood and the historic district. An existing single-family residence along with a carriage house and shed are being demolished, which has already been approved by the Historic Resource Commission.

812 N. Division Street – Treadway Manor Apartments

1.18 RESIDENTIAL DEVELOPMENT STANDARDS:

1. **Permitted Uses:** Multi-Family housing is a permitted use with a Special Use Permit in the RO zoning.
2. **Maximum Permitted Density:** There are no maximum residential densities within non-residential zoning districts.
3. **Maximum Building Height:** The maximum building height of 29 feet is less than the maximum height established by the zoning district (RO) of 35 feet.
4. **Setbacks:** Minimum setbacks shall be those established by the zoning district, which are 10 feet front and side yards, and 20 feet rear yard.
5. **Required Parking:** Two (2) spaces per dwelling unit required and provided.
6. **Open Space:**
 - a. A minimum of 150 sq.ft. per dwelling unit of common open space is required and provided.
 - b. A minimum of 100 sq.ft. of additional open space must be provided for each unit either as private open space or common open space. 120 sq.ft. private patio/decks provided.
 - c. Front and street side yard setback areas may not be included toward meeting the open space requirements. Setbacks are not included in open space calculations provided.
7. **Landscaping:** Landscaping shall comply with the Carson City Development Standards and do.
8. **Special Use Permit Review Standards:** Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative:
 - a. The development is not situated on a primary commercial arterial street frontage.
 - c. The applicant has provided evidence that the site is not a viable location for commercial development. Information has previously been provided that the vacancy rate for professional office space in Carson City is currently very high.

SITE DEVELOPMENT HISTORY:

The history of the proposed project started in the spring of 2010. It was realized during initial planning on the property that there were old right-of-way easements that were not planned to be utilized, and that abandonment of said easements would substantially increase the buildable area of the lot, as it is bound by streets on three sides. So a request for abandonment of the right-of-way easements was submitted, and approval was granted on August 19, 2010 with a time limit of four (4) years.

Since there are existing structures on the property that will require demolition, and since the property is located in the Historic District, the next step was a preliminary submittal to the Historic Resources Commission. This was done in October 2010, and after being re-scheduled due to a lack of quorum in November, was reviewed and approved on December 9, 2010. A condition of approval was for a final HRC review after making MPR submittal.

MPR submittal was made in March and reviewed on April 5, 2011 with minor comments.

A second HRC review submittal was made in April, and reviewed and approved by the Committee on May 5, 2011. Due to noticing issues, the HRC submittal will be re-reviewed on July 21, 2011 and a second approval is anticipated.

The final step before building permit drawings can be submitted is Special Use Permit (SUP) review per the requirements of the Residential/Office (RO) zoning allowing multi-family projects as a conditioned use.

TIME FRAME COORDINATION:

If the submitted Special Use Permit application is approved, the project could be ready for permit submittal by the middle or end of August. It is anticipated that construction could begin early in October.

But in the event that Mr. Bauer decides to delay the start of construction, we would like to request that the SUP time frame run concurrent with the Abandonment approval which is good through August of 2014.



Appendix C: Interim Mixed-Use Evaluation Criteria

PURPOSE:

The implementation of numerous policies contained within the Master Plan hinges on the creation of three mixed-use zoning districts to align with the Mixed-Use Commercial (MUC), Mixed-Use Employment (MUE), and Mixed-Use Residential (MUR) land use categories. Recognizing that mixed-use development proposals have already been and will continue to be submitted within these areas prior to the completion and adoption of the future mixed-use zoning districts, a set of Interim Mixed-Use Evaluation Criteria have been developed to:

- Facilitate higher intensity, mixed-use development in locations designated on the Land Use Plan for mixed-use development, but where mixed-use zoning is not currently in place;
- Encourage the incremental transition of existing uses in locations designated on the Land Use Plan for mixed-use development, recognizing that in some locations, mixed-use development may be perceived as incompatible with existing adjacent uses in the short term;
- Establish a consistent method for reviewing mixed-use development projects until mixed-use zone districts can be established; and
- Ensure that mixed-use development is consistent with the General Mixed-Use policies contained in the Master Plan, as well as with specific MUC, MUE, and MUR policies, as applicable.

The Interim Mixed-Use Evaluation Criteria will continue to be used as a tool to review mixed-use development proposals until mixed-use zone districts can be established.

MIXED-USE EVALUATION CRITERIA:

APPLICABILITY

The following Interim Mixed-Use Evaluation Criteria shall apply to all development proposed within the Mixed-Use Residential (MUR), Mixed-Use Commercial (MUC), and Mixed-Use Employment (MUE) land use categories. The application of these Criteria shall be triggered in one of the following ways:

- *Existing Zoning/Special Use Permit*—Development is proposed within a mixed-use land use category where the underlying zoning may permit the types and mix of uses proposed using



Appendix C: Interim Mixed-Use Evaluation Criteria

the Special Use Permit process as outlined in Section 18.02.80 of the City's Municipal Code. The Interim Mixed-Use Evaluation Criteria are applied in addition to the standard list of Findings outlined in the Code.

Example: If a mixed-use project (commercial/residential) were proposed within the Mixed-Use Commercial land use category on a property that is currently zoned for General Commercial, the residential portion of the project would be considered using the Special Use Permit process under the existing Code. Once the Master Plan is adopted, the project would also be subject to the Interim Mixed-Use Evaluation Criteria as part of the Special Use Permit Process.

- **Re-Zoning/Special Use Permit**—Development is proposed within a mixed-use land use category where the underlying zoning does not permit the types and mix of uses proposed. In this instance, the subject property would need to be re-zoned to the most appropriate zoning district and then followed for the project and combined with a Special Use Permit or Planned Unit Development request to allow the mix of uses desired and to trigger the application of the Interim Mixed-Use Evaluation Criteria.

Example: If a mixed-use project (commercial/residential) were proposed within the Mixed-Use Commercial land use category on a property that is currently zoned for Light Industrial, the residential portion of the project would not be eligible for consideration using the Special Use Permit process under the existing Code. Therefore, the subject property would need to be rezoned to General Commercial prior to beginning the Special Use Permit Process that would allow the residential portion of the project to be considered under the Interim Mixed-Use Evaluation Criteria.

- **Planned Unit Development (PUD)**—Development is proposed within a mixed-use land use category where the underlying zoning does not permit the types and mix of uses proposed. As an alternative to the Re-Zoning/Special Use Permit process outlined above, a Planned Unit Development request could be submitted for the subject property, within which it could be re-zoned to the most appropriate zoning district(s) for the project. As part of the PUD process, the Interim Mixed-Use Evaluation Criteria would be applicable all other conditions of approval outlined in the City's Municipal Code.

GENERAL INTENT

The Mixed-Use Evaluation Criteria provide an overview of key mixed-use development features that should be addressed by proposed mixed-use developments occurring to ensure they are consistent with Master Plan policies. They are intended to be used in conjunction with the land use specific review criteria that follow this section based on the applicable mixed-use land use designation.

MIX OF USES**Background and Intent:**

Mixed-use developments should incorporate a variety of uses in a compact, pedestrian-friendly environment. Uses are encouraged to be mixed vertically ("stacked"), but may also be integrated horizontally. Recommended types and proportions of uses vary by mixed-use land use category and will also vary according to a project's location, size, and the surrounding development context. For example, a MUC development located on an individual parcel away from a primary street frontage may reasonably contain a higher percentage of residential development than one that is located with direct access and visibility from the primary street frontage. On some smaller parcels, integrating multiple uses may not be feasible at all, therefore, the consolidation of properties to create larger, mixed-use activity centers is encouraged. These factors should be considered and weighed in conjunction with the evaluation criteria listed below.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
1. Are the types of uses and percentages of different uses consistent with the relevant Master Plan policies listed below? (MUC 1.6, MUR 1.5, MUE 1.5)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
2. Are activity generating uses (e.g., retail/commercial) concentrated along primary street frontages and in other locations where they may be easily accessed and may be readily served by transit in the future?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>	
3. Are large activity generating uses (e.g., retail/commercial) located so as to minimize impacts of loading areas and other facilities on existing neighborhoods?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	
4. Are residential uses well-integrated with non-residential uses (either horizontally or vertically) and the surrounding development context?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	



Appendix C: Interim Mixed-Use Evaluation Criteria

5. Do the proposed housing types and densities promote activity and support non-residential uses in the development or in close proximity to the development, as applicable?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
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Relevant Master Plan Policies:

- Chapter 3: 2.1b, 2.3b, GMU 1.1, GMU 1.2, MUC 1.56, MUR 1.5, MUE 1.5
- Chapter 6: 7.2a, 7.2b

MIX OF HOUSING TYPES

Background and Intent:

Each of the mixed-use land use categories allow for the incorporation of a variety of housing as a part of a broader mix of uses. Although a mix of housing types and densities is encouraged within each category, the scale, size, type, and location of each development should play a significant role in determining what makes sense. For example, a 200 acre MUR development on a vacant parcel should generally contain a broader mix of housing types and densities than a 10 acre MUR development working within an established development context. However, the MUR development will likely have higher average densities due to its proximity to a primary street frontage and its more urban context. Given the range of scenarios that may emerge, the evaluation criteria listed below are intentionally broad to allow for maximum flexibility.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
6. Does the development contain a mix of housing types that is compatible with the surrounding neighborhood and planned land use in terms of its scale and intensity?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
7. Does the development contain a mix of housing types that is appropriate to its scale, location, and land use category?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>	

Relevant Master Plan Policies:

- Chapter 3: 2.2a, 2.2b
- Chapter 6: 8.1a

DENSITY RANGE**Background and Intent:**

Average densities within mixed-use developments are generally expected to be higher than those typically found within the City today. Recognizing the many factors that influence the ultimate density of a mixed-use development (e.g., location, type), the Master Plan provides a suggested range of floor area ratios (FAR) and dwelling units/acre for each of the mixed-use land use categories. For the purposes of the evaluation criteria listed below, densities that fall below the low end of a density range for a particular land use category will be strongly discouraged in order to promote the Plan's objective of creating a more compact pattern of development. The Plan also acknowledges that there may be instances where densities that exceed the suggested range are appropriate in some locations, such as within a mixed-use activity center, provided other land use policies are followed. These instances will be evaluated on a project-by-project basis.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
8. Does the development achieve at least the minimum density range for the applicable land use category?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
9. Does the development exceed the maximum density range for the applicable land use category?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
10. If yes to #9 above, is the development located within a designated mixed-use activity center?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
11. If yes to #9 above, is the largest concentration of density concentrated away from primary street frontages and surrounding neighborhoods?	Yes <input type="checkbox"/> No <input type="checkbox"/>	NA

Relevant Master Plan Policies:

- Chapter 3: MUC 1.3, MURI 1.3, MUE 1.3



CIRCULATION AND ACCESS

Background and Intent:

Mixed-use developments should be designed using an interconnected network of streets to provide efficient connections between uses and to accommodate vehicular, bicycle, and pedestrian circulation, as well as existing or future transit service. Direct vehicular and pedestrian connections to adjacent neighborhoods, commercial, and civic uses should be provided, as should linkages to existing and planned trail systems.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
12. Do vehicular and pedestrian ways provide logical and convenient connections between proposed uses and to adjacent existing or proposed uses?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
13. Does the hierarchy of perimeter and internal streets disperse development generated vehicular traffic to a variety of access points, discourage through traffic in adjacent residential neighborhoods and provide neighborhood access to on site uses?	Yes <input type="checkbox"/> No <input type="checkbox"/>	N/A
14. If the development is located along a primary street frontage, have existing or proposed transit routes and stops been incorporated?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Relevant Master Plan Policies:

Chapter 3: GMU 1.3, MUC 1.8

Chapter 7: 10.2b, 11.1a, 11.1c

PARKING LOCATION AND DESIGN

Background and Intent:

The visual and physical barriers created by surface parking areas should be minimized within mixed-use developments. To promote a more compact, pedestrian-friendly environment, off-street parking for mixed-use developments should be located behind buildings and away from primary street frontages. The use of on-street parking or shared parking to provide a portion of the required parking for mixed-use developments is strongly encouraged, where feasible, to make the most efficient use of each development site. In addition, structured parking is encouraged where viable, provided it is integrated into the design of the overall development.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
15. Is surface parking distributed between the side and rear of primary buildings and away from primary street frontages?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
16. Are larger parking lots organized as a series of smaller lots with clear pedestrian connections and landscape buffers as dividers?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	
17. Is surface parking screened from surrounding neighborhoods and pedestrian walkways?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/>	
18. Is structured parking integrated with adjacent structures in terms of its design and architectural character?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	
19. Are structured parking facilities "wrapped" with retail or residential uses at the street level to provide a more inviting pedestrian environment?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

Relevant Master Plan Policies:

- Chapter 3: GMU 1.4, MUC 1.8

RELATIONSHIP TO SURROUNDING DEVELOPMENT

Background and Intent:

Many of the areas designated for mixed-use development are located within established areas of the City. As a result, much of the mixed-use development that occurs will occur through a combination of infill and redevelopment. Therefore, establishing a strong physical and visual relationship to adjacent neighborhoods and the community will be an important consideration.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
20. Are transitions in building massing and height provided to relate to surrounding development patterns?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
21. Is the new development well-integrated into the surrounding neighborhood, rather than "walled off", consistent with the mixed-use policies contained in the Master Plan?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
22. If applicable, are lower intensity uses (e.g., residential) located along the periphery of the site where it adjoins an existing residential neighborhood to provide a more gradual transition in scale and mass and to minimize potential impacts of non-residential uses (e.g., loading areas, surface parking)?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

Relevant Master Plan Policies:

- Chapter 3: MUC 1.7, MUR 1.7, MUE 1.6
- Chapter 6: 8.3b

PUBLIC SPACES, PARKS, OPEN SPACE, AND PATHWAYS

Background and Intent:

Mixed-use developments should be organized around a central gathering space or series of spaces, such as small urban plazas, pocket parks, or active open space areas. These types of public spaces



serve as urban recreational amenities for residents that may not have access to larger community parks or recreational amenities without getting in their cars and generally promote increased levels of pedestrian activity. Larger mixed-use developments, particularly within the MUR and MUE categories, may also need to incorporate more traditional recreational features, such as parks and trails, depending upon their size and location.

Evaluation Criteria:

CRITERIA	CRITERIA SATISFIED?	COMMENTS
23. Does the development provide public spaces to serve residents and the larger community?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
24. Are public spaces appropriate in terms of their size and active vs. passive features provided given the scale and location of the proposed development?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	OPEN SPACE PROVIDED FOR RESIDENT USE PER DEVELOPMENT STANDARDS.
25. Are public spaces easily accessible to pedestrians and the surrounding community, if applicable?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	
26. Are parks and trails provided consistent with the Parks, Recreation, and Unified Pathways Master Plan?	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

Relevant Master Plan Policies:

- Chapter 3: MUC 1.6, MUR 1.8, MUE 1.7



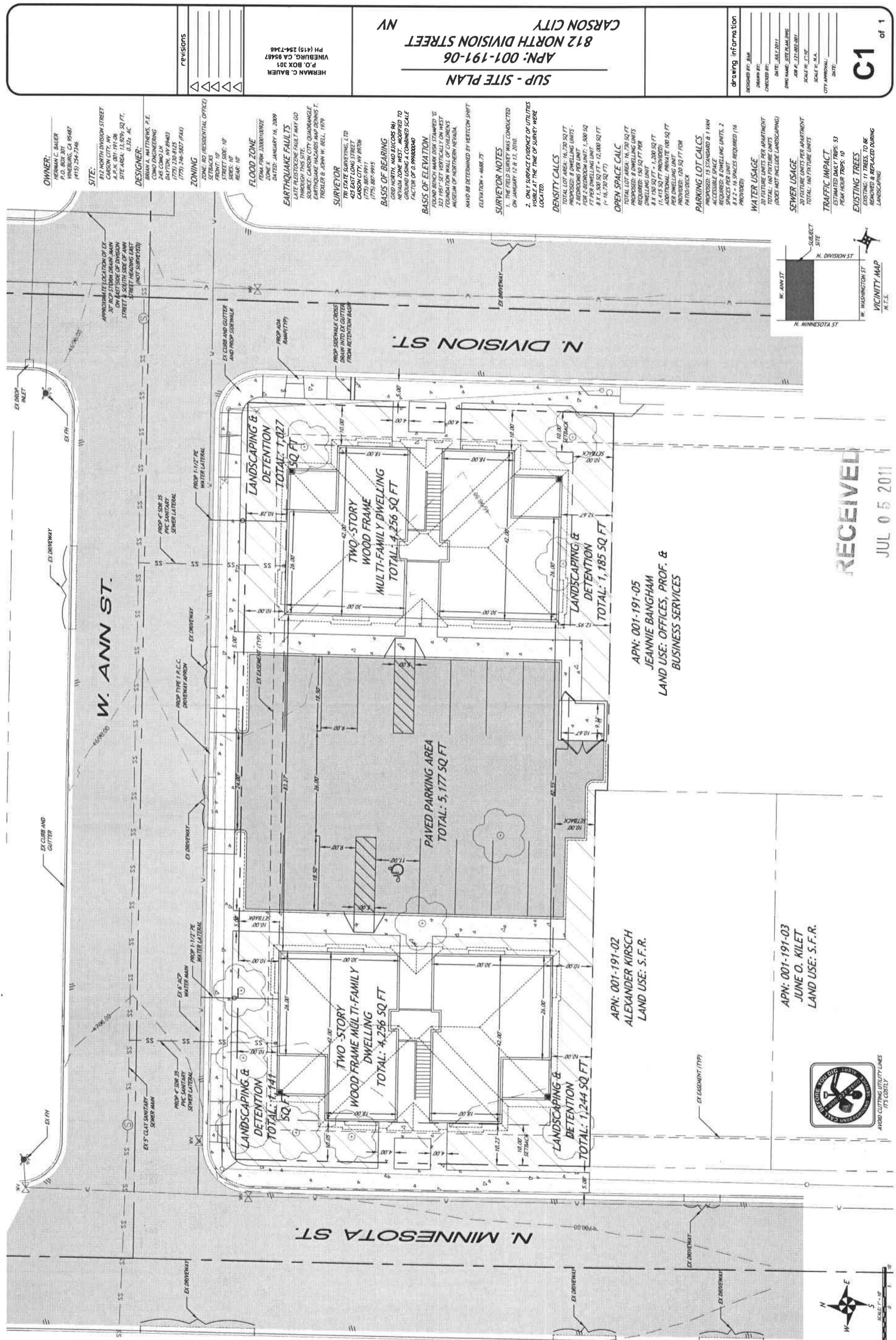
Treadway Manor Apartments

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Treadway Manor Apartments

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1 - SUP - 11 - 042

CARSON CITY
MINING DIVISION

4-22-11

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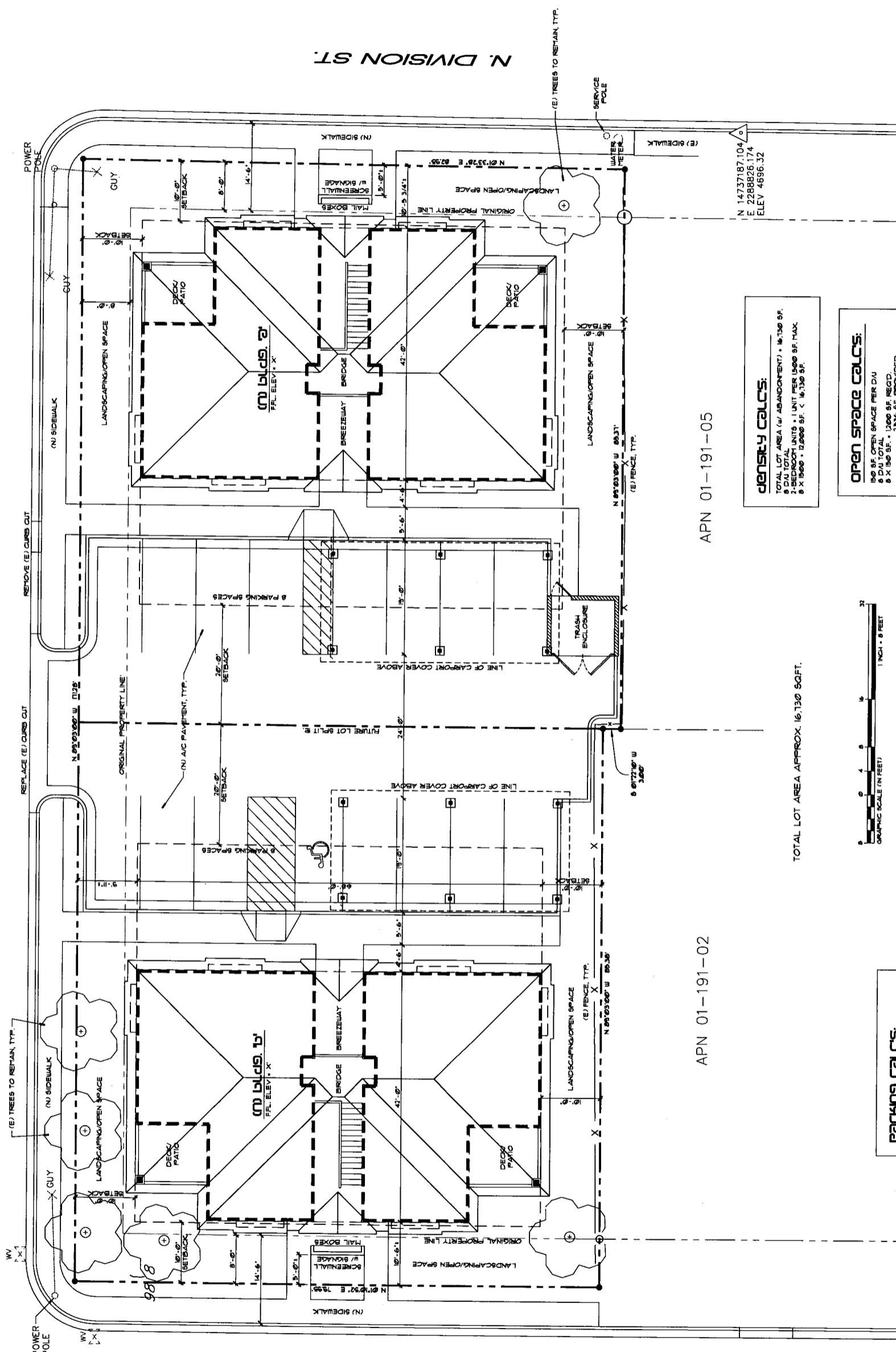
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REPRODUCTION OR
TRANSMISSION OF THE INFORMATION CONTAINED
HEREIN IN WHOLE OR IN PART IS PROHIBITED.

PRELIMINARY
SITE AN-

1002

91



APN 01=191=05

APN 01-191-02

DEBTY CALC'S: _____

TOTAL LOT AREA (w/ ABANDONMENT) = 16,130 SF.
8 DU TOTAL
2-BEDROOM UNITS = 1 UNIT PER 1500 SF MAX.
8 x 1500 = 12,000 SF < 16,130 SF.

Open Space Calcs:

100 SF OPEN SPACE PER DAY
 6 DAY TOTAL: 6 X 100 SF = 3600 SF. PER DAY
 PROVIDED
 (CIZES NOT INCLUDED)
 100 SF PRIVATE OPEN SPACE PER DAY
 120 SF PAT/DECK PROVIDED
 (SETBACKS)

PRELIMINARY SITE PLAN
SCALE 1/8" • 1'-0"

PARKING CALC'S:

9 DR TOTAL
2 PARKING SPACES PER DR
6' X 12' SPACES
10 PARKING SPACES PROVIDED
(1 HCAP ACCESSIBLE)

STYLZANO

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5905 GRASS VALLEY RD
END, NEVADA 89550
775.239.1984 CELL
775.475.0796 FAX
D.J.SALZANO & ASSOC. COM
WWW.DJSALZANO.COM

11-1-3
11-1-3
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11-1-3

NEW ESTATE COMPLEX

MR. HERMAN BAUER
812 U. DIVISION STREET
CASINO CITY, NEVADA

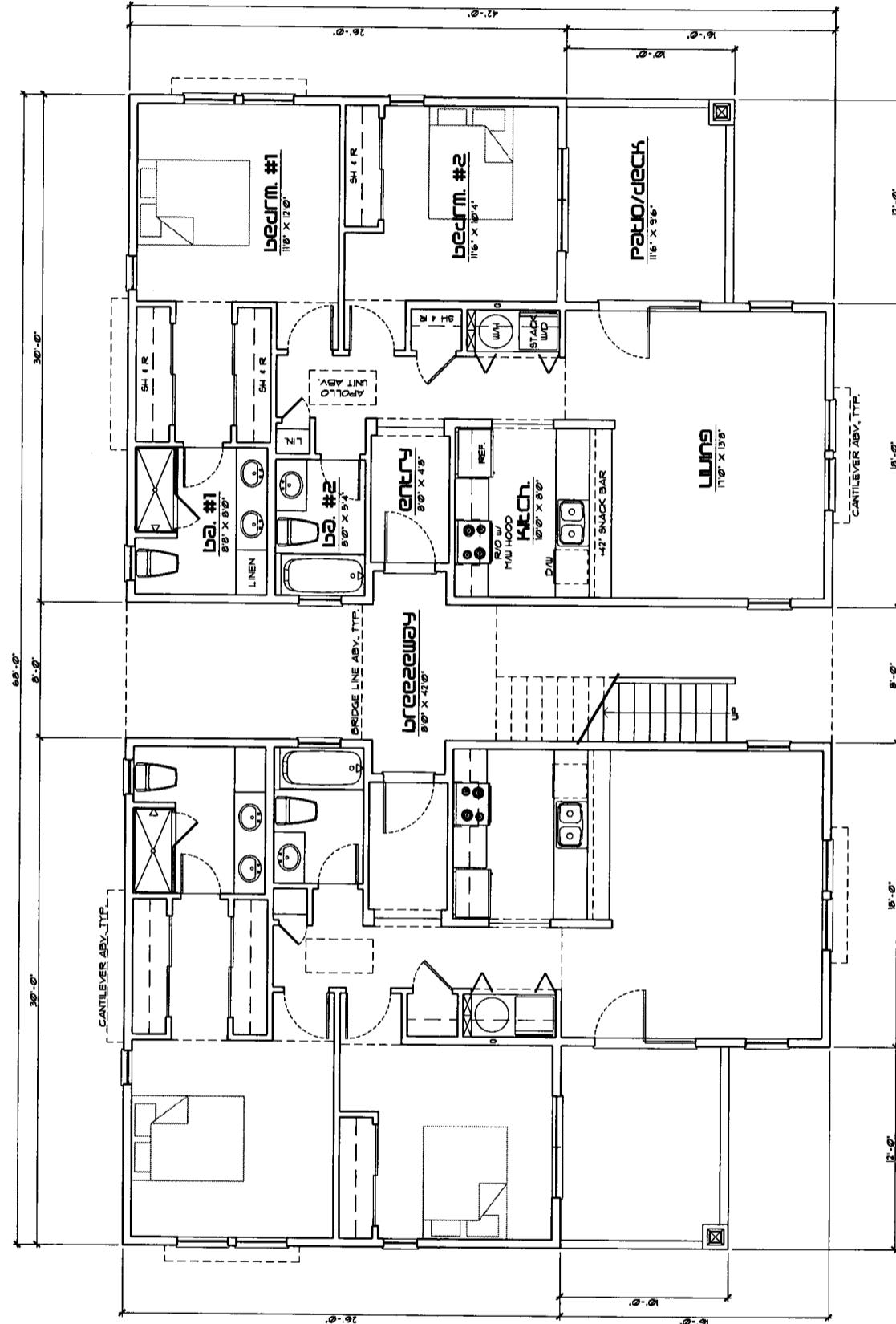
PO#:

MAIN FLOOR
PLAN

DRAWING

12/22

12.1



GROUND FLOOR PLAN

SCALE 1/4" = 1'-0"

ref. no. 1

2 UNITS • 1,059 SQFT. EACH

TOTAL GROUND FLOOR AREA APPROX. 2,118 SQFT.

BREEZEWAY AREA APPROX. 353 SQFT.

DECK AREA APPROX. 120 SQFT. EACH

ALL DESIGNS & DRAWINGS ARE
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UNLAWFUL TO DUPLICATE OR
DRAWINGS OR DESIGNS OF
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Stalzano

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3-11-E
PARK
A1
A2
A3
A4

NEW APPARTEMENT COMPLEX

ML. HERMANN BAUER
812 N. DIVISION STREET
CARSON CITY, NEVADA

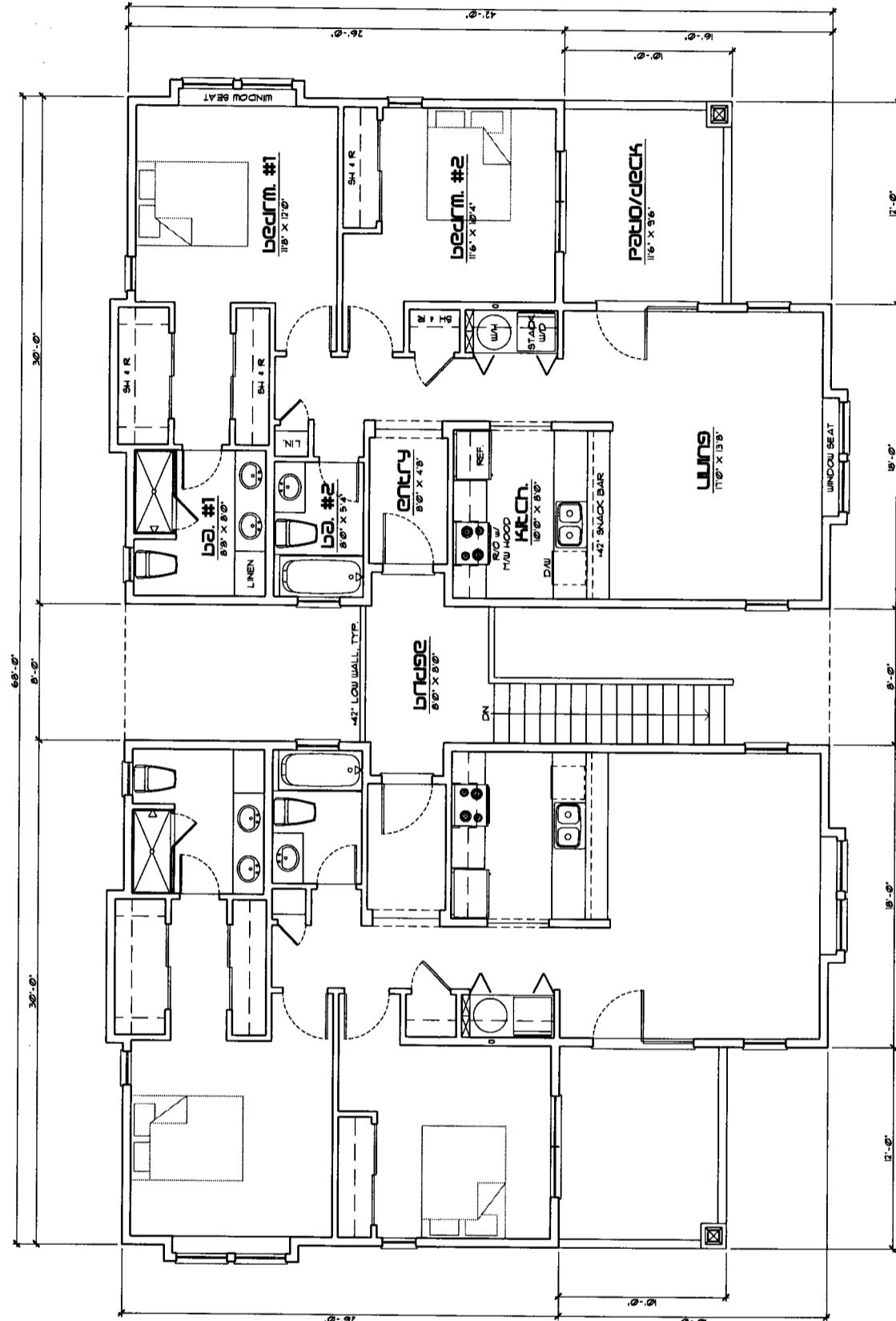
POF:

ALL DESIGNS & DRAWINGS ARE
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UNAUTHORIZED DUPLICATION OF
DESIGNS OR DRAWINGS IS PROHIBITED.

UPPER FLOOR
PLAN

1002

Fig. 2



UPPER FLOOR PLAN

SCALE 1/4" = 1'-0"

2-UNITS • 1,068 SQFT. EACH

TOTAL UPPER FLOOR AREA APPROX. 2,131 SQFT.

BRIDGE AREA APPROX. 81 SQFT.

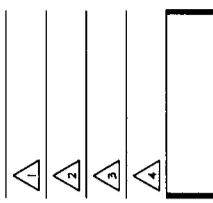
DECK AREA APPROX. 120 SQFT. EACH

**Elevation notes &
exterior colors:**

- 1 Asphalt Roof Shingles, CERTIFIED RESIDENTIAL SHAKE COLOR: SMOOCH GRAY
- 2 STUCCO, BODY: TALES, COLOR: SWIRL, FINE FINISH COLOR: WASH SAND #0422
- 3 WOOD BATTEN TAN & LEAVES, ICI DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
- 4 WOOD TRIM, SHUTTERS, LORSSEL, ICI DELUX FLAT ACRYLIC PAINT COLOR: CHOCOLATE BROWN
- 5 DIVIDED LIGHT WINDOWS, (LOW E), INDUSTRIAL CO. SERIES, SINGLE HINGES, 6 PANES OVER - PERMANENT GRILLES COLOR: WHITE
- 6 ENTRY DOORS, INDUSTRIAL ARTSMAN STYLE #803 COLOR: NATURAL WOOD TONE
- 7 STUCCO, STONE VENEER, TELCOR ADON CYPRESS RIDGE COLOR: ORCHARD
- 8 TAPERED Columns, ICI DELUX FLAT ACRYLIC PAINT COLOR: WHITE
- 9 VENTS, FLASHING & FLUES, COLOR: PAINT TO MATCH ROOF
- 10 GARPORT COVERS, PRE-FAB, PREFINISHED METAL COLOR: CHOCOLATE BROWN
- 11 DOORS, INDUSTRIAL ARTSMAN COLOR: WHITE

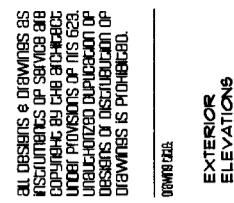
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ROUTE:



New Apartment Complex Complete

ML. HIRMAN BEAUL
812 N. DIVISION STREET
CARSON CITY, NEVADA



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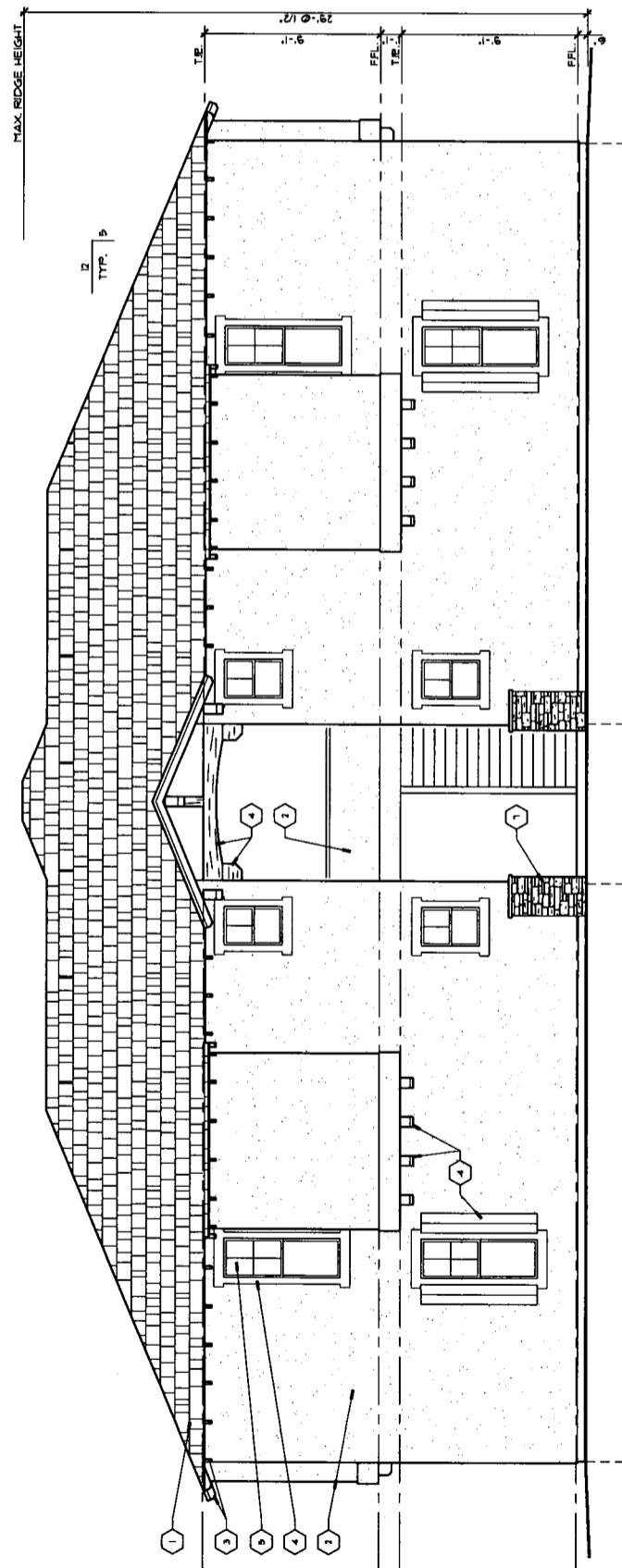
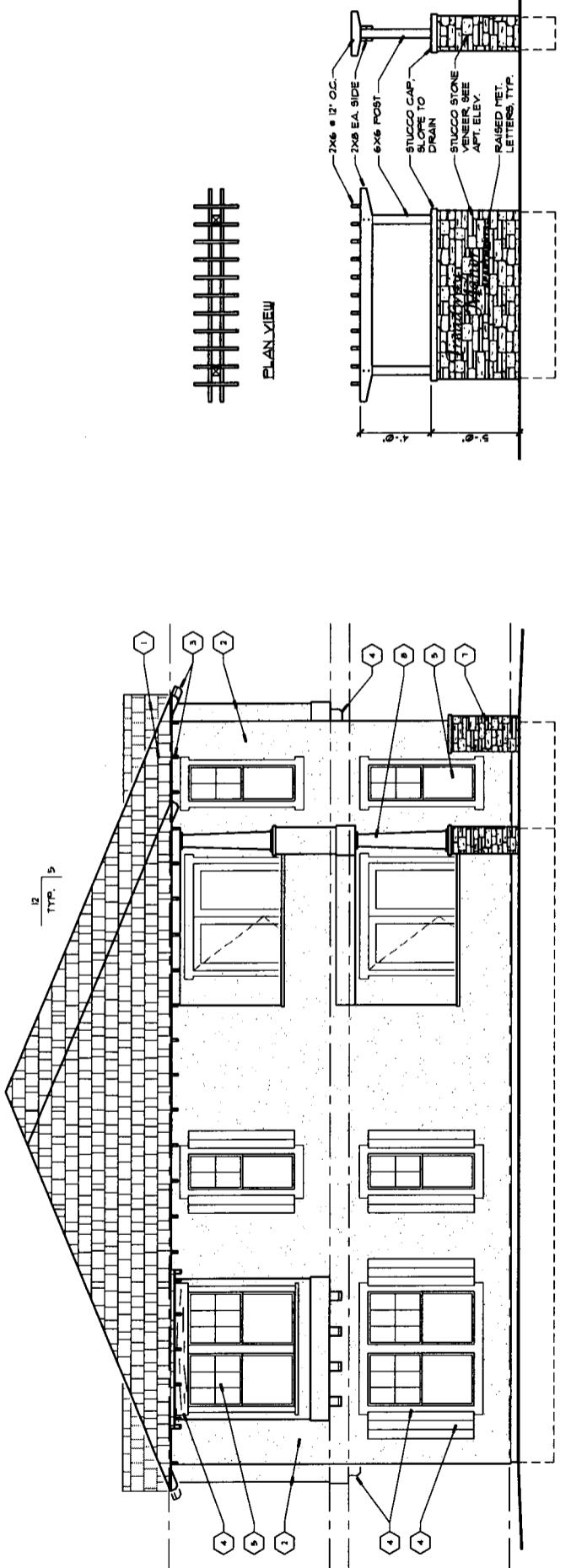
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1 Sign wall elevation

SCALE 1/4" = 1'-0"

Side elevation (South)

SCALE 1/4" = 1'-0"



REAR ELEVATION (Rear)
SCALE 1/4" = 1'-0"

Stucco application notes:

1. APPLY 2-LAYERS 40' BLACK ASPHALT IMPREGNATED PAPER OVER 1/2" FIBERGLASS (1/8" GAP • ALL EDGES.)
2. APPLY 1" X 20 GA. URETHANE.
3. APPLY 1" X 20 GA. URETHANE.
4. APPLY EXTERIOR STUCCO PER MANUF. SPEC.
5. BEVEL ALL HORIZ. SURFACES THAT RECEIVE STUCCO FINISH.
6. PROVIDE CONTROL JOINTS AS RECD. BY MANUF. SPEC'S.
7. KEEP SCREWS AS RECD. BY I.R.C. SECTION R303.

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1) **ASPHALT ROOF, SWING E. CERTAINTEED, PRESIDENTIAL SHAKE COLOR, SHADOW GRAY**

2) **STUCCO, BODY: FAUX-X, ACRYLIC, SWIRL, FINE FINISH COLOR, WASH SAND #4032**

3) **WOOD, RAFTER TAILS & EAVES, 'GI DELUX' FLAT ACRYLIC PAINT COLOR, CHOCOLATE BROWN**

4) **WOOD, TRIM, SHUTTERS & CORBELLS, 'GI DELUX' FLAT ACRYLIC PAINT COLOR, CHOCOLATE BROWN**

5) **DIVIDED, LIGHT, WINDOWS, (LOW-E), ANDERSON, #400, SERIES - SINGLE-HANG 6 PANES, OVER 1 - PERMANENT GRILLES COLOR, WHITE**

6) **ENTR. DOOR, CRAFTSMAN STYLLE #2023 COLOR, NATURAL WOOD TONE**

7) **STUCCO, STONE, VENEER, COLORADO, CYPRESS RIDGE COLOR, ORCHARD**

8) **TAPESTRY, COLUMNS: 'GI DELUX' FLAT ACRYLIC PAINT COLOR, WHITE**

9) **VENTS, FLASHING, & JELLED, COLOR, PAINT TO MATCH ROOF**

10) **CARPORT, LOOPESES: PRE-FAB, PREFINISHED METAL COLOR, CHOCOLATE BROWN**

4-22-11

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Carson City, Nevada
812 N. Division Street
P.O. Box 1000

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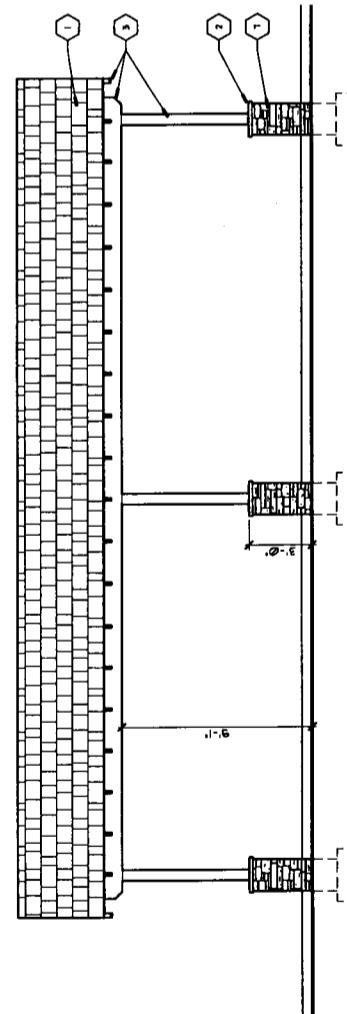
**CARPORT
EXTERIOR
ELEVATIONS**

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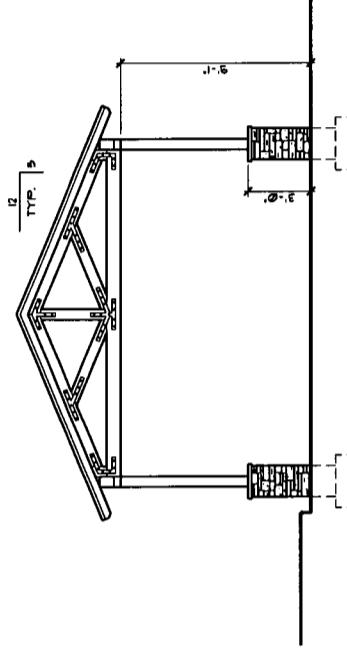
Carport Plan

Report 14: 0



east/west elevation

EST/News



North/South Elevation

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New Landscape Component COMPREH

GRASSON CITY, NEVADA
812 N. DIVISION STREET
MC. HERMAN BAUER
www.asazzano.com

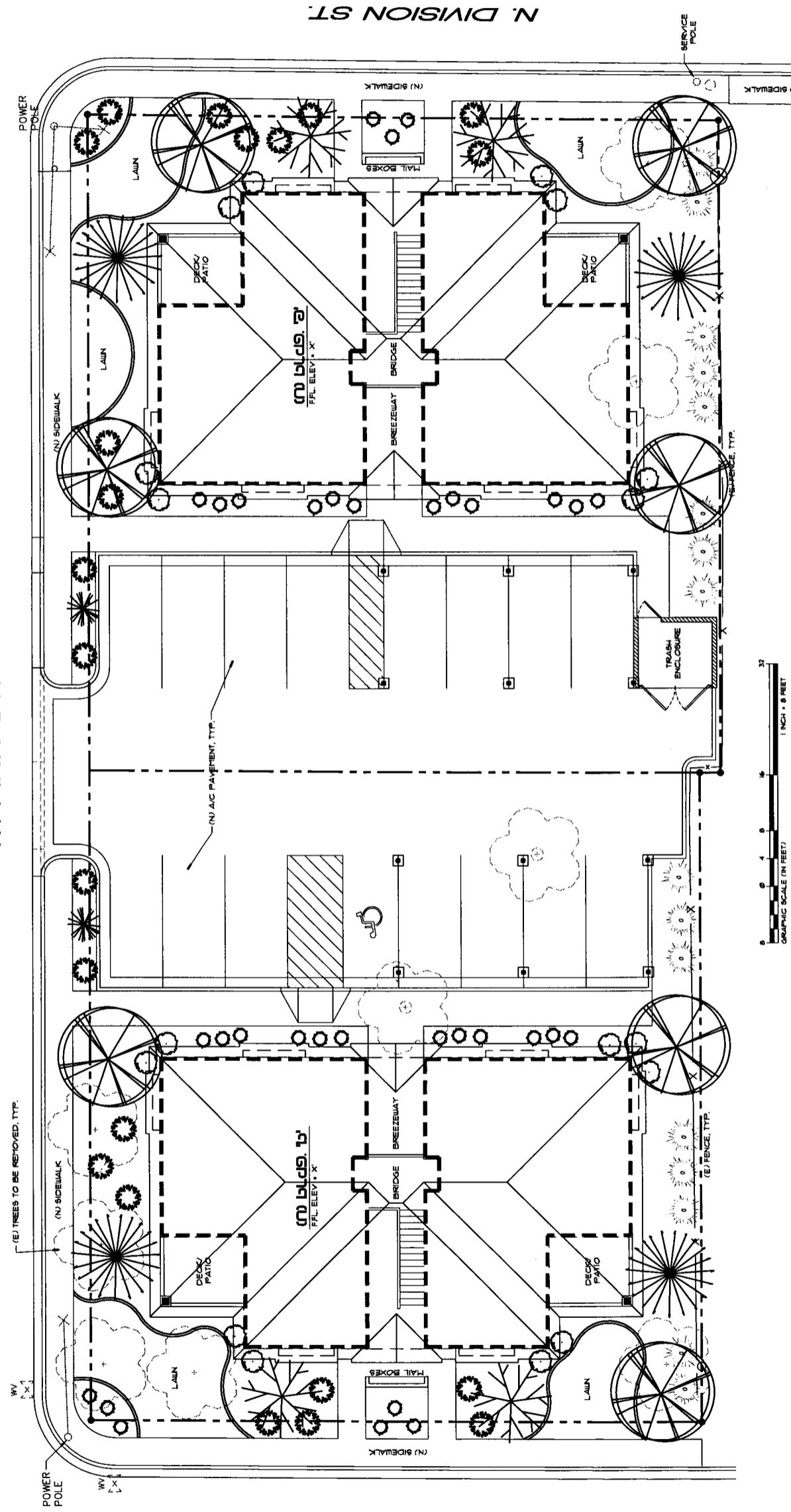
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PRELIMINARY
LANDSCAPE PLAN
APN: 01-91-06
12/02

L1.0

W. ANN ST.



Preliminary Landscape Plan

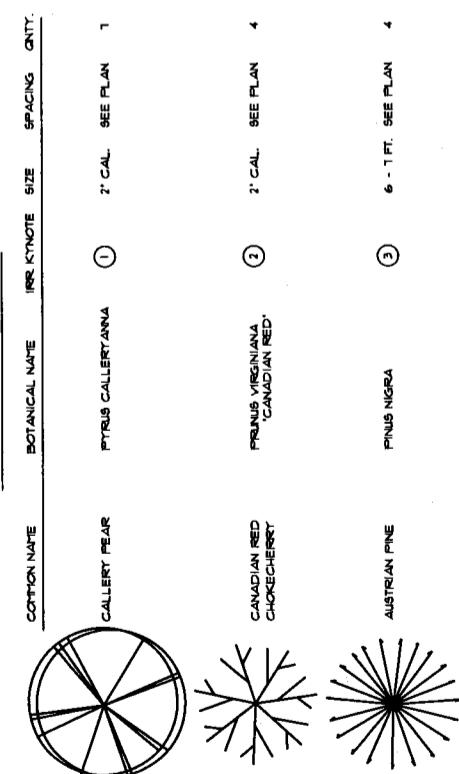
SCALE 1/8" • 1'-0"
APN: 01-91-06

Shrub Legend:

COTTON NAME	BOTANICAL NAME	IRR. RYNOTE	SIZE	SPACING	QNTY.
CALLERY PEAR	PYRUS CALLERYANA	①	2' CAL.	SEE PLAN	1
CANADIAN RED CHokeCHERRY	PRUNUS VIRGINIANA CANADIAN RED	②	2' CAL.	SEE PLAN	4
AUSTRIAN PINE	PINUS NIGRA	③	6'-1 FT.	SEE PLAN	4

Tree Legend:

COTTON NAME	BOTANICAL NAME	IRR. RYNOTE	SIZE	SPACING	QNTY.
CALLERY PEAR	PYRUS CALLERYANA	①	2' CAL.	SEE PLAN	1
CANADIAN RED CHokeCHERRY	PRUNUS VIRGINIANA CANADIAN RED	②	2' CAL.	SEE PLAN	4
AUSTRIAN PINE	PINUS NIGRA	③	6'-1 FT.	SEE PLAN	4



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