

STAFF REPORT FOR PLANNING COMMISSION MEETING OF JANUARY 29, 2014

FILE NO: SUP-13-153
2

AGENDA ITEM: G-

STAFF AUTHOR: Kathe Green, Assistant Planner

REQUEST: Special Use Permit request to construct a loading dock, storage area and replacement freight elevator with associated improvements on the south side of the Nevada State Museum on a parcel zoned Public (P).

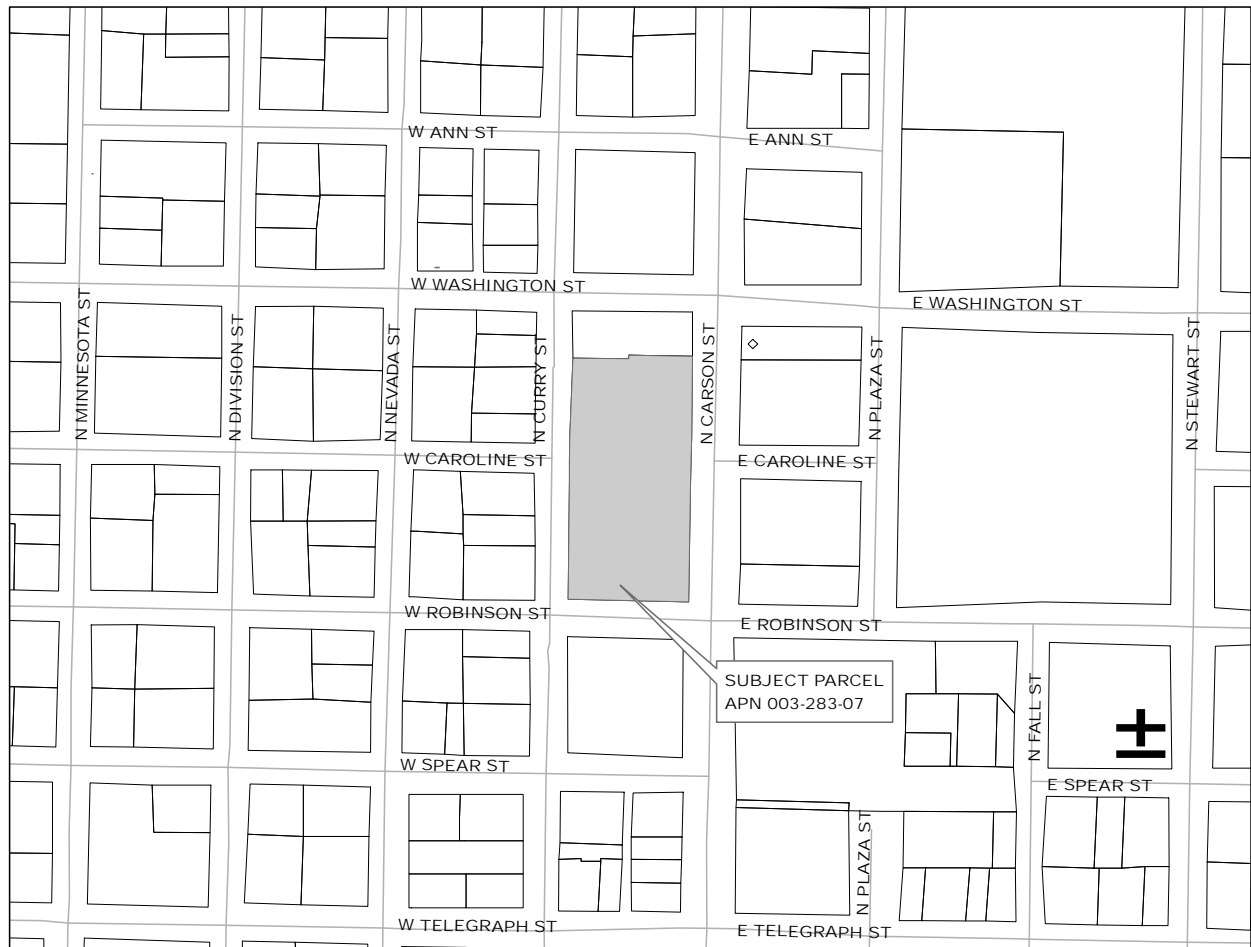
OWNER: State of Nevada

APPLICANT: State of Nevada Public Works Division

LOCATION: 600 North Carson Street

APN: 003-283-07

RECOMMENDED MOTION: "I move to approve SUP-13-153, a Special Use Permit request to allow construction of a loading dock area and replacement freight elevator with associated improvements on the south side of the Nevada State Museum on a parcel zoned Public, located at 600 North Carson Street, APN 003-283-07, based on findings and conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant shall sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted the permit shall become null and void.

The following shall be submitted with a building permit application:

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with any building permit application.

6. Any exterior light fixtures shall be reviewed and approved by the Planning Division for compliance with Development Standards Division 1.3 Light and Glare, including directing light downward, not outward or upward. Provide manufacturer's specification detail sheets.
7. The design engineer shall ensure that vehicular sight distance is not adversely affected by this project.
8. The driveway design shall be compliant with the American Disabilities Act, and shall include the existing handicapped ramp on the corner.
9. The applicant shall notify the Carson City Environmental Control Division the date and time that the underground tank is to be removed, so a member of their staff can be present when the tank is removed to document the integrity of the tank and the condition of the surrounding soil.
10. The applicant shall submit a courtesy copy of the asbestos assessment to the Carson City Environmental Control Division.

The following shall be required throughout the life of the project:

11. Parked trucks may not block any part of the sidewalk area.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), 18.04.170 (Public)

MASTER PLAN DESIGNATION: Downtown Mixed-Use (DT-MU)

PRESENT ZONING: Public (P)

KEY ISSUES: Would the proposed loading dock and storage areas, replacement of a freight elevator, dust collection system, air compressor, removal of underground fuel storage tank, relocation of an existing emergency generator, and construction of screen walls to conceal utilities from public view, in support of the existing Nevada State Museum have an adverse impact on the adjacent neighborhood and be in compliance with the purposes of the Public zoning district?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH: Downtown Mixed-Use (DT-MU)/Commercial
EAST: Downtown Mixed-Use (DT-MU)/Commercial
SOUTH: Downtown Mixed-Use (DT-MU)/Commercial
WEST: Downtown Mixed-Use (DT-MU)/Commercial

ENVIRONMENTAL INFORMATION

FLOOD ZONE: XS Areas of minimal flooding
EARTHQUAKE FAULT: Moderate, Zone II
SLOPE/DRAINAGE: The parcel is flat
SOILS: 71 Urban Land

SITE DEVELOPMENT INFORMATION

LOT SIZE: 1.4 acres
PROPOSED STRUCTURE SIZE: Screen walls, dock/storage building, loading dock, utility area covering an area approximately 16 feet 8 inches in width by 100 feet in length.

PROPOSED STRUCTURE HEIGHT: Viewed from the south from west to east: stone wall 8 feet, dock building 20 feet, elevator shaft 31 feet 4 inches, utility screening 7 feet (vegetation)

PARKING: No change proposed. Within the immediate vicinity there is a public parking lot as well as parking provided to the south, at the public Nugget Casino parking lot. The museum has been functioning with this parking arrangement for many decades.

SETBACKS: Setbacks are determined in the Public zoning district by review during the Special Use Permit process. The development is proposed as a continuation of a zero setback building line on the west extending approximately 16 feet 8 inches down to the southwest corner of North Curry and West Robinson Streets. The expansion is also proposed along the south from the southwest corner a width of approximately 16 feet 8 inches extending approximately 100 feet to the east. This proposal would reduce the setback line to zero along the southern boundary line. The proposal includes replacement of chain link fencing with a more permanent method of screening, with the exception of the farthest eastern area where vegetative screening is proposed from south to north.

VARIANCES REQUESTED: None

PREVIOUS REVIEWS

- HRC-13-154 – Historic Resources Commission approval of the current project under review with the staff report.
- LLD-07-158 – Lot Line Deletion approval to delete lot line between APNs 003-283-05 and 003-283-06
- ZMA-07-141 – Zoning Map Amendment approval to change property zoning from Downtown Mixed Use (DT-MU) to Public (P)
- SUP-07-127 – Special Use Permit approval to construct a 3,000 square foot gallery structure to connect the Calhoun and FIB buildings with associated improvements
- HRC-07-126 – Historic Resources Commission approval to construct a 3,000 square foot gallery structure to connect the Calhoun and FIB buildings with associated improvements
- SUP-06-051 – Special Use Permit approval to construct a 3,000 square foot gallery structure to connect the Calhoun and FIB buildings with associated improvements
- HRC-06-050 – Historic Resources Commission approval to construct a 3,000 square foot gallery structure to connect the Calhoun and FIB (First Interstate Bank) buildings with associated improvements
- H-01/02-11 – Historic Resources Commission approval to install monument and façade signage

HISTORY

The following information was presented to the Historic Resources Commission in conjunction with their review of this project under HRC-13-154 on January 9, 2014:

The subject property is known as the Carson City Mint. The Carson City Mint was established by Congress in 1863; however, the Civil War delayed its construction until July 1866. After more than three and a half years of construction, the Carson City Mint produced its first coin on February 11, 1870 and minted coins from 1870 to 1885 and then again from 1889 to 1893. Its formal mint status was withdrawn in 1899.

The Carson City Mint building exhibits a combination of Classical and Greek design traditions, with some Italianate influences as well. Much of the original building was constructed of materials native to Nevada and remains in good condition today. The sandstone was quarried at the Nevada State Prison in Carson City, and the brick was manufactured at Adams Brick Works in Genoa, which was operated by the grandsons of John Quincy Adams, the sixth President of the United States.

In 1941, the Carson City Mint became the Nevada State Museum and continues as the complex's use

today. In 1959, a large addition known as the Judge Clark J. Guild Wing was constructed to the southwest of the main building. Then in 1971, the rear wing addition that had been completed in 1881 was demolished and replaced with the James W. Calhoun Annex. Finally, in 2009 the Dema Guinn Concourse was constructed connecting the James W. Calhoun Annex to the former bank building to the north that had been acquired by the museum some years earlier.

The Carson City Mint is listed on both the Nevada State Register of Historic Places and the National Register of Historic Places.

DISCUSSION

A museum is a conditional use in the Public zoning district and improvements or changes which are proposed on a parcel in a Public zoning district require a Special Use Permit approved by the Planning Commission. Additionally, according to CCMC Section 18.04.170, the following shall apply:

- All Public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the special use permit.

The applicant is proposing the addition of a loading dock for moving large objects in and out of the Nevada State Museum's changing galleries. This project will also include construction of a small storage building for grounds maintenance equipment and flammable materials, replacement of a non-compliant freight elevator, installation of a dust collection system and air compressor in the basement wood shop, removal of an abandoned underground fuel tank, relocation of an emergency generator and creation of concrete block, stone screen and vegetative walls to conceal utilities and a portion of the loading dock from the public view. The vegetative wall would be on the eastern portion of the project, with the hedge extending northward.

As a part of the January 9, 2014 Historic Resources Commission approval, the applicant is required to add an additional four to five foot hedge on the eastern side of the addition to help conceal the roll up door.

The proposed addition will be located on the south side of the existing Judge Clark J. Guild Wing (Guild Wing) and a portion of the south side of the Carson City Mint building. The addition will connect to the Guild Wing but will not connect to the Carson City Mint building, as shown on the drawings provided with this staff report. The exterior coloring is proposed to be similar to the existing building, although it will deliberately not be an exact match, to avoid the possibility of the newer area being mistaken for the historic building.

As shown on the submitted exhibits, the site is presently enclosed with chain link fencing on the south, which screens the various equipment and materials located within this area, including several HVAC units, sheds and a generator. A zero setback is proposed along the southern boundary of the property from approximately the mid point of the block, extending to the west, by replacing an existing chain link fence with the loading dock building expansion and permanent stone wall screening. This will improve the means for the museum to move exhibits into and out of the building, allow the museum to house, display and utilize larger, heavier and more complex items, replace an aged and inadequate freight elevator, improve the appearance of the southern exterior and remove or place equipment behind adequate screening.

Landscaping which is proposed to be removed on the south portion of the property is lawn, grass and hedging. No trees are shown as being removed with this project. Trees within the public right-of-way will be retained. Two screening sections will be a vegetative hedge, extending across the eastern side of the addition with a break at the man door. The hedge to the north of the door will be seven feet tall to

screen the emergency generator, and the hedge to the south will be four to five feet tall to screen the roll up door.

This project has been reviewed by the Nevada State Historic Preservation Office (SHPO), and their recommendations have been incorporated into the project design, including their requirement that the proposed temporary emergency generator location be undertaken in such a manner that it may be relocated to a point at the rear of the museum facility near the Guinn Concourse. This relocation is requested to be a part of the review and approval under the Special Use Permit being submitted at this time, so that additional review will not be required by the Planning Commission when the generator is moved to this rear location. Additional review by the Historic Resources Commission will be required prior to the generator relocation.

PUBLIC COMMENTS

Public notices were mailed on January 10, 2014 to 31 adjacent property owners within 310 feet of the subject site. As of the writing of this report no comments have been received in favor or opposition to the proposal. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on Wednesday, January 29, 2014 depending on the date of submission of the comments to the Planning Division.

AGENCY COMMENTS

All comments from various city departments and agencies which were received as of January 13, 2014 are included in this report. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Engineering: 1. The design engineer must ensure that vehicular sight distance is not adversely affected by this project.
 2. The driveway design must be American Disability Act compliant, and the design must include the existing handicapped ramp on the corner.
 3. Parked trucks will not be allowed to block any part of the sidewalk area.
 4. This driveway does not meet minimum standards for proper distance from the intersection, but as long as the ramp use is light, it should not be an issue.

Fire: No Carson City jurisdiction. Comments will be routed to State Fire Marshall.

Health: No concerns.

Environmental: 1. Notify the ECA (Environmental Control) department the date and time that the underground tank is to be removed, so a member of their staff can be there when the tank is removed to document the integrity of the tank and the condition of the surrounding soil.
 2. Submit a courtesy copy of asbestos assessment.

Building: No Carson City jurisdiction

Nevada State Historic Preservation Office (SHPO) comments:

The SHPO has reviewed the Schematic Design and Plans provided by Paul Cavin to our office and the Division of Public Works. The SHPO believes that, as currently designed, the proposed construction of the loading dock, and all permanent fixtures, will be consistent with the Secretary of Interior's Standards for Rehabilitation as no interior solution to meet the essential need of the Museum was practicable and the proposed addition will:

1. Not significantly alter the historic materials, features, and the spatial relationship that characterizes this historic property. While the proposed addition will result in some modification to the historic Guild Annex, the majority of this addition will be retained and the historic relationship between the Annex and the Mint will remain visible.
2. The proposed new addition has been designed so that it will be compatible with the historic materials, size, scale, proportion, and massing of both the Guild Annex and the Mint.
3. Consistent with Standard 9, the new addition will be differentiated from the Guild Annex by a slight (but clearly perceptible) alteration to the finished color, which will also be compatible with the earth tones found in the Mint.
4. Consistent with Standard 10, the proposed temporary emergency generator location with no permanent wall and the addition of vegetative screening will be undertaken in such a manner that when removed in the future to a more compatible location (preferably in the rear near the Guinn Concourse), the essential form and integrity of the historic property and its environment will remain unimpaired. In accord with an agreement made between the Division of Public Works and museum staff, this emergency generator will be temporarily relocated to a position in front of the Guild Annex and adjacent to the Mint for no longer than is necessary to replace the generator and its emergency back-up with a more functional system and relocate it to the rear of the museum facility.

FINDINGS

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.062 (Special Use Permits) enumerated below and substantiated in the public record for the project.

In reviewing the information provided by the applicant and the required findings as identified below, the findings to grant approval of this Special Use Permit can be made. Therefore, it is recommended that the Planning Commission approve this Special Use Permit application with the conditions outlined by staff.

1. Will be consistent with the master plan elements.

GOAL 5.4—Promote Tourism Activities and Amenities that Highlight the City's Historic and Cultural Resources.

5.4a—Heritage Tourism

Support tourism activities associated with the major historic resources within the community, such as the V&T Railroad, the various cultural institutions, and the State Capitol Complex, by ensuring that future development supports the functions and visual character of these resources. Adopt design standards for developments that are adjacent to or highly visible from the V&T railroad alignment or the State Capitol Complex. Develop specific guidelines and policies for a tourism-focused activity center along Highway 50 East that will serve V&T Railroad visitors.

GOAL 6.1—Promote High Quality Development

6.1c—Variety and Visual Interest

Promote variety and visual interest in the design of new development through the incorporation of well-articulated building facades, clearly defined entrances and pedestrian connections, landscaping, and other features as consistent with the City's Development Standards.

It is expected that this project will enhance the economic vitality of the museum and the surrounding neighborhood by providing an improved ability of the museum to receive and show exhibits which will be of interest to the patrons who will visit here. The existing freight elevator is not adequate to provide large item access to the upper areas of the museum, thereby limiting the exhibits which can be transported within the building. The area to the south of the museum will be improved with a screen wall which will provide an improved appearance and hide the various mechanical equipment items stored or placed in this area. This project will be an improvement to the services the museum can provide to the public, while also improving the appearance of the exterior of the building.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

There will be moderate noise during construction for modification of the building, to reconfigure the layout outside the building and provide improved screening, access and replacement of an aged freight elevator, and other associated improvements. However, the construction will be of short duration. Once the modification of the site is complete, the resultant area will continue to be a public facility in nature with an improved loading dock area, screening of the site changing from chain link to masonry or vegetation and is not expected to cause objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Traffic may be moderately increased if there is more interest in the museum as a result of more exhibits being available to view. Interest in the museum does wax and wane in response to the exhibits available and this interest is expected to continue in the future, whether the museum is able to provide larger items or not. The change of screening and loading dock area and an improved freight elevator system are not expected to impact the traffic pattern in this vicinity.

Parking at the museum itself is very limited, as is common with the commercial businesses and public facilities in the downtown area. On street and public parking is available in the immediate vicinity of the facility.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The project is not expected to have a negative effect on existing public services and facilities. The change of method of screening of materials on the site, addition of a loading dock area, storage of equipment and materials, as well as the improvement of the freight elevator are not expected to create any negative effect on public services.

The proposed expansion will cover an area of land presently utilized by the museum for storage of outside mechanical equipment, general storage, and other purposes. This area is not presently shown as a desirable location due to the large number of items there. Reworking this area to be a modern loading dock, large vehicle parking area with loading and unloading, organized outside utility area and improved freight elevator and dock will help the museum be more functional and provide more services to patrons in the future.

This project will have no impact on water or sewer usage. There will be no road improvements required to accommodate this project, other than a three foot wide area of paving across West Robinson Street to allow construction of a water service tap.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The project is located in the Public zoning district which has the following purposes pursuant to CCMC 18.04.170:

- 1. To accommodate the wide range of public institutional and auxiliary uses which are established in response to the health, safety, cultural and welfare needs of the citizens of the City.*
- 2. To organize the assemblage of specific, nonprofit and profit public facilities into efficient functionally compatible and attractively planned administrative centers in conformance with the master plan;*
- 3. To establish site plan approval for many uses thereby ensuring compatibility with adjacent more restrictive districts.*

The Public zoning district is intended for federal, state and city facilities, as well as certain civic and utility uses that sustain wide regional needs. Development Standards relative to lot area, width and depth, building setbacks and height are determined by Special Use Permit.

The proposed change of the method of screening, modification of the loading dock, removal or relocation of HVAC and other equipment and freight elevator improvements are appropriate. The building is located in the downtown core, where tourism and local interest is encouraged, is located in the vicinity of other businesses which also attract tourists and local visitors and is an existing public use. Upon approval of this Special Use Permit, with the development plans, and with the recommended conditions of approval, the Nevada State Museum expansion and associated site improvements will meet the purpose statement of the Public district.

6. Will not be detrimental to the public health, safety, convenience and welfare.

It is not expected that an improvement to this building to modify the method of screening, change the loading dock, remove or modify exterior HVAC equipment, add storage and improve the freight elevator will have any impact on the public health, safety, convenience and welfare.

7. Will not result in material damage or prejudice to other property in the vicinity.

The changes to the museum as proposed will allow better service and interest to visiting customers, tourists, locals and clients. The proposed change of screening from a chain link fence to masonry or vegetative, modification of the loading dock, storage areas, and improvements to the freight elevator is not expected to adversely impact the neighborhood or surrounding properties.

Attachments

Site Photos
Building Division comments
Engineering Division comments
Fire Department comments

Environmental Control
Health Division comments
Nevada SHPO Comments
Application SUP-13-153



File # (Ex: MPR #07-111)	<i>Sup-13-153</i>
Brief Description	<i>Loading Dock</i>
Project Address or APN	<i>003-283-07</i>
Bldg Div Plans Examiner	<i>Kevin Gattis</i>
Review Date	
Total Spent on Review	

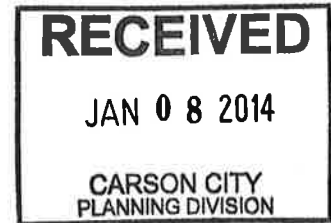
BUILDING DIVISION COMMENTS:

- The Carson City Building Division has no jurisdiction over state owned structures.

RECEIVED

DEC 20 2013

CARSON CITY
PLANNING DIVISION



**Engineering Division
Planning Commission Report
File Number SUP 13-153**

TO: Planning Commission

FROM Rory Hogen, E.I.

DATE: January 8, 2014

MEETING DATE: January 29, 2014

SUBJECT TITLE:

Action to consider the remodel of the south side of the building to a loading dock and ramp at 600 N Carson St., apn 03-283-07, the Nevada State Museum.

RECOMMENDATION:

Engineering Division is willing to support this project with the following requirements:

1. The design engineer must ensure that vehicular sight distance is not adversely affected by this project.
2. The driveway design must be American Disabilities Act compliant, and the design must include the existing handicapped ramp on the corner.
3. Parked trucks will not be allowed to block any part of the sidewalk area.
4. This driveway does not meet minimum standards for proper distance from the intersection, but as long as the ramp use is light, it should not be an issue.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

CCMC 18.02.080 (2a) - Adequate Plans

The plans are adequate for this review.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The request cannot be in conflict with pedestrian movements.

CCMC 18.02.080 (5d) - Public Services

No new City water, sewer or access services will be needed for this project.



January 2, 2014

We have no comments for the SUP 13-153. We will route any project construction related comments through the State Fire Marshal's office since it is their jurisdiction.

Thank you.

Dave Ruben

Captain – Fire Prevention
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701

Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209



January 9, 2014

Planning Commission

Re: # SUP – 13-153

Dear Kathe,

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the SUP 13-153 project:

1. Please notify the ECA department the date and time that the underground tank is to be removed; so a member of our staff can be there when tank is removed to document integrity of tank and the condition of the surrounding soil.
2. Please submit a courtesy copy of asbestos assessment.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor



January 3, 2014

SUP 13-153

Carson City Health and Human Services has no comments based on application received in our office on December 20, 2013.

Dustin Boothe, MPH, REHS
Carson City Health and Human Services
900 E. Long St.
Carson City, NV 89706
(775) 887-2190 ext. 7220

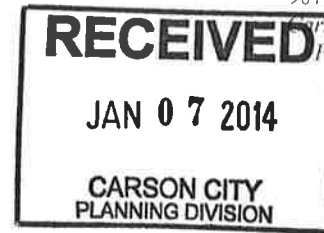
dboothe@carson.org

LEO M. DROZDOFF, P.E.
Director
Department of Conservation and
National Resources

REBECCA L. PALMER
State Historic Preservation Officer

BRIAN SANDOVAL
Governor

STATE OF NEVADA



Address Reply to:
901 S. Stewart St, Suite 5004
Carson City, NV 89701-5248
Phone: (775) 684-3448
Fax: (775) 684-3442
www.nvshpo.org

DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
STATE HISTORIC PRESERVATION OFFICE

Memorandum

To: Susan Dorr Pansky
From: Rebecca Palmer
CC: Michael Drews, Chair
Elizabeth Dickey, SHPO Representative
Date: 1/7/2014
Re: Loading Dock Addition to the Guild Annex of the Nevada State Museum

The SHPO has reviewed the Schematic Design and Plans provided by Paul Cavin to our office and the division of Public Works. The SHPO believes that, as currently designed, the proposed construction of the Loading Dock, and all permanent fixtures, will be consistent with the Secretary of Interior's Standards for Rehabilitation as no interior solution to meet the essential need of the Museum was practicable and the proposed addition will:

1. Not significantly alter the historic materials, features, and the spatial relationship that characterizes this historic property. While the proposed addition will result in some modification to the historic Guild Annex, the majority of this addition will be retained and the historic relationship between the Annex and the Mint will be remain visible.
2. The proposed new addition has been designed so that it will be compatible with the historic materials, size, scale, proportion, and massing of the both the Guild Annex and the Mint.
3. Consistent with Standard 9, the new addition will be differentiated from the Guild Annex by a slight (but clearly perceptible) alteration to the finished color, which will also be compatible with the earth tones found in the Mint.
4. Consistent with Standard 10, the proposed temporary emergency generator location with no permanent wall and the addition of vegetative screening will be undertaken in a such a manner that when removed in the future to a more compatible location (preferably in the rear near the Guinn Concourse), the essential form and integrity of the historic property and its environment will remain unimpaired. In accord with an agreement made between the division of Public Works and Museum staff, this emergency generator will be temporarily relocated to a position in front of the Guild Annex and adjacent to the Mint for no longer than is necessary to replace the Generator and its emergency back-up with a more functional system and relocate it to the rear of the Museum facility.

RECEIVED

DEC 19 2013

Carson City Planning Division
 108 E. Proctor Street • Carson City NV 89701
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02

CARSON CITY
 PLANNING DIVISION

FILE # SUP - 1 - SUP - 13 - 153

ECIAL USH

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

+ **noticing fee** and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- ☐ 8 Completed Application Packets (1 Original + 7 Copies) Including:
 - ☐ Application Form
 - ☐ Written Project Description
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Proposal Questionnaire With Both Questions and Answers Given
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date (1 copy)
 - ☐ Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

State of Nevada Public Works Division (775) 684-4141

APPLICANT **PHONE #**
 515 East Musser Street, Suite 102, Carson City, Nevada 89701-4263

MAILING ADDRESS, CITY, STATE, ZIP

roxoby@admin.nv.gov

EMAIL ADDRESS

State of Nevada

PROPERTY OWNER **PHONE #**

101 North Carson Street, Carson City, Nevada 89701

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

Matthew Rasmussen (775) 824-9988

APPLICANT AGENT/REPRESENTATIVE **PHONE #**

10451 Double R Boulevard, Reno, Nevada 89521

MAILING ADDRESS, CITY, STATE, ZIP

matt@tdg-inc.com

EMAIL ADDRESS

Project's Assessor Parcel Number(s):

00328307

Street Address ZIP Code

600 North Carson Street 89701-0000

Project's Master Plan Designation

400

Project's Current Zoning

P

Nearest Major Cross Street(s)

Robinson Street

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:

See attached project description.

See attached project description.

PROPERTY OWNER'S AFFIDAVIT

I, JAMES R. LAWRENCE, STATE LANDS ADMINISTRATOR

, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

901 S. STEWART ST
 Address CARSON CITY, NV
89701

Date

12/17/13

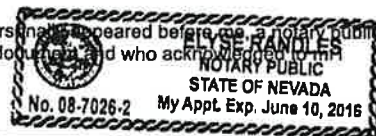
Use additional page(s) if necessary for other names.

STATE OF NEVADA

County City of Carson City

On December 17, 2013, James R. Lawrence, personally appeared before me, a Notary Public personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged the foregoing document.

Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

LEO DROZDOFF
Director

Department of Conservation
and Natural Resources

JAMES R. LAWRENCE
Administrator

BRIAN SANDOVAL
Governor



State Land Office
State Land Use Planning Agency
Nevada Tahoe Resource Team
Conservation Bond Program -Q1

Address Reply to

Division of State Lands
901 S. Stewart St. Suite 5003
Carson City, Nevada 89701-5246
Phone (775) 684-2720
Fax (775) 684-2721
Web www.lands.nv.gov

STATE OF NEVADA
DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES

Division of State Lands
Certification Request

Pursuant to NRS 321.003 (a portion of) " Before a state agency erects a building or makes any other permanent improvement on land assigned to it, the agency shall notify the State Land Registrar, in a form prescribed by him, and shall not proceed with the construction or improvement until the State Land Registrar certifies the nature of any encumbrances against the state's title to the land and certifies that the boundaries of the land assigned include the site of the proposed construction or improvement."

Requesting Agency: State Public Works Division Date Submitted: 12-17-13
Submitter Name: Robbie Oxley Contact Phone Number: 884-4129
Project Description: (Location, Scope of Work)
Enclosed loading dock & freight elevator

Date Certification needed: at your convenience Construction Start Date: 9/2014
prior to 100% constr. Docs
ON 1/21/14

Include the following documentation:

1. **Engineering/Architectural Drawings:**
 - a. Plan improvement map(s) in digital format (i.e. .dwg, .dxf, or .shp file format)
 - b. If digital map is not available, paper copies of the plans are acceptable.
 - c. One map must have a tie linking the improvement(s) to a known Public Land Survey System corner.
2. **Written LEGAL DESCRIPTION to match #1 (if available)**
3. **Known existing easements or encumbrances:** No ☒ Yes ☐ (If yes, submit documentation/maps)
 - a. Consultant/Contractor/Architect employed by the Nevada State Public Works Board, shall use due diligence to investigate any commonly known existing easements or encumbrances within location of proposed project

Submitting Agency- please co-ordinate with the State Land Agent assigned to this project if there are any questions.

Submit request and all appropriate documentation directly to the Supervisory Land Agent, State Land Office.
Digital submissions may be emailed directly to atrodden@lands.nv.gov.

This portion (below) for State Land office use only

State Lands Agent Name	Certification or Internal verification only?	Preliminary Title Report #, date	Associated DSL file name & number	Priority level (H,M,or L)	Are School Trust Lands Involved?

Proj. No.: C05 Loading Dock and Freight Elevator (Nevada State Museum)
Agency: Museums and History
Location: Carson City

Detail Description:

The scope of this project would design and construct a loading dock for moving large objects and materials in and out of the Museum changing galleries. In addition, there will be a small storage building for grounds maintenance equipment and flammable materials. This project will install a dust collection system and air compressor for the basement wood shop; remove an abandoned underground fuel tank; relocate an emergency generator and create a screen wall to conceal unsightly utilities highly visible to the public on the south wall of the Nevada State Museum. In addition, this project will remove the existing noncompliant and inadequate 1959 freight elevator, increase the size of the elevator shaft, and install a larger freight elevator.

Project Justification:

This project is necessary to provide safe and efficient access to the museum's major changing galleries and other galleries. A loading dock and larger freight elevator is essential for moving large exhibit props and crates, oversize artifacts like horse-drawn vehicles, and heavy objects in and out or between different floors of the museum. The existing elevator is too small to accommodate the transport of building materials to the basement. Currently, museum staff lifts large and heavy objects off trucks and upstairs, creating potential risks of injury and damage to collections and property. Without a loading dock, and a properly sized, working, freight elevator, the museum is limited in its ability to offer large-sized traveling exhibits and such exhibits generate important publicity, attendance, and revenue for the museum. An enclosed loading dock would screen unsightly utilities and equipment on the museum's highly visible south side. Currently, an unattractive chain-link fence surrounds utilities. In addition, a storage building will be attached to the proposed dock to accommodate the storage of ground maintenance equipment and flammable fuels for maintenance equipment. Investing in an old elevator that is too small for current needs is financially unsound. Many repair parts are no longer available. Examples of repairs include: installing two safety plates in the cylinder tub; installing control panels in braille and at the proper height; updating control relays; and installing a post indicator to show what floor the elevator is at.

Background Information:

The need to replace the 1959 freight elevator and construct a loading dock has existed for many years. The CIP was previously requested during the FY2001, 2003, 2005, 2007, 2009, and 2011 legislative sessions. The museum expects that the elevator could be shut down soon for safety violations. The museum offers new exhibits on a regular basis which has brought in more visitors and revenue. The lack of a freight elevator would inhibit the placement of these new exhibits which would result in a drop of visitor number, and a loss of revenue. The museum is within the Carson City Historic District and the Carson City Mint is listed on the National Register of Historic Places.

Hearing Notes:

13-C05 Questions

LCB-1. This project includes a line item in the Building Costs titled "Local Government Requirements" in the amount of \$10,000; adjusted to \$10,618 with inflation. Please provide an explanation as to what this cost is for and how the amount is determined.

SPWD - The loading dock and access driveway will be constructed up to the property line and the city's right of way, bordering 5th and Curry Streets. We anticipate that there will be city required protection for the public sidewalk, permits to work in their right of way, fees, or additional requirements when we redo and widen the driveway cut on Curry Street. Much of this will depend on the design solution. The cost is an estimate that will be refined during design with more input from the city.

LCB-2. Where is the underground fuel tank located and what adverse impacts would be anticipated if the tank was not removed as part of this project?

SPWD - The tank is located under the proposed driveway access to the proposed loading dock. The Environmental Protection Agency requires that either the tank be removed or slurry filled in place. Due to the EPA requirement, the tank could stay in place, but there would still be cost involved to remove the fuel oil and slurry fill the tank. Removal of the tank is preferable to avoid potential interference with future routing of underground utilities or other facilities improvements.

LCB-3. What is the Hazardous Material Abatement funding of \$15,926 related to?

SPWD - It is related to removal of any contaminated soil (contaminated by leakage of the underground fuel storage tank). In addition, there is the potential that hazardous materials could be encountered as part of the existing building demolition (such as lead paint and/or asbestos).

LCB-4. This project includes a storage building to be attached to the loading dock to store ground maintenance equipment and flammable fuels. Please identify what equipment would be stored in the building and where are the equipment and fuels currently stored.

SPWD - Two snow blowers, one lawn mower, one weed eater, one leaf blower, one leaf vacuum, two five gallon fuel containers, and various landscaping tools and equipment that are currently being stored in a temporary storage building where the loading dock and access driveway is proposed to be located.

SPECIAL NOTE: 13-C05 and 13-M50 have been combined into a single project with the number 13-C05.

SPECIAL USE PERMIT APPLICATION QUESTIONNAIRE

Question 1:

How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

This Special Use Permit request is consistent with the Master Plan in that it supports the viability of the downtown core by providing needed improvements to a key facility that has significant historic and cultural value and is a major source of tourism for Carson City.

Even though the overall improvements are minor, this request is essential to the long term viability and needs of the Nevada State Museum. Consistent with Master Plan policies, the new improvements will include building materials that complement the existing structures, thus ensuring that "character-defining" features are maintained. This request has no impact to the Growth Management Ordinance, energy conservation measures, or the Pathways Master Plan adopted by Carson City (there are no adjacent public lands).

The property is located within a priority infill area (Downtown Core). The museum is a key component of the City's goal of promoting tourism and redevelopment in this district. The new loading dock and freight elevator will allow for new and expanded exhibits that will add to the cultural diversity of Carson City and encourage new tourism activities at the museum for generations to come.

Question 2:

Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

This request will not result in any detrimental impacts to the surrounding area. In fact, it will allow for the long-standing museum use to diversify its offerings, thus benefitting the community as a whole. The proposed changes are minor and do not constitute a major change to the existing facility.

In terms of land use, the proposed project is consistent with the commercial character of the area and the downtown core. New construction will complement the existing building in terms of colors and materials, thus not compromising the historic character of the building and neighborhood. The loading dock area will include gates and a stone wall that will effectively screen trucks and ensure that any debris is fully contained onsite. Unlike other commercial uses in the area, the museum does not operate during early morning or late evening hours. Therefore, there will be no significant impacts related to noise, etc. Additionally, the loading dock will be used primarily for updating/switching of exhibits and will not operate constantly as a typical commercial center/business would.

The proposed improvements will have no impact to vehicle and pedestrian circulation patterns in the area. Sidewalks will be maintained and traffic generation is extremely minimal with the associated improvements. Overall, this request is a benefit to Carson City as it will allow the museum to diversify its offerings and comply with current safety standards (i.e. freight elevator). This ensures the long term viability of the facility which is a key generator of tourism and cultural offerings within Carson City.

Question 3:

Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

This request will have little effect on existing improvements within the vicinity. Specific impacts are addressed below:

- A: This request has no impact to the School District or its facilities.
- B: All necessary engineering improvements to ensure that proper drainage will occur in accordance with City policies will be included with final building plans.
- C: No additional water demands will be generated. Water service (and all associated infrastructure) is already in place to the building.
- D: Not applicable. No new sewage demand will be created.
- E: All improvements will occur onsite. No roadway improvements are necessary. New curb cuts will be designed to meet all applicable City and ADA standards.
- F: Information contained in this packet has been reviewed and presented by licensed engineers (Tectonics Design Group) and architects (Paul Calvin Architect LLC).
- G: New lighting will include cut-off and shielded fixtures to ensure that spill-over and glare does not occur to adjoining properties.
- H: Landscaping will be provided in accordance with City standards. Removal of existing landscaping will occur to allow for the new facility. However, new improvements will include architectural elements that will add visual interest and appeal to the building, thus the overall impact to the streetscape will be positive. Additionally, the mature parkway trees along West Robinson Street and Curry Street will be preserved.
- I: Not applicable. A parking plan is not required for this request.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant

12/18/13

Date



CARSON CITY

Capital of Nevada

[Assessor Home](#)[Personal Property](#)[Sales Data](#)[Secured Tax Inquiry](#)[Recorder Search](#)

Parcel Detail for Parcel # 003-283-07

Location

Property Location 600 N CARSON ST

Town

Subdivision PROCTOR & GRN/PHILLIPS

ADD Lot Block 65+

Property Name NEVADA STATE MUSEUM

[Add Addresses](#)[Legal Description](#)

Ownership

Assessed Owner Name STATE OF NEVADA

Mailing Address 101 N CARSON ST

CARSON CITY, NV 89701-0000

[Ownership History](#)[Document History](#)

Legal Owner Name STATE OF NEVADA

Vesting Doc#, Date [374093](#) 11/21/07 Book/Page /

Map Document #s #374093

Description

Total Acres 1.396 Square Feet 60,830

Ag Acres .000 W/R Acres .000

Improvements

Single-fam Detached 0 Non-dwell Units 2 Bdrm/Bath 0/.00

Single-fam Attached 0 MH Hookups 0 Stories 2.0

Multi-fam Units 0 Wells 0

Mobile Homes 0 Septic Tanks 0

Total Dwelling Units 0 Bldg Sq Ft 36,109

[Improvement List](#) Garage Sq Ft 0 Attch/Detch[Property Costing Estimates](#) Basement Sq Ft 14,695 Finished 14,695

Appraisal Classifications

Current Land Use Code 400 [Code Table](#)

Zoning P

Re-appraisal Group 2 Re-appraisal Year 2009

Orig Constr Year 1860 Weighted Year 1965

Assessed Valuation

Assessed Values	2014-15	2013-14	2012-13
Land	264,045	253,889	282,099
Improvements	714,616	687,870	709,431
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	978,661	941,759	991,530
Net Assessed Value	0	0	0
Increased (New) Values			
Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

Taxable Valuation

Taxable Values	2014-15	2013-14	2012-13
Land	754,414	725,397	805,997
Improvements	2,041,760	1,965,343	2,026,946
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	2,796,174	2,690,740	2,832,943
Net Taxable Value	0	0	0
Increased (New) Values			
Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

[Back to Search List](#)

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paul@paulcavindesign.com

professional seal

PRELIMINARY
NOT FOR CONSTRUCTION

consultant

TECTONICS
DESIGN GROUP

10451 Double E Boulevard
Reno, NV 89521
Tel: 775-843-9988
Fax: 775-843-9989
www.tectonics.com

project

13-C05 Loading Dock and
Replace Freight Elevator

Nevada State Museum
600 North Carson Street
Carson City, Nevada 89701

revisions

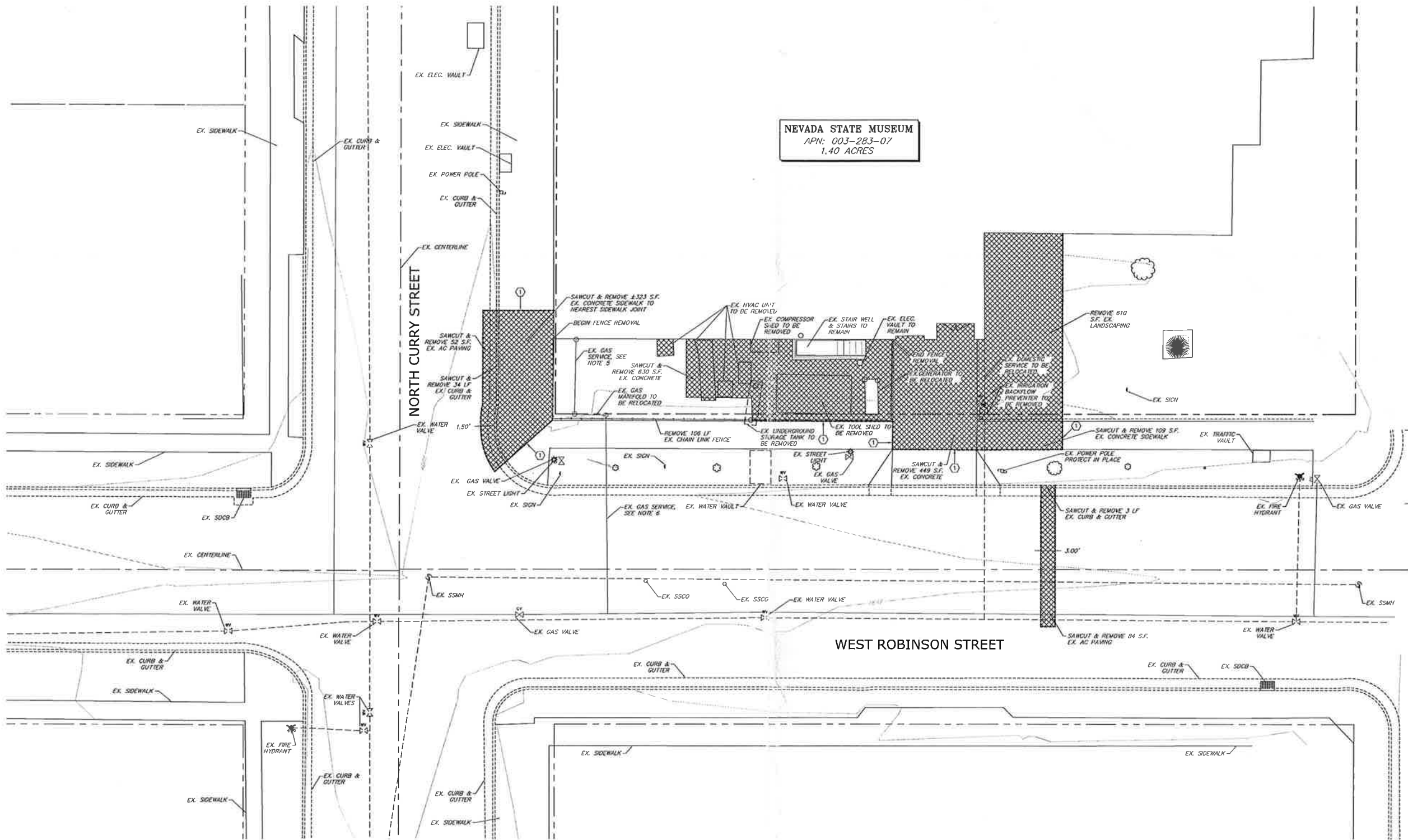
NO.	DESCRIPTION

drawn by NDJ
reviewed by MKR
date 12/18/13
project number 13206
drawing name

Demolition Plan

sheet number

C101



2 DAYS BEFORE
YOU DIG CALL USA
TOLL FREE 1-800-227-2600

DEMOLITION PLAN

SCALE: 1" = 10'-0"



NOTES:

1. REFERENCE "GENERAL NOTES"
2. REFERENCE "ABBREVIATIONS"
3. REFERENCE "LEGEND"
4. ADD 4800 TO ALL FINISHED GRADE OR INVERT ELEVATIONS
5. REMOVE EXISTING GAS SERVICE FROM BUILDING BACK TO EXISTING GAS MANHOLE, COORDINATE REMOVAL WITH SOUTHWEST GAS.
6. REMOVE EXISTING GAS SERVICE FROM GAS MANHOLE BACK TO GAS MAIN IN WEST ROBINSON STREET, COORDINATE REMOVAL WITH SOUTHWEST GAS.

CONSTRUCTION NOTES:

1. SAWCUT EXISTING ASPHALT / CONCRETE

General Notes				Symbols				Project Team				Sheet Index			
<div>1. These General Notes apply to all work described in the Contract Documents.</div> <div>2. The Contract Documents consist of the Owner-Contractor agreement, the Conditions of the Contract (General, Supplementary, and other conditions) , the Drawings, Specifications and all Addenda Issued prior to and all modifications issued after execution of the contract.</div> <div>3. The Work comprises the completed construction required by the Contract Documents and included all labor necessary to produce such construction, and all materials and equipment incorporated or to be incorporated in such construction.</div> <div>4. Shop drawings, product data, and samples are not a part of the Contract Documents. The Architect will review such materials, but only for conformance with the design concept of the Work and with the information given in the Contract Documents. The Contractor shall not be relieved of responsibility for any deviation from the requirements of the Contract Documents by the Architect's review of shop drawings, product data, or samples.</div> <div>5. The Contractor shall carefully study and compare the Contract Documents and shall at once report to the Architect any error, inconsistency or omission he may discover. The Contractor shall perform no portion of the work at any time without Contract Documents or, where required, approved shop drawings, product data or samples for such portion of the work.</div> <div>6. All work is to conform with the Contract Documents. Drawings are NOT to be scaled for Information.</div> <div>7. In the event certain features of the construction are not full shown on the contract document, then their construction shall be of the same character as for similar conditions that are shown or called for and shall be reviewed by the Architect.</div> <div>8. All work shall be performed within strict conformance to the minimum standards of the current edition of the International Building Code (IBC) and all applicable national, state, and local laws, regulations, and ordinances.</div> <div>9. The Contractor shall be responsible for the general safety during construction, and all work shall conform to pertinent safety regulations.</div> <div>10. The Contractor shall coordinate locations of any and all mechanical, telephone, electrical, lighting, and plumbing including all piping, ductwork and conduit. Coordinate all required clearances for installation and maintenance of the above equipment.</div> <div>11. The Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely be responsible for all construction means, methods, techniques, sequences, procedures, and for coordination all portions of the work under the contract.</div> <div>12. The Contractor shall be responsible for the acts and omissions of his employees, subcontractors, and their agents and employees, and other persons performing any work under a contract with the Contractor.</div>				<div>13. The Contractor shall pursue work in a continuous and diligent manner to ensure a timely completion of the project.</div> <div>14. The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by work operations. At the completion of the work remove all waste materials and rubbish associated with the work as well as all tools, construction equipment, machinery, and surplus materials.</div> <div>15. The Contractor shall be responsible for the location and protection of all existing and proposed piping, utilities, structures, adjacent streets and improvements during the period of construction.</div> <div>16. Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment, and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the work.</div> <div>17. Where conflicts occur, coordinate the layout and exact location of all elements of work in conflicting area with Architect in the field before proceeding with construction.</div> <div>18. Where conflict is encountered between the Contract Documents that will materially affect the quality or extent of the work, such conflict shall be to the satisfaction of the Architect before the affected items and materials are purchased, fabricated and installed.</div> <div>19. Where pre-manufactured items and/or materials are to be installed, the Contractor shall verify rough or finished dimensions in the field prior to purchase or fabrication.</div> <div>20. The Contractor shall guarantee all work and materials to be free from defects for a minimum of one year from date of final acceptance and promptly remedy such defects and any subsequent damage caused by the defects or repair thereof at no expense to the Owner. Guarantee periods of greater than one year may be required and contained within the Contract Documents.</div> <div>21. Where any item and/or material is indicated in the Contract Documents, and not necessarily detailed in each specific case, but is required for a complete and professional installation, such item and/or material shall be provided as if shown and detailed in full. Provide means to furnish and install.</div> <div>22. The Contractor is requested to visit the site as part of the pre-bid site visit to compare the drawings and specification with any work in place and be informed of all conditions including the work, if any, being performed. Failure to visit the site will in no way relieve the Contractor from necessity of furnishing any materials or performing any work in accordance with the drawings and specifications that may be required to complete the work without additional cost to the owner.</div> <div>23. Existing conditions including material sizes, configurations, and locations as shown on the drawings may not be an exact illustration of existing as-built conditions. The Contractor shall include in his bid the cost of furnishing, installing, modifying, existing and new materials required for a complete and professional installation that may be required by minor variation between existing conditions as shown, and actual as-built conditions.</div>				<div><div><div><div><div></div><div>North</div></div><div></div></div></div><div>North Arrow</div></div> <div><div><div><div><div></div><div>Detail Number</div></div><div><div>Sheet Number</div><div>XX XXXX</div></div></div><div></div></div></div> <div>Detail Indicator</div> <div><div><div><div><div></div><div>Detail Number</div></div><div><div>Sheet Number</div><div>XX XXXX</div></div></div><div></div></div></div> <div>Detail Indicator</div> <div><div><div><div><div></div><div>Detail Number</div></div><div><div>Sheet Number</div><div>XX XXXX</div></div></div><div></div></div></div> <div>Detail Indicator</div> <div><div><div><div><div></div><div>Detail Number</div></div><div><div>Sheet 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professional seal

PRELIMINARY
NOT FOR CONSTRUCTION

consultant

project

13-C05 Install Loading Dock and Replace
Freight Elevator (Nevada State Museum)

Nevada State Museum
600 North Carson Street
Carson City, Nevada 89701

revisions

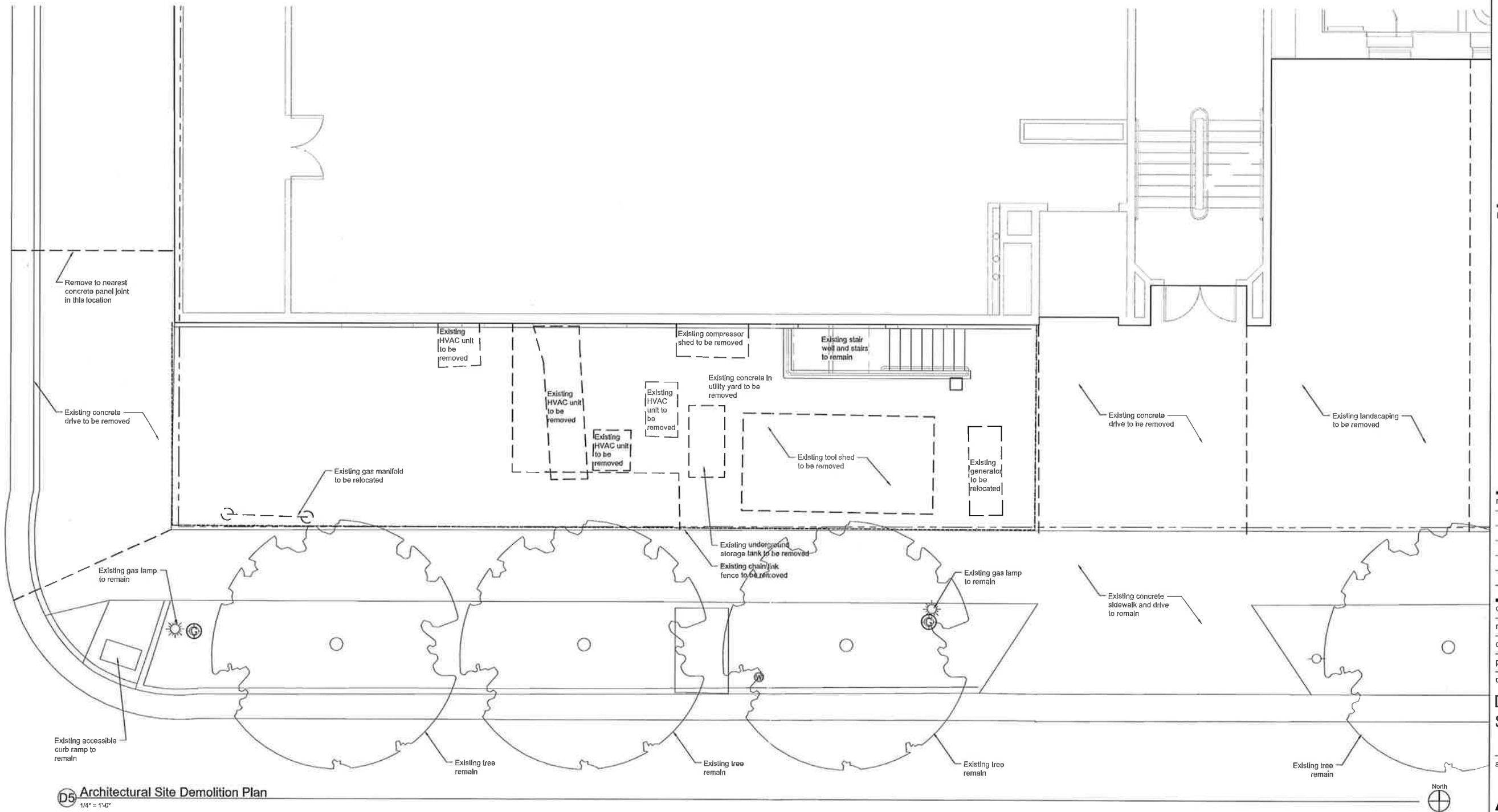
no.	description

drawn by GS/PC
reviewed by PC
date 12/20/13
project number 13012
drawing name

Demolition
Site Plan

sheet number

A001



13-C05 Install Loading Dock and Replace Freight Elevator (Nevada State Museum)

Nevada State Museum
600 North Carson Street
Carson City, Nevada 89701

Special Use Permit Submittal
12/19/13

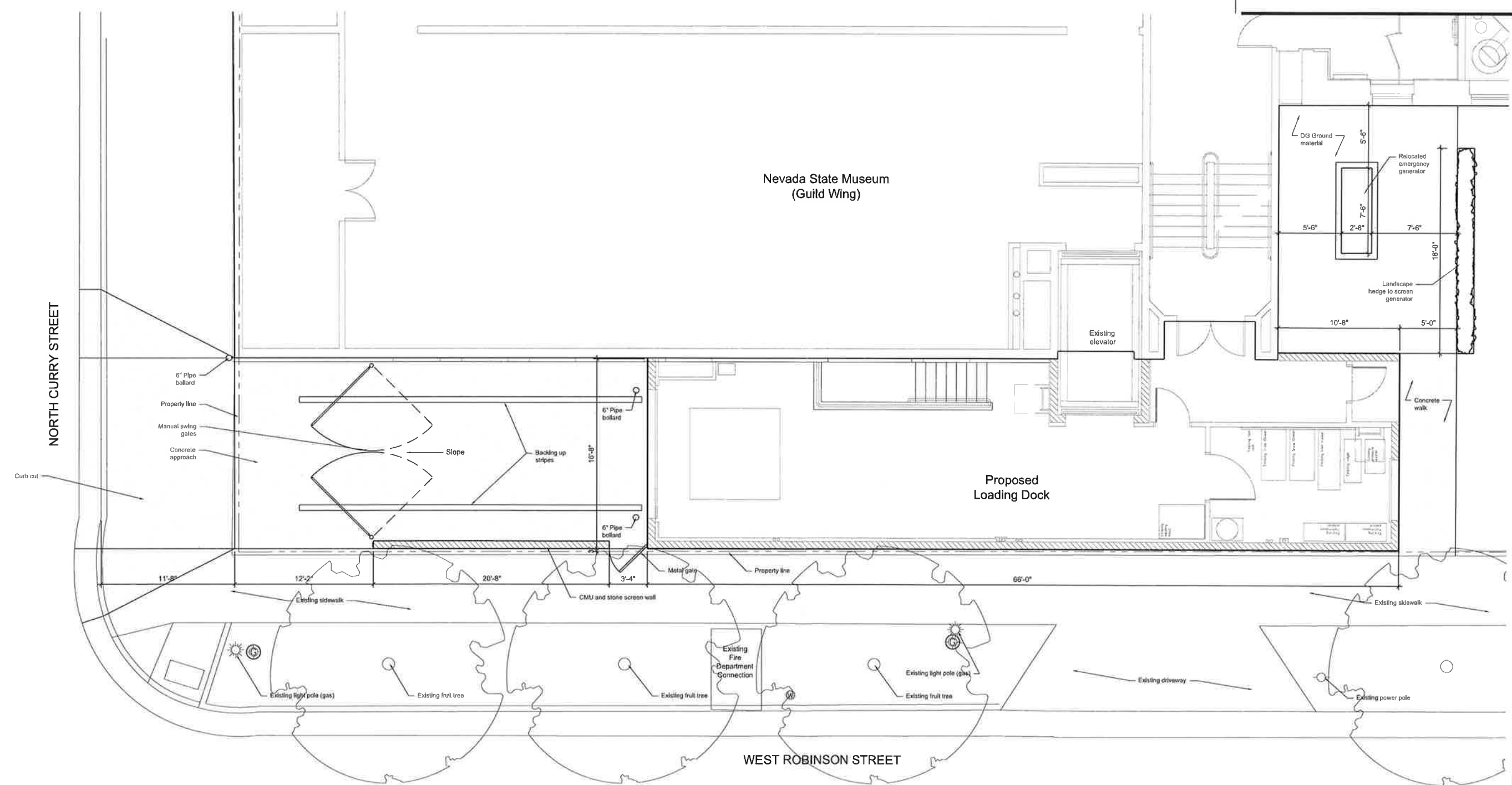
Paul Cavin Architect LLC	
51 Marilyn Mae Dr Sparks, Nevada 89441 (775) 842-0261	
www.paulcavindesign.com paul@paulcavindesign.com	
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PRELIMINARY NOT FOR CONSTRUCTION	
consultant	
project	
13-C05 Install Loading Dock and Replace Freight Elevator (Nevada State Museum)	Nevada State Museum 600 North Carson Street Carson City, Nevada 89701
revisions	
drawn by	GS
reviewed by	PC
date	12/20/13
project number	13012
drawing name	Cover Sheet
sheet number	G100

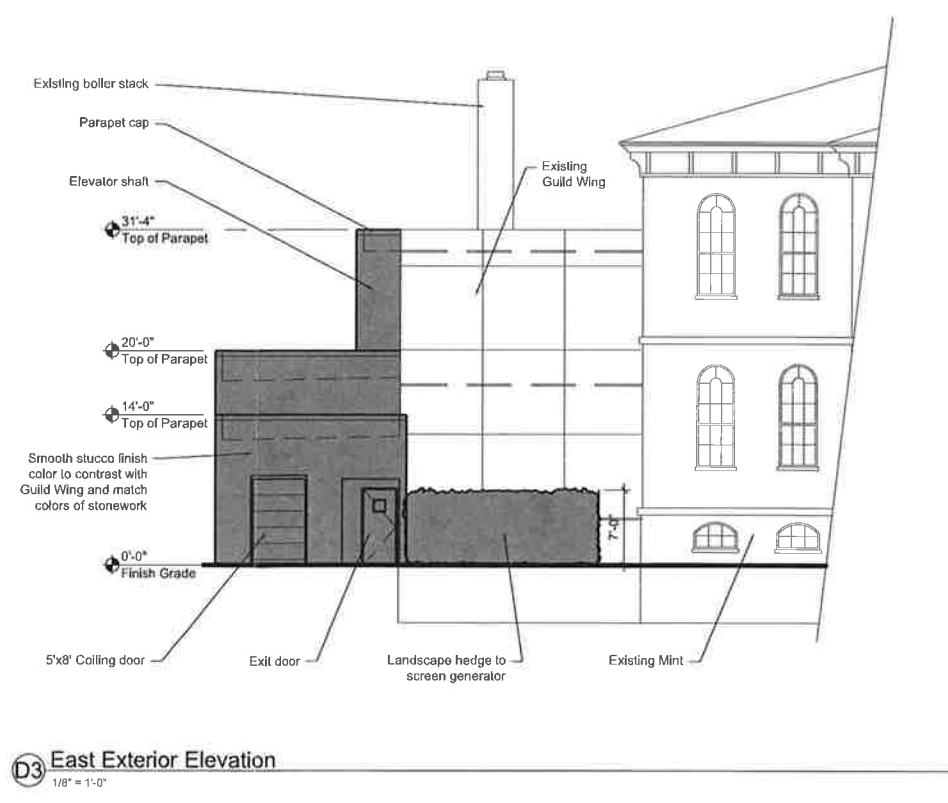
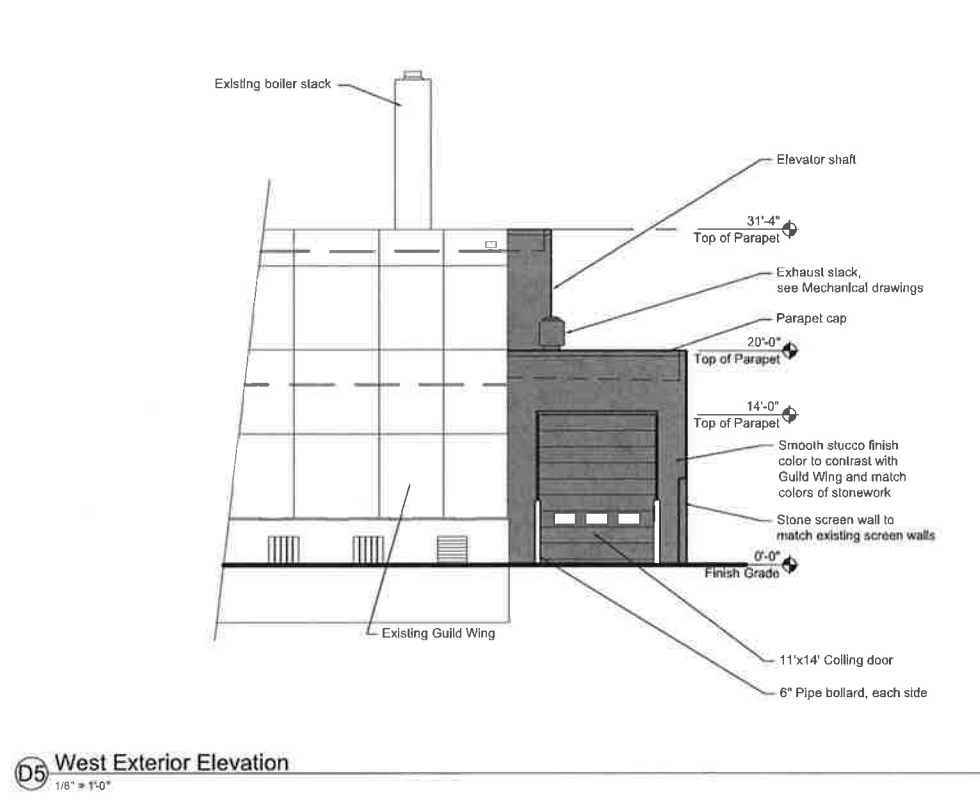
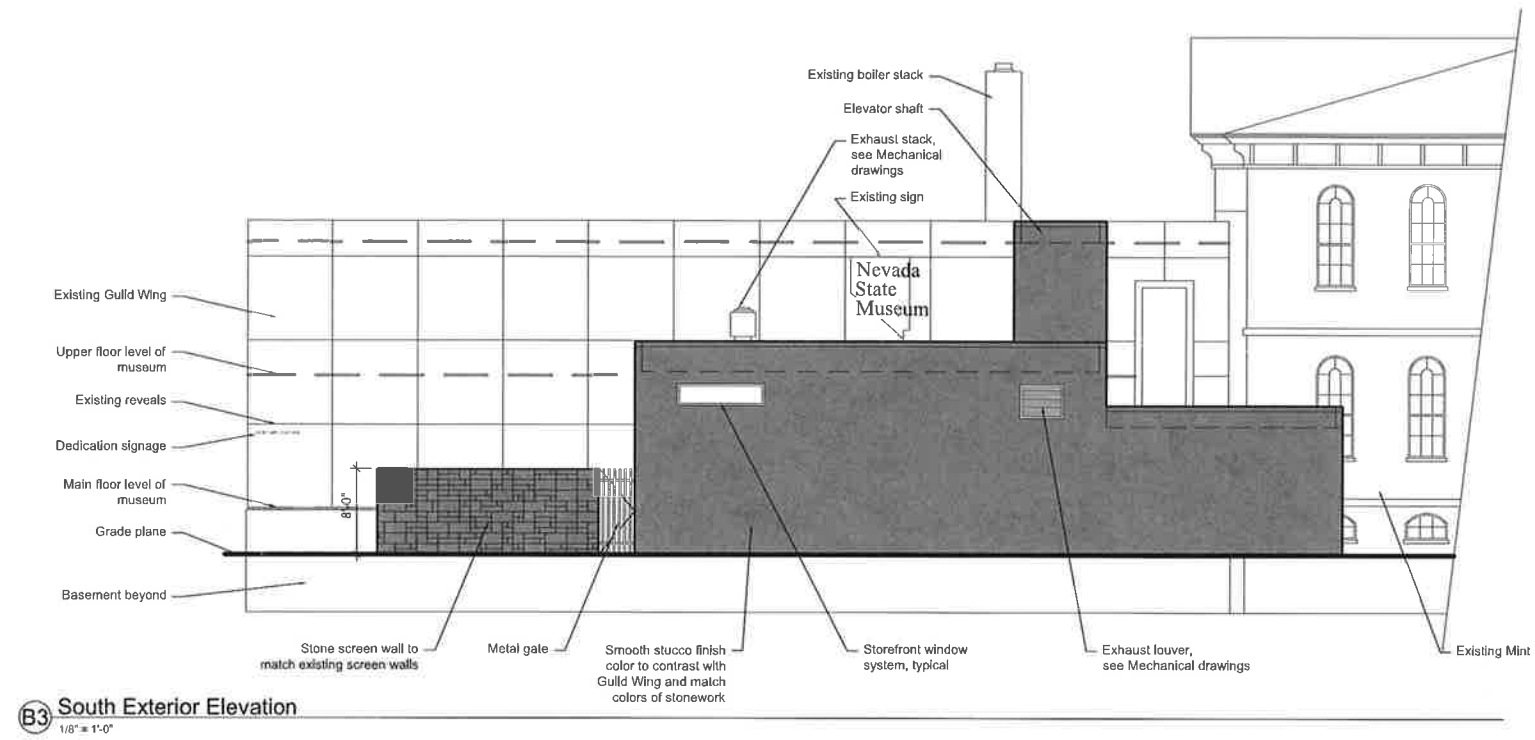
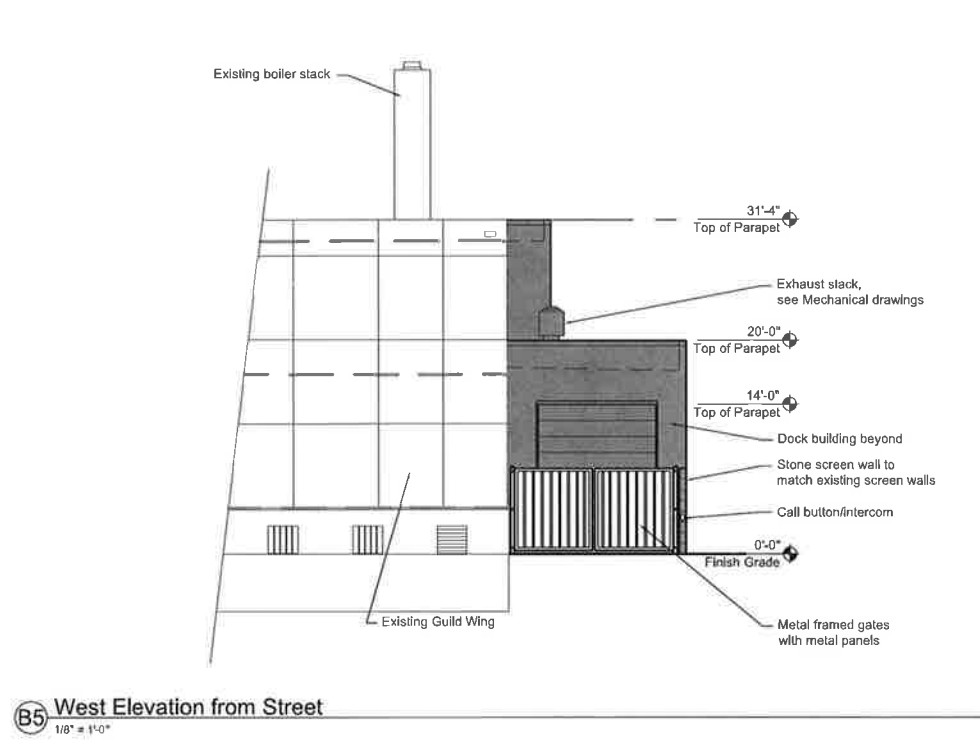
1. See Civil Drawings for additional information.

consultant

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600 North Carson Street
Carson City, Nevada 89701

A002





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professional seal

PRELIMINARY
NOT FOR CONSTRUCTION

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project

13-C05 Install Loading Dock and Replace
Freight Elevator (Nevada State Museum)

Nevada State Museum
600 North Carson Street
Carson City, Nevada 89701

revisions

drawn by GS/PC
reviewed by PC
date 12/20/13
project number 13012
drawing name

Elevations

sheet number

A300