

OPEN SPACE ADVISORY COMMITTEE STAFF REPORT

MEETING DATE: April 27, 2015

AGENDA ITEM NUMBER: 3B

STAFF: Richard Wilkinson, Senior Natural Resource Specialist

REQUEST: **For Possible Action:** To authorize the Chairman's signature on a letter of support for a Federal Lands Access Program (FLAP) grant submitted by Carson City Public Works for various improvements along Sierra Vista Lane.

GENERAL DISCUSSION:

Open Space staff was asked by Dirk Goering with Public Works to review the submittal of the Federal Lands Access Grant which they were intending to submit. Staff received the draft application on Tuesday 04-14-2015 and made several recommendations and modifications to the document. Open Space staff was not invited to the field tour because the Public Works staff had to expedite the grant to be submitted by May 8th.

The draft grant application has been attached for your review. The primary goals of this grant with Public Works are to improve Sierra Vista Lane and parking/trailhead areas for OHV and non-motorized recreational access. Public Works highlights that drainage and erosion problems will also be addressed. There are still many unknowns which are what type of improvements will be included in the development of three parking/trailhead areas which run along the Sierra Vista Lane. One of the proposed developments is in Carson River Park on the east side of the Sierra Vista lane. Two additional developments are on the East Silver Saddle Ranch Open Space - one on the east side and one on the west side of the Sierra Vista Lane. On page 3 of the application, the description of work includes:

(6) Upgrading two small parking areas by re-grading and graveling, adding wayfinding information signs, temporary bathroom facilities, and installing a split rail fence to delineate the existing parking areas; (7) Construction of one large parking area located on Carson City property with paved parking, picnic areas, wayfinding, and bathroom facilities; (8) Installation of wayfinding signs.

Staff is seeking comments from the committee related to the improvements and anticipated increase in maintenance requirements. A draft letter of support has been attached for your review and approval. The letter will help Public Works rank higher showing collaboration and support from this advisory committee.

Information about the F.L.A.P below:

Federal Lands Access Program

The Federal Lands Access Program was created by the “Moving Ahead for Progress in the 21st Century Act” (MAP-21) to improve access to federal lands. The program is directed towards Public Highways, Roads, Bridges, Trails, and Transit systems that are under State, county, town, township, tribal, municipal, or local government jurisdiction or maintenance and provide access to federal lands.

The following activities are eligible for consideration on Federal Lands Access Transportation

Facilities:

1. Preventive maintenance, rehabilitation, restoration, construction and reconstruction
2. Adjacent vehicular parking areas
3. Acquisition of necessary scenic easements and scenic or historic sites
4. Provisions for pedestrian and bicycles
5. Environmental mitigation in or adjacent to Federal land to improve public safety and reduce vehicle-wildlife mortality while maintaining habitat connectivity
6. Construction and reconstruction of roadside rest areas, including sanitary and water facilities.
7. Operation and maintenance of transit facilities

Proposed projects must be located on a public highway, road, bridge, trail or transit system that is located on, is adjacent to, or provides access to Federal lands for which title or maintenance responsibility is vested in a State, county, town, township, tribal, municipal, or local government.

Projects are selected by a Programming Decision Committee (PDC) made up of representatives of:

- Federal Lands Highway Division, Federal Highway Administration
- State Department of Transportation
- An appropriate political subdivision of the state

The PDC is required to cooperate with each applicable Federal Land Management Agency before final programming decisions are made.

RECOMMENDED ACTION:

I move to authorize the Chairman’s signature on a letter of support for a Federal Lands Access Program (FLAP) grant submitted by Carson City Public Works for various improvements along Sierra Vista Lane.

April 20, 2015

Morgan Malley, Transportation Planner
Central Federal Lands Highway Division
12300 West Dakota Ave, Ste 380B
Lakewood, CO 80228

Dear Mr. Malley,

I am formally generating this letter to show support for the Carson City Public Works grant submission through the FLAP program. We have met with staff in an open meeting and have discussed the need for enhancing the public's access to federal lands. As the Open Space Advisory Committee, we actively help Carson City Staff with direction for management and use of Open Space properties and this grant has a positive impact on our properties which are adjacent to properties managed by the Bureau of Land Management (BLM).

The project identifies and improves the ability to provide adequate and safe access to federal lands as well as Carson City properties where opportunities for recreation are needed. The proposed grant identifies areas already labeled in the Carson City Open Space Master Plan for East Silver Saddle Ranch and Carson River Park. The approval of this grant would help enable Carson City to improve the quality of life for enthusiastic recreationists in our area and from surrounding communities. In meeting the needs to expand or enhance federal land access this grant is also identifying the need to make those access roads and trail heads as safe as possible.

These proposed improvements would also mitigate the need to improve our drainage and erosion concerns for the Carson River which is listed as a priority watershed by the Environmental Protection Agency. The Lahontan Audubon Society has identified the Carson River as critical bird habitat corridor. The Carson City Open Space Advisory Committee understands that this grant is in the pre-planning stages and that the final decisions to design and layout will not proceed unless the grant is awarded. With this in mind, the Open Space Advisory Committee would like to be involved with helping staff make decisions on design and layout for the Open Space parcels. As described in the Open Space Master Plan, Environmental Stewardship is critical and all designs or improvements should minimize impacts to our natural resources.

The improvement to the drainage and road for Sierra Vista Lane will help the City improve safe access to federal lands and mitigate some negative impacts to the Carson River. The Carson City Unified Pathways Master Plan has identified several access points along the Sierra Vista Lane which include access to hiking, bicycling, equestrian and OHV use on BLM properties. By improving safe access to these sites it will give Carson City the opportunity to improve environmental conditions within those areas.

We encourage your favorable consideration towards Carson City's application Sierra Vista Lane Recreational Access Improvements though the Federal Lands Access program (FLAP).

Respectfully,

Bruce Scott
Chairman
Carson City Open Space Advisory Committee

East Silver Saddle Ranch

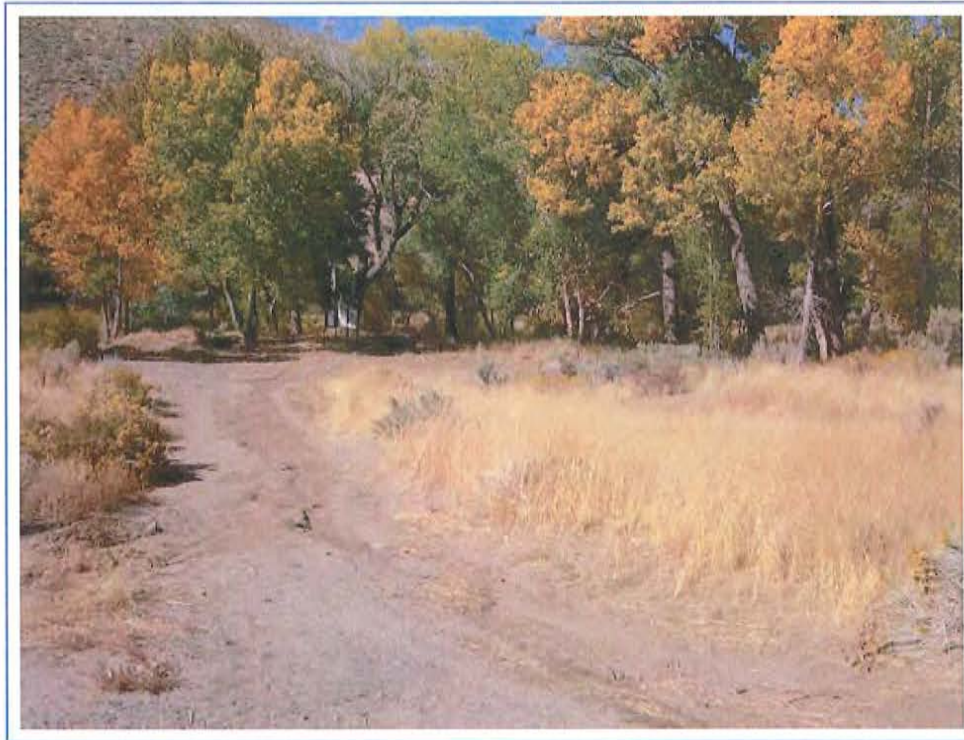


Photo 7. View of river access on of East Silver Saddle Ranch

Acres: 114.6 acres
Location: Sierra Vista Lane

Location and Access

East Silver Saddle Ranch is located on the east side of the Carson River. In total, there are approximately 115 acres located along the Carson River and both sides of Sierra Vista Lane. The draft maps for the federal legislation erroneously did not identify approximately 51 acres for transfer. The 51 acres are directly south of the East Silver Saddle Ranch lands and appear as a gap between land to the north and a 10-acre parcel that was included on the maps to the south (Figure 2.3).

BLM constructed an unpaved multiple-use trailhead on the east side of Sierra Vista Lane. The trailhead is primarily used by OHVs to connect with the power line road and other roads leading into the Pine Nut Mountains. On the west side of Sierra Vista Lane, an existing unpaved road on the southern boundary provides vehicle access to a small parking area. This section of the

river has sandy beaches and good access for visitors. Barricades were installed to keep vehicles out of the riparian corridor; however, they have been moved and vehicle trespass is common.

Characteristics

The vegetation composition includes sparse, single-aged woody vegetation in the riparian corridor and sagebrush/bunchgrass plant communities in the uplands.

The Carson River Master Plan recommended restricted or limited OHV use along the river corridor due to visual degradation of the hillsides, soil erosion, damage to vegetation and wildlife habitat, vehicle pollutants, dust and air pollution, and noise.

RECOMMENDED ACTION(S) _____

The following actions are recommended to manage East Silver Saddle Ranch.

- ✓ Install and maintain consistent OHV boundary signs.
- ✓ Consider developing a group use area (including the potential for group use camping).
- ✓ Consider developing a loop trail between the river and Sierra Vista Lane.
- ✓ OHV access should be limited to the power line road and area uphill to the east only. OHV use onto adjacent public land must be coordinated with the BLM.
- ✓ Near the river, designate the parking area and maintain barriers to prohibit vehicle access into non-motorized use areas, the riparian corridor, floodplain and other sensitive areas.
- ✓ Work with the OHV groups such as the Pine Nut Mountains Trail Association and others to identify and maintain trails; develop relevant materials (maps, signs, brochures, etc.) and necessary rules and regulations, etc.

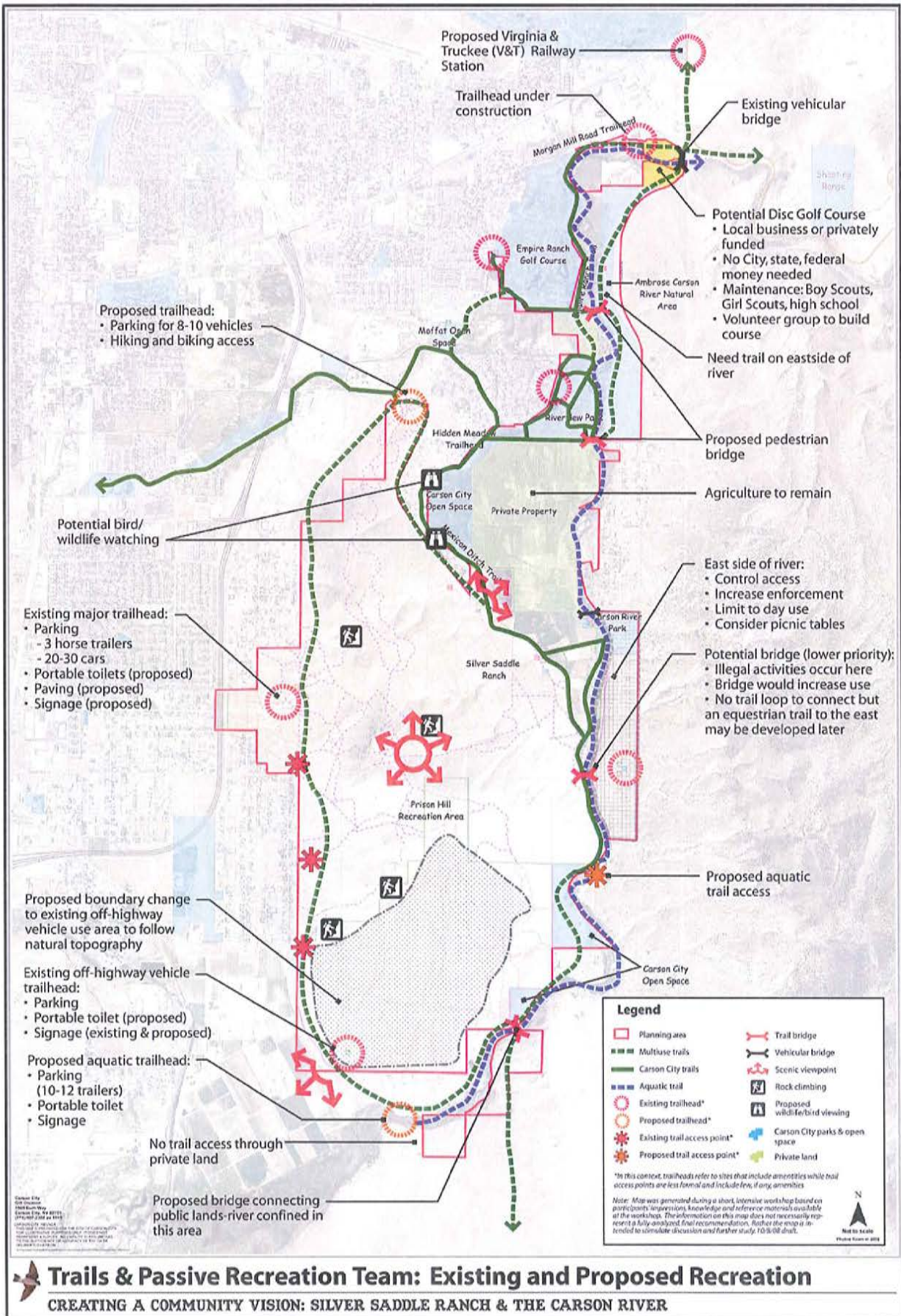
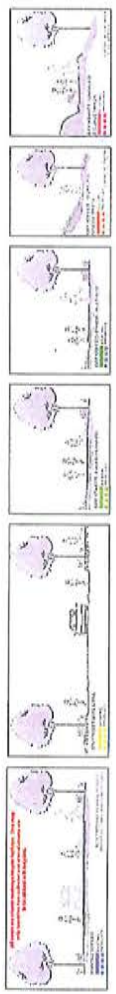
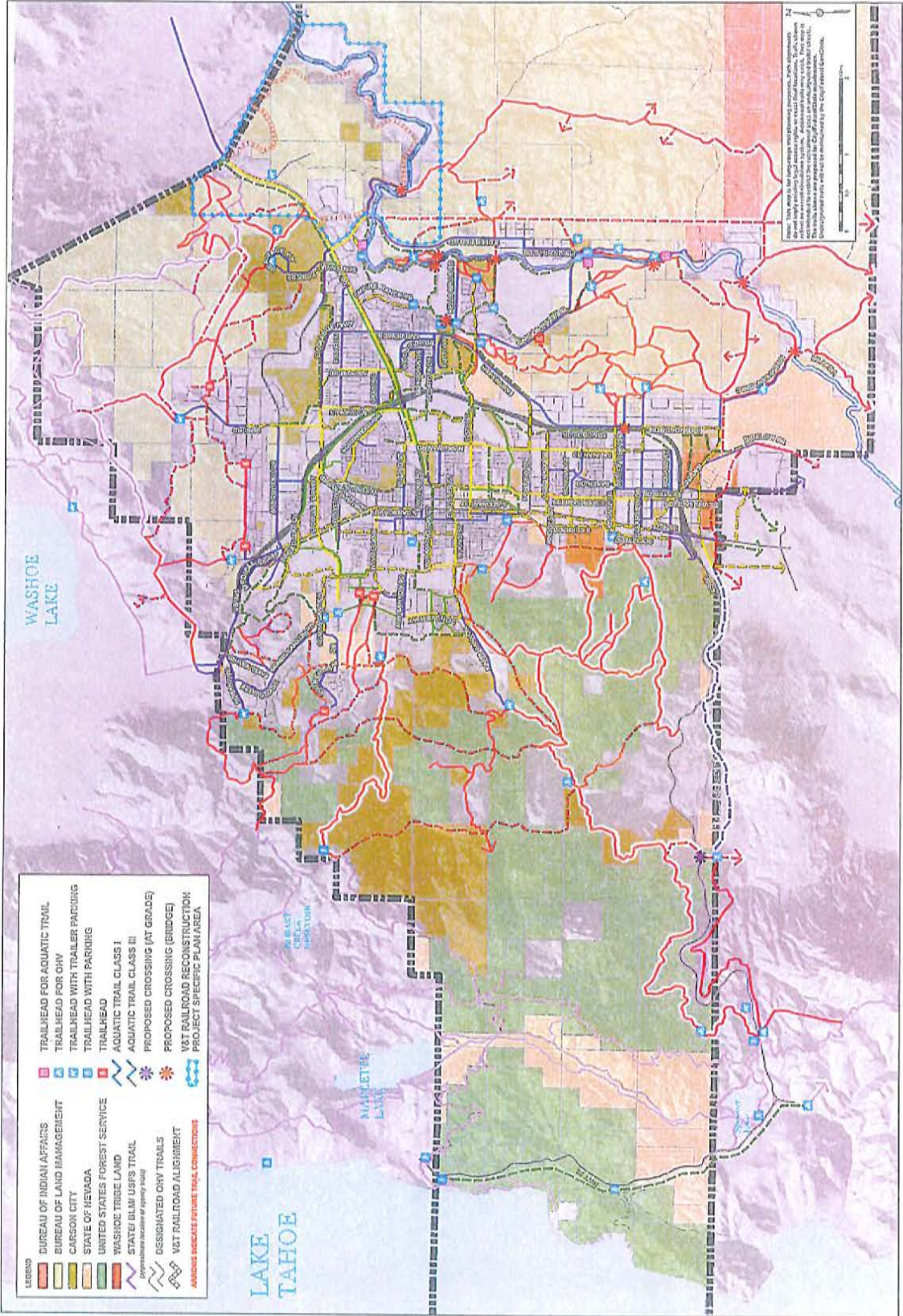


Figure 14. Trails & Passive Recreation Team: Existing and Proposed Recreation



**UNIFIED PATHWAYS
MASTER PLAN**
TRACED COUNTY, NEVADA

Nevada Access Program Project Application

General Information:

The Programming Decisions Committee (PDC) of the Nevada Federal Lands Access Program will review project applications and rank them based on weighted selection criteria developed by the PDC. The selection criteria is a tool that is reflective of the needs in the state of Nevada and Federal Lands Access Program Implementation Guidance.

The PDC will use the selection criteria to identify top ranked projects that will be programmed based on funding availability. The PDC will select a balanced program made up of some large projects with smaller projects used to maximize funding and address critical needs. Access Program funds are eligible for construction, rehabilitation, or reconstruction and are not intended for maintenance (chip seal, potholes, etc.) projects. This Call for Projects is anticipated to program up to approximately \$28 million from 2017 - 2020 depending on program needs and future congressional action.

Nevada Access Program projects require a **minimum non-federal match of 5%**.

By submitting an application, the Applicant is acknowledging the match requirement and indicating that these non-federal funds are available (see Applicant Project Endorsement Form). If the project is short-listed, the Applicant will be expected to enter into a maximum \$10,000 Reimbursable Agreement within 45 days for the completion of project scoping by Central Federal Lands that will result in more accurate project scope, schedule and budget. If the PDC and the applicant agree with the project scope and cost, then a subsequent Project Agreement will be required within 60 days from approval of funding by the PDC.

Instructions:

Applications must be received by **May 8, 2015** to be considered.

1. All project applications must be submitted using the Nevada Access Program Project Application form. Complete the project application to the best of your ability. It is the responsibility of the entity proposing a project to supply the necessary information to complete the project application. It is understood that data may not be available for all of the project application questions, but the agency may use anecdotal information as a substitute. If possible, please keep this form as a writable PDF form, this makes it easier to review your application -this can be done by saving your your form as a PDF and attaching it within an e-mail along with all additional attachments. Additional supplemental materials including alternative transportation, endorsement, resolution and support forms can be printed and scanned then attached if necessary.

NOTE: The total of all attachments must not exceed 15MB, which includes all photos, PDF forms, and other attachments

2. Complete Project Application, Signature Forms and obtain Letters of Support (FLMA) and Resolution (Governing Body)
3. Per the Submittal Instructions (page 12), please E-mail your completed application package to cfl.planning@dot.gov

If you are considering this application for your project and would like assistance in completing this form, contact:

Morgan Malley , Transportation Planner
Central Federal Lands Highway Division
12300 West Dakota Ave, Ste 380B, Lakewood, CO 80228
Phone: 720-963-3605 | morgan.malley@dot.gov

Additional information on the Access Program is located at www.cflhd.gov/programs/flap/nv

Project Application Evaluation Checklist:

- The facility title or maintenance responsibility is vested in a State, county, city, tribal, or local government
- Acknowledgement that the project has minimum non-federal required match
- Acknowledgement that facility is located on, is adjacent to, or provides direct access to Federal land(s)
- Signed [Applicant Project Endorsement Form](#)
- Signed [Support Form](#) from applicable Federal Land Management Agency

Project Application Supplemental Material Checklist (check all that apply)

- Project maps included (Site map identifying project termini, Vicinity map identifying regional context) - *attach file at submission*
- Project photos included - *attach 4 - 6 photos in jpeg, gif or png format at submission.*
- Link to a video tour of project limits (optional but strongly encouraged) Video Link Here: <https://youtu.be/oEDcE3vleME>
- [Supplemental Alternative Transportation Worksheet](#) (alternative projects only) - *attach scanned and completed file at submission*

Nevada Access Program Project Application

General Information: Project Identification (fill out all that applies)

Project Name:

Facility Name: Local Route #:

Other (local) Facility Names/Designator (if any):

Agency with Jurisdiction (authority to control traffic):

Government agency that pays the majority of maintenance for the transportation facility:

Functional Classification: Project is designed to following standard:

	Begin	End
Termini Mile Post or Landmark	Pinion Hills Road Intersection	2.5 miles south
Termini Longitude <i>(example: 123.456789)</i>	-119.702844	-119.70059
Termini Latitude <i>(example: -123.456789)</i>	39.143422	39.114

Project Length (miles - ex: 12.34): Road Width, Existing (feet) Road Width, Proposed (feet)

Posted speed limit of facility: Proposed speed limit:

1. Provide a brief summary of the project (stay within space provided):

The project will reconstruct a 2.5 mile portion of Sierra Vista Lane and provide three improved parking areas with way finding signs to improve recreational access for visitors to Federal land and in turn improve the quality of life for Carson City residents desiring to recreate on Federal lands. The road is constructed out of recycled asphalt grindings and is rapidly deteriorating, creating unsafe conditions, erosion impairment to water quality, and the inefficient use of Federal lands. The Sierra Vista Lane transportation facility provides access to two recreational destinations, the Carson River and the Pine Nut Mountains. The Pine Nut Mountain Range is a north south range that spans approximately 40 miles, offering a range of recreational opportunities, including equestrian, motorized, and non-motorized uses. Much of the Pine Nut Mountain Range is managed by the Bureau of Land Management. Sierra Vista Lane provides access to an internal Off-Highway Vehicle (OHV) trail system, with countless miles of trails that span the following three Counties: Carson City, Douglas, and Lyon.

Attachment 1 and 2 provide a vicinity map and a detailed site plan of the roadway, respectively.

2. Description of project need: summarize the need for this project, what purpose does this project serve (List physical and functional deficiencies, anticipated changes in road use, or known safety problems. Describe consequences and actions that will be taken if Access Program funding is not received.)

The purpose of this project is to create safe and improved access to Federal lands. Sierra Vista Lane is in need of reconstruction because it was originally constructed out of recycled asphalt grindings and is rapidly deteriorating, creating unsafe conditions. The safety hazards of the roadway include: uneven pavement, potholes, crumbling shoulders, longitudinal cracking, washed out and narrow road sections due to undersized drainage facilities, roadway flooding, and a lack of striping and signage. The inadequate drainage facilities are impacting erosion, which is degrading the roadway and transporting sediment into the Carson River.

Attachment 3 of this application includes exhibits of the existing road demonstrating the roadway deterioration.

If Access funding is not received, the deficiencies will likely persist until funding can be secured. The reconstruction project is currently unfunded due to a constrained City budget and higher prioritized deficiencies on other roadways.

Nevada Access Program Project Application

3. Description of the proposed work (provide a summary of the work elements required to complete this project):

Work elements will include (1) Project design and administration, including the bid process; (2) Demolition with erosion and traffic control; (3) Area preparation including the grinding, pulverizing, grading, and compacting of the existing roadway; (4) Paving; (5) Drainage improvements to reduce erosion impairment to the Carson River; (6) Upgrading two small parking areas by re-grading and graveling, adding wayfinding information signs, temporary bathroom facilities, and installing a split rail fence to delineate the existing parking areas; (7) Construction of one large parking area located on Carson City property with paved parking, picnic areas, wayfinding, and bathroom facilities; (8) Installation of wayfinding signs.

4. Key Items of Work (check all that apply):

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Paving | <input checked="" type="checkbox"/> Road base or surface Course | <input type="checkbox"/> Major concrete structures |
| <input checked="" type="checkbox"/> Major Culverts | <input checked="" type="checkbox"/> Safety Enhancements | <input checked="" type="checkbox"/> Earthwork |
| <input type="checkbox"/> Bridges | <input checked="" type="checkbox"/> Minor drainage improvements | <input checked="" type="checkbox"/> Bicycle / Pedestrian facilities |
| <input type="checkbox"/> Technical Study | <input type="checkbox"/> Retaining Walls | <input type="checkbox"/> Transit Facilities |

Other (specify):

Note: Applications that include alternative transportation elements (transit, bicycle, pedestrian, etc), please fill out the supplemental worksheet for alternative transportation, it can be found at: http://www.cflhd.gov/programs/flap/nv/documents/NV_AltTransportWksheet_2015.pdf

5. Right-of-Way Acquisition:

Applicant shall acquire all of right-of-way. All acquisition support costs are non-participating and will be borne by the Applicant. All ROW/property (acquisition costs) to be part of the project costs should be detailed in the project estimate on page 9.

a) Is right-of-way acquisition required? (yes/no) No If "no" then proceed to Utilities item (#5 on next page)

b) Classification of right-of-way required for project (Extensive = 5 or more owners or Minor = 1-5 owners):

c) Describe how applicant plans to acquire and finance the acquisition support and property acquisition costs:

No acquisition of property is required. Based on preliminary research Carson City controls this 2.5 mile portion of Sierra Vista Lane right-of-way. The project includes three parking areas, one is located on land that is currently owned by Carson City and is identified in the City's Carson River Park Master Plan as a day use picnic/parking area for non-motorized uses. The second parking area, on the east side of Sierra Vista Lane, is located on land that is currently owned by the Bureau of Land Management and is anticipated to be transferred to Carson City in the summer of 2015. This parking area will accommodate OHV and equestrian users and exists in a primitive fashion. The third parking area, located on the west side of Sierra Vista Lane, is located on land that is currently owned by the Bureau of Land Management and may be transferred to Carson City in the future. This parking area will be dedicated to aquatic trail users and non-motorized users and exists in a primitive fashion. See Attachments 4, 5, and 7.

d) Estimate how long will it take to acquire right-of-way and describe the key issues and circumstances:

Right-of-way acquisition is not required. Two of the three parking areas are currently located on BLM property, however, Carson City anticipates the transfer of property in the near future. The land for one of the parking areas is anticipated to be acquired in the Summer of 2015. The other parking area is being requested and may take three to five years to transfer. Based on discussions with BLM staff, if property is not transferred to Carson City, the proposed parking areas and improvements are supported by BLM staff and exist in a primitive manner. The BLM Carson City District Office has signed a support form, which has been included in the application submittal.

When property is transferred to Carson City, access to the Carson River and the Pine Nut Mountains will be secured for all users through transfer agreements.

Nevada Access Program Project Application

6. Utilities: All utility relocation costs must be accounted for by the applicant, whether borne by the applicant or included as project cost. Utility relocation costs estimated by the applicant should be detailed in the project cost estimate including applicant match for utilities.

Identify utilities in the roadway corridor:

The project does not require the relocation of utilities, the existing overhead utility lines will remain in place.

Would relocation be required? (yes/no)

Estimate how long will it take to coordinate or relocate utilities? Describe the key issues and circumstances.

No relocation required.

Criteria 1 - Access Mobility and Connectivity

1. What FLMAs are accessed by this project? (at least 1 FLMA is required)

Name of FLMA	Site(s) or Major Destinations Accessed	Distance from Project (miles)	Current Annual Visitation (Estimate)
Bureau of Land Management	Pine Nut Mountain Range	0	
US Army Corps of Engineers	Carson River	0	

2. Describe how the project will improve access to high use FLMA recreational site(s) listed above:

At the present time, access to the Pine Nut Mountain Range and Carson River is dispersed in this general area. However, Sierra Vista Lane has multiple access points for all types of Federal land users, including equestrian, motorized, and non-motorized uses. Carson City recognizes the importance of access to recreational sites for all its approximately 54,000 residents. Carson City's Master Plan, Chapter 4 Equitable Distribution of Recreational Opportunities, sites Goal 4.3 to expand the City's Open Space Network. The access points along Sierra Vista Lane access a larger unimproved internal road system, approximately .5 miles away, which provides access to all of the Pine Nut Mountain Range, approximately 60,000 acres (2001 Carson City Field Office RMP). The project will create a safe and fully functional recreational access area. If Sierra Vista Lane is not improved, due to the rapid deterioration, roadway users will continue to shy away from accessing and utilizing Federal lands along this road. See Attachments 4, 5, and 7.

3. Provide any available traffic data from recent counts or other documented sources:

	Current	20-Year Projection	Data Source
Average Daily Traffic (ADT)	195		2012 NDOT(http://apps.nevadadot.com/TRINA/TRINA_Map.aspx)
Seasonal Average Daily Traffic			
Recreation Visitor Days (RVD)			
% ADT as FLMA visitors / users (ex: 13.5)			

Note: If no data (i.e., counts) are available, please estimate range (< 200, 200 - 500, 500, 500 - 1000, > 1000 vehicles per day)

Nevada Access Program Project Application

4. Describe any other means of access to the FLMA site(s), is there an alternate route, what is the detour length if this proposed project route (the route that is a part of this application) is unavailable:

There are other alternative routes in this area to access Federal lands. The additional access points are nearby and within a one or two mile radius. However, these other means of access are not suitable as high use recreational sites. The additional access points are located within rural residential subdivisions and have limited room for parking, especially OHV and equestrian trailers. These additional access points will most likely continue to serve local traffic accessing the Pine Nut Mountains.

As for access to the Carson River, there is another access point located on the west side of the river approximately one mile away. Carson City has planned for multiple access points along the River to allow rafters flexibility in rafting different portions of the river and intentionally disbursing visitors along the river. Sierra Vista Lane will provide paved access to the Carson River in this area.

5. Describe how the project is addressing parking shortages if applicable:

The project is proposing three parking areas. The parking areas have been vetted through the City's Carson Unified Pathways Master Plan and Carson River Park Master Plan and are anticipated to improve the quality of life for Carson City residents, as well as outside visitors. The recreational access points will provide parking areas for typical on-street vehicles as well as large vehicles and trailers. The parking areas will have turnaround areas for recreational trailers, such as horse, watercraft, and OHV trailers. The improvements will increase the safety and security for recreation users, allowing for adequate turnaround areas and centralized visitor areas. One parking area will primarily be for access to the Pine Nut Mountains and day use picnic activities for non-motorized users, including equestrian users. The second parking area will be for OHV users, providing a bathroom, information, and adequate parking for OHV trailers. The third parking area will be for multiple uses, providing access to the Carson River, including the unloading of watercraft trailers, as well as providing parking areas for other non-motorized users. All three areas will be improved, at a minimum, to provide informational signs, restroom facilities, and parking areas.

6. To what extent does the project improve or provide linkages to alternative modes? Explain in detail. Alternative mode improvements could include transit, bicycles, pedestrians, equestrians, park-and-rides, etc. Note: This will not apply to all projects.

This project improves linkages by improving Sierra Vista Lane and providing parking areas. Sierra Vista Lane functions as a central artery for collecting OHV traffic. Due to the other smaller access points nearby, Sierra Vista Lane provides mobility and connectivity between access points. Due to the large number of unimproved internal roads, it is extremely common for OHV and equestrian users to go in one way and come out another. At the present time, the 2.5 mile section of Sierra Vista Lane collects approximately 16 different OHV trails alone. The parking areas will provide access to countless miles of internal OHV, equestrian, and non-motorized use trails, on approximately 60,000 acres of Federal land (2001 Carson City Field Office RMP). The parking areas will serve as safe staging areas for bicyclists, pedestrians, equestrians, watercraft, and OHV users.
See Attachments 4, 5, and 7.

7. What is the anticipated usage for the alternative transportation system? Note: This may not apply to all projects. Applications specifically for alternative transportation facilities should attach the Supplemental Alternative Transportation Worksheet.

N/A

8. Does the project provide for a new transportation mode on the corridor? (yes/no)

Yes

If yes, what modes: The reconstruction of Sierra Vista will provide a shared roadway for bicyclists.

Nevada Access Program Project Application

9. Will the project reduce congestion and travel time? (yes/no)

Yes

If yes, describe how:

The project will improve the safety of Sierra Vista Lane and should normalize roadway user behavior. Due to the poor roadway conditions, including uneven pavement, potholes, crumbling shoulders, longitudinal cracking, washed out and narrow road sections due to undersized drainage facilities, roadway flooding, and lack of striping and signage, roadway behavior varies and can cause unsafe behavior such as tailgating and aggressive driving. The striping and other safety improvements will help vehicles travel at normal speeds, which will improve travel times and driver behavior, especially during inclement weather and dark conditions.

10. How does the route connect to additional routes serving other FLMA(s)?

As envisioned by the City's Unified Pathways Master Plan, Sierra Vista Lane and parking areas will function as part of a larger trails system for all types of users, connecting existing and future routes within this area on both Federal lands and City lands. Sierra Vista Lane and parking areas will provide mobility and connectivity between access points. Sierra Vista Lane functions as a central artery for collecting OHV traffic and is located within one or two miles from additional River and BLM access points.

See Attachments 4, 5, and 7.

Criteria 2 - Economic Development

1. Describe how the project supports economic development at the local, regional, or state level:

The project supports Carson City's Economic Vitality Plan and supports economic development by expanding opportunities to generate visitor revenue by continuing to promote the use of aquatic facilities, such as the Carson River Aquatic Trail System (Goal 5.5a) and increases awareness of the City's parks, pathway system, open space system, and other recreational amenities as a tool for attracting businesses seeking a high quality of life for their employees (Goal 5.5b).

2. Describe any economic benefit for Federal Lands due to the project (e.g. renewable, non-renewable or recreational resources):

The project should enhance the experience for all recreational users, helping to increase the number of Federal lands users. The improvements on Sierra Vista Lane and OHV parking area is anticipated to enhance the experience for OHV users. In the State of Nevada, OHVs are required to be registered. Per the Nevada Commission on Off-Highway Vehicles, most of the registration funds go to benefit the OHV community in the form of trail improvements, public education and law enforcement (approximately 85%).

Nevada Access Program Project Application

Criteria 3 - Condition

1. What is the current road condition (using standard pavement condition ratings)?

As of 2011, the overall condition index (OCI) for the 2.5 mile portion of Sierra Vista is approximately 18, on a 100-point scale and is classified as a "failed" roadway.

2. List structures and sufficiency ratings included in the project, if any:

National Bridge Inventory Structure #	Bridge Length (ft.)	Bridge Width (ft.)	Bridge Area (Sq. Ft)	Bridge Sufficiency Rating
N/A				

3. Describe how the proposed project would affect annual maintenance and operating costs of the existing transportation facility:

Current maintenance and operating costs are expended to perform emergency repairs and roadway clearing, to ensure emergency vehicle access is maintained. Due to the rapidly deteriorating roadway conditions, it is difficult for the City to predict annual maintenance and operating costs. Furthermore, the roadway has degraded to a point where anything less than a full reconstruction is inefficient and would not yield acceptable cost benefits. The project will provide a reconstructed road with drainage improvements that will help minimize unplanned maintenance and repairs associated with storm events and roadway deterioration. The reconstruction will allow Carson City to employ asset management techniques and other Best Management Practices to actively preserve and maximize the life span of the Sierra Vista Lane transportation facility.

4. Describe your current maintenance practices for the existing transportation facility:

Due to the current roadway condition, the City's maintenance practices are limited without first performing a roadway reconstruction. Current maintenance practices include emergency repairs and roadway clearing, to ensure emergency vehicle access. In 2011, there was a severe rainstorm that flooded the roadway, leaving significant amounts of debris and mud on the roadway making Sierra Vista Lane impassable.

Attachment 6 shows the aftermath of a 2011 rainstorm.

Nevada Access Program Project Application

Criteria 4 - Safety

1. Describe any known safety risks (e.g. crash sites, inadequate sight distance, roadside hazards, poor vertical / horizontal alignment, hazardous intersections, inadequate lane and shoulder widths, etc) and provide site specific accident data from the last three years:

Sierra Vista Lane's most significant safety risk is the rapidly deterioration of roadway. This is being caused by the inadequate drainage facilities allowing water and debris to erode roadway support. The transportation facility has the following safety risks: uneven pavement, potholes, crumbling shoulders, longitudinal cracking, washed out and narrow road sections due to undersized drainage facilities, roadway flooding, and lack of striping. The poor and unpredictable condition of Sierra Vista Lane impacts driver behavior, causing tailgating and aggressive behavior.

In the last three years and based on a review of available crash data, there was one crash located at the intersection of Pinion Hills Road and Sierra Vista Lane, see Attachment 8.

2. How will the project correct safety issues noted above? Describe the benefits of the project (If available, include crash reduction factors or benefit / cost to support your answer):

The project will provide a reconstructed roadway minimizing roadway deterioration. The reconstruction will provide adequate drainage improvements to reduce erosion, preventing water and debris from running over the roadway, ensuring the preservation of Sierra Vista Lane. In addition, the drainage improvements will eliminate roadway ponding. The reconstruction will improve some sight distance and alignment concerns, where areas of the roadway have deteriorated. Furthermore, the smooth pavement, striping, and signage will improve driver behavior, increasing safety for all roadway users.

3. Describe how your project improves safety for a wide range of users:

The project will improve safety for all roadway users. The roadway is primarily used by on-street vehicles and OHV vehicles accessing and traveling throughout this area on Federal lands. The project would drastically improve conditions for infrequent users, such as bicyclists, equestrians, and pedestrians, by providing adequate lane widths, shoulder areas, and striping. Due to the diverse types of recreational users, the improved parking areas will improve safety by providing adequate parking areas and designated access points.

Nevada Access Program Project Application

ESTIMATED TOTAL COST OF PROPOSED PROJECT: \$2,099,520.00

2. Enter the total funds requested from Federal Lands Access Program: \$1,994,544.00 = 95 % (cannot exceed 95%)

3. Project Funds Leveraged: Detail the non-federal match that will be furnished below.

Match Breakdown	Percent (%)	Amount (\$)	Funding Type	Funding Source	Timing of Availability as MM/YYYY
Required 5%	5	\$10,000.00	Cash *	Carson City	05/2015
		\$94,976.00	Cash	Carson City	05/2015
Minimum Match	5				
Over Match					
TOTAL FUNDS LEVERAGED	5	\$104,976.00	* Maximum funding amount per reimbursable agreement to fund scoping efforts.		

4. Describe the leveraged match funding contributions detailed including source(s) and type. Attach supporting documentation required for each match funding type:

a. Cash Match

Required Documentation: Letter(s) of commitment for all match funding not controlled by Applicant.

Carson City, the applicant, is prepared to provide a cash match in the amount of \$94,976, plus the required \$10,000 for project scoping. Due to the proximity of Sierra Vista Lane to the Carson River and because this area is considered Critical Habitat Area and a High Priority Watershed, Carson City will continue to search for additional funds in effort to increase the cost effectiveness of the reconstruction project. If additional funds are leveraged the scope of this proposed grant project will not change.

b. In-Kind Match: Expenditures and/or a detailed estimate for Right-of-Way, Services, Materials, Equipment, or any other project related activity that would otherwise be eligible for reimbursement with Federal funds

Required Documentation: Detailed invoice(s) or cost estimate(s). ([Click here](#) for a sample cost estimate PDF form that can be used)

N/A

5. Describe how or why this project is consistent with FLMA plans or other applicable plans (e.g., Forest Land Management Plan, US Fish And Wildlife Regional Transportation Plan, Regional Transportation Plan, Capital Improvement Plan, etc.):

Per the 2001 BLM Resource Management Plan for the Carson City Field Office, BLM shall provide a wide range of quality recreation opportunities on public lands under management by the Carson City Field Office. Furthermore, BLM's NATIONAL POLICY (BLM Manual Section 8300 Recreation Management) states that the Bureau of Land Management shall ensure the continued availability of Public Lands and related waters for a diversity of resource dependent outdoor recreation opportunities while maintaining its commitment to managing the Public Lands as a national resource in harmony with the principle of balanced multiple use.

6. Who are the key partners in this project (What role have these partners played on this project to date? Describe the support or opposition that this proposed project may receive from outside organizations or the public. Also, include State and community coordination efforts completed to date):

The BLM Carson City District will be an active partner in this project. Unless land is transferred to Carson City, Carson City will need to partner with BLM to construct one, possibly two, of the parkings areas and some of the drainage improvements. All other improvements will be located on Carson City property or within Carson City right-of-way.

Nevada Access Program Project Application

Criteria 6 - Natural and Cultural Resources Protection

1. Describe any environmental studies and/or permitting that is completed on this project: *Note: All costs to conduct, complete and acquire all State regulatory permits will be borne by the Applicant*

Project improvements are located in already disturbed areas, including the roadway and three parking areas. Due to existing disturbance, it is anticipated that the project improvements will be categorically excluded for environmental studies.

2. Identify any known impacts to natural or cultural resources associated with this project (Negative, Positive, None or Unknown):

Positive	Wetlands / Water Resources		Threatened & Endangered Species
	Sensitive Species		Other biological resources (fisheries, wildlife, species of concern, etc)
Positive	Wild & Scenic River		Non-attainment areas (air quality)
	Historic & archaeological resources		Native American areas / concerns
	Wilderness or roadless areas	Positive	Parks & recreations ares / wildlife refuge (Section 4(f)/6(f))
	Hazardous materials	Positive	Dust or particulate matter
Positive	Air, noise, and/or visual impacts (list)		
None	Other, please explain		

3. Describe how the project does the following:

(a) Protects or restores natural, cultural and historic resources (e.g. storm water management conducted):

The project's erosion control and drainage improvements will protect the Carson River from erosion impairment reducing sediment transporting to the river. Carson River is considered a Critical Habitat Area and a High Priority Watershed. The projects drainage and erosion control improvements will include a re-seeding component to reduce sediment transport after reconstruction.

(b) Enhances wildlife connectivity and habitats:

N/A

Nevada Access Program Project Application

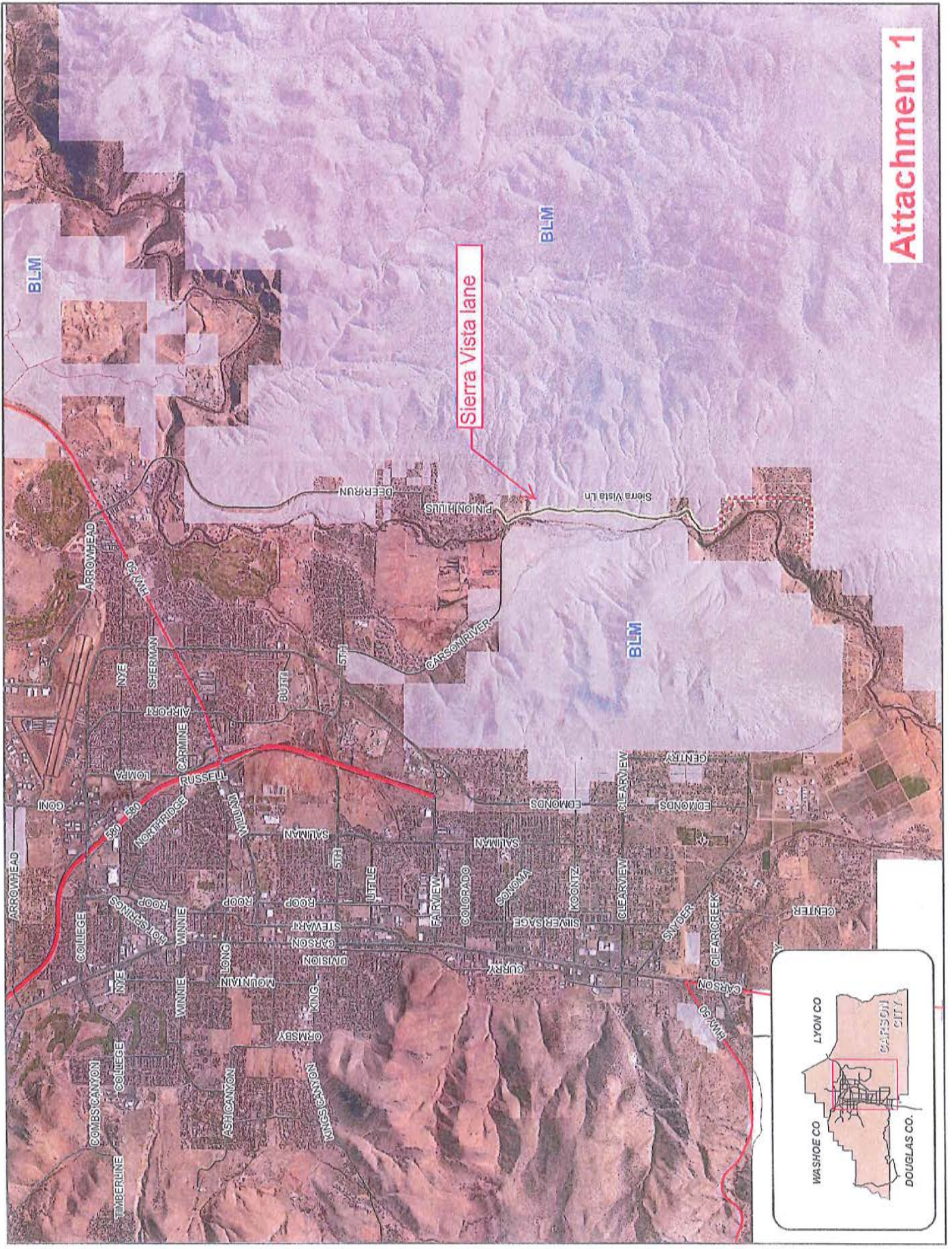
Please provide details of any issues or comments regarding the use of this form. This will assist Central Federal Lands in improving the application process.

No problem with form.

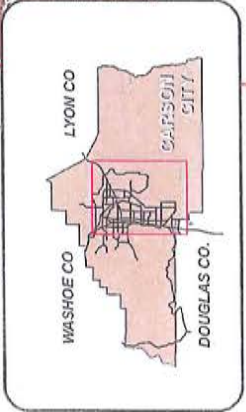
Submittal Instructions:

1. Save your form as PDF to your computer, with file name similar to:
NV FLAP APP 2015 <PROJECT NAME>
 - a. Check that all fields have been completed and that all your work has saved properly prior to e-mailing your application.
2. Attach all additional files:
 - a. Review the checklist you completed on page 1 and attach all photos, maps project estimates, and forms requiring signatures.
 - b. Maximum total for all files is 15MB. Using a zip application may help reduce file sizes but it is the responsibility of the sending party to ensure their file has successfully transmitted (not getting stuck in the e-mail "outbox").
 - c. **ATTENTION: DO NOT USE YOUR PDF SOFTWARE TO ATTACH DOCUMENTS INTO THE PDF DOCUMENT AS ALL YOUR FORM FIELDS WILL BE INVALID. ALL ATTACHED PHOTOS AND FILES SHOULD BE SEPERATE FILES.**
3. Save a copy for your records
4. E-mail your completed form to cfl.planning@dot.gov, using the subject:
NV FLAP APP 2015 <PROJECT NAME>
5. Check your e-mail's "sent box" to ensure that your file was sent. Larger files may take longer to send.
 - a. You should receive confirmation of receipt of your submission within 3 working days.

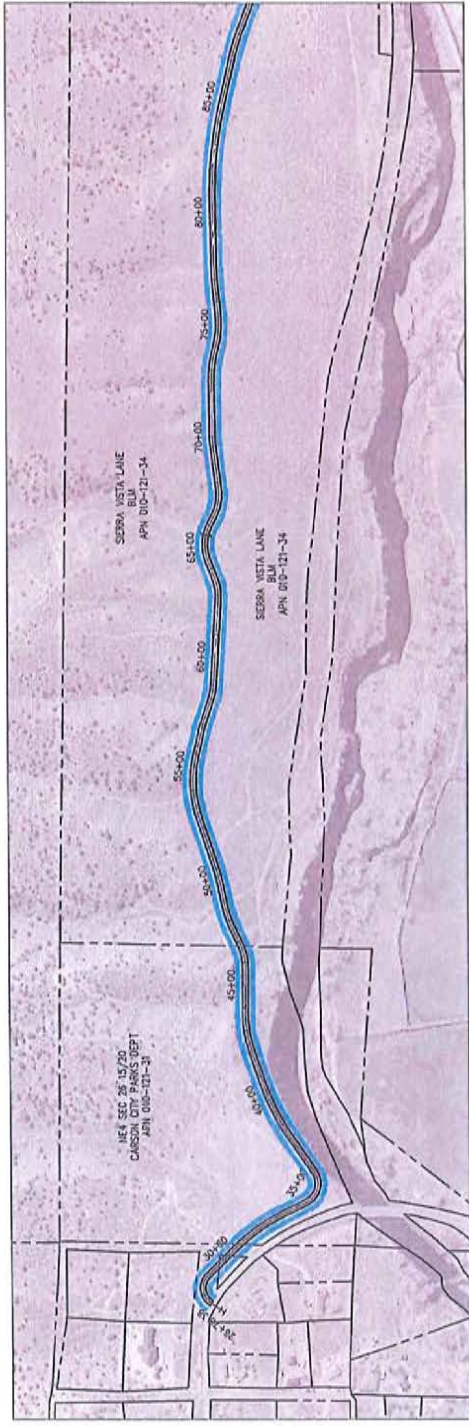
Attachment 1



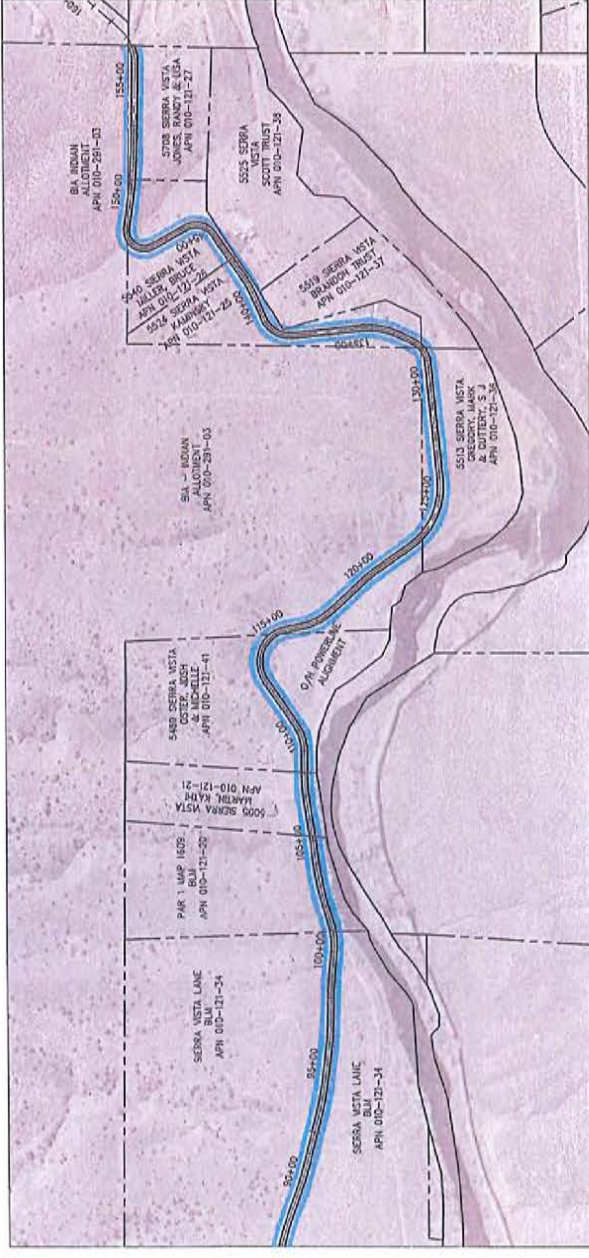
Sierra Vista lane



CARSON CITY PUBLIC WORKS DEPARTMENT 3505 BUTTE WAY CARSON CITY, NEVADA 89701 PH: 897-2355 FAX: 897-2112 DATE: 02/19/16		ROADWAY STATUS SIERRA VISTA LANE	
REVISION BY: _____ DATE: _____ SCALE (HORIZ): 1"=50' SCALE (VERT): _____ SHEET NO.: _____ SHEETS TOTAL: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____	REVISION BY: _____ DATE: _____ DESCRIPTION: _____ APPROVED BY: _____	SHEET 1.	ROADWAY STATUS SIERRA VISTA LANE



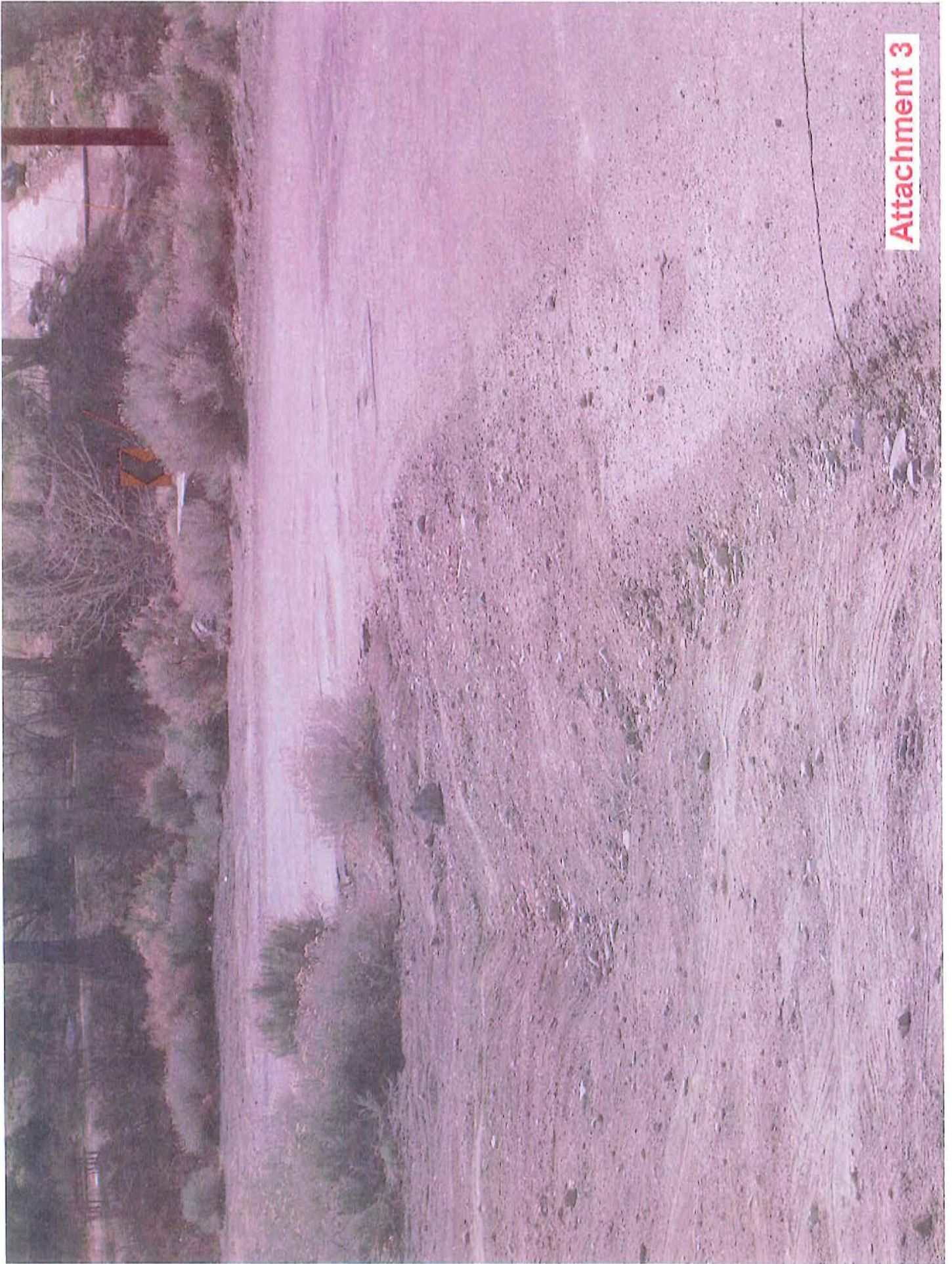
SIERRA VISTA LANE



SIERRA VISTA LANE

LEGEND

CURRENT CITY MAINTAINED ROADWAY :
 STA. 26+78 TO STA. 157+50
 APPROX 13,072 FEET OR 2.5 MILES



Attachment 3



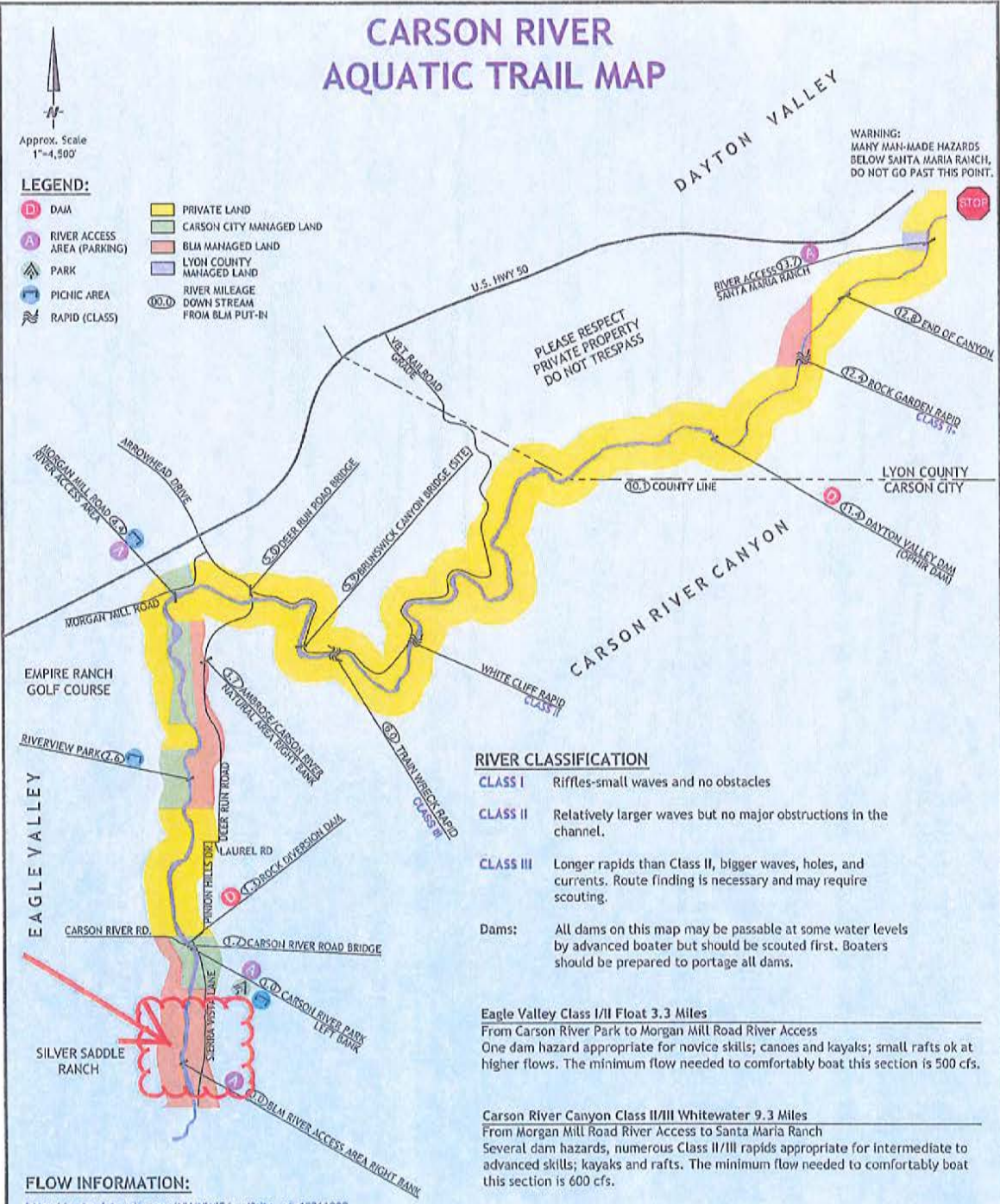
CARSON RIVER AQUATIC TRAIL MAP



Approx. Scale
1"=4,500'

LEGEND:

- DAM
- RIVER ACCESS AREA (PARKING)
- PARK
- PICNIC AREA
- RAPID (CLASS)
- PRIVATE LAND
- CARSON CITY MANAGED LAND
- BLM MANAGED LAND
- LYON COUNTY MANAGED LAND
- RIVER MILEAGE DOWN STREAM FROM BLM PUT-IN



- CLASS I** Riffles-small waves and no obstacles
 - CLASS II** Relatively larger waves but no major obstructions in the channel.
 - CLASS III** Longer rapids than Class II, bigger waves, holes, and currents. Route finding is necessary and may require scouting.
- Dams:** All dams on this map may be passable at some water levels by advanced boater but should be scouted first. Boaters should be prepared to portage all dams.

Eagle Valley Class I/II Float 3.3 Miles

From Carson River Park to Morgan Mill Road River Access
One dam hazard appropriate for novice skills; canoes and kayaks; small rafts ok at higher flows. The minimum flow needed to comfortably boat this section is 500 cfs.

Carson River Canyon Class II/III Whitewater 9.3 Miles

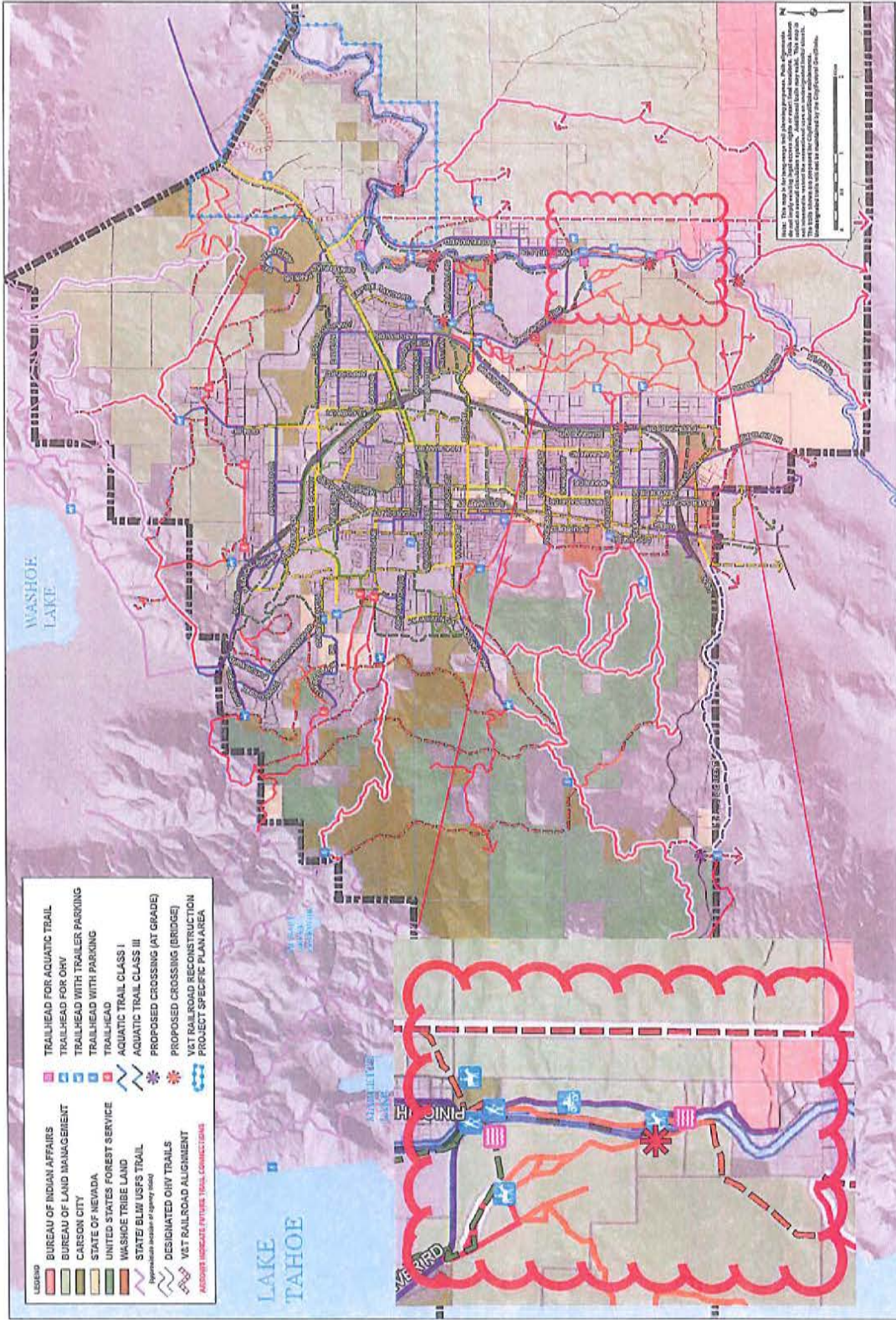
From Morgan Mill Road River Access to Santa Maria Ranch
Several dam hazards, numerous Class II/III rapids appropriate for intermediate to advanced skills; kayaks and rafts. The minimum flow needed to comfortably boat this section is 600 cfs.

FLOW INFORMATION:

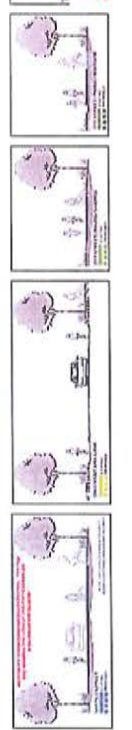
http://waterdata.usgs.gov/NV/HWIS/uv/?site_no=10311000
Rapids on the Carson River are more difficult at higher water levels (above 1,500 cfs).



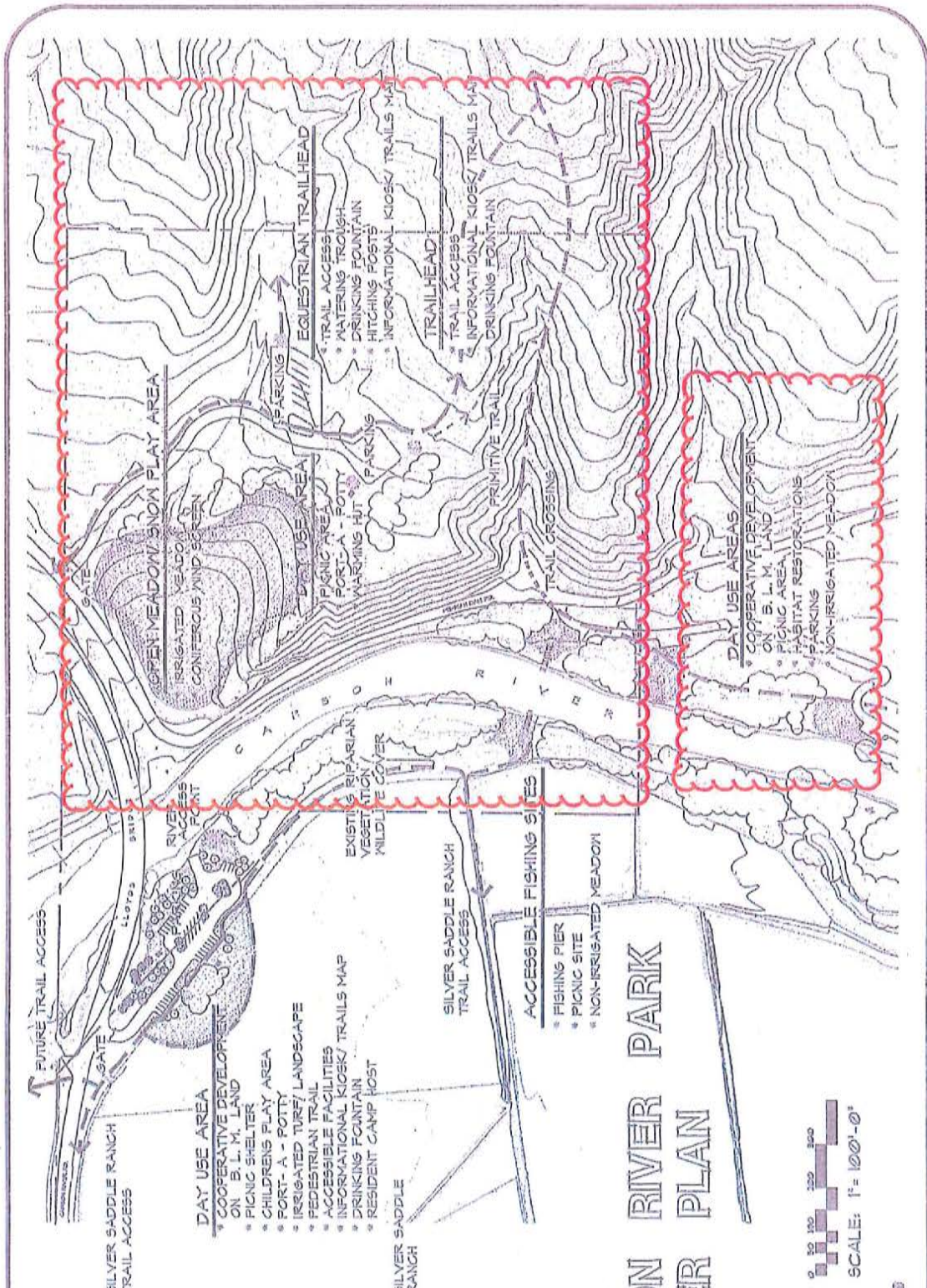
Prepared by Resource Concepts Inc. March 18, 2007



Attachment 5



UNIFIED PATHWAYS
MASTER PLAN
CARSON CITY,
NEVADA



SILVER SADDLE RANCH TRAIL ACCESS

- DAY USE AREA**
- * COOPERATIVE DEVELOPMENT ON B.L.M. LAND
 - * PICNIC SHELTER
 - * CHILDRENS PLAY AREA
 - * IRRIGATED TURF/ LANDSCAPE
 - * PORT-A-POTTY
 - * PEDESTRIAN TRAIL
 - * ACCESSIBLE FACILITIES
 - * INFORMATIONAL KIOSK/ TRAILS MAP
 - * DRINKING FOUNTAIN
 - * RESIDENT CAMP HOST

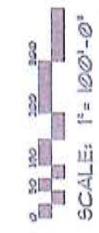
SILVER SADDLE RANCH

SILVER SADDLE RANCH TRAIL ACCESS

ACCESSIBLE FISHING SITES

- * FISHING PIER
- * PICNIC SITE
- * NON-IRRIGATED MEADOW

CARSON RIVER PARK MASTER PLAN



REVISED 01/00



Attachment 6

