



JACKSON VILLAGE

A TENTATIVE MAP

&

PLANNED UNIT DEVELOPMENT

Prepared By:



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Prepared for:

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490 Hot Springs Road

Carson City, NV 89706

July 2015

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PROJECT LOCATION

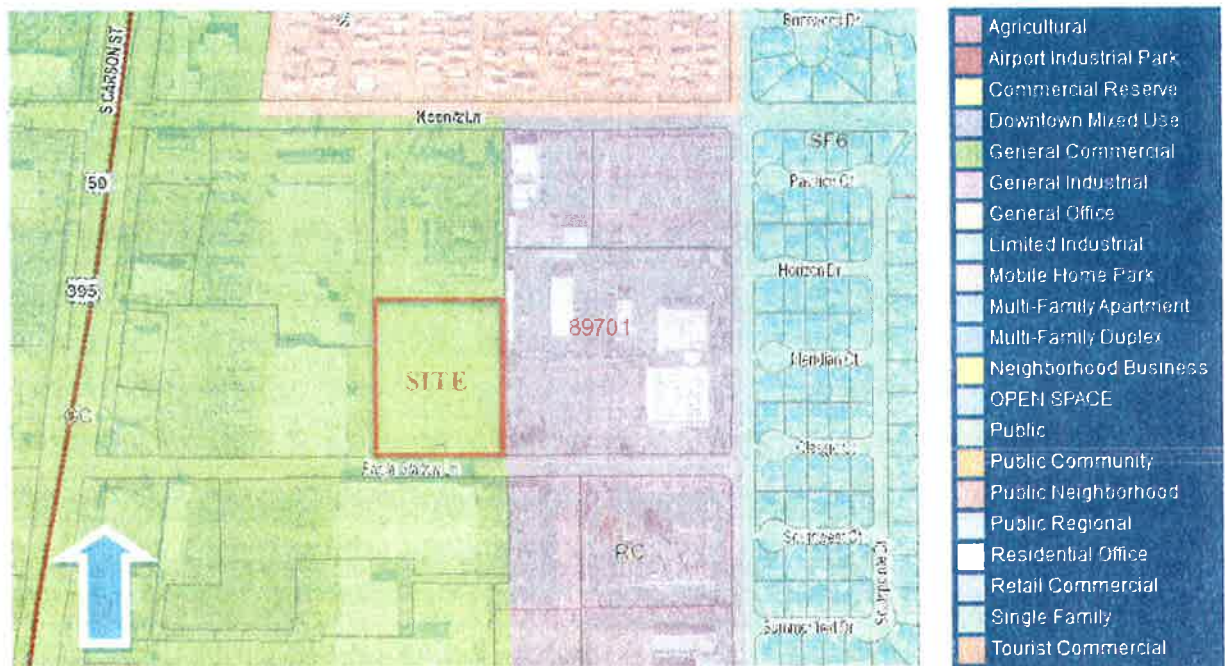
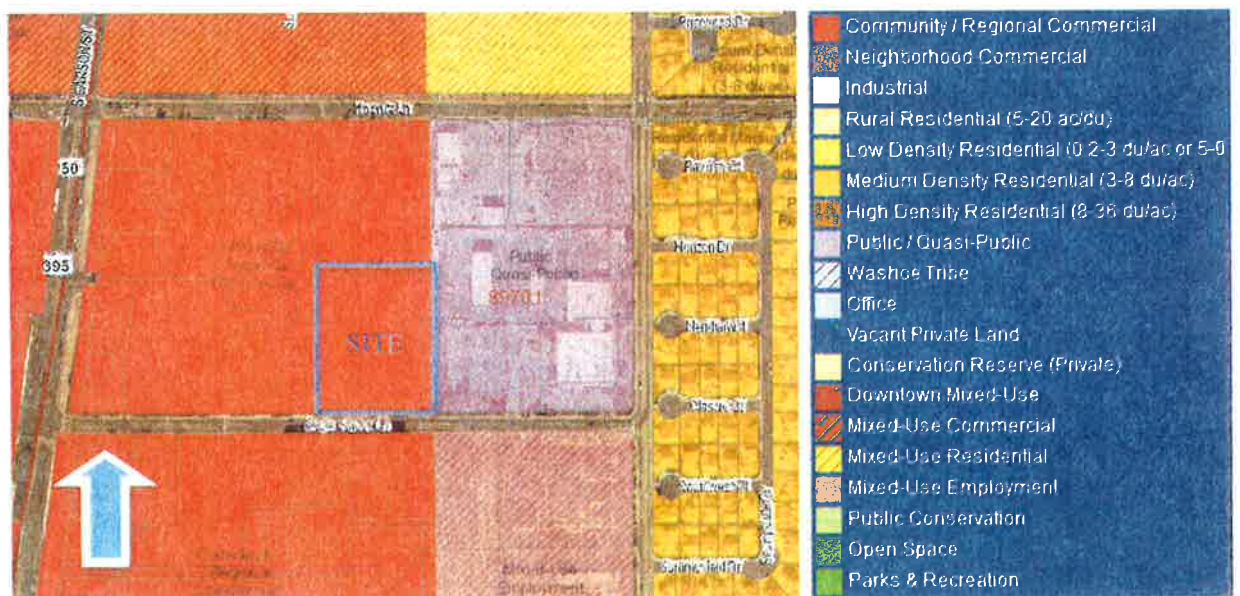
The proposed project site is located on the north side of Eagle Station Lane between South Carson Street and Silver Sage Drive, APN: 009-123-38 & 39.

Figure 1: Project Location (<http://ccapps.org/publicgis/>)



EXISTING SITE CONDITIONS

The proposed project site has a current master plan designation of Community/Regional Commercial and a current zoning designation of General Commercial (GC). The site has a long history of entitlement approvals which have never been constructed, including an expired PUD for residential condominiums and a currently approved special use permit (SUP-10-026) which allows for a 72 unit apartment complex. The site has an existing CMU wall on three of its four sides, which will be incorporated into the proposed project. Various utilities have also been installed on site which will either be abandoned in place or removed as a result of this request.

Figure 2: Existing Zoning Designation (<http://ccapps.org/publicgis/>)Figure 3: Existing Master Plan Designation (<http://ccapps.org/publicgis/>)

SURROUNDING PROPERTIES

Table 1: Surrounding Property Designations

Location	Master Plan Designation	Zoning Designation	Current Land Use
North	Community/Regional Commercial	General Commercial (GC)	Commercial – Nursing Home
South	Community/Regional Commercial	General Commercial (GC)	Commercial - Retail
East	Public/Quasi-Public	Retail Commercial (RC)	Commercial – Southwest Gas
West	Community/Regional Commercial	General Commercial (GC)	Commercial - Retail

APPLICATION REQUEST

The enclosed Application is requesting a Tentative Map for a Planned Unit Development to create 41 single family residential lots on a 3.66 acre infill site. Although the PUD ordinance is typically reserved for developments in excess of 5 acres, CCMC 17.09.090 (2) allows for a modification to this provision if a practical and beneficial result will be obtained.

Because the Planned Unit Development ordinance is being utilized as the vehicle to allow for the creation of this unique infill residential project, rather than the large scale mixed use developments it was originally intended to entitle, the following modifications to the ordinance as allowed in accordance with CCMC 17.09.090 (2) Design Standards are being requested;

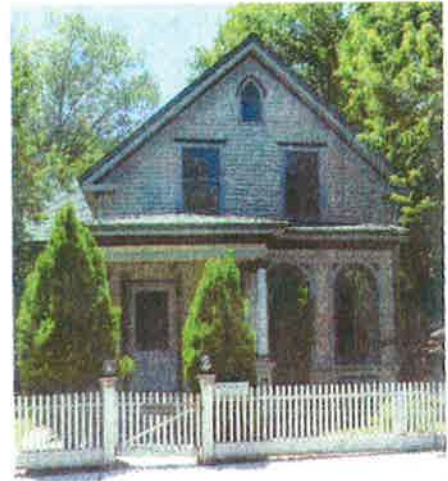
- (1) A residential use within the GC zoning district
- (2) A reduction of the required lot size within the GC zoning district
- (3) A modification to the required parking calculation
- (4) A modification to the amount of open space required
- (5) A reduction of the required periphery boundary

DEVELOPMENT THEME, BUILDING CONCEPTS & MATERIALS

The Jackson Village Planned Unit Development is proposed to be a 41 unit single family subdivision on 3.66 acre site with an average lot size of 2,596 square feet and a residential density of approximately 11 units per acre.

Jackson Village is designed to complete the missing component to an otherwise mixed use community; the residential component. Jackson Village provides a live, work, recreate neighborhood. Shopping, entertainment, dining are all accessible within walking distance from home. Jackson Village will create a unique sense of place within Carson City.

In order to become the residential focal point of the area, a strong residential design standard is essential. The residential architecture of Carson City is varied and eclectic; with a rich historical component. Jackson Village will create strong visual interest referencing the simple Western Stick / Ranch style vernacular architecture found throughout the Carson City Historic District. Typical characteristics include gabled, steeply pitched roofs, horizontal sidings, simply trimmed windows and doors, freeze boards, and small porches. Detailing simple, yet elegant, referencing a nostalgic look with enduring appeal. The intent is not to duplicate the historic structures of Carson City, rather to pay homage to the context of those structures. The residential design will incorporate basic historical forms, product types and concepts.



Four models will be constructed: 1. two story, two bedroom; 2. two story three bedroom; 3. two and one half story 3 bedroom; 4. three story three bedroom. Building Heights range from 24 feet (two story) to 36 feet (three story).

The two story units will be placed along the site perimeter, the center lots will be comprised of two and a half and three story units with the public living spaces facing toward the interior open space.



A traditional approach to color, using a variety of hues that are simply applied, forms the basis of the palette. Roofs are of architectural asphalt heavy shingles in shades of gray (similar to GAF's Timberline American Harvest - Appalachian Sky). Body ranges from warm to cool hues. Trim, throughout, will be a tint of white. Doors and Shutters are emphasized using darker, richer hues of blue, red, green, and dark gray. It is also possible with the darker body colors to utilize the same tinted white used for the trim on the entry and garage doors as well as the shutters. Various textures and natural colors of brick and stone compliment the



Western Stick / Ranch styles. Stucco exteriors will also be incorporated, on side and rear walls and selected portions of the front elevations.

Examples of Style Treatment & Material Use:



Garage doors will be comprised of vision lites and a variety of design hardware types.

Proposed Western Stick / Ranch Style Materials:

Roof



GAF Timberline American Harvest – Appalachian Sky

Stone

Eldorado Stone



Country Rubble



Field ledge



River Rock

Brick

Eldorado Stone



Tundra Brick

Exterior Materials & Color Palette:

Fine Sand Finish

**Stucco Finishes**
Light Sand Finish

Heavy Lace (Not Allowed)

**Siding Materials & Exterior Color Ranges:**

Body materials will be comprised of Horizontal & Vertical Siding, Stucco, Stone and Brick.
(Stone and Brick may be applied to limited units)

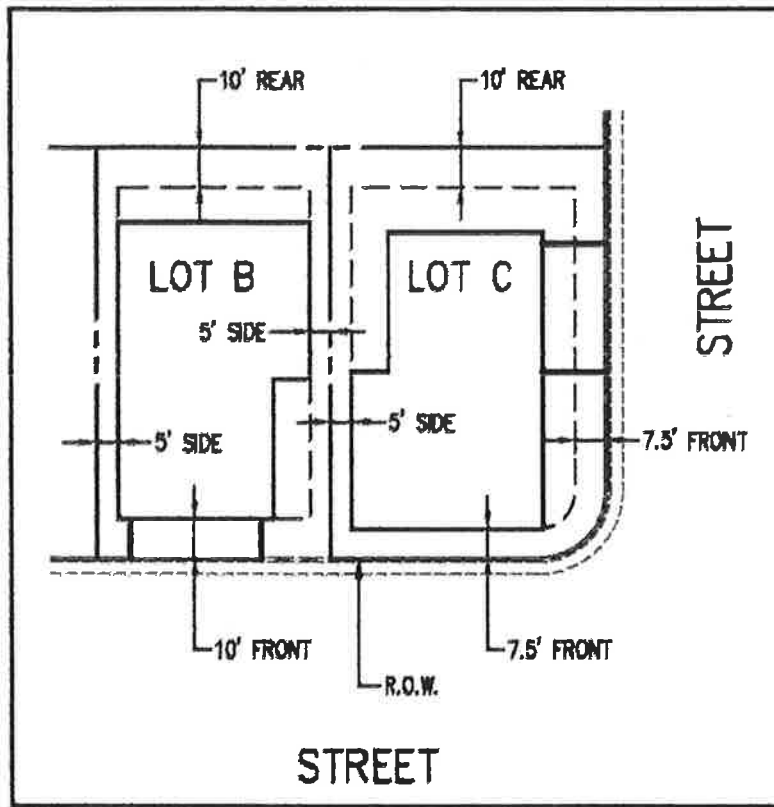
Trim Color throughout Jackson Village will be of a White Tint

James Hardie Siding

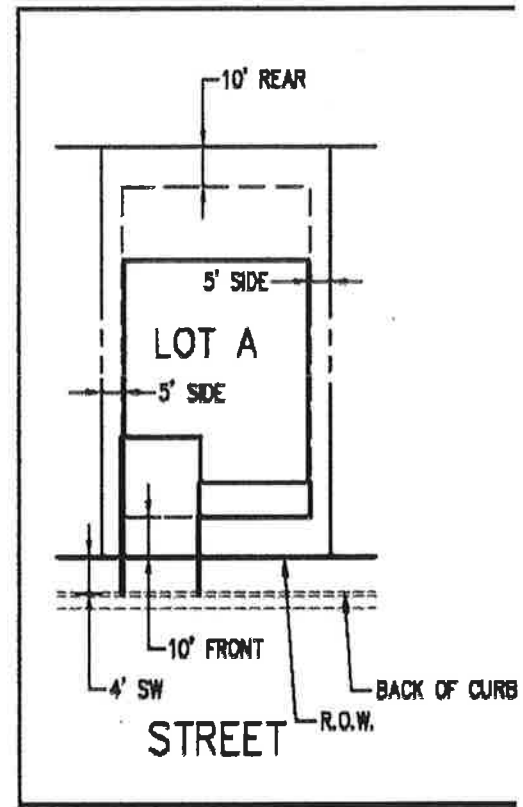
Color Palette to be similar to James Hardie indicated Colors



A complete architectural package including detailed floor plans and elevations will be provided as supplement to this request.

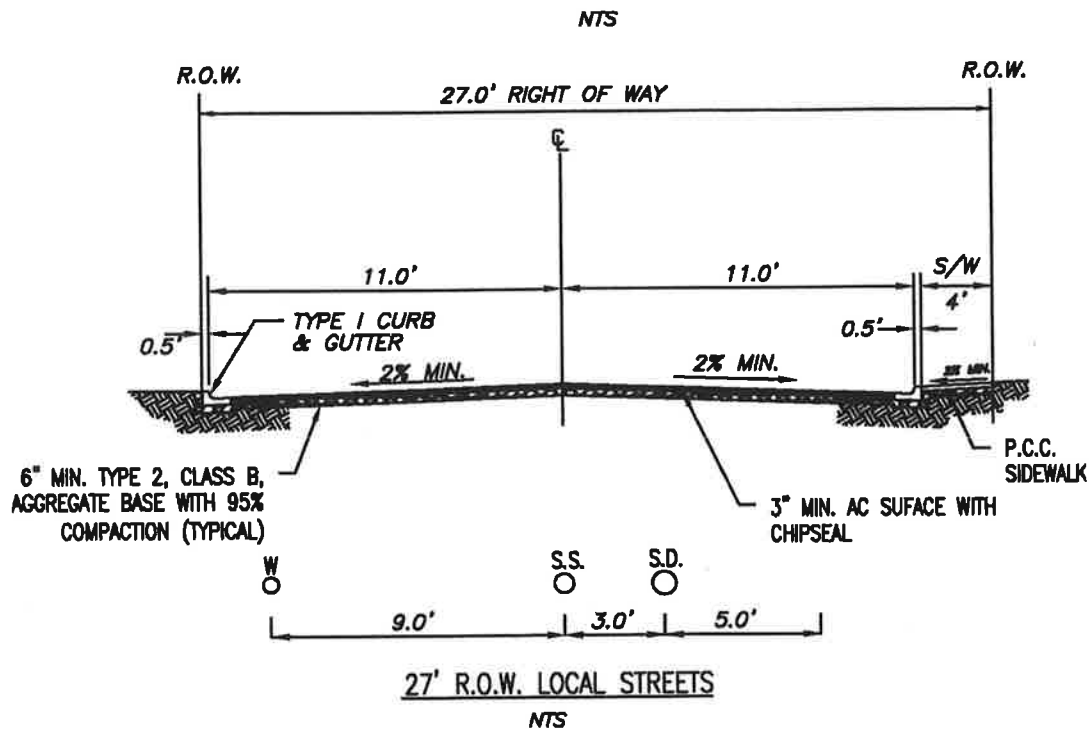
DEVELOPMENT STANDARDS**Figure 4: Proposed Setbacks****TYPICAL INTERIOR LOT SETBACKS**

N.T.S.

**TYPICAL EXTERIOR LOT SETBACKS**

N.T.S.

Since Jackson Village is utilizing the Planned Unit Development ordinance to allow for the creation of a unique infill residential project, rather than a large scale mixed use development, a modification to the required 20 foot setback from the periphery boundary in accordance with 17.09.090 (2) is requested. The proposed setbacks detailed in Figure 4: Proposed Setbacks are consistent with both those required of the underlying GC zoning district and typical residential infill developments of this nature.

Figure 5: Proposed Road Section

The proposed roadway section, although not a typical public roadway section found in CCMC, is identical to those found in similar such developments already approved and constructed within Carson City. It was determined during the conceptual map review process that the proposed section was adequate for a public roadway.

LANDSCAPE & OPEN SPACE

The landscape plan has been designed to improve the aesthetic appearance of the community. It is intended to enhance the visual appearance of streets, complement the visual effect of buildings, aid in the enhancement of property values and provide buffers between adjacent land uses.

Figure 6: Preliminary Landscape Plan

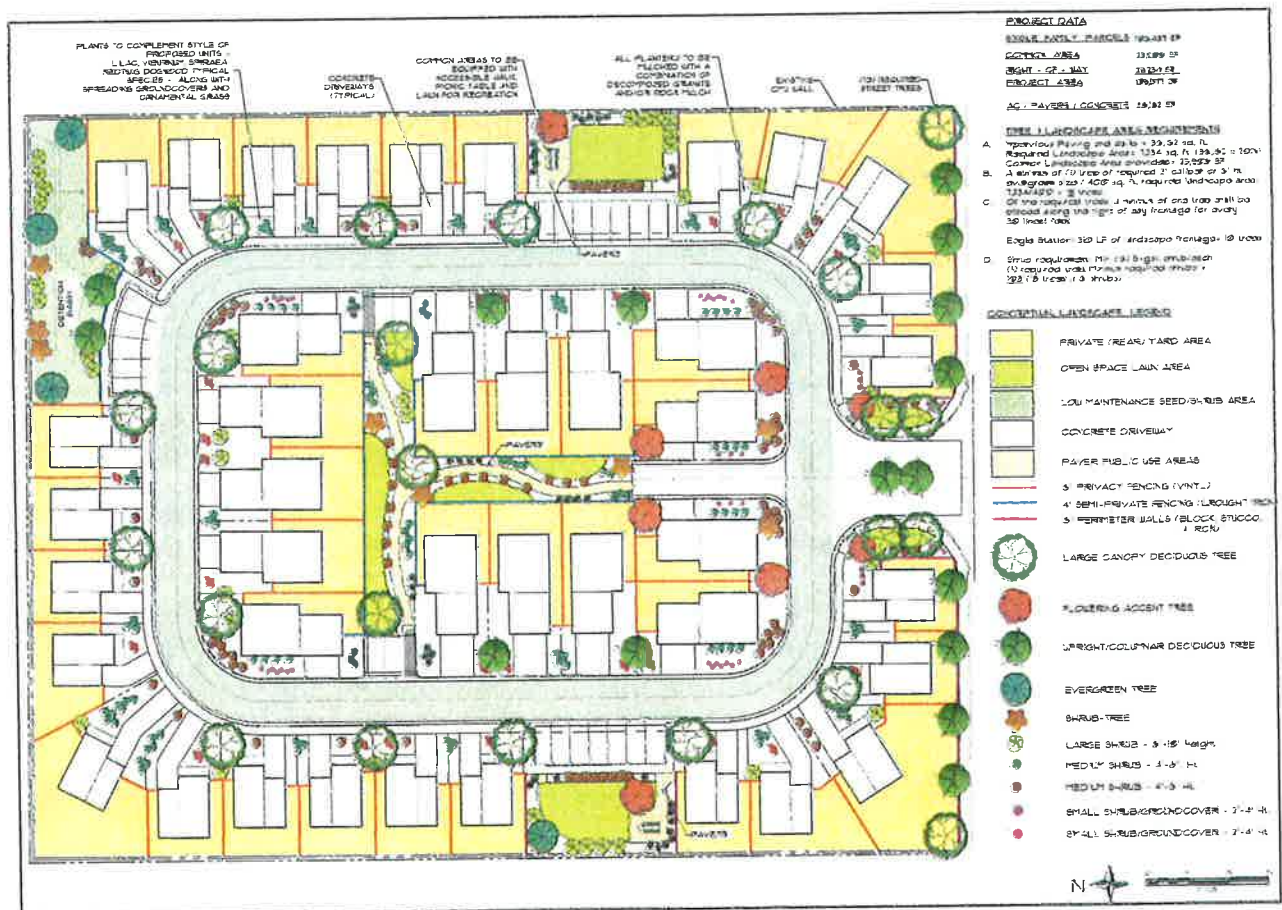


Table 2: Open Space Calculation

Open Space Requirement per CCMC	Required Open Space per CCMC	*Provided Open Space per CCMC	**Actual Open Space Provided
30% of Project	1.1 ac	.56 ac	1.8 ac
* CCMC states, Private open space may not be applied towards more than 25% of the total open space requirement and front yards may only count as open space if no dimension is less than 20 feet.			
** The actual open space amount includes all public and private open space, Public Open Space (.46 ac), Rear yards (.80 ac), Front yards (.54 ac).			

Because Jackson Village is utilizing the Planned Unit Development ordinance to allow for the creation of a unique infill residential project, rather than the large scale mixed use developments it was originally intended to entitle, some modifications to the ordinance as allowed by CCMC 17.09.090 (2) are required. The required open space is consistent with both the required underlying GC zoning district and typical

residential infill developments of this nature. However the proposed open space amount does not technically comply with the required 30% of the gross project area. As demonstrated in Table 2: Open Space Calculations, the actual project's total open space amount is 49%, far above the PUD requirement. We believe if you combine the total actual open space with the developments proximity to nearby parks (Figure 7: Proximity to Parks), an allowance for an alternative open space requirement is warranted.

Figure 7: Proximity to Parks (<http://ccapps.org/publicgis/>)



There are two parks within walking distance of the proposed development, South Point and Ross Gold Park. Ross Gold Park is three blocks away and offers access to tennis courts, horseshoe pits, sand volleyball courts and picnic areas. South Point is also three blocks away and offers additional access to open space.

PARKING**Table 3: Parking Calculation**

CCMC Parking Requirement	# of Residential Units	Required Parking per CCMC	*Provided Parking per CCMC	**Actual Parking Provided
2 per unit plus 1 guest stall for every 2 units	41	102	79	117
<p>* CCMC states, "If a garage is counted as required parking, the driveway access to the garage shall not then be counted as required parking. If an accredited source provides an acceptable alternative to a parking standards in this division, the director may consider an alternative."</p> <p>** The actual parking count includes all garage (56 stalls), driveways in excess of 20' (38 stalls), and common parking areas (23 stalls) with justification provided below.</p>				

Due to the project's location and unique product type, the applicant is requesting a modification to the required number of parking stalls per CCMC. As demonstrated in Table 3: Parking Calculations, the project exceeds the "actual" number of parking stalls required but because CCMC allows only garages or driveways to be included as part of the "provided parking" not garages and driveways, the modification is required.

The project's location is unique in that it's an infill site surrounded by commercial and other consumer based land uses. The location is complimented with a product type that is geared toward "millennials" and other first time home buyers and existing home owners looking to downsize. These targeted buyers typically own less vehicles and market studies show that specifically these two demographics are most attracted to "walkable communities" or those being located in close proximity to services. If you utilize the actual parking count and combine that with the target buyer for this community and add in the proximity of the development to commercial land uses, which also provide an abundance of after hour guest parking, we believe an alternative parking requirement is warranted for this unique development.

As a side note, Carson City has recently approved projects with similar parking modification requests, including Mills Landing and the Millennium project.

SCREENING

Figure 8: Exterior Wall Adjacent to Eagle Station Lane

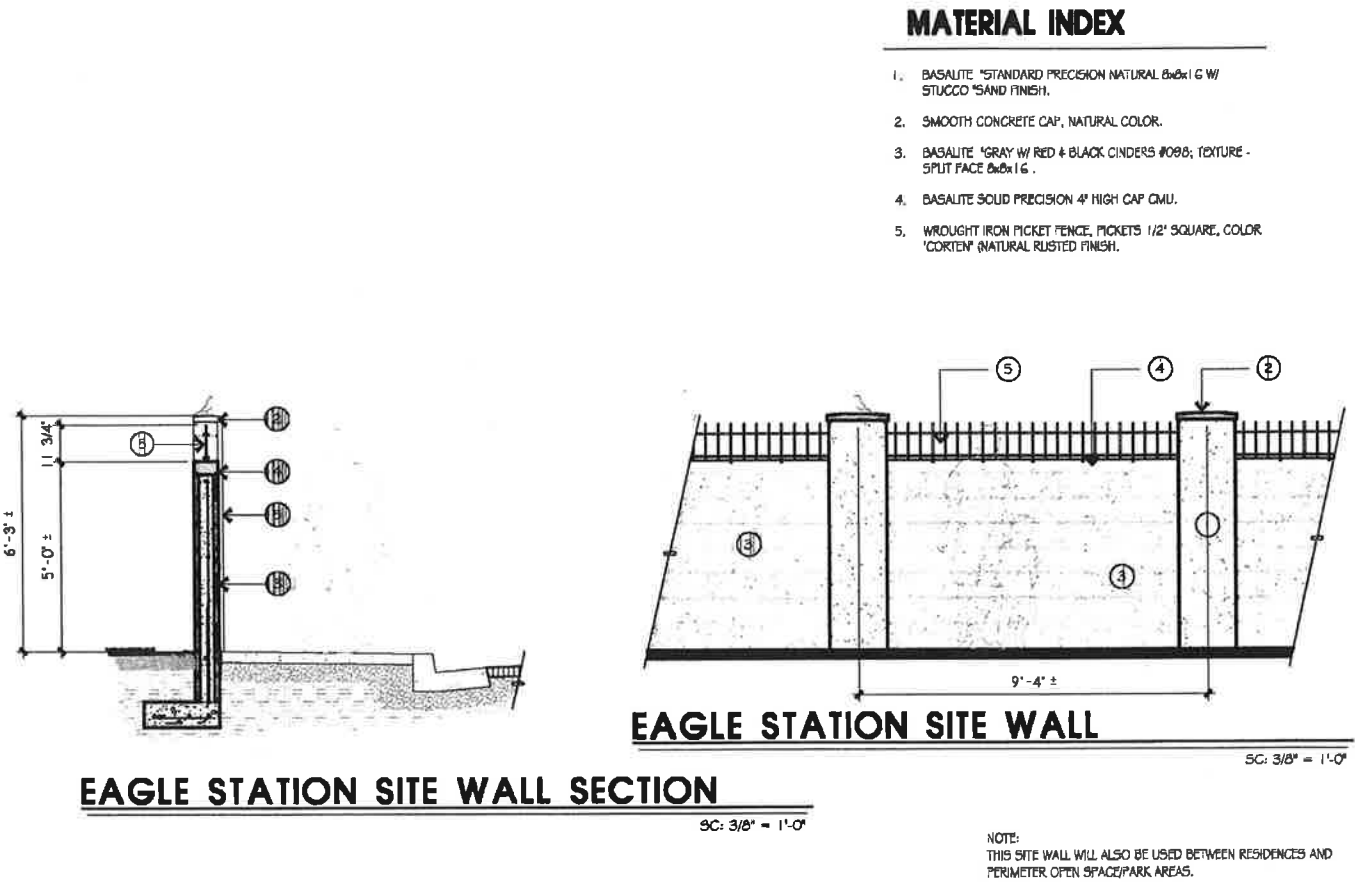
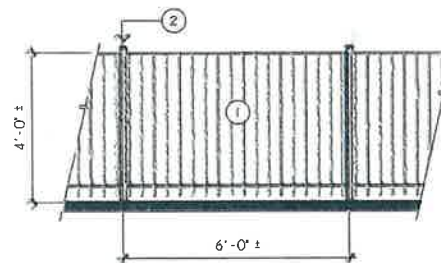


Figure 9: Interior Fencing**MATERIAL INDEX**

1. 48"(H) x 72"(W) ALUMINUM BLACK 2-RAIL FENCE PANEL
2. 2"x2" ALUMINUM BLACK FENCE POST WITH CAP
3. 72" VINYL LINDEN PRIVACY FENCE, TWO TONE, RAILS WHITE, PANELS SAND
4. 5"x5" WHITE VINYL FENCE LINE POST
5. PROPOSED VINYL GATE BETWEEN RESIDENTIAL UNITS TO ACCESS REAR YARDS

**6' PRIVACY FENCE & GATE****4' SEMI-PRIVATE FENCING**

SC: 3/8" = 1'-0"

SC: N.T.S

SIGNAGE & EXTERIOR LIGHTING

The proposed residential units will utilize typical residential house numbers and exterior lighting only. No additional signage and or exterior lighting is proposed as a part of this project at this time. Although currently not planned, the applicant reserves the right to add one (1) monument sign consistent with the project's design and scale.

HYDROLOGY

Storm water runoff will be routed through swales in the lots and common areas to the roadway gutters and inlets to the storm drain pipes. The storm drain will outlet to an onsite detention basin. This detention basin will be fitted with an outlet control structure to detain the increase in runoff in the design storm

event and will have an emergency overflow for major storms. In order to maintain the natural drainage path of the storm water and protect runoff from adversely affecting downstream parcels, a storm drain pipe will convey storm water from the basin outlet northward to an existing 24" storm drain pipe in Koontz Lane.

Best Management Practices will be used during construction of improvements associated with this project to mitigate any storm water impacts. A storm water discharge permit will be obtained from Nevada Department of Environmental Protection prior to the commencement of any construction activities. For additional information please refer to the Conceptual Drainage Analysis found in the appendix.

WATER SUPPLY

Water service for the proposed Jackson Village Subdivision will be provided by Carson City Water and Sewer Utilities. Water mains have been analyzed to determine the system capability to provide adequate flows. The proposed water system will connect to the existing 8" water main located in Eagle Station Ln, immediately south of this project. There will be points of connection, as shown in the Grading and Utility Plan, to achieve a looped connection.

Adequate system pressures and storage capacity will be provided to ensure compliance with the Nevada Department of Human Resources, Health Division, the Nevada Administrative Code, the Uniform Fire Code and Carson City Utilities requirements. The system will be designed to handle fire flows at a rate of 1,500 GPM for a two hour period.

SEWER IMPACT

Sanitary sewer disposal for the proposed Jackson Village Subdivision will be provided by Carson City Water and Sewer Utilities. Sanitary sewer for the project will connect to the existing 8" sanitary sewer main located within Eagle Station Ln, immediately south of this project, and be ultimately conveyed to the wastewater treatment facility, located in southeast Carson City.

Adequate line capacities for the proposed development will be provided to meet the requirements of Carson City Utilities, Nevada Department of Human Resources, Health Division, and the Nevada Department of Environmental Protection. Please refer to the preliminary sanitary sewer analysis included in this application package.

TRAFFIC

An updated traffic study has been included as part of this request to reduce the total number of units from 72 to 41 and to modify the land use from multi-family to single family. The traffic study includes

detailed data relating to trip generation, distribution, assignment, traffic volumes and intersection capacity. The conclusions of the study indicate an overall reduction of traffic volumes as compared to the currently approved entitlement (SUP-10-026), while maintaining a level of service of C or better.

PUD STATEMENT OF OBJECTIVES CCMC 17.09.005, 17.09.090 & 17.09.095

Because the Planned Unit Development ordinance is being utilized as the vehicle to allow for the creation of this unique infill residential project, rather than the large scale mixed use developments it was originally intended to entitle, the following modifications to the ordinance, as allowed by CCMC 17.09.090 (2) Design Standards, are being requested. Each specific modification is listed below with its justification in accordance with CCMC 17.09.005 demonstrating a practicable and beneficial result will be obtained through the modification.

Reduction of the minimum site area for a Planned Unit Development;

Although the PUD ordinance is typically reserved for developments in excess of 5 acres, CCMC 17.09.095 (1) allows for a modification to this provision if a practical and beneficial result will be obtained. The project site has a current zoning designation of GC but is an optimal location for a residential land use due to its close proximity to existing service based land uses. The proposed project is an efficient use of the land designed with a product type which current market studies have shown is in demand. Previous entitlements on the property have included an expired residential PUD and a current special use permit which allows for a 72 unit multi-family project.

Residential land use within the GC zoning district;

The surrounding land uses are commercial and service based in nature which combine nicely with the proposed residential use to create a general mixed use area promoting a walkable community. The project density is 11 du/ac with approximately 49% of the site being utilized as either public or private open space. A residential land use of this nature is typically allowed in a GC zoning district with the approval of a special use permit and the requested residential land use is consistent with previous approvals for the site.

Reduction of the required lot size within the GC zoning district;

The typical required lot size in a GC zone is 6,000 square feet, a reduction is being requested to allow for 41 individual residential lots with an average lot size of 2,596 square feet. The decision to utilize the site for single family residential versus the already approved multi-family project is based on current market data showing this is a desired product type not currently available in Carson City.

Modification to the required parking calculation;

The project's location is unique in that it's an infill site surrounded by commercial and other consumer based land uses. The location is complimented with a product type that is geared toward "millennials" and other first time home buyers and existing home owners looking to downsize. These targeted buyers typically own less vehicles and market studies show that specifically these two demographics are most attracted to "walkable communities" or those being located in close proximity to services. If you utilize the actual parking count and combine that with the target buyer for this community and add in the proximity of the development to commercial land uses, which also provide an abundance of after hour guest parking, we believe an alternative parking requirement is warranted for this unique development.

Other municipalities in the area, specifically the Cities of Reno and Sparks, have both made recent revisions to their development codes to reduce the required number of parking stalls for projects of this nature. For example a small lot development in an urban setting would require anywhere from 41 stalls (Sparks) to 57 stalls (Reno) in these other municipalities. Although Carson City has not undergone a recent code update, they have recently approved projects with similar parking modification requests, including Mills Landing and the Millennium project.

Modification to the amount of open space required;

The open space provided is consistent with both the required underlying GC zoning district and typical residential infill developments of this nature. However the proposed open space amount does not technically comply with the required 30% of the gross project area. As demonstrated in Table 2: Open Space Calculations, the actual project's total open space amount is 49%, far above the PUD requirement. We believe if you combine the total actual open space with the developments proximity to nearby parks (Figure 7: Proximity to Parks), an allowance for an alternative open space requirement is warranted.

Reduction of the required periphery boundary;

Since Jackson Village is utilizing the Planned Unit Development ordinance to allow for the creation of a unique infill residential project, rather than a large scale mixed use development, a modification to the required 20 foot setback from the periphery boundary in accordance with 17.09.090 (2) is requested. The proposed setbacks detailed in Figure 4: Proposed Setbacks are consistent with both those required of the underlying GC zoning district and typical residential infill developments of this nature. The property is surrounded by an existing sound and retaining wall and the existing adjacent commercial buildings are a significant distance from the property boundary.

PLANNED UNIT DEVELOPMENT FINDINGS CCMC 17.09.050

In what respects the plan is or is not consistent with the statement of objectives of the planned unit development ordinance;

In accordance with CCMC 17.09.005 Statement of Objectives for Planned Unit Developments, the PUD ordinance is being utilized to allow for a subdivision designed to further, "the public health, safety and general welfare of the residents of Carson City, in an era of increased urbanization and growing demand for housing of all types".

The extent to which the plan departs from zoning and planned unit development regulations otherwise applicable to the property, including but not limited to density, size and use, and the reasons such departures are or are not deemed to be in the public interest;

Because the Planned Unit Development ordinance is being utilized as the vehicle to allow for the creation of this unique infill residential project, rather than the large scale mixed use developments it was originally intended to entitle, the following modifications to the ordinance as allowed in accordance with CCMC 17.09.090 (2) Design Standards are being requested, all of which when evaluated deem to be in the public's best interest.

- *A residential use within the GC zoning district*
- *A reduction of the required lot size within the GC zoning district*
- *A modification to the required parking calculation*
- *A modification to the amount of open space required*
- *A reduction of the required periphery boundary*

The purpose, location and amount of the open space in the planned unit development, the reliability of the proposals for maintenance and conservation of the open space and the adequacy or inadequacy of the amount and purpose of the open space as related to the proposed density and type of residential development;

The required open space is consistent with both the required underlying GC zoning district and typical residential infill developments of this nature. However the proposed open space amount does not technically comply with the required 30% of the gross project. As demonstrated in Table 2: Open Space Calculations, the actual project's total open space number is nearly 49%, far above the PUD requirement. We believe if you combine the total actual open space with the developments proximity to nearby parks (Figure 7: Proximity to Parks), an allowance for an alternative open space requirement is warranted. The proposed public open space, including the resident's front yards will be maintained by the HOA.

A physical design of the plan and in the manner in which such design does or does not make adequate provision for public services, provide adequate control over vehicular traffic, parking requirements, and further the amenities of light and air, recreation and visual enjoyment;

The proposed development is designed in a manner which provides for adequate public services, control over vehicular traffic and furthers the amenities of light and air. Although the parking and open space requirements are both requested to be modified from those traditionally required with a PUD. When evaluated in the context of the project as a whole and utilizing the "actual" amounts verses the "provided" amounts, we feel both requests are warranted.

The relationship, beneficial or adverse, of the proposed planned unit development to the neighborhood in which it is proposed to be established;

The proposed Jackson Village subdivision will be a unique infill development which is an efficient use of land designed to complement the adjacent commercial and service based land uses, the land use also promotes a walkable community and minimizes sprawl.

In the case of a plan which proposes a development over a period of years, the sufficiency of the terms and conditions intended to protect the interest of the public and the residents of the planned unit development in the integrity of the plan.

It is anticipated that the proposed Jackson Village subdivision will be developed in one (1) phase, therefore the interest of the public and the future residents of the PUD will be secure.

MASTER PLAN POLICY CHECKLIST

The Jackson Village Tentative Map and Planned Unit Development meets the following applicable Carson City Master Plan Policies;

Chapter 3: A Balanced Land Use Pattern;

Located on a priority infill development area. (1.2a)

Jackson Village is located in close proximity to the one of the City's major gateway corridors and has development on the surrounding properties and therefore can be considered a Moderate Priority Infill Area.

Located to be adequately served by city services including fire and sheriff services, and coordinated with the School District to ensure the adequate provision of schools (1.5d)

Jackson Village is to be located on an infill site with adequate city services including fire, police and schools.

Provide a variety of housing models and densities within the urbanized area appropriate to the development size, location and surrounding neighborhood context (2.2a, 9.1a)

Jackson Village will provide four (4) unique housing models at a density of 11 du/ac. The product type is designed to complement both the surrounding commercial and residential existing land uses.

Sited outside the primary floodplain and away from geologic hazard areas or follow the required setbacks or other mitigation measures (3.3b)

Jackson Village is to be located in an area outside the primary floodplain and away from geologic hazard areas.

Chapter 6: Livable Neighborhood and Activity Centers;

Promote variety and visual interest through the incorporation of varied lot sizes, building styles and colors, garage orientation and other features (6.1b)

Jackson Village will promote visual interest with the use of two story units along the site perimeter and two and a half and three story units within the center of the development. Where appropriate, public living spaces will face toward the interior open space. A traditional approach to color, using a variety of hues that are simply applied, forms the basis of the color palette.

Promote a variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)

Jackson Village will create a strong visual interest referencing the simple Western Stick / Ranch style vernacular architecture found throughout the Carson City Historic District. Typical characteristics include gabled, steeply pitched roofs, horizontal sidings, simply trimmed windows and doors, freeze boards, and small porches. Landscaping will be installed in accordance with the development standards, with the front yards being maintained by the HOA to ensure a consistent look and feel.

Chapter 7: A Connected City;

Promote transit- supportive development patterns (e.g. mixed-use, pedestrian- oriented, higher density) along major travel corridors to facilitate future transit (11.2b)

The Jackson Village is designed as a transit- supportive development both location criteria and density.

COMPLIANCE WITH NRS 278.349 (3)

Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or public sewage disposal and, where applicable, individual systems for sewage disposal;

The environmental health laws and regulations are being addressed through the extension of water and sewer facilities to the Carson City utilities system where appropriate.

The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision;

The proposed development will be connected to the Carson City water system, the water provided will meet applicable health standards and it has been determined that sufficient quantity is available to accommodate the needs of the development.

The availability and accessibility of utilities;

The applicant has contacted the required utility companies and it has been determined that adequate services are available.

The availability and accessibility of public services such as schools, police protection, transportation, recreation and parks;

The proposed Jackson Village subdivision is a total of 41 residential units, a reduction of the currently approved 72 unit development once proposed on the site. Therefore stress on public services should actually see a slight reduction in need.

Conformity with the zoning ordinances and master plan, except that if any existing zoning ordinance is inconsistent with the master plan, the zoning ordinance takes precedence;

The proposed Jackson Village project site is zoned GC which allows for the development of this nature. All modifications to the ordinance are done so in accordance with CCMC 17.09.090(2).

General conformity with the governing body's master plan of streets and highways;

The proposed development conforms to Carson City's master plan relating to streets and highways where appropriate.

The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision;

The proposed development is an infill project consisting of 41 residential units which will generate a minimal amount of vehicular traffic to burden the existing street network.

Physical characteristics of the land such as floodplain, slope and soil;

The proposed site has been previous disturbed and contains minimal slopes. The project site resides in FEMA zone X.

The recommendations and comments of those entities and persons reviewing the tentative map pursuant to NRS 278.330 to 278.3485, inclusive;

Any recommendations and comments from the reviewing entities will be incorporated to the proposed development where appropriate.

The availability and accessibility of fire protection, including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires, including fires in wild lands;

It was determined at the required conceptual map phase that availability of fire protection to the site is adequate.

RECEIVED
JUL 24 2015
CARSON CITY
PLANNING DIVISION

Carson City Planning Division
108 E. Proctor Street- Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

FILE # TPUD - 15 - **T PUD - 15 - 069**

TENTATIVE MAP FOR A PUD

APPLICANT
Project One

PHONE #
775-882-2753

STATE FEES: See checklist. Submit the two state checks at the time of initial application submittal.

MAILING ADDRESS, CITY, STATE, ZIP
490 Hot Springs Road Carson City, NV 89706

FEE: \$3,450.00 + noticing fee + CD containing application digital data (all to be submitted once the application is deemed complete by staff)

ENGINEER
Manhard Consulting

PHONE #
775-746-3500

SUBMITTAL PACKET

See checklist (fill out checklist and return to staff with the application packet)

MAILING ADDRESS, CITY, STATE, ZIP
9850 Double R Blvd. Ste 101, Reno, NV 89521

Application Reviewed and Received By:

EMAIL ADDRESS
cbaker@manhard.com

PROPERTY ADDRESS, CITY, STATE, ZIP
250 Eagle Station Lane, Carson City

PRESENT ZONING
GC/PUD

APN(S)
009-123-38 & 39

REQUEST: In accordance with the provisions of Title 17 of the Carson City Municipal Code, application is hereby made for a Planned Unit Development on property situated at:

The required modifications to Carson City's Land Use Regulations are as follows:

ACKNOWLEDGMENT OF APPLICANT: (a) I certify that the foregoing statement are true and correct to the best of my knowledge and belief; (b) I agree to fulfill all conditions established by the Board of Supervisors.

DLW. J. J.
Applicant's Signature

July 16, 2015
Date

PROPERTY OWNER'S AFFIDAVIT

I, Don Jackson, being duly depose, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

7-16-15
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY of Carson City

On July 16, 2015, personally appeared before me, a notary public, Donald Jackson, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

M. Schoffstall
Notary Public



M. SCHOFFSTALL
NOTARY PUBLIC
STATE OF NEVADA
Appl. No. 15-1781-12
My Appl. Expires June 17, 2019

NOTE: In order to avoid unnecessary time delays in processing your develop project, it is important that it be as complete as possible when submitted. A checklist is available to assist you and your engineer. If you have further questions regarding your application, please call the Planning Division at 775-887-2180.



Carson City Planning Division

108 E. Proctor Street
Carson City, Nevada 89701

(775) 887-2180

www.carson.org

www.carson.org/planning

April 15, 2015

Mr. Donald Smit
Project One
490 Hot Springs Road
Carson City, NV 89706

RECEIVED

APR 17 2015

Project One

SUBJECT:

CSM-15-021 – Conceptual Subdivision Map Review
Jackson Village
41 Single-family detached residential lots

REVIEW DATE:

March 16, 2015

SITE INFORMATION:

APNs:

009-123-38 & -39

Project Size:

3.66 acres

Master Plan Designation:

Commercial/Regional Commercial

Zoning:

General Commercial (GC)

The following is a summary of the comments provided from City staff at the Conceptual Review meeting held on April 7, 2015, regarding the proposed Jackson Village Subdivision.

PLANNING DIVISION – Contact Lee Plemel, Community Development Director

1. An application for a tentative Planned Unit Development map must be submitted in accordance with the Carson City Municipal Code, Section 17.09, Planned Unit Development (PUD), in order to subdivide the property as proposed on the Conceptual Map. The PUD application may include any other zoning applications pertaining to the development regulations including special use permit and variance. The following requests must be included as part of the PUD application and addressed within the application submittal.
 - A. A Special Use Permit for a residential use within the GC zoning district.
 - B. A Variance for a reduction of lot size within the GC zoning district from a minimum of 6,000 square feet to the minimum lot size of the proposed lots.
 - C. A Variance in the required amount of off-street parking required for a residential use (two spaces per unit are required). Parking: Required: 82 (2 per unit); Provided: 77

- D. A Variance in the amount of open space provided (or meet the minimum open space requirement for a PUD of 30% of the gross site area).
- E. A Variance for a reduction in the required periphery boundary of 20 feet. (17.09.090(3)[e])

An application for a Tentative PUD Map must include and/or address the following:

- 2. For each of the Variance items noted above, the applicant must address the statement of objectives (17.09.005) regarding planned unit developments and including, but not limited to, adjoining neighborhood factors, project density, open space, and where a practicable and beneficial result will be obtained (17.09.090[2]) in addition to the PUD finding of 17.09.050.
- 3. The minimum site area for a PUD shall not be less than 5 acres, except that the board may waive this requirement when proper planning justification is presented by the landowner (17.09.095[1]). Provide written justification for using the PUD for the project size (3.66 acres) pursuant to the objectives of the planned unit development ordinance (17.09.005), including but not limited to encouraging more efficient use of the land and services; utilization of new technologies in land development so the resulting economies benefit Carson City; preserving or providing open space; protecting natural, cultural and scenic resources, achieving a more efficient use of land; minimizing road building; and encouraging stable, cohesive neighborhoods offering a mix of housing types.
- 4. There are no minimum lot width or internal setback requirements provided that a minimum of 10 feet between structures is maintained. All applicable internal setback requirements shall be established as part of the tentative map approval. (17.09.090(3)[c]) Note all front, side, and rear yard setbacks on the site plan.
- 5. Show proposed building elevation drawings including proposed heights of buildings.
- 6. Parking is required per the Development Standards, Division 2 (Parking), at a rate of two spaces per unit. In addition to addressing the findings and PUD objectives noted above, examples of similar, existing developments or other parking demand analysis should be included to justify the proposed reduction in parking. Since all roads within the development will not provide for on-street parking, there is no "overflow" parking available except on Eagle Station Lane.
- 7. Show cluster mail box location(s). It is recommended to meet with the post office before submittal of a tentative map to establish appropriate locations for mailboxes.
- 8. Provide perimeter fence details.
- 9. All planned unit developments shall set aside a minimum of 30 percent of the gross area of the site for open space. (17.09.100) Modify the proposed open space to comply with 17.09.100 or provide justification for a variance to the requirement, as noted above.
- 10. It is recommended to meet with the School District address a bus stop location to serve the development or identify the nearest school bus stop that would serve the development.

ENGINEERING DIVISION – Contact Rory Hogen, Assistant Project Manager

This Division has completed a review of the above referenced project.

Based on our review, the following comments are offered:

1. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
2. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
3. Fresh water must be used for dust control. Contact our Public Works Dept. at 887-2355.
4. New electrical service must be underground.
5. A Conceptual Drainage Study must be submitted to address drainage issues with the Tentative Subdivision map. See Carson City Development Standards (CCDS) section 14 for more information.
6. A sealed traffic study must be submitted with the Tentative Map. Please see section 12 of CCDS.
7. Please submit a sewer, water and fire flow study with the Tentative Map. Please see section 15 of CCDS.
8. This project will need a Storm Water Pollution Prevention Permit from Nevada Division of Environmental Protection.
9. A sealed Geotechnical Report for the whole site should be submitted with the Tentative Map.
10. A private street width of 22 feet from face of curb to face of curb will be adequate. The radius on the curves will depend on the Fire Department requirements.

These comments are based on a very general site plan and do not indicate a complete review. All pertinent requirements of Nevada State Law, Carson City Code, and Carson City Development Standards will still apply whether mentioned in this letter or not.

BUILDING DIVISION – Contact Shawn Keating, Chief Building Official

1. The 2009 IECC will change by state statute on 7/1/2015 to the 2012 IECC. There will be an overlap time of accepting both codes with a cut off being closer to the end of the year for 2009 IECC. It may make sense to design everything to the 2012 IECC so plans would not have to be redone when this happens. The Codes will be locked in on the application date of the address site plan.
2. No other codes changes are expected till 2018.
3. These single family homes (SDFR) can be designed under the 2012 International Residential Code.
4. Permit fees value will be based upon \$112.65 living and \$43.33 for Utility. This is the ICC current data table from the Building Journal as of February 2015. For example, a

2000 sqft home. 2000X112.65+225300X.0105=permit fees 3379.50. Forty percent will be required for despot upon submission.

5. If the developer wants to use a master plan approach. We can record a Master; the first application will be submitted with the options clearly identifying the master and options. All truss and engineering for those options have to be submitted. As I addressed in item 1, the master would have to reflect the 2012 IECC to build out all of them to preventing a resubmission of all new plans. The full permit fee value will be imposed on this review. The second submittal will be the application with site plan detailing options selected. The site plan would have to show house location with selected options, drainage, utilities, easement, access, finish grade and fish floor height. If there is a change, a new site plan will have to be resubmitted with a revision to change options. No field changes of options. The second submit will be 80 percent of the normal fee.

FIRE DEPARTMENT – Contact Dave Ruben, Fire Prevention Captain

1. Project must comply with 2012 IFC and Northern Nevada Amendments.
2. Fire access roads must be minimum 20' width with 30' inside and 50' outside radius at turns.
3. Hydrant spacing would be every 500' and if houses are less than 3600 SF, 1000 gpm fire flow would be required.
4. No on street parking will be allowed based on the proposed design in order to maintain clear width of 20 feet. All on street areas no identified for parking must have signage meeting Design Engineering and FD requirements saying "No Parking-Fire Lane."
5. Street naming convention must comply with T18 appendix, Division 22 municipal street naming ordinance. Avoid hard-to-pronounce names and names similar to existing streets.

PARKS AND RECREATION DEPARTMENT – Contact Vern Krahn, Park Planner

1. The houses within this development will be subject to the collection of Residential Construction Tax.
2. Eagle Station Lane is not identified on the Unified Pathways Master Plan for either a shared lane facility or a bicycle lane. As a result, there will be no half-street improvement requirements from our department for the developer to provide any bicycle facilities as a part of their development requirements.
3. Our department will have no maintenance responsibilities for the PUD's common open space and its landscape areas.

HEALTH DEPARTMENT – Contact Dustin Boothe, Division Manager

No comments received.

ENVIRONMENTAL CONTROL – Contact Mark Irwin, Environmental Control Officer

No comments.

Thank you for your Conceptual Map submittal. If you have further questions, please contact the Planning Division at (775) 887-2180, or contact the applicable department staff member as listed below.

Planning Division –

Lee Plemel, Community Development Director
(775) 283-7075
Email: lplemel@carson.org

Engineering Division –

Rory Hogen, Assistant Project Manager
(775) 887-2300
Email: rhogen@carson.org

Building Division –

Shawn Keating, Chief Building Official
(775) 887-2310
Email: skeating@carson.org

Fire Prevention –

Dave Ruben, Fire Prevention Captain
(775) 283-7153
Email: druben@carson.org

Health Department –

Dustin Boothe, Division Manager
(775) 283-7220
Email: dboothe@carson.org

Environmental Control Division –

Mark Irwin, Environmental Control Officer
(775) 283-7380

Sincerely,
Community Development Department, Planning Division

Lee Plemel, AICP

cc: Conceptual Review Committee
File CSM-15-021

CARSON CITY

[Assessor Home](#)
[Personal Property](#)
[Sales Data](#)
[Secured Tax Inquiry](#)
[Recorder Search](#)

Parcel Detail for Parcel # 009-123-38

Location

Property Location EAGLE STATION LN

Town

Add'l Addresses

Subdivision PARCEL 1 MAP 2706 Lot Block

Property Name

Legal Description

Ownership

Assessed Owner Name JACKSON FAM LIV TRUST 5/25/00

Mailing Address % DONALD & BONNIE JACKSON, TT
2528 BUSINESS PKWY #B
MINDEN, NV 89423-0000

[Ownership History](#)

[Document History](#)

Legal Owner Name JACKSON FAM LIV TRUST 5/25/00

Vesting Doc #, Date : 385814 01/20/09 Book / Page /

Map Document #s MAP 2706

Description

Total Acres .023

Square Feet 989

Ag Acres .000

W/R Acres .000

Improvements

Single-family Detached 0	Non-dwelling Units 0	Bedrooms / Baths 0 / 00
Single-family Attached 0	Mobile Home Hookups 0	Stories .0
Multiple-family Units 0	Wells 0	Garage Square Ft.. 0
Mobile Homes 0	Septic Tanks 0	Attached / Detached
Total Dwelling Units 0	Buildings Sq Ft 0	
Improvement List	Residence Sq Ft 0	
Property Costing Estimates	Basement Sq Ft 0	Basement
	Finished Basement SF 0	Bedrooms / Baths 0 / .00

Appraisal Classifications

Current Land Use Code 140

[Code Table](#)

Zoning GC-P

Re-appraisal Group 5

Re-appraisal Year 2012

Original Construction Year

Weighted Year

Assessed Valuation

Assessed Values	2015-16	2014-15	2013-14
Land	100	100	100
Improvements	0	0	0
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	0	0	0
Net Assessed Value	100	100	100

Increased (New) Values

Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

Taxable Valuation

Taxable Values	2015-16	2014-15	2013-14
Land	286	286	286
Improvements	0	0	0
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	0	0	0
Net Taxable Value	286	286	286

Increased (New) Values

Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

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CARSON CITY

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Secured Tax Inquiry Detail for Parcel # 009-123-38

Property Location: EAGLE STATION LN

Roll #: 008406

Tax Year: 2016

Billed to: JACKSON FAM LIV TRUST 5/25/00

District: 1.6

% DONALD & BONNIE JACKSON, TT

Tax Service:

2528 BUSINESS PKWY #B

Land Use Code: 140

MINDEN, NV 89423-0000

Prior Year	Tax Penalty/Interest	Total	Amount Paid	Total Due
2013+	6.38	6.38	6.38	
2014	3.42	3.42	3.42	
2015	3.52	3.52	3.52	.00
Current Year				
08/17	3.52	3.52	00	3.52 <-Pay
10/05				
01/04				
03/07				

[Payment Cart](#)[History](#)



CARSON CITY

State of Nevada

[Assessor Home](#) | [Personal Property](#) | [Sales Data](#) | [Secured Tax Inquiry](#) | [Recorder Search](#)

Parcel Detail for Parcel # 009-123-39

Location

Property Location 250 EAGLE STATION LN

Town

Subdivision PARCEL 2 MAP 2706 Lot Block

Property Name

Add'l Addresses

Legal Description

Ownership

Assessed Owner Name JACKSON FAM LIV TRUST 5/25/00

Mailing Address % DONALD & BONNIE JACKSON, TT
2528 BUSINESS PKWY #B
MINDEN, NV 89423-0000

[Ownership History](#)

[Document History](#)

Legal Owner Name JACKSON FAM LIV TRUST 5/25/00

Vesting Doc #, Date 385814 01/20/09 Book / Page /

Map Document #s MAP 2706

Description

Total Acres 3.640

Square Feet 158,562

Ag Acres .000

W/R Acres .000

Improvements

Single-family Detached 0

Non-dwelling Units 0

Bedrooms / Baths 0 / .00

Single-family Attached 0

Mobile Home Hookups 0

Stories .0

Multiple-family Units 0

Wells 0

Garage Square Ft... 0

Mobile Homes 0

Septic Tanks 0

Attached / Detached

Total Dwelling Units 0

Buildings Sq Ft 0

Residence Sq Ft 0

Improvement List

Basement Sq Ft 0

Basement

[Property Costing Estimates](#)

Finished Basement SF 0

Bedrooms / Baths 0 / .00

Appraisal Classifications

Current Land Use Code 480

Code Table

Zoning GC-P

Re-appraisal Group 5

Re-appraisal Year 2012

Original Construction Year

Weighted Year

Assessed Valuation

Assessed Values	2015-16	2014-15	2013-14
Land	221,987	221,987	221,987
Improvements	31,757	31,842	31,385
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	0	0	0
Net Assessed Value	253,744	253,829	253,372

Increased (New) Values

Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

Taxable Valuation

Taxable Values	2015-16	2014-15	2013-14
Land	634,249	634,249	634,249
Improvements	90,734	90,977	89,671
Personal Property	0	0	0
Ag Land	0	0	0
Exemptions	0	0	0
Net Taxable Value	724,983	725,226	723,920

Increased (New) Values

Land	0	0	0
Improvements	0	0	0
Personal Property	0	0	0

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CARSON CITY

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 009-123-39

Property Location: 250 EAGLE STATION LN

Billed to: JACKSON FAM LIV TRUST 5/25/00

% DONALD & BONNIE JACKSON, TT

2528 BUSINESS PKWY #B

MINDEN, NV 89423-0000

Roll #: 008407

Tax Year: 2016

District: 1.8

Tax Service:

Land Use Code: 480

Prior Year	Tax Penalty/Interest	Total	Amount Paid	Total Due	
2013+	15,790.35	15,790.35	15,790.35		
2014	8,482.14	8,482.14	8,482.14		
2015	8,736.41	8,736.41	8,736.41	.00	
Current Year					
08/17	2,236.43	2,236.43	.00	2,236.43	←Pay
10/05	2,233.00	2,233.00	.00	4,469.43	←Pay
01/04	2,233.00	2,233.00	.00	6,702.43	←Pay
03/07	2,233.00	2,233.00	.00	8,935.43	←Pay

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CARSON CITY PLANNING COMMISSION
Minutes of the December 19, 2012 Meeting
Page 1

A regular meeting of the Carson City Planning Commission was scheduled for 1:00 p.m. on Wednesday, December 19, 2012 in the Community Center Sierra Room, 851 East William Street, Carson City, Nevada.

PRESENT: Chairperson William Vance
Vice Chairperson George Wendell
Commissioner Paul Esswein
Commissioner Mark Sattler

STAFF: Lee Plemel, Planning Division Director
Jennifer Pruitt, Principal Planner
Joe Ward, Senior Deputy District Attorney
Kathleen King, Deputy Clerk / Recording Secretary

NOTE: A recording of these proceedings, the commission's agenda materials, and any written comments or documentation provided to the recording secretary during the meeting are part of the public record. These materials are available review, in the Clerk's Office, during regular business hours.

A. CALL TO ORDER, DETERMINATION OF A QUORUM, AND PLEDGE OF ALLEGIANCE (1:00:45) - Chairperson Vance called the meeting to order at 1:00 p.m. Roll was called; a quorum was present. Commissioners Dhami, Kimbrough, and Shirk were absent. At Chairperson Vance's request, Commissioner Esswein led the pledge of allegiance.

B. PUBLIC COMMENTS (1:01:34) - Chairperson Vance entertained public comment. (1:02:43) Don Thayer provided background information on a recent survey questionnaire regarding the Carson Street narrowing project. He advised of having been "shocked" at having received such a questionnaire so soon after defeat of the recent ballot question. As a downtown business owner, he discussed objections to narrowing Carson Street and implored the commissioners to not approve the narrowing project. Mr. Plemel provided background information on the narrowing project, and advised that the recent ballot question had nothing to do with the narrowing project. He suggested that Mr. Thayer provide testimony at the January 3rd Board of Supervisors meeting. He offered to meet with Mr. Thayer at the Planning Division office. Mr. Thayer discussed the effects to his business of a downtown event for which Carson Street was closed. Chairperson Vance entertained additional public comments; however, none were forthcoming.

C. POSSIBLE ACTION ON APPROVAL OF MINUTES (1:12:01) - None.

D. MODIFICATION OF AGENDA (1:12:03) - Chairperson Vance entertained modifications to the agenda; however, none were forthcoming.

E. DISCLOSURES (1:12:09) - None.

F. CONSENT AGENDA (1:12:13) - None.

G. PUBLIC HEARING MATTERS:

CARSON CITY PLANNING COMMISSION
Minutes of the December 19, 2012 Meeting
Page 2

G-1. SUP-10-026 - POSSIBLE ACTION TO CONSIDER A SPECIAL USE PERMIT APPLICATION FROM THE JACKSON FAMILY LIVING TRUST (PROPERTY OWNER: JACKSON FAMILY LIVING TRUST) FOR A THREE-YEAR EXTENSION TO BUILD 72 MULTI-FAMILY APARTMENT UNITS, ON PROPERTY ZONED GENERAL COMMERCIAL - PLANNED UNIT DEVELOPMENT (GC - PUD), LOCATED AT 250 EAGLE STATION LANE, APN 009-123-39 (1:13:39) - Chairperson Vance introduced this item, and Mr. Plemel reviewed the agenda materials in conjunction with displayed slides. Chairperson Vance noted a clerical correction to condition of approval 4.

(1:17:06) Brad Bonkowski, of Coldwell Banker Commercial representing the Jackson Family Trust, introduced himself for the record. He acknowledged agreement with the conditions of approval. In response to a question, he estimated the infrastructure to be 75 percent complete. He advised of three interested parties, and anticipates the project will "move along sometime in the next year or two."

Chairperson Vance entertained additional commissioner questions or comments and, when none were forthcoming, a motion. **Commissioner Sattler moved to approve an extension for the existing expiration date of special use permit SUP-10-026, from January 4, 2013 to January 4, 2016, for the construction of the 72-unit multi-family residential project, located at 250 Eagle Station Lane, APNs 009-123-38 and -39. Commissioner Esswein seconded the motion. Motion carried 4-0.**

G-2. ZCA-12-140 - POSSIBLE ACTION TO MAKE A RECOMMENDATION TO THE BOARD OF SUPERVISORS ON AN ORDINANCE AMENDING THE CARSON CITY MUNICIPAL CODE, TITLE 18, ZONING, TITLE 18, APPENDIX, DEVELOPMENT STANDARDS, DIVISION 4, SIGNS, SECTION 4.4.7, ADMINISTRATION, EXCEPTIONS, TO MODIFY THE REGULATIONS RELATING TO THE TEMPORARY DISPLAY OF BANNERS AND OTHER TEMPORARY SIGN DEVICES, AND OTHER MATTERS PROPERLY RELATED THERETO (1:19:28) - Chairperson Vance introduced this item. Mr. Plemel provided background information and reviewed the agenda materials in conjunction with displayed slides. He responded to questions, and discussion ensued, regarding the provisions of the proposed ordinance.

Chairperson Vance entertained public comment and, when none was forthcoming, a motion. **Vice Chairperson Wendell moved to recommend to the Board of Supervisors approval of an ordinance amending the Carson City Municipal Code, Title 18, Appendix, Development Standards, Division 4, Signs, Section 4.4, Administration, Subsection 4.4.7, Exceptions, to modify the time limits and placement regulations for temporary on-site advertising devices, based on the findings contained in the staff report. Commissioner Sattler seconded the motion. Chairperson Vance noted the previously-suggested revision and Mr. Plemel acknowledged sufficient direction. Chairperson Vance called for a vote on the pending motion. Motion carried 4-0.**

G-3. MPA-12-135 - POSSIBLE ACTION TO MAKE RECOMMENDATIONS TO THE BOARD OF SUPERVISORS ON THE ANNUAL MASTER PLAN REPORT, INCLUDING RECOMMENDED ACTIONS FOR THE IMPLEMENTATION OF THE GOALS AND POLICIES OF THE MASTER PLAN (1:30:36) - Chairperson Vance introduced this item. Mr. Plemel provided background information and reviewed the agenda materials in conjunction with displayed slides. He responded to questions of clarification regarding uses allowed in the general

CARSON CITY PLANNING COMMISSION
Minutes of the December 19, 2012 Meeting
Page 3

commercial zoning district, and extensive discussion followed.

Chairperson Vance noted there were no citizens present in the audience, and entertained a motion. **Commissioner Esswein moved to recommend to the Board of Supervisors acceptance of the Master Plan 2013 Action Plan, as provided by staff, for consideration in establishing City goals for 2013, with no recommended consideration of changes to the goals and policies of the master plan. Vice Chairperson Wendell seconded the motion. Motion carried 4-0.** In consideration of the number of absent commissioners, Mr. Plemel noted, for the record, that discussion at the November commission meeting indicated consensus that no major revisions to the master plan were necessary.

H. STAFF REPORTS:

H-1. DIRECTOR'S REPORT TO THE PLANNING COMMISSION AND FUTURE AGENDA ITEMS (1:47:16) - Mr. Plemel advised that Ms. Pruitt had accepted a position in Arlington, Texas and had submitted her resignation. He expressed appreciation for Ms. Pruitt's valuable and professional service over the years. He advised of having received comments "for years and years from those that have dealt with [Ms. Pruitt], both within the City and external developers," commending her expertise and professionalism. The commissioners agreed, and Vice Chairperson Wendell requested Mr. Plemel to prepare an appropriately-worded Certificate of Appreciation. Commissioner Sattler expressed appreciation for the commission orientation provided, shortly after his appointment, by Ms. Pruitt and Mr. Plemel. The commissioners commended Ms. Pruitt's professional demeanor. Ms. Pruitt expressed appreciation for the opportunity to have served the City and to have worked with Mr. Plemel. She advised of opportunities to pursue her doctorate in Arlington.

Mr. Plemel provided an overview of the tentative agenda for the next commission meeting. Depending upon the number of applications, he advised of the possibility that the January meeting may be canceled.

H-2. COMMISSIONER REPORTS / COMMENTS (1:51:33) - In response to a question, Mr. Plemel provided background information on the Carson Street narrowing project survey questionnaire referenced by Mr. Thayer under public comment. He responded to questions of clarification. At Chairperson Vance's request, Mr. Plemel agreed to provide the questionnaire to the commissioners via e-mail.

I. PUBLIC COMMENTS (1:58:33) - Chairperson Vance entertained public comment; however, none was forthcoming.

J. ACTION TO ADJOURN (1:58:35) - Vice Chairperson Wendell moved to adjourn the meeting at 1:58 p.m. The motion was seconded and carried unanimously.

The Minutes of the December 19, 2012 Carson City Planning Commission meeting are so approved this 27th day of February, 2013.

WILLIAM VANCE, Chair



Carson City Planning Division

2621 Northgate Lane, Suite 62

Carson City, Nevada 89706

(775) 887-2180

Plandiv@ci.carson-city.nv.us

www.carson-city.nv.us

RECEIVED

JUL 28 2010

CARSON CITY
PLANNING DIVISION

PLANNING COMMISSION

JUNE 30, 2010

NOTICE OF DECISION

* CLERK *
FILED
Time 10:10

JUL 13 2010

By K. King
Deputy
Carson City, Nevada

A request to review a Special Use Permit, SUP-10-026, was received from Ken Rose (property owner: Jackson Family Living Trust) to allow a multi-family apartment on property zoned General Commercial (GC) located at 250 Eagle Station Lane, APN 009-123-39, pursuant to the requirements of the Carson City Municipal Code.

The Planning Commission conducted a public hearing on June 30, 2010, in conformance with City and State legal requirements, and approved SUP-10-026 to allow a multi-family apartment on property zoned General Commercial, based on the findings contained in the staff report and subject to the following conditions of approval:

CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

**PLEASE SIGN AND RETURN THIS NOTICE OF DECISION WITHIN
TEN DAYS OF RECEIPT**

This is to acknowledge that I have read and will comply with the Conditions of Approval as approved by the Carson City Planning Commission.

Kenneth G. Rose

OWNER/APPLICANT SIGNATURE

7-19-2010

DATE

KENNETH G. ROSE

PLEASE PRINT YOUR NAME HERE

RETURN TO:

Planning Division
2621 Northgate Lane, Suite 62, Carson City, NV 89706

- Enclosures: 1. Planning Commission Notice of Decision (2 copies)-Please sign and return only one. The second one is for your records.
2. Self-addressed stamped envelope



PRELIMINARY REPORT

PROPOSED BUYER:

PROPOSED LENDER:

PROPERTY ADDRESS: 201 Koontz Lane and 250 Eagle Station Lane, Carson City, Nevada

Escrow Office:

Ticor Title of Nevada, Inc.

5441 Kietzke Lane, Suite 100

Reno, Nevada 89511

Phone: (775) 824-3232 Fax: (775) 824-3233

Escrow Officer: Commercial Division

Customer No.: /

Title Office:

Ticor Title of Nevada, Inc.

5441 Kietzke Lane, Suite 100

Reno, Nevada 89511

Phone: (775) 324-7400 Fax: (775) 324-7402

Order No.: 01502363-CD

**The information contained in this report is through the date of
May 26, 2015 at 7:30 a.m.**

In response to the application for a policy of title insurance referenced herein, Chicago Title Insurance Company hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a policy or policies of title insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Attachment One. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Chicago Title Insurance Company.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.

This report (and any supplements or amendments thereof) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

Countersigned

A handwritten signature in cursive script that reads 'Shelly Saltz'.

Shelly Saltz, Title Officer

THE FOLLOWING REQUIREMENTS MUST BE MET PRIOR TO CLOSE OF ESCROW:

1. Furnish to the Company for review:
 - a) Certification of Trust in accordance with Nevada Revised Statutes.
2. The Company will require the following documents for review prior to the issuance of any title insurance predicated upon a conveyance or encumbrance from the entity named below:

Limited Liability Company: California Aviv Two, L.L.C., a Delaware limited liability company

- a) A copy of its operating agreement, if any, and any and all amendments, supplements and/or modifications thereto, certified by the appropriate manager or member
- b) If a domestic Limited Liability Company, a copy of its Articles of Organization and all amendments thereto with the appropriate filing stamps
- c) If the Limited Liability Company is member-managed, a full and complete current list of members certified by the appropriate manager or member
- d) If the Limited Liability Company was formed in a foreign jurisdiction, evidence, satisfactory to the Company, that it was validly formed, is in good standing and authorized to do business in the state of origin
- e) If less than all members, or managers, as appropriate, will be executing the closing documents, furnish evidence of the authority of those signing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

3. Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact the Title Department immediately for further review prior to closing.
Affects: Parcel 1

SCHEDULE A

The estate or interest in the land hereinafter described or referred to covered by this report is:

FEE

Title to said estate or interest at the date hereof is vested in:

California Aviv Two, L.L.C., a Delaware limited liability company, as to Parcel 1 and Donald Jackson and Bonnie Jackson, Trustees of the Jackson Family Living Trust dated May 25, 2000, as to Parcel 2

The land referred to in this Report is situate in the State of Nevada, County of Carson City and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

SCHEDULE B

At the date hereof Exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof, (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records.
6. Any lien or right to lien for services, labor or material not shown in the Public Records.
7. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2015-2016. Tax Identification No.: 9-123-04, 38 and 39
8. The lien of supplemental taxes, if any, assessed pursuant to the provisions of Nevada Revised Statutes.
9. Any liens, charges or assessments levied by the Carson City water, sanitary sewer and storm water utility district by reason that the Land is located within said district.
10. Any unpaid charges for Waste Management, plus any interest and/or penalties, which would create a lien and attach to said Land, pursuant to Nevada Revised Statutes.
11. Easement(s) and rights incidental thereto as delineated or as offered for dedication on the Parcel Map for Borda Property
Recording Date: March 2, 1976
Recording No.: Book 2, Page 494, as Document No. 61441, Official Records
12. Easement(s) and rights incidental thereto as delineated or as offered for dedication on the Parcel Map for Newman Construction Ltd.
Recording Date: May 15, 1980
Recording No.: Book 4, Page 813, as Document No. 96358, Official Records
Affects: Parcel 2

13. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: August 29, 1980
Recording No.: Book 282, Page 577, as Document No. 98342, Official Records
Affects: Parcel 2
14. Easement(s) and rights incidental thereto as delineated or as offered for dedication on the Parcel Map for Newman Construction Ltd.
Recording Date: October 20, 1982
Recording No.: Book 4, Page 941, as Document No. 14256, Official Records
Affects: Parcel 2
15. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document
Recording Date: August 16, 1983
Recording No.: Book 346, Page 560, as Document No. 20580, Official Records
Affects: Parcel 2
- Modification(s) of said covenants, conditions and restrictions
Recording Date: August 26, 2005
Recording No: 341830, Official Records
16. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Carson City, a political subdivision of the State of Nevada
Purpose: for public purposes
Recording Date: October 5, 1990
Recording No: 106675, Official Records
Affects: The Southerly portion of Parcel 2
17. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Sierra Pacific Power Company, a Nevada corporation
Purpose: one or more underground communication facilities and electric, and gas distribution facilities and other appurtenances connected therewith
Recording Date: August 3, 2007
Recording No: 370540, Official Records
Affects: Parcel 2

18. A deed of trust to secure an indebtedness in the amount shown below,
Amount: \$400,000.00
Dated: September 8, 2008
Trustor/Grantor: Donald Jackson and Bonnie Jackson, Trustees of the Jackson Family Living Trust dated May 25, 2000
Trustee: Northern Nevada Title Company, a Nevada corporation
Beneficiary: Mariella Johnson, Trustee of The Mariella Johnson Trust dated October 8, 1996 and restated on October 6, 2004
Recording Date: September 19, 2008
Recording No.: 382770, Official Records
Affects: Parcel 2
19. Easement(s) and rights incidental thereto as delineated or as offered for dedication on the Final Subdivision Map for Eagle Village Condominiums Phase 1 (a Planned Unit Development)
Recording Date: January 20, 2009
Recording No.: Book 10, Page 2706, as Document No. 385814, Official Records
Affects: Parcel 2
20. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Sierra Pacific Power Company, a Nevada corporation d/b/a NV Energy
Purpose: one or more underground communication facilities and electric and other appurtenances connected therewith
Recording Date: March 17, 2009
Recording No.: 387647, Official Records
Affects: Parcel 2
21. A deed of trust to secure an indebtedness in the amount shown below,
Amount: \$100,000.00
Dated: October 27, 2014
Trustor/Grantor: Donald Jackson and Bonnie Jackson, Trustees of the Jackson Family Living Trust dated May 25, 2000
Trustee: Northern Nevada Title Company
Beneficiary: Amy E. Frankwich Jackson, Trustee of the Amy Frankwich Jackson Revocable Living Trust, dated December 20, 2011
Recording Date: October 28, 2014
Recording No.: 448469, Official Records
Affects: Parcel 2
22. Rights and claims of parties in possession by reason of unrecorded leases, if any, that would be disclosed by an inquiry of the parties or by an inspection of said Land.

INFORMATIONAL NOTES

Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts are:

Assessor's Parcel No.: 9-123-04
Fiscal Year: 2014 - 2015
Total Taxes: \$33,193.63
Affects: Parcel 1

Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts are:

Assessor's Parcel No.: 9-123-38
Fiscal Year: 2014 - 2015
Total Taxes: \$3.52
Affects: A portion of Parcel 2

Note: Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts are:

Assessor's Parcel No.: 9-123-39
Fiscal Year: 2014 - 2015
Total Taxes: \$8,736.41
Affects: A portion of Parcel 2

Note: The charge for a policy of title insurance, when issued through this title order, will be based on the Basic Title Insurance Rate.

Note: There are NO conveyances affecting said Land recorded within 24 months of the date of this report.

Note: The following information is provided strictly as an accommodation. According to the Assessor, the address of the Land is as follows:

Type of Dwelling: Commercial Building
Address: 201 Koontz Lane, Carson City, Nevada
Affects: Parcel 1

Note: The following information is provided strictly as an accommodation. According to the Assessor, the address of the Land is as follows:

Type of Dwelling: Commercial Building
Address: 250 Eagle Station Lane, Carson City, Nevada
Affects: A portion of Parcel 2

Order No.: 01502363-CD

EXHIBIT A

All that certain real property situate in the County of Carson City, State of Nevada, described as follows:

PARCEL 1:

Parcel 1, as shown on the Parcel Map for Borda Property, according to the map thereof, filed in the office of the County Recorder of Carson City, State of Nevada on March 2, 1976, in Book 2, Page 494, as File No. 61441, Official Records, being more particularly described as follows:

A parcel of land located in the Northwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 29, Township 15 North, Range 20 East, M.D.M., Carson City, Nevada, more particularly described as follows:

COMMENCING at the found mid-section corner of said Section 29, proceed South $00^{\circ}06'06''$ East, 660.07 feet, along the centerline of Center Drive, to its intersection with the centerline of Koontz Lane;
Thence North $89^{\circ}46'58''$ West, 660.28 feet, along the centerline of Koontz Lane, to its intersection with the centerline of Silver Sage Drive;
Thence North $89^{\circ}46'58''$ West, 661.48 feet along the centerline of Koontz Lane to a point;
Thence South $00^{\circ}05'12''$ East, 40.00 feet to a point on the South right of way line of Koontz Lane, which is the TRUE POINT OF BEGINNING, and the Northeast corner of this parcel;

Proceed thence South $00^{\circ}05'12''$ East, 484.00 feet to the Southeast corner of the parcel;
Thence North $89^{\circ}46'58''$ West, 360.00 feet to the Southwest corner of this parcel;
Thence North $00^{\circ}05'12''$ West, 484.00 feet to the Northwest corner of this parcel;
Thence South $89^{\circ}46'58''$ East, 360.00 feet along the Southerly right of way line of Koontz Lane to the TRUE POINT OF BEGINNING.

APN: 9-123-04

Document No. 389288 is provided pursuant to the requirements of Section 6.NRS 111.312.

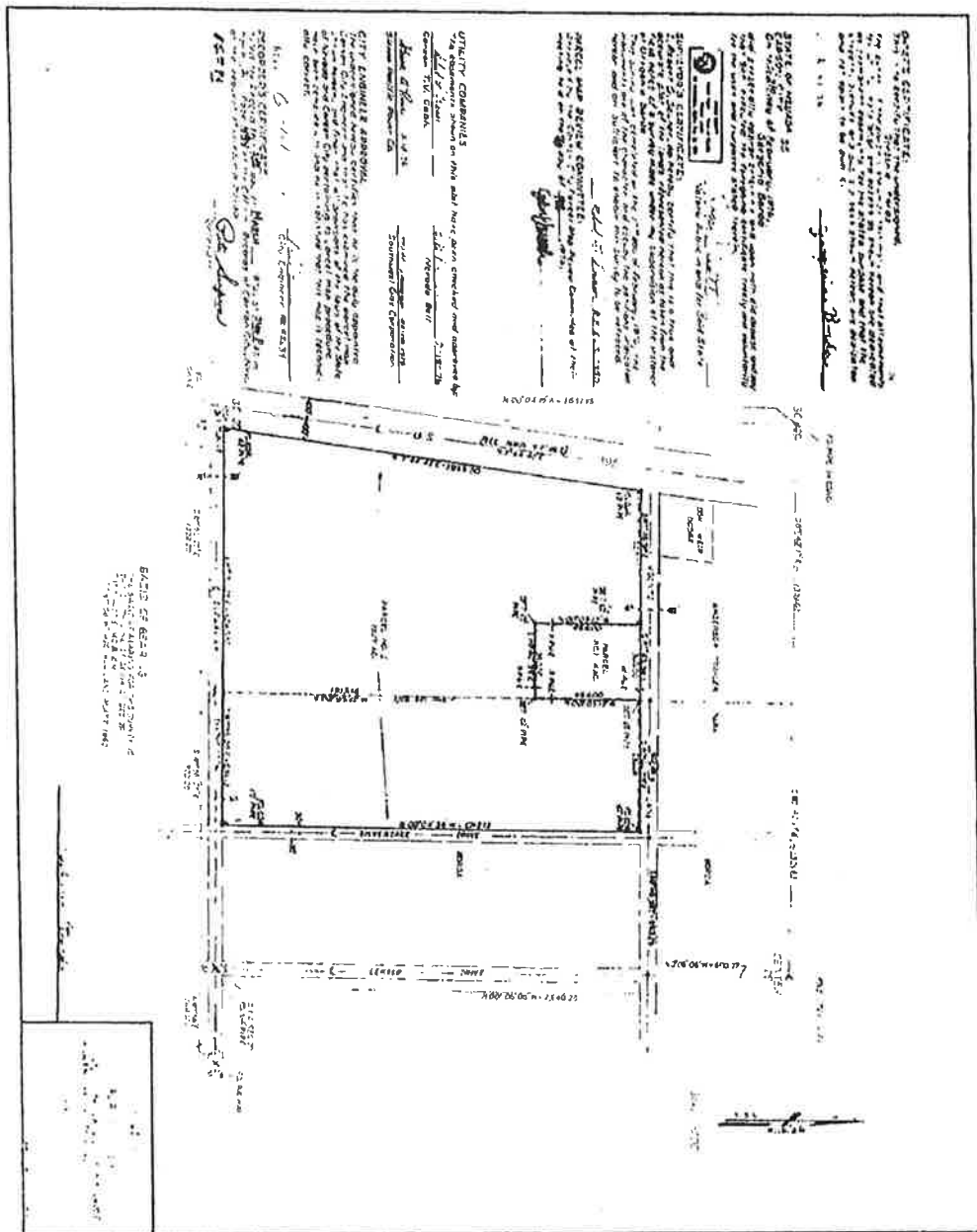
PARCEL 2:

Lot 1 and 2 as shown on the Final Subdivision Map of Eagle Village Condominiums Phase 1, a planned unit development, according to the map thereof, filed in the office of the County Recorder of Carson City, State of Nevada, on January 20, 2009, in Book 10, Page 2706, as File No. 385814, Official Records.

APN: 9-123-38 and 39

9-12





494

494

[illegible]

PLANNING DIVISION & PLANNING COMMISSION CERTIFICATE

[illegible]

CITY TAX COLLECTORS CERTIFICATE

James Buchanan April 7, 1860
J.B.

[illegible]

$\frac{1}{2} \frac{d^2 \phi}{dt^2} = -\frac{1}{2} \frac{d^2 \phi}{dt^2}$

UTILITY COMPANY APPROVALS

[illegible]

100

1972
CATT

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SURVEYOR'S CERTIFICATE

1047 1048 1049 1050 1051 1052 1053 1054 1055 1056 1057 1058 1059 1060 1061 1062 1063 1064 1065 1066 1067 1068 1069 1070 1071 1072 1073 1074 1075 1076 1077 1078 1079 1080 1081 1082 1083 1084 1085 1086 1087 1088 1089 1090 1091 1092 1093 1094 1095 1096 1097 1098 1099 1100 1101 1102 1103 1104 1105 1106 1107 1108 1109 1110 1111 1112 1113 1114 1115 1116 1117 1118 1119 1120 1121 1122 1123 1124 1125 1126 1127 1128 1129 1130 1131 1132 1133 1134 1135 1136 1137 1138 1139 1140 1141 1142 1143 1144 1145 1146 1147 1148 1149 1150 1151 1152 1153 1154 1155 1156 1157 1158 1159 1160 1161 1162 1163 1164 1165 1166 1167 1168 1169 1170 1171 1172 1173 1174 1175 1176 1177 1178 1179 1180 1181 1182 1183 1184 1185 1186 1187 1188 1189 1190 1191 1192 1193 1194 1195 1196 1197 1198 1199 1200 1201 1202 1203 1204 1205 1206 1207 1208 1209 1210 1211 1212 1213 1214 1215 1216 1217 1218 1219 1220 1221 1222 1223 1224 1225 1226 1227 1228 1229 1230 1231 1232 1233 1234 1235 1236 1237 1238 1239 1240 1241 1242 1243 1244 1245 1246 1247 1248 1249 1250 1251 1252 1253 1254 1255 1256 1257 1258 1259 1260 1261 1262 1263 1264 1265 1266 1267 1268 1269 1270 1271 1272 1273 1274 1275 1276 1277 1278 1279 1280 1281 1282 1283 1284 1285 1286 1287 1288 1289 1290 1291 1292 1293 1294 1295 1296 1297 1298 1299 1300 1301 1302 1303 1304 1305 1306 1307 1308 1309 1310 1311 1312 1313 1314 1315 1316 1317 1318 1319 1320 1321 1322 1323 1324 1325 1326 1327 1328 1329 1330 1331 1332 1333 1334 1335 1336 1337 1338 1339 1340 1341 1342 1343 1344 1345 1346 1347 1348 1349 1350 1351 1352 1353 1354 1355 1356 1357 1358 1359 1360 1361 1362 1363 1364 1365 1366 1367 1368 1369 1370 1371 1372 1373 1374 1375 1376 1377 1378 1379 1380 1381 1382 1383 1384 1385 1386 1387 1388 1389 1390 1391 1392 1393 1394 1395 1396 1397 1398 1399 1400 1401 1402 1403 1404 1405 1406 1407 1408 1409 1410 1411 1412 1413 1414 1415 1416 1417 1418 1419 1420 1421 1422 1423 1424 1425 1426 1427 1428 1429 1430 1431 1432 1433 1434 1435 1436 1437 1438 1439 1440 1441 1442 1443 1444 1445 1446 1447 1448 1449 1450 1451 1452 1453 1454 1455 1456 1457 1458 1459 1460 1461 1462 1463 1464 1465 1466 1467 1468 1469 1470 1471 1472 1473 1474 1475 1476 1477 1478 1479 1480 1481 1482 1483 1484 1485 1486 1487 1488 1489 1490 1491 1492 1493 1494 1495 1496 1497 1498 1499 1500 1501 1502 1503 1504 1505 1506 1507 1508 1509 1510 1511 1512 1513 1514 1515 1516 1517 1518 1519 1520 1521 1522 1523 1524 1525 1526 1527 1528 1529 1530 1531 1532 1533 1534 1535 1536 1537 1538 1539 1540 1541 1542 1543 1544 1545 1546 1547 1548 1549 1550 1551 1552 1553 1554 1555 1556 1557 1558 1559 1560 1561 1562 1563 1564 1565 1566 1567 1568 1569 1570 1571 1572 1573 1574 1575 1576 1577 1578 1579 1580 1581 1582 1583 1584 1585 1586 1587 1588 1589 1590 1591 1592 1593 1594 1595 1596 1597 1598 1599 1600 1601 1602 1603 1604 1605 1606 1607 1608 1609 1610 1611 1612 1613 1614 1615 1616 1617 1618 1619 1620 1621 1622 1623 1624 1625 1626 1627 1628 1629 1630 1631 1632 1633 1634 1635 1636 1637 1638 1639 1640 1641 1642 1643 1644 1645 1646 1647 1648 1649 1650 1651 1652 1653 1654 1655 1656 1657 1658 1659 1660 1661 1662 1663 1664 1665 1666 1667 1668 1669 1670 1671 1672 1673 1674 1675 1676 1677 1678 1679 1680 1681 1682 1683 1684 1685 1686 1687 1688 1689 1690 1691 1692 1693 1694 1695 1696 1697 1698 1699 1700 1701 1702 1703 1704 1705 1706 1707 1708 1709 1710 1711 1712 1713 1714 1715 1716 1717 1718 1719 1720 1721 1722 1723 1724 1725 1726 1727 1728 1729 1730 1731 1732 1733 1734 1735 1736 1737 1738 1739 1740 1741 1742 1743 1744 1745 1746 1747 1748 1749 1750 1751 1752 1753 1754 1755 1756 1757 1758 1759 1760 1761 1762 1763 1764 1765 1766 1767 1768 1769 1770 1771 1772 1773 1774 1775 1776 1777 1778 1779 1780 1781 1782 1783 1784 1785 1786 1787 1788 1789 1790 1791 1792 1793 1794 1795 1796 1797 1798 1799 1800 1801 1802 1803 1804 1805 1806 1807 1808 1809 1810 1811 1812 1813 1814 1815 1816 1817 1818 1819 1820 1821 1822 1823 1824 1825 1826 1827 1828 1829 1830 1831 1832 1833 1834 1835 1836 1837 1838 1839 1840 1841 1842 1843 1844 1845 1846 1847 1848 1849 1850 1851 1852 1853 1854 1855 1856 1857 1858 1859 1860 1861 1862 1863 1864 1865

BOARD OF ELECTIONS AFFIDAVIT

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СЛУЖБА ЗАШТИТЕ И СПАСАВАЊА

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LEGAL SUBDIVISION MAP

FOR
EAGLE VILLAGE CONDOMINIUMS
PHASE 1
(A PLANNED UNIT DEVELOPMENT)

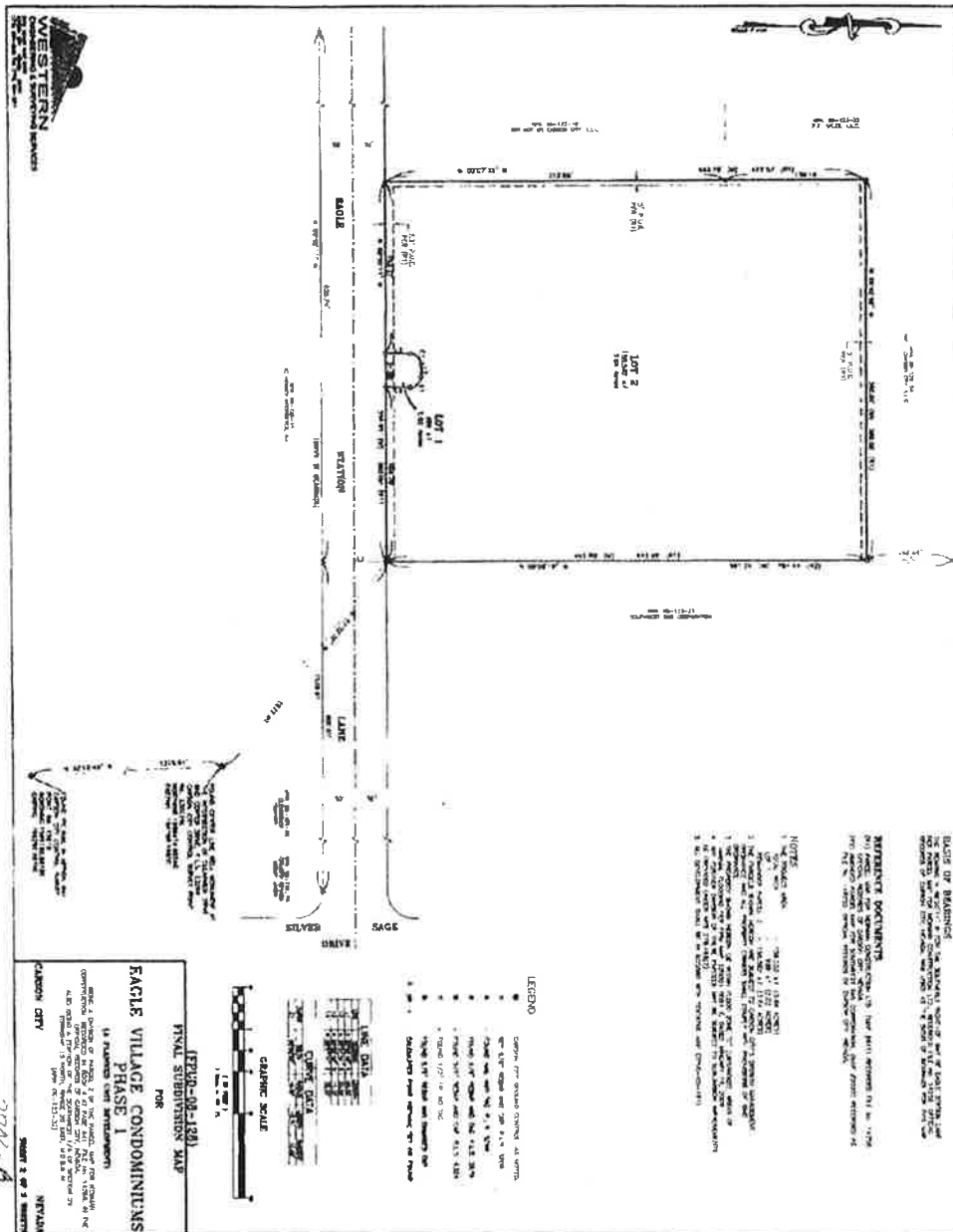


Exhibit A (Revised 06-05-14)

**CALIFORNIA LAND TITLE ASSOCIATION
STANDARD COVERAGE POLICY – 1990 (04-08-14)**

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
 - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
 - (c) resulting in no loss or damage to the insured claimant;
 - (d) attaching or created subsequent to Date of Policy; or
 - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.

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Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.

2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
3. Easements, liens or encumbrances, or claims thereof, not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

CLTA HOMEOWNER'S POLICY OF TITLE INSURANCE (12-02-13)
ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE

EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of those portions of any law or government regulation concerning:
 - a. building;
 - b. zoning;
 - c. land use;
 - d. improvements on the Land;
 - e. land division; and
 - f. environmental protection.

This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.

2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
3. The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
4. Risks:
 - a. that are created, allowed, or agreed to by You, whether or not they are recorded in the Public Records;
 - b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date;
 - c. that result in no loss to You; or
 - d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e., 25, 26, 27 or 28.
5. Failure to pay value for Your Title.
6. Lack of a right:
 - a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and
 - b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 21.

7. The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

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8. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
9. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	<u>Your Deductible Amount</u>	<u>Our Maximum Dollar Limit of Liability</u>
	1.00% of Policy Amount Shown in Schedule A or \$2,500.00	
Covered Risk 16:	(whichever is less)	\$10,000.00
	1.00% of Policy Amount Shown in Schedule A or \$5,000.00	
Covered Risk 18:	(whichever is less)	\$25,000.00
	1.00% of Policy Amount Shown in Schedule A or \$5,000.00	
Covered Risk 19:	(whichever is less)	\$25,000.00
	1.00% of Policy Amount Shown in Schedule A or \$2,500.00	
Covered Risk 21:	(whichever is less)	\$5,000.00

2006 ALTA LOAN POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;

or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13 or 14); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.

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4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
6. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

Except as provided in Schedule B - Part II, this policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of:

PART I

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the Public Records.

PART II

In addition to the matters set forth in Part I of this Schedule, the Title is subject to the following matters, and the Company insures against loss or damage sustained in the event that they are not subordinate to the lien of the Insured Mortgage:

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

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1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.

 (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees or expenses, that arise by reason of:

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown in the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.

4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and that are not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the Public Records.
7. Variable exceptions such as taxes, easements, CC&R's, etc. shown here.

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (12-02-13)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 5, 6, 13(c), 13(d), 14 or 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 28); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state where the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury, or any consumer credit protection or truth-in-lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11(b) or 25.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in

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accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.

9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
 - (a) a fraudulent conveyance or fraudulent transfer, or
 - (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.
10. Contamination, explosion, fire, flooding, vibration, fracturing, earthquake, or subsidence.
11. Negligence by a person or an Entity exercising a right to extract or develop minerals, water, or any other substances.

Note: Notice of Available Title Insurance and Escrow Discounts

Your transaction may qualify for one of the discounts shown below. In order to receive these discounts, you will need to contact your escrow officer or a company representative to determine if you qualify and to request the discount. Your escrow officer or company representative will provide a full description of the terms, conditions and requirements associated with each discount.

Available Title Insurance Discounts (These discounts will apply to all transactions where the company is issuing a policy of title insurance, including such transactions where the company is not providing escrow closing services.)

CREDIT FOR PRELIMINARY TITLE REPORTS AND/OR COMMITMENT CANCELLATION CHARGES ON SUBSEQUENT POLICIES

Where an order was cancelled and no major change in the title has occurred since the issuance of the original report or commitment, and the order is reopened within 24 - 36 months, all or a portion of the charge previously paid upon the cancellation of the report or commitment may be credited on a subsequent policy charge.

SHORT TERM RATE

The Short Term Rate is a reduction of the applicable insurance rate which is allowable only when the current order is placed within 60 months from the date of issuance of a prior policy of title insurance to the vested owner or an assignee of the interest insured. The short term rate is 80% of the Basic Rate. Unless otherwise stated, the reduction only applies to policies priced at 80% or greater of the basic rate. This reduction does not apply to Short Sale transactions or to any surcharge calculated on the basic rate.

PRIOR POLICY DISCOUNT (APPLICABLE TO ZONE 2, DIRECT OPERATIONS ONLY)

The Prior Policy Discount will apply when a seller or borrower provides a copy of their owner's policy upon opening escrow. The prior policy rate is 70% of the applicable owner's title premium. This discount may not be used in combination with any other discount and can only be used in transactions involving property located in Zone 2 (Zone 2 includes all Nevada counties except Clark, Lincoln and Nye) that are handled by a direct operation of the FNF Family of Companies.

CHURCHES OR CHARITABLE NON-PROFIT ORGANIZATIONS

On properties used as a church or for charitable purposes within the scope of the normal activities of such entities the charge for a policy shall be 50% to 70% of the appropriate title insurance rate, depending on the type of coverage selected. This discount shall not apply to charges for loan policies issued concurrently with an owner's policy.

EMPLOYEE RATE

No charge shall be made to employees of the Company, its subsidiary or affiliated companies (including employees on approved retirement) for policies issued in connection with financing, refinancing, sale or purchase of the employee's bonafide home property. Waiver of such charges is authorized only in connection with those costs which the employee would be obligated to pay, by established custom, as a party to the transaction.

INVESTOR RATE

This rate is available for individuals, groups of individuals or entities customarily engaged in real estate investments. The parties must provide reasonable proof that they currently hold title to or have transferred title to three (3) or more investment properties in the State of Nevada within the past twelve (12) months to qualify for this rate. On a sale transaction, the investor rate is 70% of the basic rate. This reduction does not apply to any surcharge calculated on the basic rate. On a refinance transaction or where the investor is obtaining a loan subsequent to a purchase, the rate shall be 85% of the applicable rate with a minimum charge of \$385.00. The loan discount shall only apply to transactions priced under Section 5.1 B (1b) of the title insurance rate manual. This rate is available upon request only.

Available Escrow Discounts These discounts will apply only to the escrow fee portion of your settlement charges, and the discounts will apply only if the company is issuing a policy of title insurance in conjunction with providing escrow services.

SENIOR CITIZEN RATE

If a valid identification is provided, principals to a given transaction who qualify as Senior Citizens (55 year of age and over) shall be charged 70% of their portion of the escrow fee wherein a valid identification is provided. This discount shall only apply on residential resale transactions wherein the principal resides in the subject property. This discount may not be used in combination with any other escrow rate discount. This rate is available upon request only.

MILITARY DISCOUNT

Any person on active military duty or a Veteran of the U.S. Armed Forces shall be charged 80% of their portion of the escrow fee. A copy of a current military identification card or a copy of the DD-214 (Certificate of Release or Discharge from Active Duty) must be provided. This discount may not be used in combination with any other discount. This rate is for sale transaction and it is available upon request only.

FIRST TIME HOMEBUYER RATE (APPLICABLE TO ZONE 2 ONLY)

A first time homebuyer of an owner-occupied residential property shall be charged 75% of their portion of the escrow fee, provided reasonable evidence is presented that this is their first home. Applies to all counties **except** Clark, Lincoln and Nye. This discount may not be used in combination with any other discount. This rate is for sale transactions and it is available upon request only.

EMPLOYEE RATES

An employee will not be charged an escrow fee for the purchase, sale or refinance of the employee's primary residence. The employee must be a principal to the transaction and the request for waiver of fees must be submitted to Management prior to approval.

INVESTOR RATE

This rate is available for individuals, groups of individuals or entities customarily engaged in real estate transactions. The parties must provide reasonable proof that they currently hold title to or have transferred title to three (3) or more investment properties within the State of Nevada within the past twelve (12) months to qualify for this rate. The charge is 70% of their portion of the escrow fee. This discount may not be used in combination with any other discount. This rate is for sale transactions and it is available upon request, only.

FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Fidelity National Financial, Inc. and its majority-owned subsidiary companies providing real estate- and loan-related services (collectively, "FNF", "our" or "we") respect and are committed to protecting your privacy. This Privacy Notice lets you know how and for what purposes your Personal Information (as defined herein) is being collected, processed and used by FNF. We pledge that we will take reasonable steps to ensure that your Personal Information will only be used in ways that are in compliance with this Privacy Notice. The provision of this Privacy Notice to you does not create any express or implied relationship, or create any express or implied duty or other obligation, between Fidelity National Financial, Inc. and you. See also **No Representations or Warranties** below.

This Privacy Notice is only in effect for any generic information and Personal Information collected and/or owned by FNF, including collection through any FNF website and any online features, services and/or programs offered by FNF (collectively, the "Website"). This Privacy Notice is not applicable to any other web pages, mobile applications, social media sites, email lists, generic information or Personal Information collected and/or owned by any entity other than FNF.

How Information is Collected

The types of personal information FNF collects may include, among other things (collectively, "Personal Information"): (1) contact information (e.g., name, address, phone number, email address); (2) demographic information (e.g., date of birth, gender marital status); (3) Internet protocol (or IP) address or device ID/UDID; (4) social security number (SSN), student ID (SIN), driver's license, passport, and other government ID numbers; (5) financial account information; and (6) information related to offenses or criminal convictions.

In the course of our business, we may collect Personal Information about you from the following sources:

- Applications or other forms we receive from you or your authorized representative;
- Information we receive from you through the Website;
- Information about your transactions with or services performed by us, our affiliates, or others; and
- From consumer or other reporting agencies and public records maintained by governmental entities that we either obtain directly from those entities, or from our affiliates or others.

Additional Ways Information is Collected Through the Website

Browser Log Files. Our servers automatically log each visitor to the Website and collect and record certain information about each visitor. This information may include IP address, browser language, browser type, operating system, domain names, browsing history (including time spent at a domain, time and date of your visit), referring/exit web pages and URLs, and number of clicks. The domain name and IP address reveal nothing personal about the user other than the IP address from which the user has accessed the Website.

Cookies. From time to time, FNF or other third parties may send a "cookie" to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive and that can be re-sent to the serving website on subsequent visits. A cookie, by itself, cannot read other data from your hard disk or read other cookie files already on your computer. A cookie, by itself, does not damage your system. We, our advertisers and other third parties may use cookies to identify and keep track of, among other things, those areas of the Website and third party websites that you have visited in the past in order to enhance your next visit to the Website. You can choose whether or not to accept cookies by changing the settings of your Internet browser, but some functionality of the Website may be impaired or not function as intended. See the **Third Party Opt Out** section below.

Web Beacons. Some of our web pages and electronic communications may contain images, which may or may not be visible to you, known as Web Beacons (sometimes referred to as "clear gifs"). Web Beacons collect only limited information that includes a cookie number; time and date of a page view; and a description of the page on which the Web Beacon resides. We may also carry Web Beacons placed by third party advertisers. These Web Beacons do not carry any Personal Information and are only used to track usage of the Website and activities associated with the Website. See the **Third Party Opt Out** section below.

Unique Identifier. We may assign you a unique internal identifier to help keep track of your future visits. We may use this information to gather aggregate demographic information about our visitors, and we may use it to personalize the information you see on the Website and some of the electronic communications you receive from us. We keep this information for our internal use, and this information is not shared with others.

Third Party Opt Out. Although we do not presently, in the future we may allow third-party companies to serve advertisements and/or collect certain anonymous information when you visit the Website. These companies may use non-personally identifiable information (e.g., click stream information, browser type, time and date, subject of advertisements clicked or scrolled over) during your visits to the Website in order to provide advertisements about products and services likely to be of greater interest to you. These companies typically use a cookie or third party Web Beacon to collect this information, as further described above. Through these technologies, the third party may have access to and use non-personalized information about your online usage activity.

You can opt-out of certain online behavioral services through any one of the ways described below. After you opt-out, you may continue to receive advertisements, but those advertisements will no longer be as relevant to you.

- You can opt-out via the Network Advertising Initiative industry opt-out at <http://www.networkadvertising.org/>.
- You can opt-out via the Consumer Choice Page at <http://www.aboutads.info>.
- For those in the U.K., you can opt-out via the IAB UK's industry opt-out at <http://www.youronlinechoices.com>.
- You can configure your web browser (Chrome, Firefox, Internet Explorer, Safari, etc.) to delete and/or control the use of cookies.

More information can be found in the Help system of your browser. Note: If you opt-out as described above, you should not delete your cookies. If you delete your cookies, you will need to opt-out again.

Use of Personal Information

Information collected by FNF is used for three main purposes:

- To provide products and services to you or one or more third party service providers (collectively, "Third Parties") who are obtaining services on your behalf or in connection with a transaction involving you.
- To improve our products and services that we perform for you or for Third Parties.
- To communicate with you and to inform you about FNF's, FNF's affiliates and third parties' products and services.

When Information Is Disclosed By FNF

We may provide your Personal Information (excluding information we receive from consumer or other credit reporting agencies) to various individuals and companies, as permitted by law, without obtaining your prior authorization. Such laws do not allow consumers to restrict these disclosures. Disclosures may include, without limitation, the following:

- To agents, brokers, representatives, or others to provide you with services you have requested, and to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure in connection with an insurance transaction;
- To third-party contractors or service providers who provide services or perform marketing services or other functions on our behalf;
- To law enforcement or other governmental authority in connection with an investigation, or civil or criminal subpoenas or court orders; and/or
- To lenders, lien holders, judgment creditors, or other parties claiming an encumbrance or an interest in title whose claim or interest must be determined, settled, paid or released prior to a title or escrow closing.

In addition to the other times when we might disclose information about you, we might also disclose information when required by law or in the good-faith belief that such disclosure is necessary to: (1) comply with a legal process or applicable laws; (2) enforce this Privacy Notice; (3) respond to claims that any materials, documents, images, graphics, logos, designs, audio, video and any other information provided by you violates the rights of third parties; or (4) protect the rights, property or personal safety of FNF, its users or the public.

We maintain reasonable safeguards to keep the Personal Information that is disclosed to us secure. We provide Personal Information and non-Personal Information to our subsidiaries, affiliated companies, and other businesses or persons for the purposes of processing such information on our behalf and promoting the services of our trusted business partners, some or all of which may store your information on servers outside of the United States. We require that these parties agree to process such information in compliance with our Privacy Notice or in a similar, industry-standard manner, and we use reasonable efforts to limit their use of such information and to use other appropriate confidentiality and security measures. The use of your information by one of our trusted business partners may be subject to that party's own Privacy Notice. We do not, however, disclose information we collect from consumer or credit reporting agencies with our affiliates or others without your consent, in conformity with applicable law, unless such disclosure is otherwise permitted by law.

We also reserve the right to disclose Personal Information and/or non-Personal Information to take precautions against liability, investigate and defend against any third-party claims or allegations, assist government enforcement agencies, protect the security or integrity of the Website, and protect the rights, property, or personal safety of FNF, our users or others.

We reserve the right to transfer your Personal Information, as well as any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets. We also cannot make any representations regarding the use or transfer of your Personal Information or other information that we may have in the event of our bankruptcy, reorganization, insolvency, receivership or an assignment for the benefit of creditors, and you expressly agree and consent to the use and/or transfer of your Personal Information or other information in connection with a sale or transfer of some or all of our assets in any of the above described proceedings. Furthermore, we cannot and will not be responsible for any breach of security by any third parties or for any actions of any third parties that receive any of the information that is disclosed to us.

Information From Children

We do not collect Personal Information from any person that we know to be under the age of thirteen (13). Specifically, the Website is not intended or designed to attract children under the age of thirteen (13). You affirm that you are either more than 18 years of age, or an emancipated minor, or possess legal parental or guardian consent, and are fully able and competent to enter into the terms, conditions, obligations, affirmations, representations, and warranties set forth in this

Privacy Notice, and to abide by and comply with this Privacy Notice. In any case, you affirm that you are over the age of 13, as **THE WEBSITE IS NOT INTENDED FOR CHILDREN UNDER 13 THAT ARE UNACCOMPANIED BY HIS OR HER PARENT OR LEGAL GUARDIAN.**

Parents should be aware that FNF's Privacy Notice will govern our use of Personal Information, but also that information that is voluntarily given by children – or others – in email exchanges, bulletin boards or the like may be used by other parties to generate unsolicited communications. FNF encourages all parents to instruct their children in the safe and responsible use of their Personal Information while using the Internet.

Privacy Outside the Website

The Website may contain various links to other websites, including links to various third party service providers. FNF is not and cannot be responsible for the privacy practices or the content of any of those other websites. Other than under agreements with certain reputable organizations and companies, and except for third party service providers whose services either we use or you voluntarily elect to utilize, we do not share any of the Personal Information that you provide to us with any of the websites to which the Website links, although we may share aggregate, non-Personal Information with those other third parties. Please check with those websites in order to determine their privacy policies and your rights under them.

European Union Users

If you are a citizen of the European Union, please note that we may transfer your Personal Information outside the European Union for use for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information, you consent to both our collection and such transfer of your Personal Information in accordance with this Privacy Notice.

Choices With Your Personal Information

Whether you submit Personal Information to FNF is entirely up to you. You may decide not to submit Personal Information, in which case FNF may not be able to provide certain services or products to you.

You may choose to prevent FNF from disclosing or using your Personal Information under certain circumstances ("opt out"). You may opt out of any disclosure or use of your Personal Information for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization by notifying us by one of the methods at the end of this Privacy Notice. Furthermore, even where your Personal Information is to be disclosed and used in accordance with the stated purposes in this Privacy Notice, you may elect to opt out of such disclosure to and use by a third party that is not acting as an agent of FNF. As described above, there are some uses from which you cannot opt-out.

Please note that opting out of the disclosure and use of your Personal Information as a prospective employee may prevent you from being hired as an employee by FNF to the extent that provision of your Personal Information is required to apply for an open position.

If FNF collects Personal Information from you, such information will not be disclosed or used by FNF for purposes that are incompatible with the purpose(s) for which it was originally collected or for which you subsequently gave authorization unless you affirmatively consent to such disclosure and use.

You may opt out of online behavioral advertising by following the instructions set forth above under the above section "Additional Ways That Information Is Collected Through the Website," subsection "Third Party Opt Out."

Access and Correction

To access your Personal Information in the possession of FNF and correct inaccuracies of that information in our records, please contact us in the manner specified at the end of this Privacy Notice. We ask

individuals to identify themselves and the information requested to be accessed and amended before processing such requests, and we may decline to process requests in limited circumstances as permitted by applicable privacy legislation.

Your California Privacy Rights

Under California's "Shine the Light" law, California residents who provide certain personally identifiable information in connection with obtaining products or services for personal, family or household use are entitled to request and obtain from us once a calendar year information about the customer information we shared, if any, with other businesses for their own direct marketing uses. If applicable, this information would include the categories of customer information and the names and addresses of those businesses with which we shared customer information for the immediately prior calendar year (e.g., requests made in 2015 will receive information regarding 2014 sharing activities).

To obtain this information on behalf of FNF, please send an email message to privacy@fnf.com with "Request for California Privacy Information" in the subject line and in the body of your message. We will provide the requested information to you at your email address in response.

Please be aware that not all information sharing is covered by the "Shine the Light" requirements and only information on covered sharing will be included in our response.

Additionally, because we may collect your Personal Information from time to time, California's Online Privacy Protection Act requires us to disclose how we respond to "do not track" requests and other similar mechanisms. Currently, our policy is that we do not recognize "do not track" requests from Internet browsers and similar devices.

FNF Compliance with California Online Privacy Protection Act

For some websites which FNF or one of its companies owns, such as the Customer CareNet ("CCN"), FNF is acting as a third party service provider to a mortgage loan servicer. In those instances, we may collect certain information on behalf of that mortgage loan servicer for fulfilling a service to that mortgage loan servicer. For example, you may access CCN to complete a transaction with your mortgage loan servicer. During this transaction, the information which we may collect on behalf of the mortgage loan servicer is as follows:

- First and Last Name
- Property Address
- User Name
- Password
- Loan Number
- Social Security Number - masked upon entry
- Email Address
- Three Security Questions and Answers
- IP Address

The information you submit is then transferred to your mortgage loan servicer by way of CCN.

The mortgage loan servicer is responsible for taking action or making changes to any consumer information submitted through this website. For example, if you believe that your payment or user information is incorrect, you must contact your mortgage loan servicer.

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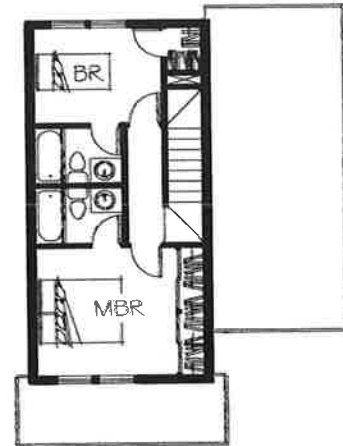
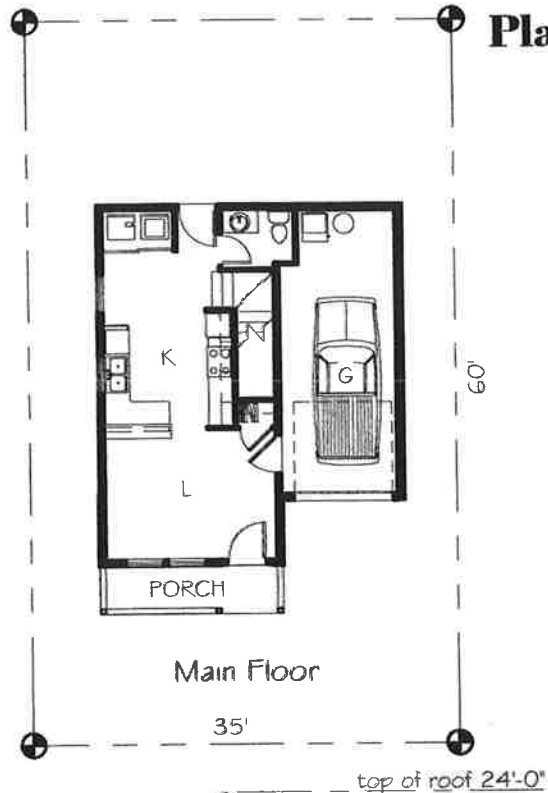
Fidelity National Financial, Inc.
601 Riverside Avenue
Jacksonville, Florida 32204
Attn: Chief Privacy Officer
(888) 934-3354
privacy@fnf.com

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EFFECTIVE AS OF: MAY 1, 2015

Jackson Village

Plan 1510.10



Elevation

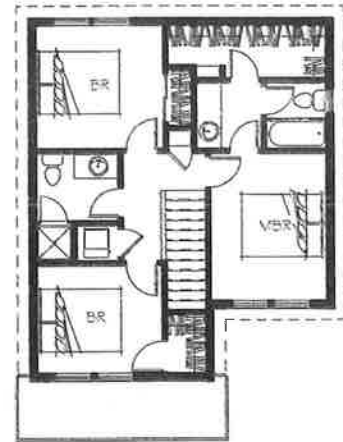
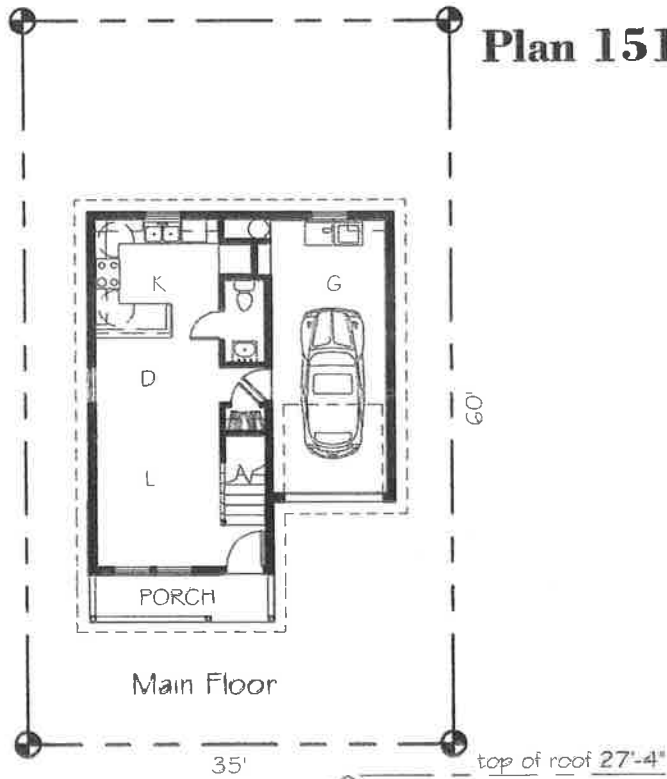
dws

Plan 1510.10

Main Floor	460 sf
Upper Floor	405 sf
Total	865 sf
Garage/Storage	242 sf

Jackson Village

Plan 1510.20



rlws

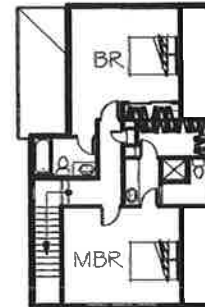
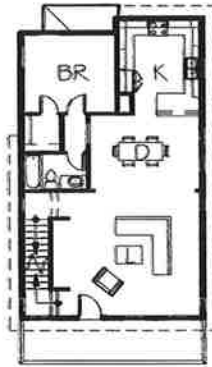
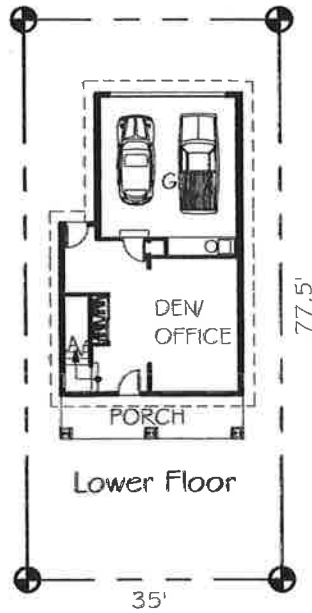
Elevation

Plan 1510.20

Main Floor	663 sf
Upper Floor	443 sf
Total	1,106 sf
 Garage/Storage	 256 sf

Jackson Village

Plan 1510.30



Elevation

Plan 1510.30

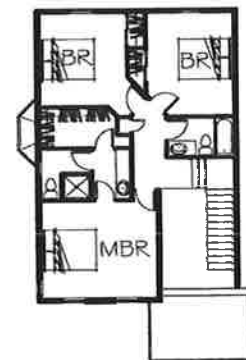
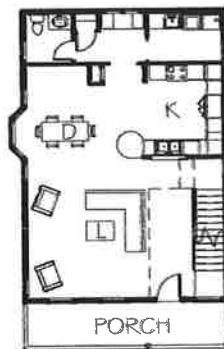
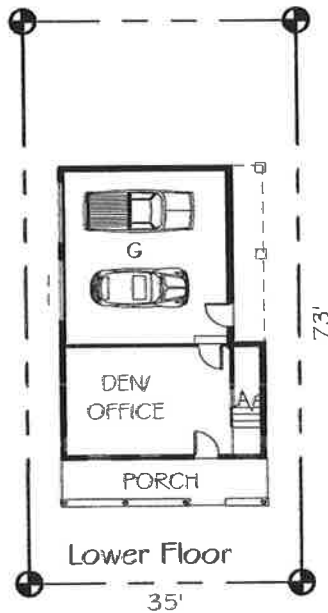
Lower Floor	528 sf
Main Floor	1,024 sf
Upper Floor	834 sf
Total	2,386 sf
 Garage/Storage	 432 sf

dws

10/10/10

Jackson Village

Plan 1510.40



Elevation

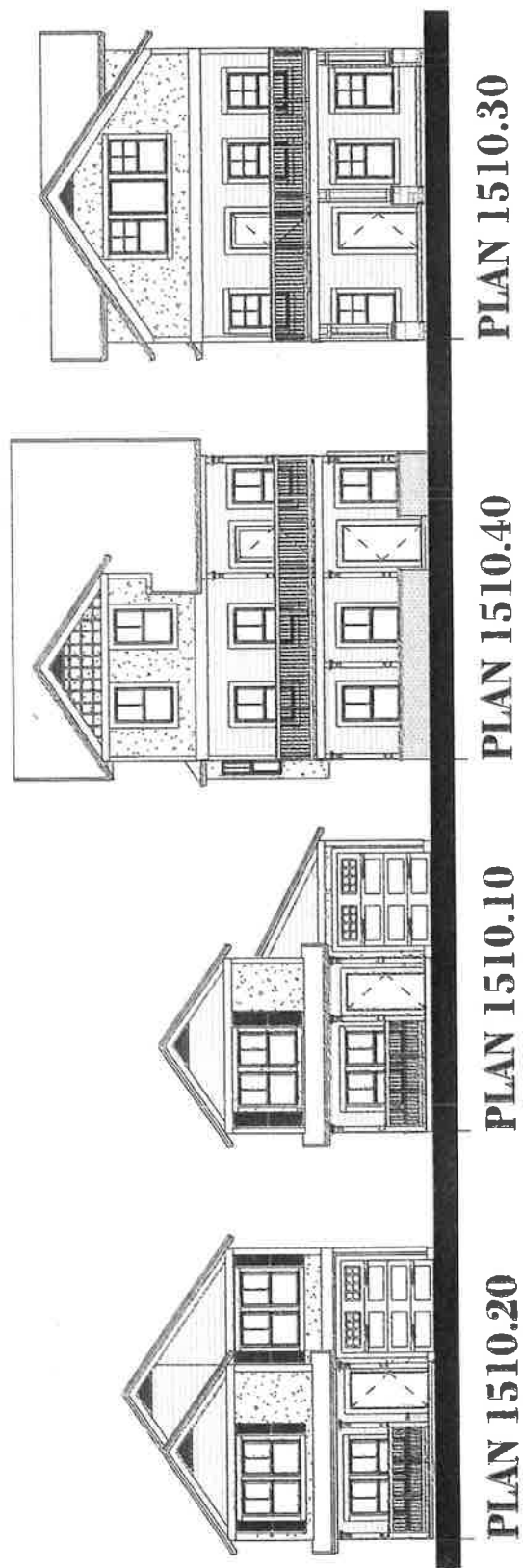
dws

Plan 1510.40

Lower Floor	387 sf
Main Floor	959 sf
Upper Floor	827 sf
Total	2,173 sf
Garage/Storage	517 sf

JACKSON VILLAGE

Street Scape



July 23, 2015

Rory Hogen
 Carson City Engineering
 108 East Proctor Street
 Carson City, NV 89701

Re: Conceptual Drainage Analysis Summary for Jackson Village Tentative Map

Dear Rory,

This letter is a summary of the conceptual drainage analysis completed as part of the Jackson Village Tentative Map submittal. Jackson Village is a proposed residential development located on the north side of Eagle Station Lane between South Carson Street and Silver Sage Drive in Carson City, Nevada (APN: 009-123-38 & 39). The proposed 41 unit single-family development will be constructed on the vacant 3.66 acre site.

The area has been previously mass graded and generally drains from southwest to northeast. This existing drainage pattern will be retained with the proposed roads, lots, parking, and common areas graded to drain to a low point in the northeast corner where a detention basin is proposed. Storm drain facilities within roadway will outlet to the detention basin. Currently an approximately 6 feet tall masonry sound/retaining wall bounds the site on the west, east, and north sides. This wall is anticipated to remain in place except where an emergency overflow passage will be constructed for the detention basin. The controlled outlet of the basin will attenuate runoff from storm events and convey storm water at pre-development or lower flow rates through proposed piping to an existing 24" storm drain pipe within Koontz Lane. The emergency overflow drainage will follow the general pre-development drainage path through the parcel to the north; a drainage and maintenance easement is proposed for this parcel for conveyance of the runoff in storm events in excess of the design storm and maintenance of the proposed storm drain pipe. The site is currently un-vegetated so the proposed development will greatly benefit the erosion control measures by installing temporary and permanent BMPs and landscaping.

Below is a summary table of the Rational Method conceptual drainage analysis for this site as a single basin with an assumed time of concentration of 10 minutes:

Storm Event	C	i (in/hr)	A (acres)	Q (cfs)
Existing 5-year	0.20	1.46	3.66	1.07
Existing 100-year	0.50	3.54	3.66	6.48
Proposed 5-year	0.54	1.46	3.66	2.89
Proposed 100-year	0.72	3.54	3.66	9.33

The proposed development will improve the existing on site drainage condition by reducing peak runoff, enhancing erosion control, and providing an engineered emergency overflow path. A final, comprehensive drainage analysis will be performed at the final design stage.

If you have any questions or concerns please contact us at 775-746-3500.

Sincerely,

MANHARD CONSULTING

Daniel C. Birchfield, P.E., LEED AP
Project Manager



SOLAEGUI
ENGINEERS

July 17, 2015

Patrick Pittenger
Carson City Public Works
3505 Butti Way
Carson City, Nevada 89701

RE: Jackson Village

Dear Patrick:

At the request of our client we are providing this traffic engineering information for the proposed Jackson Village residential development in Carson City, Nevada. The project site is located on the north side of Eagle Station Lane directly east of the Kohl's store and north of the JC Penney's store. Figure 1 shows the location of the project site. The project will include the construction of a residential development containing a total of 41 single family homes.

The purpose of this letter is to address scope of work items established by Carson City Public Works. This letter includes trip generation, distribution, and assignment calculations; a review of existing and existing plus project turning movement volumes; capacity analysis of the project driveway and JC Penney's and Kohl's driveways for the AM and PM peak hours; and a review of driveway spacing. These items are discussed below.

Trip Generation

Trip generation for the project was calculated based on rates obtained from the Ninth Edition of *ITE Trip Generation* (2012) for Land Use 210: Single Family Detached housing. Trip generation was calculated for the peak hours occurring between 7:00 and 9:00 AM and 4:00 and 6:00 PM. These time periods correspond to the peak hours of adjacent street traffic. The trip generation worksheet is attached. Table 1 shows a summary of the average daily traffic (ADT) volumes and peak hour volumes generated by the proposed land use.

TABLE 1 TRIP GENERATION							
ITE LAND USE	ADT	AM PEAK HOUR			PM PEAK HOUR		
		IN	OUT	TOTAL	IN	OUT	TOTAL
Single Family (41 Dwelling Units)	390	8	23	31	26	15	41

Trip Distribution and Assignment

The distribution of the project traffic to the key intersections was estimated based on a review of existing peak hour traffic patterns and the locations of attractions and productions in the area. It is estimated that the trip distribution will be 60% to/from the west and 40% to/from the east. The project trips shown in Table 1 were subsequently assigned to the driveways based on these percentages. Figure 2 shows the trip distribution and trip assignment.

Existing and Projected Traffic Volumes

Existing peak hour turning movement volumes at the driveways were obtained from traffic counts taken during May of 2015. The project driveway is constructed but is currently gated. Figure 3 shows the existing turning movement volumes for the AM and PM peak hours. Figure 4 shows the existing plus project turning movement volumes during the AM and PM peak hours. The existing plus project turning movement volumes were obtained by adding the trip assignment volumes shown on Figure 2 to the existing turning movement volumes shown on Figure 3.

Intersection Capacity Analysis

The three driveways were analyzed for capacity based on procedures presented in the *Highway Capacity Manual* (2010), prepared by the Transportation Research Board, for unsignalized intersections. The most current version of the Highway Capacity Computer Software was used.

The result of capacity analysis is a level of service (LOS) rating for each unsignalized intersection minor movement. Level of service is a qualitative measure of traffic operating conditions where a letter grade "A" through "F", corresponding to progressively worsening traffic operation, is assigned to the minor movement.

The *Highway Capacity Manual* defines level of service for stop controlled intersections in terms of computed or measured control delay for each minor movement. Level of service is not defined for the intersection as a whole. The level of service criteria for unsignalized intersections is shown in Table 2.

TABLE 2 LEVEL OF SERVICE CRITERIA FOR UNSIGNALIZED INTERSECTIONS	
LEVEL OF SERVICE	DELAY RANGE (SEC/VEH)
A	≤10
B	>10 and ≤15
C	>15 and ≤25
D	>25 and ≤35
E	>35 and ≤50
F	>50

Table 3 shows the level of service and delay results at the driveways for the existing and existing plus project scenarios. The capacity worksheets are attached.

TABLE 3 INTERSECTION LEVEL OF SERVICE AND DELAY RESULTS				
INTERSECTION	EXISTING		EXIST. + PROJECT	
	AM	PM	AM	PM
Eagle Station & JC Penney's Driveway WB Left NB Left-Right	A7.3 A8.9	A7.6 B10.7	A7.3 A9.0	A7.7 B10.9
Eagle Station & Kohl's Driveway EB Left SB Left-Right	A7.3 A8.6	A7.5 B10.3	A7.4 A8.7	A7.5 B10.5
Eagle Station & Project Driveway EB Left SB Left-Right	N/A N/A	N/A N/A	A7.3 A8.9	A7.6 A9.7

The **Eagle Station Lane/JC Penney's Driveway** intersection was analyzed for capacity as an unsignalized three-leg intersection with stop control at the south approach for the existing and existing plus project turning movement volumes. The intersection minor movements currently operate at LOS B or better during the AM and PM peak hours. For the existing plus project scenario the intersection minor movements continue to operate at LOS B or better during the AM and PM peak hours. The intersection was analyzed with the existing lanes which include one left turn lane and one through lane at the east approach, one shared through-right turn lane at the west approach, and one shared left turn-right turn lane at the south approach.

The **Eagle Station Lane/Kohl's Driveway** intersection was analyzed for capacity as an unsignalized three-leg intersection with stop control at the north approach for the existing and existing plus project turning movement volumes. The intersection minor movements currently operate at LOS B or better during the AM and PM peak hours. For the existing plus project scenario the intersection minor movements continue to operate at LOS B or better during the AM and PM peak hours. The intersection was analyzed with the existing lanes which include one left turn lane and one through lane at the west approach, one shared through-right turn lane at the east approach, and one shared left turn-right turn lane at the north approach.

The **Eagle Station Lane/Project Driveway** intersection was analyzed for capacity as an unsignalized three-leg intersection with stop control at the north approach for the existing plus project turning movement volumes. The intersection minor movements are anticipated to operate at LOS A during the AM and PM peak hours. The intersection was analyzed with the existing lanes which include one left turn lane and one through lane at the west approach, one shared through-right turn lane at the east approach, and one shared left turn-right turn lane at the north approach.


Driveway Spacing

Driveway spacing was subsequently reviewed for the existing driveways on Eagle Station Lane. Carson City standards indicate that the preferred center to center driveway spacing on a collector with a 30 mile per hour speed limit shall be 185 feet and minimum spacing shall be 125 feet. The centerline spacing between the project driveway and the adjacent Kohl's driveway is ± 225 feet which meets Carson City design standards. The centerline spacing between the project driveway and the JC Penney's driveway is over 300 feet which also meets Carson City design standards.

Conclusions

The three key driveways analyzed in this traffic review letter currently operate at acceptable levels of service and will continue to do so with the addition of traffic volumes generated by the residential development. The project driveway is currently constructed and meets spacing requirements from the Kohl's and JC Penney's driveways. No improvements are recommended at the three key driveways on Eagle Station Lane.

We trust that this information will meet your requirements. Please call if you have any questions or comments.

Very truly yours,
SOLAE ENGINEERING LTD

Paul W. Bolaegui
CIVIL
REGISTERED PROFESSIONAL ENGINEER-STATE OF NEVADA
No. 7163
7-17-15
EXP 6-30-16

Enclosures

Letters/Carson City/Jackson Village

Trip Generation Summary - Alternative 1

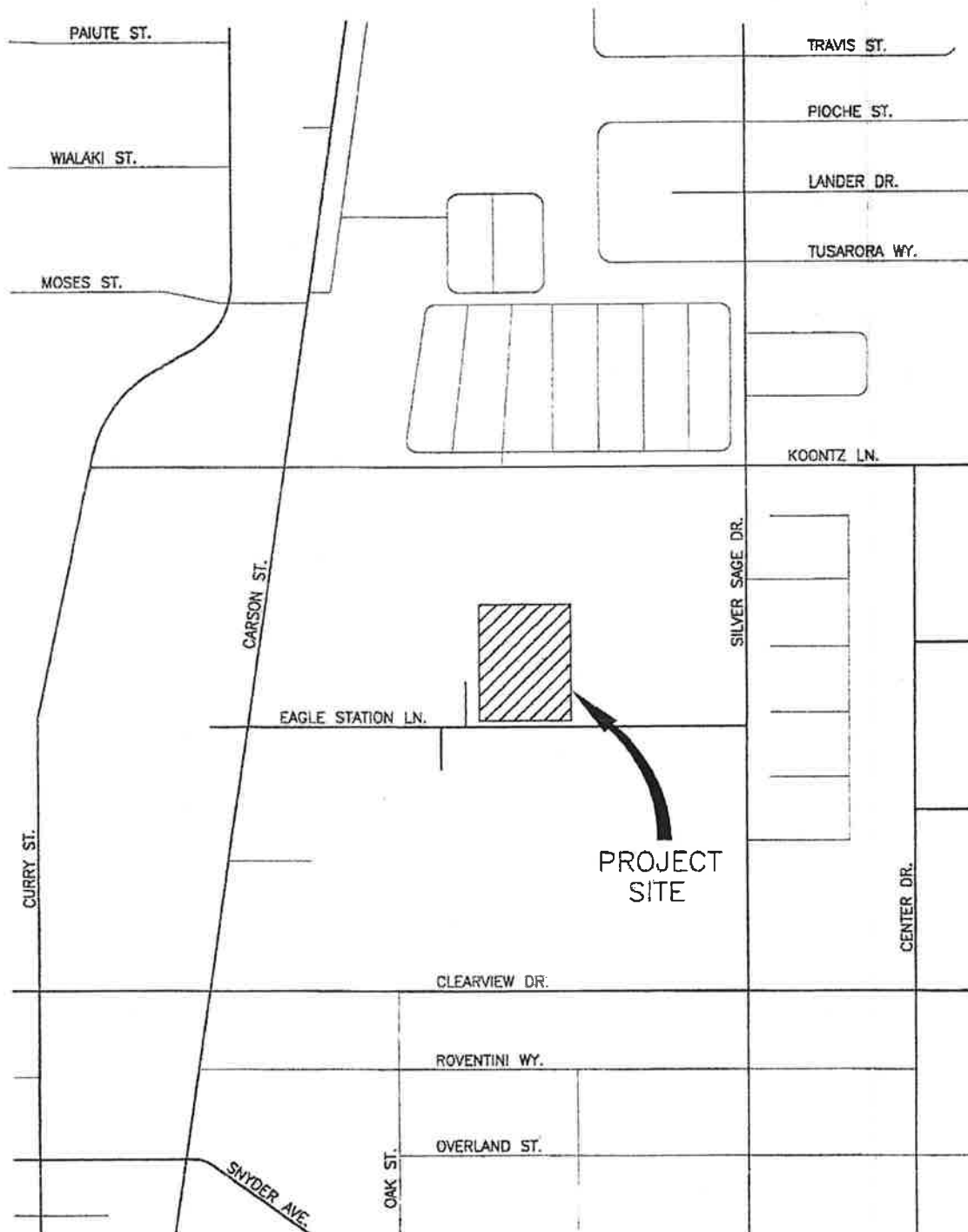
Project: New Project
Alternative: Alternative 1

Open Date: 7/16/2015
Analysis Date: 7/16/2015

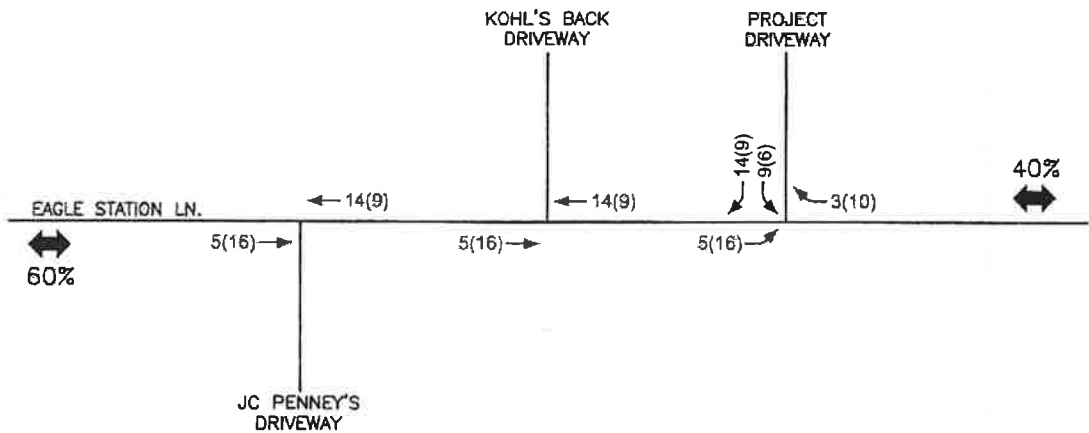
ITE	Land Use	Average Daily Trips			AM Peak Hour of Adjacent Street Traffic			PM Peak Hour of Adjacent Street Traffic		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
210	SFHOUSE 1	195	195	390	8	23	31	26	15	41
	41 Dwelling Units									
Unadjusted Volume		0	0	0	0	0	0	0	0	0
Internal Capture Trips		0	0	0	0	0	0	0	0	0
Pass-By Trips		0	0	0	0	0	0	0	0	0
Volume Added to Adjacent Streets		0	0	0	0	0	0	0	0	0
Total AM Peak Hour Internal Capture = 0 Percent										
Total PM Peak Hour Internal Capture = 0 Percent										

Source: Institute of Transportation Engineers, Trip Generation Manual 9th Edition, 2012

TRIP GENERATION 2014, TRAFFICWARE, LLC

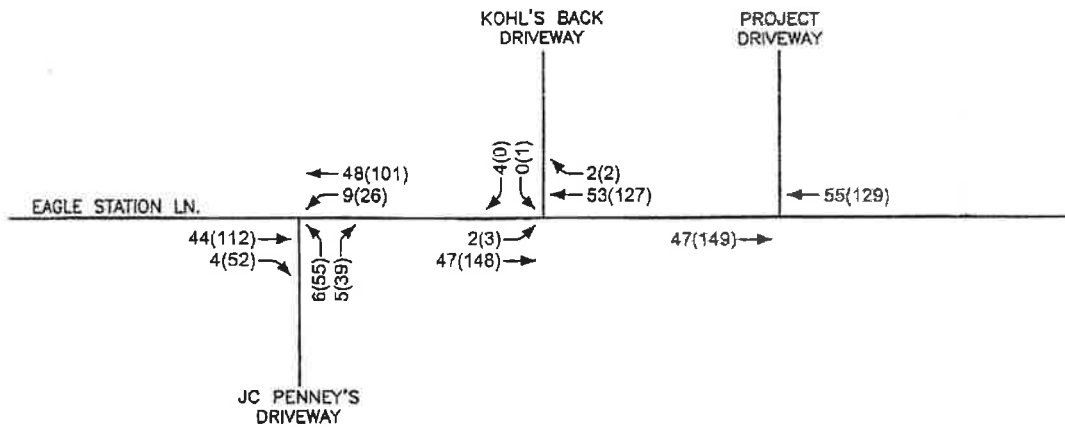


JACKSON VILLAGE
VICINITY MAP
FIGURE 1



LEGEND
 — AM PEAK HOUR
 (—) PM PEAK HOUR

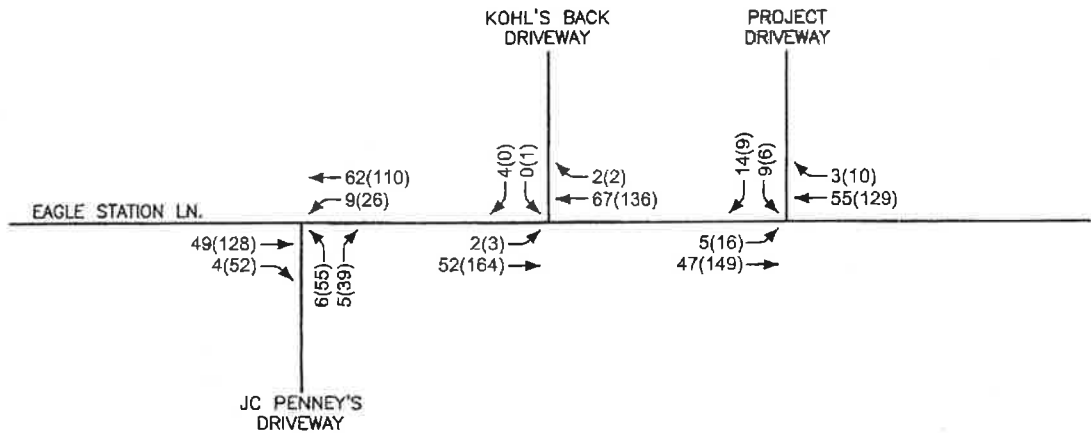
JACKSON VILLAGE
 TRIP DISTRIBUTION AND ASSIGNMENT
 FIGURE 2



LEGEND

— AM PEAK HOUR
(-) PM PEAK HOUR

JACKSON VILLAGE
EXISTING TURNING MOVEMENT VOLUMES
FIGURE 3



LEGEND
 — AM PEAK HOUR
 (—) PM PEAK HOUR

JACKSON VILLAGE
EXISTING PLUS PROJECT TURNING MOVEMENT VOLUMES
FIGURE 4

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: AM Peak Hour
 Intersection: Eagle Station & Penney's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Penney's Driveway
 Intersection Orientation: EW

Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound				Westbound	
		1 L	2 T	3 R	4 L	5 T	6 R
Volume			44	4	9	48	
Peak-Hour Factor, PHF			0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR			48	4	10	53	
Percent Heavy Vehicles			--	--	2	--	--
Median Type/Storage		Undivided				/	
RT Channelized?							
Lanes			1	0		1	1
Configuration				TR		L	T
Upstream Signal?			No			No	

Minor Street:	Approach Movement	Northbound				Southbound	
		7 L	8 T	9 R	10 L	11 T	12 R
Volume		6		5			
Peak Hour Factor, PHF		0.90		0.90			
Hourly Flow Rate, HFR		6		5			
Percent Heavy Vehicles		2		2			
Percent Grade (%)			0			0	
Flared Approach: Exists?/Storage				No	/		/
Lanes		0		0			
Configuration			LR				

Delay, Queue Length, and Level of Service

Approach Movement	EB		WB		Northbound			Southbound		
	1		4		7	8	9	10	11	12
Lane Config			L			LR				
v (vph)			10			11				
C(m) (vph)			1554			929				
v/c			0.01			0.01				
95% queue length			0.02			0.04				
Control Delay			7.3			8.9				
LOS			A			A				
Approach Delay						8.9				
Approach LOS						A				

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: PM Peak Hour
 Intersection: Eagle Station & Penney's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Penney's Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments								
Major Street:	Approach Movement	Eastbound				Westbound		
		1 L	2 T	3 R	4 L	5 T	6 R	
Volume			112	52	26	101		
Peak-Hour Factor, PHF			0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR			124	57	28	112		
Percent Heavy Vehicles			--	--	2	--	--	
Median Type/Storage		Undivided				/		
RT Channelized?								
Lanes			1	0		1	1	
Configuration				TR		L	T	
Upstream Signal?			No			No		

Minor Street:	Approach Movement	Northbound				Southbound		
		7 L	8 T	9 R	10 L	11 T	12 R	
Volume		55		39				
Peak Hour Factor, PHF		0.90		0.90				
Hourly Flow Rate, HFR		61		43				
Percent Heavy Vehicles		2		2				
Percent Grade (%)			0			0		
Flared Approach: Exists?/Storage				No	/		/	
Lanes		0		0				
Configuration			LR					

Delay, Queue Length, and Level of Service								
Approach Movement	EB	WB	Northbound			Southbound		
			4	7	8	9	10	11 12
Lane Config		L			LR			
v (vph)		28			104			
C(m) (vph)		1394			739			
v/c		0.02			0.14			
95% queue length		0.06			0.49			
Control Delay		7.6			10.7			
LOS		A			B			
Approach Delay					10.7			
Approach LOS					B			

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: AM Peak Hour
 Intersection: Eagle Station & Penney's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Penney's Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound				Westbound		
		1	2	3	4	5	6	
		L	T	R	L	T	R	
Volume			49	4	9	62		
Peak-Hour Factor, PHF			0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR			54	4	10	68		
Percent Heavy Vehicles			--	--	2	--	--	
Median Type/Storage		Undivided				/		
RT Channelized?								
Lanes			1	0		1	1	
Configuration				TR		L	T	
Upstream Signal?			No			No		

Minor Street:	Approach Movement	Northbound				Southbound		
		7	8	9	10	11	12	
		L	T	R	L	T	R	
Volume		6		5				
Peak Hour Factor, PHF		0.90		0.90				
Hourly Flow Rate, HFR		6		5				
Percent Heavy Vehicles		2		2				
Percent Grade (%)			0			0		
Flared Approach: Exists?/Storage				No	/		/	
Lanes		0		0				
Configuration			LR					

Delay, Queue Length, and Level of Service

Approach Movement	EB	WB	Northbound				Southbound		
			1	7	8	9	10	11	12
			L		LR				
v (vph)			10		11				
C(m) (vph)			1546		913				
v/c			0.01		0.01				
95% queue length			0.02		0.04				
Control Delay			7.3		9.0				
LOS			A		A				
Approach Delay					9.0				
Approach LOS					A				

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: PM Peak Hour
 Intersection: Eagle Station & Penney's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Penney's Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound			Westbound		
		1 L	2 T	3 R	4 L	5 T	6 R
Volume			128	52	26	110	
Peak-Hour Factor, PHF			0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR			142	57	28	122	
Percent Heavy Vehicles			--	--	2	--	--
Median Type/Storage		Undivided			/		
RT Channelized?							
Lanes			1	0		1	1
Configuration				TR		L	T
Upstream Signal?			No			No	

Minor Street:	Approach Movement	Northbound			Southbound		
		7 L	8 T	9 R	10 L	11 T	12 R
Volume		55		39			
Peak Hour Factor, PHF		0.90		0.90			
Hourly Flow Rate, HFR		61		43			
Percent Heavy Vehicles		2		2			
Percent Grade (%)			0			0	
Flared Approach: Exists?/Storage				No	/		/
Lanes		0		0			
Configuration			LR				

Delay, Queue Length, and Level of Service

Approach Movement	EB		WB		Northbound			Southbound		
	1		4		7	8	9	10	11	12
Lane Config			L			LR				
v (vph)			28			104				
C(m) (vph)			1373			717				
v/c			0.02			0.15				
95% queue length			0.06			0.51				
Control Delay			7.7			10.9				
LOS			A			B				
Approach Delay						10.9				
Approach LOS						B				

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: AM Peak Hour
 Intersection: Eagle Station & Kohl's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Kohl's Back Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound				Westbound		
		1	2	3	4	5	6	
		L	T	R	L	T	R	
Volume		2	47			53	2	
Peak-Hour Factor, PHF		0.90	0.90			0.90	0.90	
Hourly Flow Rate, HFR		2	52			58	2	
Percent Heavy Vehicles		2	--	--		--	--	
Median Type/Storage		Undivided				/		
RT Channelized?								
Lanes		1	1			1	0	
Configuration		L	T				TR	
Upstream Signal?			No			No		

Minor Street:	Approach Movement	Northbound				Southbound		
		7	8	9	10	11	12	
		L	T	R	L	T	R	
Volume					0		4	
Peak Hour Factor, PHF					0.90		0.90	
Hourly Flow Rate, HFR					0		4	
Percent Heavy Vehicles					2		2	
Percent Grade (%)			0			0		
Flared Approach: Exists?/Storage					/		No	/
Lanes					0		0	
Configuration						LR		

Delay, Queue Length, and Level of Service								
Approach Movement	EB	WB	Northbound			Southbound		
			1	7	8	9	10	11
			L					LR
v (vph)	2							4
C(m) (vph)	1544							1007
v/c	0.00							0.00
95% queue length	0.00							0.01
Control Delay	7.3							8.6
LOS	A							A
Approach Delay								8.6
Approach LOS								A

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: PM Peak Hour
 Intersection: Eagle Station & Kohl's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Kohl's Back Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound				Westbound	
		1 L	2 T	3 R	4 L	5 T	6 R
Volume		3	148			127	2
Peak-Hour Factor, PHF		0.90	0.90			0.90	0.90
Hourly Flow Rate, HFR		3	164			141	2
Percent Heavy Vehicles		2	--	--		--	--
Median Type/Storage		Undivided					
RT Channelized?							
Lanes		1	1			1	0
Configuration		L	T				TR
Upstream Signal?		No				No	

Minor Street:	Approach Movement	Northbound				Southbound	
		7 L	8 T	9 R	10 L	11 T	12 R
Volume					1		0
Peak Hour Factor, PHF					0.90		0.90
Hourly Flow Rate, HFR					1		0
Percent Heavy Vehicles					2		2
Percent Grade (%)		0				0	
Flared Approach: Exists?/Storage							No
Lanes					0		0
Configuration						LR	

Delay, Queue Length, and Level of Service

Approach Movement	EB	WB	Northbound			Southbound	
			7	8	9	10	11 12
Lane Config	L						LR
v (vph)	3						1
C(m) (vph)	1440						680
v/c	0.00						0.00
95% queue length	0.01						0.00
Control Delay	7.5						10.3
LOS	A						B
Approach Delay							10.3
Approach LOS							B

HCS+: Unsignalized Intersections Release 5.6

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: AM Peak Hour
 Intersection: Eagle Station & Kohl's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Kohl's Back Driveway
 Intersection Orientation: EW Study period (hrs): 0.25

Vehicle Volumes and Adjustments							
Major Street:	Approach	Eastbound				Westbound	
	Movement	1	2	3	4	5	6
		L	T	R	L	T	R
Volume		2	52			67	2
Peak-Hour Factor, PHF		0.90	0.90			0.90	0.90
Hourly Flow Rate, HFR		2	57			74	2
Percent Heavy Vehicles		2	--	--		--	--
Median Type/Storage		Undivided				/	
RT Channelized?							
Lanes		1	1			1	0
Configuration		L	T				TR
Upstream Signal?			No			No	

Minor Street:	Approach	Northbound				Southbound	
	Movement	7	8	9	10	11	12
		L	T	R	L	T	R
Volume					0		4
Peak Hour Factor, PHF					0.90		0.90
Hourly Flow Rate, HFR					0		4
Percent Heavy Vehicles					2		2
Percent Grade (%)			0			0	
Flared Approach: Exists?/Storage					/	No	/
Lanes					0		0
Configuration						LR	

Delay, Queue Length, and Level of Service							
Approach	EB	WB	Northbound			Southbound	
Movement	1	4	7	8	9	10	11 12
Lane Config	L						LR
v (vph)	2						4
C(m) (vph)	1523						986
v/c	0.00						0.00
95% queue length	0.00						0.01
Control Delay	7.4						8.7
LOS	A						A
Approach Delay							8.7
Approach LOS							A

HCS+: Unsignalized Intersections Release 5.6

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: PM Peak Hour
 Intersection: Eagle Station & Kohl's Dwy.
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Kohl's Back Driveway
 Intersection Orientation: EW

Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street:	Approach Movement	Eastbound				Westbound	
		1	2	3	4	5	6
		L	T	R	L	T	R
Volume		3	164			136	2
Peak-Hour Factor, PHF		0.90	0.90			0.90	0.90
Hourly Flow Rate, HFR		3	182			151	2
Percent Heavy Vehicles		2	--	--		--	--
Median Type/Storage		Undivided					
RT Channelized?							
Lanes		1	1			1	0
Configuration		L	T				TR
Upstream Signal?		No				No	

Minor Street:	Approach Movement	Northbound				Southbound	
		7 L	8 T	9 R	10 L	11 T	12 R
Volume					1		0
Peak Hour Factor, PHF					0.90		0.90
Hourly Flow Rate, HFR					1		0
Percent Heavy Vehicles					2		2
Percent Grade (%)			0			0	
Flared Approach: Exists?/Storage					/	No	/
Lanes					0	0	
Configuration						LR	

Delay, Queue Length, and Level of Service

Approach Movement	EB	WB	Northbound				Southbound	
			1	7	8	9	10	11 12
Lane Config	L		1					LR
v (vph)	3							1
C(m) (vph)	1428							655
v/c	0.00							0.00
95% queue length	0.01							0.00
Control Delay	7.5							10.5
LOS	A							B
Approach Delay								10.5
Approach LOS								B

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: AM Peak Hour
 Intersection: Eagle Station & Access
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Project Access
 Intersection Orientation: EW

Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street: Approach Movement	Eastbound				Westbound		
	1 L	2 T	3 R	4 L	5 T	6 R	
Volume	5	47			55	3	
Peak-Hour Factor, PHF	0.90	0.90			0.90	0.90	
Hourly Flow Rate, HFR	5	52			61	3	
Percent Heavy Vehicles	2	--	--		--	--	
Median Type/Storage	Undivided				/		
RT Channelized?							
Lanes	1	1			1	0	
Configuration	L	T				TR	
Upstream Signal?		No			No		

Minor Street: Approach Movement	Northbound			Southbound			
	7 L	8 T	9 R	10 L	11 T	12 R	
Volume				9		14	
Peak Hour Factor, PHF				0.90		0.90	
Hourly Flow Rate, HFR				10		15	
Percent Heavy Vehicles				2		2	
Percent Grade (%)		0			0		
Flared Approach: Exists?/Storage				/		No	/
Lanes				0		0	
Configuration					LR		

Delay, Queue Length, and Level of Service

Approach Movement Lane Config	EB	WB	Northbound			Southbound		
	1	4	7	8	9	10	11	12
	L						LR	
v (vph)	5						25	
C(m) (vph)	1538						944	
v/c	0.00						0.03	
95% queue length	0.01						0.08	
Control Delay	7.3						8.9	
LOS	A						A	
Approach Delay							8.9	
Approach LOS							A	

TWO-WAY STOP CONTROL SUMMARY

Analyst: MSH
 Agency/Co.: Solaegui Engineers
 Date Performed: 5/22/2015
 Analysis Time Period: PM Peak Hour
 Intersection: Eagle Station & Access
 Jurisdiction: Carson City
 Units: U. S. Customary
 Analysis Year: Existing + Project
 Project ID:
 East/West Street: Eagle Station Lane
 North/South Street: Project Access
 Intersection Orientation: EW

Study period (hrs): 0.25

Vehicle Volumes and Adjustments

Major Street: Approach Movement	Eastbound				Westbound			
	1 L	2 T	3 R	4 L	5 T	6 R		
Volume	16	149			129	10		
Peak-Hour Factor, PHF	0.90	0.90			0.90	0.90		
Hourly Flow Rate, HFR	17	165			143	11		
Percent Heavy Vehicles	2	--	--		--	--		
Median Type/Storage	Undivided				/			
RT Channelized?								
Lanes	1	1			1	0		
Configuration	L	T				TR		
Upstream Signal?		No			No			

Minor Street: Approach Movement	Northbound				Southbound			
	7 L	8 T	9 R	10 L	11 T	12 R		
Volume				6		9		
Peak Hour Factor, PHF				0.90		0.90		
Hourly Flow Rate, HFR				6		10		
Percent Heavy Vehicles				2		2		
Percent Grade (%)		0			0			
Flared Approach: Exists?/Storage				/		No	/	
Lanes					0	0		
Configuration					LR			

Delay, Queue Length, and Level of Service

Approach Movement Lane Config	EB	WB	Northbound				Southbound		
	1	4	7	8	9	10	11	12	
	L						LR		
v (vph)	17						16		
C(m) (vph)	1426						782		
v/c	0.01						0.02		
95% queue length	0.04						0.06		
Control Delay	7.6						9.7		
LOS	A						A		
Approach Delay							9.7		
Approach LOS							A		



Geotechnical & Environmental Engineers & Geologists

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FAX • (775) 856-6042
www.pezonella.com

May 14, 2015
Job No. 5462.17-A

Jackson Family Living Trust 5-25-00
% Project One
490 Hot Springs Road
Carson City, Nevada 89706

Attention: Donald Smit

Update Geotechnical Report
Proposed Eagle Village Condominiums
Carson City, Nevada

Dear Mr. Smit,

Presented herein is an update of the referenced geotechnical report by Pezonella Associates, Inc. (PAI), Eagle Village Condominiums, job number 5274.04-A, dated February 13, 2006. This update consists of evaluations and recommendations made in the referenced report in light of the 2012 International Building Code. Attached with this letter is a copy of our original report.

SCOPE OF SERVICES

Our scope of services included a site reconnaissance, an evaluation of the referenced geotechnical report, and the preparation of this letter. The update consists of revising the values presented from the 2003 International Building Code to the 2012 International Building Code. An update of the Federal Emergency Management Agency (FEMA) flood map was also conducted.

SEISMIC UPDATE - 2012 INTERNATIONAL BUILDING CODE

Based on our original site investigation and information provided by the United States Geologic Service, the seismic coefficients for the site applicable to the 2012 International Building Code are as follows:

$$S_s = 2.279 \text{ g}$$

$$S_1 = 0.802 \text{ g}$$

GEOTECHNICAL CONSIDERATIONS

Foundation Support

The referenced report recommends a 12 inch depth for the footings. However, for adequate confinement and frost protection, it is our opinion all footings should be bottomed at least 24 inches below lowest adjacent exterior grade.

Site Visit

Based on a site visit on May 13, 2015, the site contains stockpiles of soil, construction materials, and debris. The stockpiles of soil may not be suitable for use as structural fill. It is recommended that prior to continued construction that a representative from this office meets with the owner and contractor to evaluate and make further recommendations regarding material use. The site also appears to have been graded, and some if not all the underground utilities have been placed prior to the site reconnaissance.

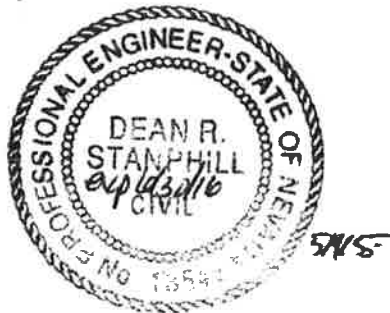
Update of Flood Panel

Based on studies completed by the Federal Emergency Management Agency (FEMA), Community - Panel Number 3200010094E, effective January 16, 2009, the project site has been delineated as existing within Flood Hazard Zone X (unshaded) which are areas determined to be outside the 0.2% annual chance floodplain.

CLOSURE

Except as noted herein, the recommendations in the referenced report are sufficient. As grading and design plans are developed, the plans should be forwarded to this office for review. Moreover, grading observations and testing must be performed during all aspects of construction.

The opportunity to be of assistance is appreciated. If you have any questions, please call.



Respectfully Submitted,
Pezonella Associates, Inc.

Dean R. Stanphill, PE

Design Maps Summary Report

User-Specified Input

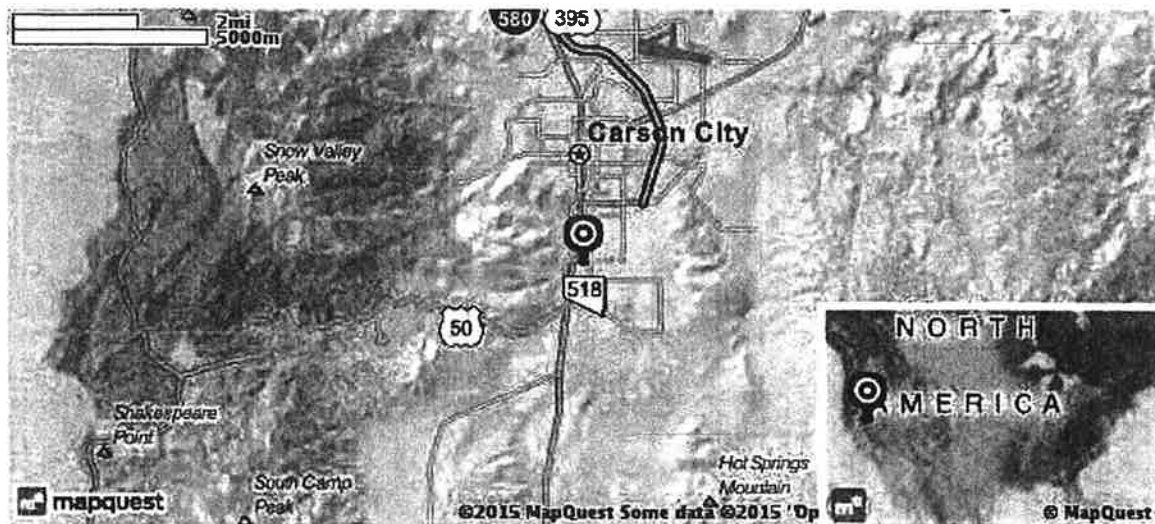
Report Title Eagle Village Condominiums
Wed May 13, 2015 20:22:46 UTC

Building Code Reference Document 2012 International Building Code
(which utilizes USGS hazard data available in 2008)

Site Coordinates 39.132°N, 119.766°W

Site Soil Classification Site Class D – "Stiff Soil"

Risk Category I/II/III

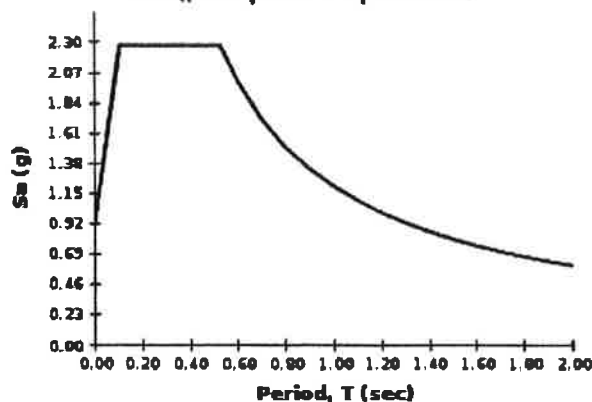


USGS-Provided Output

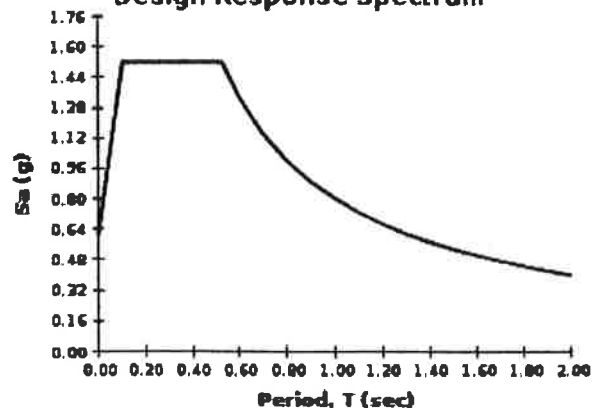
$S_s = 2.279 \text{ g}$	$S_{MS} = 2.279 \text{ g}$	$S_{DS} = 1.519 \text{ g}$
$S_1 = 0.802 \text{ g}$	$S_{M1} = 1.203 \text{ g}$	$S_{D1} = 0.802 \text{ g}$

For information on how the S_s and S_1 values above have been calculated from probabilistic (risk-targeted) and deterministic ground motions in the direction of maximum horizontal response, please return to the application and select the "2009 NEHRP" building code reference document.

MCE_R Response Spectrum



Design Response Spectrum





Geotechnical & Environmental Engineers & Geologists

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www.pezonella.com

February 13, 2006
(Updated November 18, 2008)
Job No. 5274.04-A

Jackson Family Living Trust 5-25-00
2828 Business Parkway #B
Minden, NV 89423

Attention: Mr. Don Jackson, Trustee

Geotechnical Investigation (Updated)
Proposed Eagle Village Condominiums
Eagle Station Lane, East of Carson Street
Carson City, Nevada

This report presents results of the geotechnical investigation our firm prepared for the subject development to be located in Carson City. The proposed development is on the north side of Eagle Station Lane east of Highway 395 and west of Silver Sage Drive, and will include six 2-story buildings with six condominium units in each building, on-site parking, retention basins and infiltrators for stormwater runoff, retaining walls along the north, west, and east sides, and the infrastructure needed to provide service.

From our study, knowledge of the area and understanding of the proposed development, we conclude that, from a geotechnical engineering standpoint, the site is suitable for the intended use of the project. The primary concern to be considered in the design and construction of the project is the **moderate corrosion potential to steel and concrete.**

We appreciate having been selected to perform this study and trust that the results will fulfill project design requirements at this time. If you, or any of your design consultants, have any questions, please contact us.

Respectfully,

PEZONELLA ASSOCIATES, INC.


Bruce R. Lee
Civil Engineer - 16616



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I. INTRODUCTION

This revised report presents results of the 2006 geotechnical investigation our firm performed for the proposed Eagle Village Condominiums, to be located in Carson City, Nevada, updated to be in accordance with the 2006 International Building Code and to include infiltration testing for design of infiltration galleries and retention basins. The 3.66-acre (gross) project site is identified as APN 09-123-32, located on the north side of Eagle Station Lane, east of US Highway 395, adjacent to and west of the Southwest Gas Operation Center, and lies within a portion of the SW $\frac{1}{4}$ of Section 29, T15N, R20E, M.D.B.M. This report is geotechnical in nature and not intended to identify other site constraints such as environmental or wetland concerns. Additionally, recommendations included in this report are specific to development within the limits of the property and, as such, are not intended for off-site development. The work included:

1. Site reconnaissance
2. Drilling 7 borings for geotechnical analysis
3. Drilling 5 shallow borings for infiltration testing
4. Obtaining samples for laboratory testing
5. Performing the infiltration testing
6. Performing the laboratory testing and analyses, and
7. Preparing this report presenting our conclusions and recommendations regarding:
 - Potential geologic hazards
 - Site preparation and grading
 - Soil engineering criteria for foundation design
 - Infiltration criteria for retention basin and infiltrator design
 - Support of slabs-on-grade, and
 - Support and design of flexible pavement sections

Improvement Plans (Plans) for the project prepared by Western Engineering & Surveying Services (Western), dated October 2008, together with a site reconnaissance by our staff, were used to gain an understanding of the proposed development and site conditions. Although architectural plans are not available at this time, we understand from the Plans that the proposed project will include the construction of 6 two-story buildings with 6 condominium units in each building (4 downstairs units and 2 upstairs units), to be serviced by community water and sewer systems. We understand that the proposed buildings will be wood-framed structures placed on joist supported floors with slab-on-grade garage floors, and will be supported on shallow conventional spread foundations. We expect that foundation loads will be normal (relatively light) for the type of construction proposed, that foundations will bottom at least 24 inches below lowest adjacent exterior ground surface, and that mass grading and structural design will be in accordance with the 2006 edition of the International Building Code. We further understand from the Plans that up to approximately 5 feet of import fill will be required on the parcel to attain proper site drainage. Also included in the development will be the construction of retaining/sound walls along the east, north and west property lines; the construction of an asphaltic concrete drive access from Eagle Station Lane and on-site parking with concrete ribbon gutters. Stormwater runoff is shown on the Plans to be contained and infiltrated on site in two infiltration galleries and three retention basins. We understand that each individual condominium unit will provide its own trash container and that no dumpsters are in the design.

From the Plans, the sewer line is shown to range from 5 to 10 feet, or more, in depth and the water line is shown to be at a minimum depth of 42 inches.

II. FIELD EXPLORATION AND LABORATORY TESTS

To attain a general overview of the subsurface conditions beneath the parcel, we drilled 7 test borings (November, 2005) with a truck mounted Central Mine Equipment (CME 55) drill-rig using hollow stem auger equipment to depths of 20 to 31 feet below the existing ground surface. To determine the infiltration rate for design of the retention basins and infiltration galleries, we drilled an additional 5 test borings (November, 2008) with the above equipment to depths of 3 to 4½ feet below the existing ground surface. The approximate test boring locations, positioned in the field using pace and compass and based on the referenced plan by Western, are depicted on Plate 1. No greater accuracy is implied.

Our field geologist recorded the location of each test boring using the global positioning system (GPS), logged and visually classified the materials encountered. Relatively undisturbed samples were collected from the deeper borings in a split spoon sampler utilizing a 140-pound hammer with a 30-inch drop. The blows per foot required to advance the sampler were converted and recorded (Standard Penetration Test). Logs of the deeper test borings are presented on Plates 2 through 8. The Percolation Test data are presented on Plates 9 through 13. The materials encountered are classified in accordance with the Unified Soil Classification System, which is explained on Plate 14.

The samples were returned to our laboratory and reviewed by our staff engineer to confirm their field classifications, to select representative samples for laboratory testing and to determine engineering design parameters. Results of in-situ moisture content and dry unit weight determinations, particle size analysis, R-Value, Sand Equivalent, and compaction test data are presented on the logs and on Plates 15 through 24. An independent laboratory performed additional tests on selected samples for resistivity, pH, and SO_4 to evaluate the corrosion potential for portland cement concrete and uncoated steel or metal and the results are presented on the logs.

Any subsequent relocation of the proposed structures outside the limits of our investigation or any conceptual changes to project development, such as the use of alternative foundations or grade changes, may require additional drilling and laboratory testing and engineering analysis.

III. FIELD INFILTRATION TESTS

Testing was performed in the 5 test borings between depths of 3 and 4½ feet to determine the infiltration characteristics of the soils underlying the proposed sites of the infiltration facilities. The infiltration rates ranged from 20.0 minutes per inch to 30.0 minutes per inch, with an average rate of 25.6 minutes per inch, indicating the uniformity of the infiltration capacity.

IV. SITE AND SOIL CONDITIONS

The site is undeveloped and is bordered on the east by the Southwest Gas Corporation Operation Center, on the south by Eagle Station Lane, on the west by an asphaltic paved driveway at the rear of Mervyn's and Raley's, and on the north by the Sierra Convalescent Center. The site slopes uniformly (i.e. no topographic features on the site) toward the northeast at an average gradient of approximately 2 percent and is sparsely covered with weeds and annual grasses.

Studies completed by the United States Department of Agriculture Soil Conservation Service (Soil Survey of Carson City Area, Nevada, Sheet #1) indicate the soils underlying the site consist of the following unit:

Surprise gravelly sandy loam, 0 to 2 percent slopes (#61). This deep, well-drained soil is on alluvial fans and formed in alluvium from mixed rock. Typically, the surface layer is a brown gravelly sandy loam about 7 inches thick. The next layer is a brown, stratified coarse sandy loam to gravelly loam about 33 inches thick. Below this to a depth of 60 inches is a brown, stratified loamy sand to gravelly loam. The permeability is moderately rapid; the available water capacity is moderate; the effective rooting depth is about 60 inches; runoff is slow; and the hazard of water erosion is slight. This soil is rarely flooded. The only limitations associated with this soil for urban development are related to the use of absorption fields for sewage disposal (potential contamination due to the moderately rapid permeability).

Mapping completed by Dennis T. Trexler (Nevada Bureau of Mines and Geology, Carson City Folio Geologic Map, dated 1977), shows the materials underlying the site consist of Quaternary age older alluvial-plain deposits (Qoa). These are moderately sorted, sandy small cobble gravel, slightly gravelly sand and sandy coarse silt, weakly to moderately weathered. Mapping completed by Terry Katzer (Carson City Folio Groundwater Map, dated 1980) shows the depth to groundwater at the site to be greater than 50 feet (1976).

Pezonella Associates, Inc. previously conducted a geotechnical investigation (Job No. 655.23A) on the adjacent Southwest Gas parcel (drilled in December 1992 and February 1993). The soils encountered were typically silty sand (SM) with gravel, and poorly graded sand with silt (SP-SM) underlain by brown sand (SP) to a depth of approximately 20 feet. No groundwater was encountered at the time of drilling. We also prepared a Site Feasibility Study (Job. No. 5532.01-A) for the Proposed Eagle Village Condominiums, dated September 14, 2005 that was used as the basis for this report.

Our subsurface exploration confirms, in general, the soil, geologic mapping, and soil data from the geotechnical investigation performed by Pezonella Associates, Inc. on the adjacent Southwest Gas Parcel with the native soils consisting of moderately dense to very dense silty sand (SM), underlain by poorly graded sand with silt (SP-SM), and poorly graded sand (SP). Sampler refusal was encountered in all borings at depths ranging from 1½ to 30 feet, predominantly below 10 feet, apparently due to the very dense nature of the soils. The native soils in the upper 5 feet are relatively dense with an unweighted average relative compaction of approximately 90 percent. The average sand equivalent of the soils at a depth of approximately 5 feet is 37. The soils in the upper 4 feet exhibit negligible potential for expansion and a high supporting capability, with an R-Value of 60, or higher. The Resistivity of the soils ranges from 2597 Ohm-cm to 5051 Ohm-cm (moderately corrosive to steel), the pH ranges from 5.71 to 6.48 (slightly acidic, moderate corrosion potential for concrete), and the SO₄ is 15.7 ppm (negligible sulfate exposure to concrete).

V. GEOLOGIC AND SEISMIC CONSIDERATIONS

To delineate the presence of any geological hazards within the site, our research included a review of published geologic and geotechnical literature.

A. Geology

The site is located in the Carson Valley, an area that is within the western Great Basin on the east side of the Sierra Nevada. The area is complex and irregular, and the physiographic and structural break between the Sierra Nevada and the Basin and Range province, to the east, is gradational. The geologic structure of the area is characterized by high angle extensional normal faults generally trending in a north-northeast direction. The Carson Valley is a down dropped graben with neighboring horsts to the east and west.

B. Faulting and Seismicity

Three types of active faults are categorized in the *Guidelines for Evaluating Potential Fault Rupture/Land Subsidence Hazards in Nevada* approved by the Nevada Earthquake Safety Council on November 20, 1998. Active faults for the Basin and Range physiographic province are characterized in this document as follow:

1. Holocene Active Fault – a fault that has moved within the last 10,000 years
2. Late Quaternary Active Fault – a fault that has moved within the last 130,000 years
3. Quaternary Active Fault – a fault that has moved within the last 1,600,000 years

The referenced geologic map (Trexler, 1977) and mapping by Dennis T. Trexler and John W. Bell (Nevada Bureau of Mines and Geology, Carson City Folio Earthquake Hazards Map, dated 1979) indicate two possible concealed, questionable north-south trending fault traces cross the subject property. Based on the Earthquake Hazards Map, the last probable movement on these traces is indeterminate, but probably is pre-Pleistocene in age (older than 1,800,000 years.). Review of the referenced groundwater map (Katzner, 1980) indicates no anomalous changes in the groundwater contours that might suggest a possible concealed fault. We have included as Plates 25 and 26, enlarged-scale copies of portions of the referenced Carson City Folio maps to show the fault traces and the depth to groundwater at the site. Because of the increased scale, the features appear disproportionately large. Mapping completed by John W. Bell (Quaternary Fault Map of Nevada – Reno Sheet, Nevada Bureau of Mines and Geology, Map 79, dated 1984), does not include these fault traces, supporting the pre-Pleistocene age. Since there is no recognized activity on the fault traces within Quaternary time, and there is no evidence of any anomaly in the groundwater contours, we consider the faults inactive.

The site is located near the Carson City and Kings Canyon faults, capable of producing an estimated earthquake magnitude of 6.8. From the USGS Earthquake Hazards Program, 2002 USGS National Seismic Hazard Maps, Revised April, 2003, the interpolated probabilistic ground motion values at the project site for an earthquake of this magnitude include a Peak Ground Acceleration (PGA) of 0.43g with a 10% probability of exceedance (PE) in 50 years. From the 2003 NEHRP Seismic Design Provisions, the S_s at 2% PE in 50 years is 1.712g; and the S_1 at 2% PE in 50 years of 0.670g.

A complete assessment of the Soil Profile in accordance with Table 1613.5.2 (Site Class Definitions) of the 2006 I.B.C. would require drilling to a depth of 100 feet and is not within the scope of this report. From our research, and data from the adjacent site, we believe that the subsurface soils most closely approximate a Site Class of C (very dense soil and soft rock profile) as defined in the referenced table. From Tables 1613.5.3(1) and 1613.5.3(2), the Site Coefficient F_a is 1.0 and the Site Coefficient F_v is 1.5. The maximum considered earthquake spectral response acceleration for short period (S_{MS}) is 1.712g, and for 1-second period (S_{M1}) is 0.871g, and the resulting design spectral response acceleration at short periods (S_{DS}) is 1.141g, and at 1-second period (S_{D1}) is 0.581g. From Table 1604.5, the Occupancy Category for the proposed development is I/II, and from Tables 1613.5.6(1) and 1613.5.6(2), the resulting Seismic Design Category is D.

C. Liquefaction

Liquefaction is the loss of soil shear strength of cohesionless soils undergoing seismic stress when the pore water pressure induced in the soils becomes equal to the overburden pressure. There are a large number of factors that significantly affect the liquefaction characteristics of any given sand. These include: relative density, grain structure or fabric, length of time the sand is subjected to sustained pressure, the value of the lateral earth pressure coefficient, and prior seismic or other shear strains to which the sand may have been subjected. The liquefaction potential is generally considered greatest in saturated, loose, poorly graded fine sands with a mean grain size (D_{50}) in the range of 0.075 to 0.2 mm. Recent studies, by others, have shown that liquefaction may occur under certain conditions in fine-grained soils with a mean grain size (D_{50}) as small as 0.02 mm.

The soils underlying the site are generally interbedded silty medium to fine sands (SM) to poorly graded sands (SP) with a D_{50} ranging from 0.27 to 0.52 mm. The potential for liquefaction to occur in the soils underlying the site is estimated to be negligible, even with the potential for moderate to significant ground shaking associated with a seismic event, considering the soil median grain size and density, and the depth to groundwater.

D. Radon

Radon, a colorless, odorless radioactive gas derived from the natural decay of uranium, is found in nearly all rocks and soils. The Environmental Protection Agency suggests that remedial action be taken to reduce radon in any structure with average indoor radon levels of 4.0 pCi/L or more. Based on studies completed by the Nevada Bureau of Mines and Geology with the Nevada Division of Health and U.S. Environmental Protection Agency (Nevada Bureau of Mines and Geology, *Radon In Nevada*, Bulletin 108, 1994), the project site is in an area with an average indoor radon measurement less than 4.0 (pCi/L) and, as such, does not exceed action levels established by the Environmental Protection Agency.

E Slope Stability

Based on our anticipation that maximum slope inclination will be two horizontal to one vertical (2:1) or flatter, and understanding that slopes will be generally less than 5 feet and protected from erosion, we do not believe slope stability will adversely impact site development. Utility trench excavations may encounter clean soils that may impede excavation and result in trench wall overbreak. Shoring may be required to hold these soils from sloughing.

F. Flooding

Flood Hazard studies completed by the Federal Emergency Management Agency (FEMA), Community Panel Number 3200290075C, dated November 20, 1988, indicate the proposed development is located in Zone X, unshaded. Zone X, unshaded, describes areas that are determined to be outside the 500-year floodplain, based on the National Geodetic Vertical Datum of 1929.

VI. CONCLUSIONS

We conclude that, from a geotechnical engineering standpoint, the site is suitable for the intended use of the project. The primary concern to be considered in the design and construction of the project is the **moderate corrosion potential to steel and concrete**.

Chemically affected soils can be corrosive to steel and conventional Type II portland cement concrete. Portions of the native soils exhibit a moderate corrosion potential for uncoated steel and/or metal, and portland cement concrete. Adequate mitigation can be achieved through the use of properly prepared conventional Type II portland cement concrete, by maintaining a minimum (3-inch) concrete cover where reinforcing steel or other metal which is in close proximity to native soils exists, and by maintaining good workmanship during concrete placement and finishing. Where uncoated steel and/or metal pipes are proposed near native soils, we recommend that the Contractor follow the Manufacturer's recommendation regarding corrosion protection.

In addition to their corrosion potential, consideration should also be given to chemical constituents, which may inhibit establishment of landscaping, such as lawns, plants and other vegetation growth, not indigenous to the area. Laboratory testing to determine the agronomic characteristics of the native soils was not part of the scope of our work; however, it should be considered.

The infiltration rates ranged from 20.0 minutes per inch (mpi) to 30.0 mpi at depths ranging from 3.0 to 4½ feet

The site is located near the Carson City and Kings Canyon faults, capable of producing an estimated earthquake magnitude of 6.8. The interpolated probabilistic ground motion values at the project site for an earthquake of this magnitude include a Peak Ground Acceleration (PGA) of 0.43g with a 10% probability of exceedance (PE) in 50 years.

The subsurface soils most closely approximate a Site Class of C (very dense soil and soft rock profile) as defined in Table 1613.5.2 (Site Class Definitions) of the 2006 International Building Code. The Seismic Use Group is I/II, and the resulting Seismic Design Category is D.

The potential for liquefaction to occur in the soils underlying the site is estimated to be negligible, even with the potential for moderate to significant ground shaking associated with a seismic event, considering the soil median grain size and density, and the depth to groundwater.

For foundations designed and supported as herein recommended, we judge that the maximum post construction settlement associated with foundation loads will be about 3/4-inch and that differential settlement will be approximately 1/4-inch.

The mapped faults are considered inactive as there is no recognized activity on them within Quaternary time, and there is no evidence of any anomaly in the groundwater contours. There are no other apparent geologic hazards that would place unusual constraints on the project.

VII. RECOMMENDATIONS

A. Site Preparation and Grading

Areas to be developed should be mowed (broken into small pieces) of all surface vegetation and cleared of any debris or rubbish. Debris and rubbish should be removed from the site; however, mowed vegetation may be stockpiled for possible reuse in designated landscape or "non-structural" areas. Subsequently, as directed by the Geotechnical Engineer (or his representative in the field), any significant root or organic laden soils should be stripped and evenly blended with mowed vegetation and soil for reuse within designated landscape or "non-structural" areas. Generally, minor root systems remaining after clearing and stripping may be disked or tilled in-place through the use of a disk harrow or equivalent equipment.

Mowed vegetation, stripped roots and organic matter evenly blended with soil and wasted in designated landscape or "non-structural" areas should be moisture conditioned, placed in 8-inch loose lifts and compacted to provide a firm surface. Delineation of any area where these materials are wasted should be illustrated on the approved As-Built Plans.

The surfaces exposed by clearing and stripping should be observed by the Geotechnical Engineer (or his representative in the field) to document that the surfaces have been prepared as recommended and that no objectionable materials remain.

To ensure quality control within the proposed building areas and to mitigate the potential for differential settlement to occur within transition areas (where isolated spread footings bottom on a combination of cut native soils and compacted fill material), native soils should be removed a sufficient depth in order to provide for at least 12 inches of approved compacted homogeneous select fill material or recompacted native soil below footings, or the foundations should be deepened to bottom uniformly on cut native soils.

To minimize the potential for movement to occur within development areas, native soils should be up-graded through compaction to provide for at least 12 inches of approved, compacted material below the bottom of slabs-on-grade, exterior flatwork, and pavement subgrade.

To reduce the thickness of aggregate base, materials with a Resistance Value (R-Value) of less than 30 within 6 inches of slabs-on-grade, exterior flatwork and pavement subgrade should also be removed and replaced with approved compacted material.

Studies and experience have shown that minor movements of foundations, slabs-on-grade, exterior flatwork and pavement sections can be expected whenever underlying loose, or weak, soils are allowed to remain. The intent of our recommendations is to control this movement to tolerable limits without exceeding economic feasibility. The Owner or Developer, however, should weigh the benefits of deeper removal.

The surfaces exposed by removal or overexcavation should be observed by the Geotechnical Engineer (or his representative in the field) to document that the conditions are as anticipated and that no objectionable materials remain.

Approved surfaces should be scarified to a depth of 6 inches, moisture conditioned to near optimum and compacted to at least 95 percent relative compaction¹. Scarification and moisture conditioning may be waived by the Geotechnical Engineer (or his representative in the field), if it is determined that the exposed materials exist at a suitable moisture condition for attaining the specified compaction percentages. Where compaction is inhibited due to the presence of clean soils, compaction of the exposed surface with sufficiently large and appropriate equipment (approved by the Geotechnical Engineer) will be performed. Consideration should be given to time constraints associated with scarification, moisture conditioning, drying (backfill) and compacting fine-grained soils. Additionally, consideration should be given to the necessity for maintaining a moisture content sufficient to prevent wind erosion and for controlling dust during earthwork operations. The number of compaction passes will be determined by the Geotechnical Engineer (or his representative in the field) based on the condition of the exposed surface and the equipment used.

The Earthwork Contractor is responsible for obtaining approval by the Geotechnical Engineer (or his representative in the field) for each prepared surface prior to proceeding with placement of structural components and/or fill material.

B. Material Quality and Reuse

Where fill material is proposed, structural zones are defined as the area 36 inches below and laterally away from foundations and 24 inches below and laterally away from slabs-on-grade, exterior flatwork and flexible pavement sections. Mass zones are defined as all areas outside the structural zones. In general, only select material may be utilized within structural zones; however, materials that do not meet the requirements for select fill may be used in mass zones with the prior approval of the Geotechnical Engineer (or his representative in the field).

Select fill materials (with the exception of structural fill material to be placed within public improvement areas) should be free of organic matter and conform, in general, to the following requirements:

<u>Sieve Size</u>	<u>Percent Passing (by dry weight)</u>
6 Inch	100
3/4 Inch	70 - 100
No. 4	50 - 100
No. 200	15 - 35
Liquid Limit =	40 Maximum
Plasticity Index =	15 Maximum
Expansion Index =	20 Maximum
Resistance Value =	30 Minimum

Our investigation indicates that while the shallow native soils appear to be generally suitable for reuse as select fill, they may not meet the requirements of structural fill (Section 200.01.08 of the

¹ Relative compaction refers to the in-place dry unit weight of soil expressed as a percentage of the maximum dry unit weight of the same material, as determined by the laboratory procedure ASTM D 1557.

latest revision to the *Standard Specifications for Public Works Construction*)² within public right-of-way areas. Generally, materials not meeting the requirements for select or structural fill may be reused as mass fill outside the defined structural zones with approval of the Geotechnical Engineer (or his representative in the field).

The Earthwork Contractor shall ensure that all proposed fill materials are approved by the Geotechnical Engineer (or his representative in the field). Fill sources should be identified at least 10 working days prior to use to allow for sampling and testing. Select or structural fill material should be conditioned to a near optimum moisture content and compacted to at least 95 percent relative compaction. Mass fill or trench and wall backfill should be conditioned to near optimum moisture content (slightly over optimum if clayey) and compacted to at least 90 percent relative compaction.

The thickness of all lifts will be restricted to a maximum of 8 inches (loose), and individually tested, unless the Earthwork Contractor can demonstrate his ability to uniformly achieve the required compaction for the entire layer of material placed. If any surface or layer becomes frozen, earthwork construction cannot proceed until they are allowed to thaw. The Earthwork Contractor shall obtain approval from the Geotechnical Engineer (or his representative in the field) of each lift prior to placement of subsequent fill.

The recommendations for select fill are intended as a guideline and define a readily attainable, acceptable material. Adjustments to the specified limits to address the use of other potentially acceptable materials, such as those containing oversize rock or which deviate from the classification requirements, can be made provided: 1) the Earthwork Contractor can demonstrate his ability to place and compact the material in substantial conformance with industry standards to achieve an equivalent finished product as that specified; 2) all parties understand that the Standard ASTM Compaction Test procedures are invalid for certain material containing oversize aggregate. Compaction approval could only be achieved based on other criteria, such as a performance specification with sufficient on-site observation. Technician time could be increased substantially using the performance procedure which would, in turn, increase the cost of inspection services; and 3) only with the strict approval and observation by the Geotechnical Engineer.

C. Site Drainage and Landscape

The ground surface for a distance of at least 5 feet from any structure should be permanently sloped (at least 1 percent for portland cement concrete, 2 percent for asphaltic concrete pavement, and 4 percent for soil) to drain away from any structure so that water is not allowed to pond against perimeter walls and to restrict infiltration within exterior flatwork and flexible pavement areas. Stormwater runoff shall be contained and directed away from any structure. Landscaping adjacent to structures shall be limited and irrigation should be drip-type.

²

Sieve Size	Percent Passing (by dry weight)
4 inch	100
3/4 inch	70 - 100
No. 40	15 - 65
No. 200	5 - 20
Liquid Limit	35 maximum
Plasticity Index	12 Maximum

To mitigate the potential for water to collect within the structural section and to prevent the potential buildup of hydrostatic pressure, a provision such as a gravity outlet, French drain or sump pump should be considered to convey any collected water to a disposal area outside the structural section. The ground surface in crawl spaces should be sloped toward a suitable point that will aid in conveying any collected water to a disposal area outside the building. Backfill around foundation walls should be moisture conditioned to near optimum, and compacted to at least 90 percent relative compaction. To control water migration, an impermeable membrane such as a 20-mil plastic layer should be placed between the foundation walls and material used as backfill, and extend a sufficient distance to effectively cover all placed backfill (see Plates 27 and 28).

Laboratory testing to determine the agronomic characteristics of the native soils was not part of the scope of our work; however, consideration should be given to chemical constituents which may inhibit establishment of landscaping, such as lawns, plants and other vegetation growth, not indigenous to the area.

D. Foundation Support and Lateral Resistance

Foundations can gain adequate support on the previously specified minimum 12-inch section of approved, compacted native soils with low to negligible potential for expansion or select material (see Subsections A and B). In preparation for foundation construction, the Earthwork Contractor shall ensure that field density tests have been performed to document the relative compaction of the upper 6 inches of exposed materials and all new fill.

For adequate confinement and frost protection, footings should bottom at least 24 inches below lowest adjacent exterior grade. Foundations, supported in accordance with our recommendations, and as shown on Plate 28, can be designed to impose dead plus long-term live load bearing pressures of 1500 pounds per square foot (psf). The bearing pressure can be increased by 1/3 when considering total design loads, including wind or seismic forces to a maximum value of 2500 psf. Resistance to lateral loads can be obtained from passive earth pressures and soil friction. We recommend the use of a coefficient of friction of 0.30 and a passive pressure of 200 pounds per cubic foot per foot of depth (equivalent fluid pressure).

E. Retaining Wall Design Parameters

For design of unrestrained walls founded on, and supporting native soil, the following values may be used:

Dry Unit Weight	120 pcf
Allowable Soil Bearing Capacity	2000 psf
Friction Angle	32 degrees
Cohesion	100 psf
Coefficient of Soil Friction	0.35
Passive soil pressure	300 pcf
Active Soil Pressure	35 pcf (level backfill)
	55 pcf (2:1 slope surcharge)

Because of the proximity of the retention basins and the infiltration galleries, care must be exercised in the installation and protection of the heel drains, and to insure adequate and positive drainage such that no hydrostatic pressure can build up behind the walls.

F. Slab-on-Grade Support

Slabs-on-grade and exterior flatwork can gain adequate support on the previously specified minimum 12-inch section of approved, compacted native soils with low to negligible potential for expansion and/or select/structural material (See Subsections A and B). To reduce the thickness of aggregate base, materials with a Resistance Value of less than 30 within 6 inches of slab-on-grade, exterior flatwork and pavement subgrade should also be removed and replaced with approved compacted fill material.

In preparation for slab or flatwork construction, the Earthwork Contractor shall ensure that field density tests have been performed to document the relative compaction of the upper 6 inches of exposed native soils and any new fill. Preparation of these materials shall be documented prior to placement of aggregate or structural components.

All exterior flatwork within public right-of-way areas should conform to standards provided by the governing agency including section composition, supporting material thickness and any requirements for reinforcing steel.

Slabs-on-grade and private exterior flatwork, such as walkways, should be underlain by at least 4 inches of free draining, clean, crushed rock or gravel (compacted with a vibratory plate) or Type 2, Class B aggregate base material compacted to at least 95 percent relative compaction. For slab-on-grade design, materials meeting the requirement for select fill exhibiting a Resistance Value of at least 30 (Modulus of Subgrade Reaction (k) of 125 pounds per square inch per inch) can be used.

We understand fill materials that do not conform strictly to the gradation requirements contained in Section 200.01.08 of the latest revision to the *Standard Specifications for Public Works Construction* (see Subsection B), and proposed to be placed within public improvement areas, will require review and approval by the governing agency prior to use.

Private exterior flatwork should consist of at least 4 inches of Type II portland cement concrete with a minimum 28-day compressive strength of 4000 pounds per square inch (psi) with entrained air. Portland cement concrete with a lesser compressive strength may be used within private areas; however, the Owner or Developer should weigh the benefits associated with more durable concrete.

Concrete mix proportions and construction techniques, including the addition of water and improper curing, can adversely affect the finished quality of the concrete and result in cracking and spalling of the slabs. We recommend that all placement and curing be performed in accordance with procedures outlined by the Portland Cement Association and American Concrete Institute. Special consideration should be given to concrete placed and cured during hot or cold weather conditions. Proper control joints and reinforcing mesh should be provided to minimize any damage resulting from shrinkage.

Due to the potential for lateral vapor migration to occur associated with seasonal moisture change and differences between the building interior and exterior ambient conditions, a vapor inhibitor should be considered. Generally, a 20-mil plastic layer placed throughout the crawlspace or below the gravel layer is sufficient to reduce vapor transmission. The layering should additionally be

placed throughout the crawlspace with at least 12 inches of overlap and adhered to the foundations (see Plate 27).

G. Excavation and Backfilling

We believe that excavations limited to the upper 10 feet can be excavated, overall, with a Caterpillar 215 track-mounted excavator and/or D6 Dozer or equivalent earthmoving equipment. Clean native soils will inhibit achieving uniform moisture content and impede compaction efforts. Consideration should be given to time constraints associated with scarification, moisture conditioning, drying and compacting of fine-grained soils and clean sands.

The Earthwork Contractor must comply with the *Safety and Health Regulations for Construction* as directed by the Occupational Safety and Health Act (OSHA Standards, Volume 11, Part 1926, Subpart P) while excavating and backfilling. The Earthwork Contractor is also responsible for providing a Competent Person, as defined by the OSHA standards, to ensure excavation safety.

To inhibit potential water migration, pipe bedding shall consist of Class A Backfill, moisture conditioned to near optimum, placed in 8 inches (loose) maximum lifts and compacted to at least 90 percent relative compaction. A "J-bar" shall be used to ensure proper placement and compaction adjacent to the pipe. The native, silty sand (SM) soils are suitable for use as trench backfill. The backfill shall be placed as above to a minimum relative compaction of 90 percent.

H. Corrosion Protection

For corrosion protection, adequate mitigation can be achieved through the use of properly prepared conventional Type II portland cement concrete; by maintaining a minimum (3-inch) concrete cover where reinforcing steel or other metal which is in close proximity to native soils and by maintaining good workmanship during concrete placement and finishing. Where steel and/or metal pipes are proposed, we recommend that the Contractor follow the Pipe Manufacturer's recommendation regarding corrosion protection.

I. Permanent Cut and Fill Slopes

All permanent cut and fill slopes shall be constructed with maximum inclinations of two horizontal to one vertical (2:1) or flatter. The Contractor shall overfill and trim the face of all fill slopes or compact them to provide a firm surface, free of loose soil that would be subject to erosion and sloughing. Where cut and fill slopes are proposed, the face of the slope should be planted with dense-rooted, rapid growing vegetation. All slopes should be evaluated by the Geotechnical Engineer in the field to document that the conditions are as anticipated.

J. Flexible Pavement Sections

Pavement sections can gain adequate support on the previously specified minimum 12-inch section of approved, compacted native soils with low to negligible potential for expansion and/or select/structure material (see Subsections A and B). As previously mentioned, to reduce the thickness of aggregate base, materials with a Resistance Value of less than 30 within 6 inches of pavement subgrade should also be removed and replaced with approved compacted fill material.

In preparation for placement of the pavement section, the Earthwork Contractor shall ensure that proposed subgrade materials have been observed and/or tested by the Geotechnical Engineer (or his representative in the field) to document conformance with the Resistance Value requirements. Generally, at least the upper 6 inches of subbase should be scarified, moisture conditioned and compacted to at least 95 percent relative compaction. Subsequently, aggregate base materials should be placed in thin lifts and compacted to at least 95 percent relative compaction. All subgrades and final grades should be rolled to provide a uniform surface that is smooth, firm, and non-yielding.

We have not received traffic information concerning weights and volumes; however, based on our understanding of project development, we anticipate light passenger vehicle traffic and occasional heavy truck traffic associated with deliveries (Traffic Index up to 5.5). Based on this, we recommend a flexible pavement section consisting of 3 inches of Type 2 or 3 bituminous surface course underlain by 6 inches of Type 2, Class B Aggregate Base supported on the previously specified minimum subbase. Additional R-Value tests should be performed on the subgrade soils when rough grade is attained.

All structural sections in public rights-of-way should conform to standards provided by the governing agency, including section composition, supporting material thickness and any requirements for reinforcing steel.

Aggregates should conform to the requirements contained in Section 200 of the most recent edition of the *Standard Specifications for Public Works Construction*.

We understand that fill materials, which do not conform strictly to the gradation requirements contained in Section 200.01.08 of the latest revision to the *Standard Specifications for Public Works Construction* (see Subsection B), and proposed to be placed within public improvement areas, will require review and approval by the governing agency prior to use.

A bituminous concrete mix design should be submitted for approval prior to paving. During paving, the bituminous mixture should be sampled and tested by the Geotechnical Engineer to ensure material quality and compaction. Periodic crack sealing and surface sealing must be implemented to increase service life of the pavement.

K. Infiltration Basins/Infiltrators

Design of Infiltration Basins or Infiltrators may be based on an infiltration rate of 30 mpi.

L. Additional Geotechnical Engineering Services

This report is geotechnical in nature and not intended to identify other site constraints such as environmental hazards, wetlands determinations and/or the potential presence of buried utilities. We can assist in evaluating these considerations should further information be requested.

Consideration should be given to submitting all plans and specifications to the Geotechnical Engineer for review to determine conformance with this geotechnical report and for approval prior to submittal to the permitting agency.

The recommendations presented in this report are based on the assumption that sufficient field inspection and construction review will be provided during all phases of construction. Prior to construction, a pre-job conference should be scheduled to include, but not be limited to, the Owner,

Architect, Civil Engineer, General Contractor, Earthwork and Materials Sub-Contractors, Building Official and Geotechnical Engineer. The pre-job conference should include a discussion of the recommendations presented in this report, applicable specifications and testing requirements, and the submittal of any applicable material quality and mix design reports for approval by the Geotechnical Engineer.

Pezonella Associates, Inc. should provide on-site observations and testing during site preparation and grading, excavation, fill placement, foundation installation and paving. These observations would allow us to document that the soil conditions are as anticipated, and that the Contractor's work is in conformance with the intent of our recommendations and the approved plans and specifications.

IX. GLOSSARY OF TEST PROCEDURES

ASTM Test Designation: C 136: *Standard Test Method for Sieve Analysis of Fine and Coarse Aggregates*

ASTM Test Designation: D 420: *Standard Guide to Site Characterization for Engineering, Design, and Construction Purposes.*

ASTM Test Designation: D 1557: *Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort (56,000 ft-lbf/ft³ (2,700 KN-m/m³)).*

ASTM Test Designation: D 1586: *Standard Test Method for Penetration Test and Split-Barrel Sampling of Soils.*

ASTM Test Designation: D 2216: *Standard Test Method for Laboratory Determination of Water (Moisture) Content of Soil and Rock.*

ASTM Test Designation: D2419: *Standard Test Method for Sand Equivalent Value of Soils and Fine Aggregate.*

ASTM Test Designation: D 2487: *Standard Classification of Soils for Engineering Purposes (Unified Soil Classification System).*

ASTM Test Designation: D 2844: *Standard Test Method for Resistance R-Value and Expansion Pressure of Compacted Soils.*

X. DISTRIBUTION

One unbound wet stamped original and two bound wet stamped originals to:

Western Engineering & Surveying Services
3032 Silver Sage Dr.
Carson City, Nevada 89701

Attention: Mr. Dennis Smith

Two bound wet stamped originals and one pdf copy emailed to:

Metcalf Builders, Inc.
751 Basque Way
Carson City, NV 89706

Attention: Mr. Bart Walker (bart@metcalfbuilders.com)

One pdf copy emailed to:

Project One
2205 Arrowhead Drive, Suite C
Carson City, NV 89706

Attention: Mr. Wayne Reed (wayne@project-one.com)

Two bound copies to:

Jackson Family Living Trust 5-25-00
2828 Business Parkway #B
Minden, NV 89423

Attention: Mr. Don Jackson, Trustee

APPENDIX A

LIST OF ILLUSTRATIONS

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250 EAGLE STATION LANE
CARSON CITY, NEVADA 89701

PROJECT

**PROJECT
ARCHITECT**

CIVIL

PROJECT

**PROJECT
MANAGER**

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Journal of Internal Medicine 255: 101–109

2000

equivalent density
 these same designs
 dropped 100%

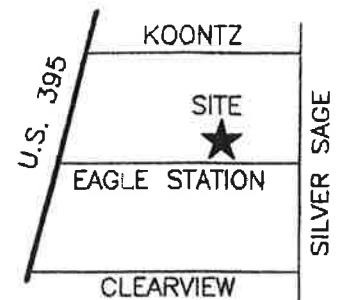
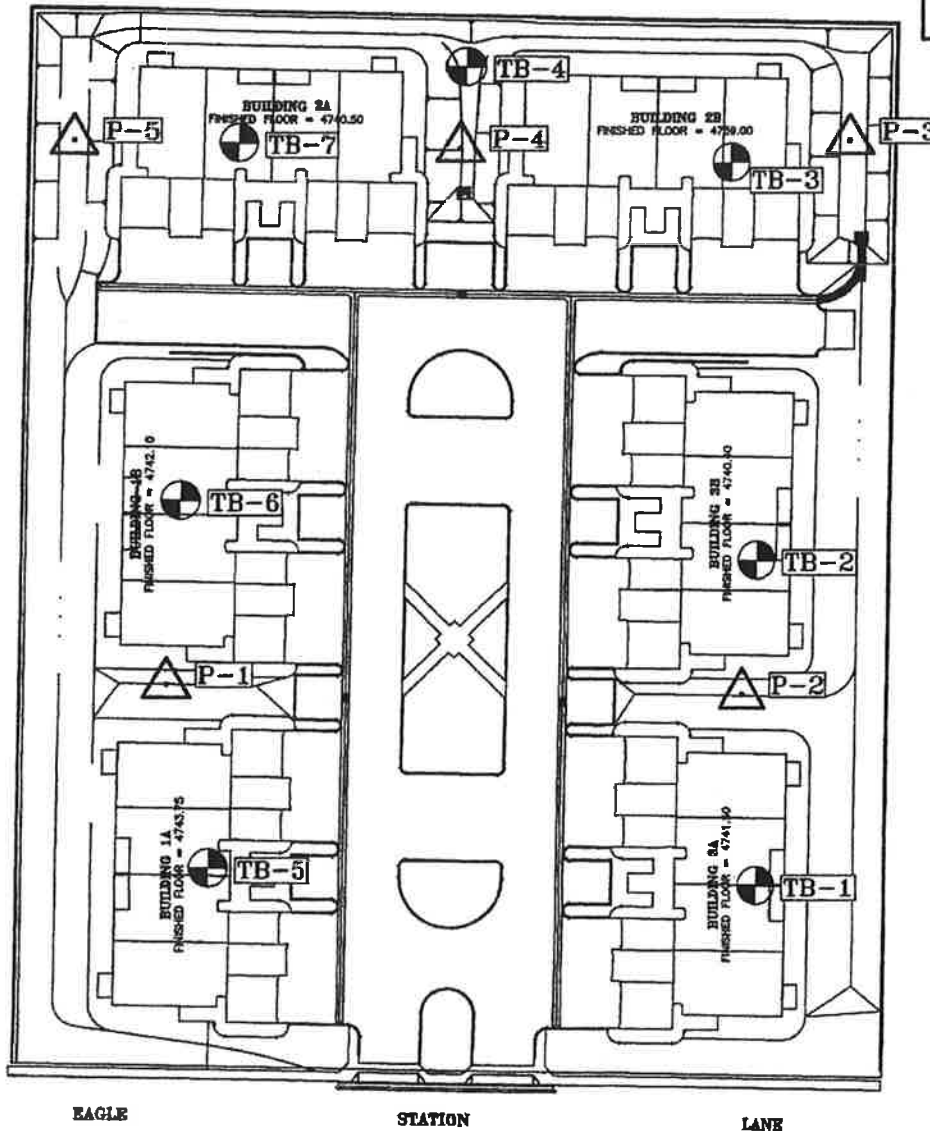


JACKSON FAMILY LIVING TRUST
JACKSON VILLAGE
250 Angela Jackson's Lane
Carson City, Nevada 89701
435.44-1244

Number	40
Date	10-10-2000
Order	1000000000
Product	1000000000

converged after
just 12 minutes
open access


A1.2



VICINITY MAP

Remarks: Not To Scale

Layout from Grading Plan furnished by
Western Engineering & Surveying Services


 = Percolation Boring (2008)

 = Geotechnical Boring (2005)

Job No. 5621.01-A

SITE AND EXPLORATION PLAN

11-18-08

 **Pezonella
Associates, Inc**

**EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA**

Plate No. 1

Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 866-6546 FAX (775) 866-6542


Laboratory Tests and (Other Information)				LOG OF BORING 1	
				Equipment	CME 55 Hollow Stem Auger
				Elevation	4738 Date 11-17-05
• Particle Size Distribution Report (See Plate 10) ** pH=5.71 SO ₄ =15.7 ppm Resistivity=5061 Ohm-cm. *** Sand Equivalent=35 **** Particle Size Distribution Report (See Plate 11)	43/6"	1.9	120	Depth (ft)	BROWN SILTY SAND (SM) Sand medium to fine, very dense, dry becoming damp below 2.0 feet change to medium dense below 2.0 feet
	19			Sample	
	26			5	
	36			10	
	50			15	
	25/6"			20	
	25/5"			25	
	25/5"			30	

No Free Water Encountered

GPS: 39°07.876'N
119°45.956'W

Elevation Reference:

Elevations taken from topographical information furnished by
Western Engineering & Surveying Services


Job No. 5621.01-A	BORING LOG	02-10-06
 Pezonella Associates, Inc Consulting Engineers 520 Edison Way Reno, Nevada 89502 PHONE (775) 856-5565 FAX (775) 856-5542	EAGLE VILLAGE CONDOMINIUMS CARSON CITY, NEVADA	Plate No. 2

				LOG OF BORING 2	
Laboratory Tests and (Other Information)	Driving Resistance Blows/Ft.	Moisture Content (%)	Dry Density (pcf)	Depth (ft) Sample	Equipment <u>CME 55 Hollow Stem Auger</u>
					Elevation <u>4738.5</u> Date <u>11-17-05</u>
	19	1.8	118		BROWN SILTY SAND (SM) Sand medium to fine. medium dense, dry
	19				
	14			5	
	53			10	BROWN POORLY GRADED SAND WITH SILT (SP-SM) very dense, moist sampler refusal at 11.0 feet
	46			15	change to dense below 15.0 feet
	25/6'			20	BROWN SILTY SAND (SM) very dense, moist sampler refusal at 20.5 feet
					No Free Water Encountered
				25	
				30	

GPS: 39°07.908'N
119°45.965'W

Elevation Reference:

See log of Boring 1

Job No. 5621.01-A	BORING LOG	02-10-06
 Pezonella Associates, Inc Consulting Engineers 520 Edison Way Reno, Nevada 89502 PHONE (775) 856-5506 FAX (775) 856-5042	EAGLE VILLAGE CONDOMINIUMS CARSON CITY, NEVADA	Plate No. 3


Laboratory Tests and (Other Information)	Driving Resistance Blows/Ft.	Moisture Content (%)	Dry Density (pcf)	LOG OF BORING 3	
				Equipment	CME 55 Hollow Stem Auger
				Elevation	4735.2 Date 11-17-05
	19	2.3	116	Depth (ft)	BROWN SILTY SAND (SM) Sand medium to fine, medium dense, dry sampler refusal at 2.0 feet
	27/4"			Sample	
	10			5	
	33			10	BROWN POORLY GRADED SAND WITH SILT (SP-SM) dense, moist
	45			15	becoming very dense below 14.0 feet
	51			20	sampler refusal at 20.5 feet
	25/5"			25	sampler refusal at 25.0 feet
	28/5"			30	sampler refusal at 30.0 feet

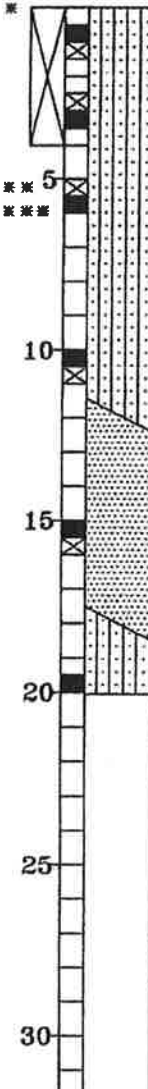
No Free Water Encountered

GPS: 39°07.929'N
119°45.962'W

Elevation Reference:

See log of Boring 1

Job No. 5621.01-A	BORING LOG	02-10-06
 Pezonella Associates, Inc Consulting Engineers 520 Edison Way Reno, Nevada 89502 PHONE (775) 856-5556 FAX (775) 856-6042	EAGLE VILLAGE CONDOMINIUMS CARSON CITY, NEVADA	Plate No. 4

Laboratory Tests and (Other Information)	Driving Resistance Blows/Ft.	Moisture Content (%)	Dry Density (pcf)	LOG OF BORING 4	
				Equipment	CME 55 Hollow Stem Auger
				Elevation	4737.2 Date 11-17-05
* Particle Size Distribution Report (See Plate 12) R-Value Test Report (See Plate 16) Compaction Test Report (See Plate 18) ** pH=6.48 SO ₄ =15.7 ppm Resistivity=2597 Ohm-cm. *** Sand Equivalent=37	17				BROWN SILTY SAND (SM) Sand medium to fine, medium dense, dry
	22	1.7	122		
	14				
	35				becoming dense below 9.0 feet
	38				BROWN POORLY GRADED SAND WITH SILT (SP-SM) dense, moist
	25/6"				BROWN SILTY SAND (SM) very dense, moist sampler refusal at 20.0 feet No Free Water Encountered

GPS: 39°07.939'N
119°45.989'W

Elevation Reference:

See log of Boring 1

Job No. 5621.01-A

BORING LOG

02-10-06



**Pezionella
Associates, Inc**

Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 856-5560 FAX (775) 856-6042

**EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA**

Plate No. 5

Laboratory Tests and (Other Information)	Driving Resistance Blows/Ft.	Moisture Content (%)	Dry Density (pcf)	LOG OF BORING 6	
				Equipment	CME 55 Hollow Stem Auger
				Elevation	4740 Date 11-16-05
	25				BROWN SILTY SAND (SM) Sand medium to fine, medium dense, dry
	21	2.2	120		
	38			5	dense, moist
	42			10	
	27/5"			15	BROWN POORLY GRADED SAND WITH SILT (SP-SM) dense, moist sampler refusal at 15.0 feet
	25/5"			20	BROWN SILTY SAND (SM) very dense, moist sampler refusal at 20.5 feet
					No Free Water Encountered
				25	
				30	

GPS: 39°07.910'N
119°46.009'W

Elevation Reference:

See log of Boring 1

Job No. 5621.01-A

BORING LOG

02-10-06



**Pezonella
Associates, Inc**

Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 556-5500 FAX (775) 556-6042

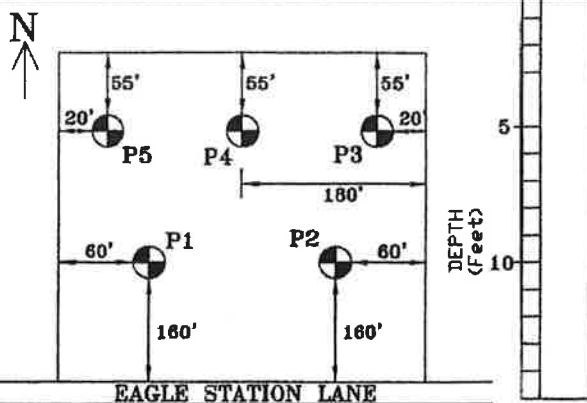
**EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA**

Plate No. 7

HOLE NO. P 1LOCATION: EAGLE VILLAGE CONDOMINIUMSFIELD
TECHNICIAN: KLMSOIL TESTED: SILTY SAND (SM)DIMENSION: 8" diameter, 3' deepSet-Up Run
DATE: 11/12/08 11/13/08

LOG


TIME (Hours/Minutes)	MEASURED DROP (Inches)	REMARKS	
11/12 4 HOUR PRESOAK	0.00	Add Initial water IAW NAC 444.7962	
		Presoak IAW NAC 444.7966 (4 HOURS)	
11/13	0.00	Readjust water to 6" Over Gravel IAW NAC 444.7968	
0:30	3.75	Proceed IAW NAC 444.7968	
0:30	2.50		
0:30	2.25		
0:30	2.00		
0:30	1.75		
0:30	1.50		
0:30	1.00		
0:30	1.00	Terminate IAW NAC 444.7968	PERCOLATION RATE: 30 MPI
			TEST PERFORMED AT: 3.0 FT.
			PIT EVALUATED BY:



SEE BORING LOGS

Job No. 5274.04-A

PERCOLATION TEST RECORD

 **Pezonella
Associates, Inc**
Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 856-5566 FAX (775) 856-8042

EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA

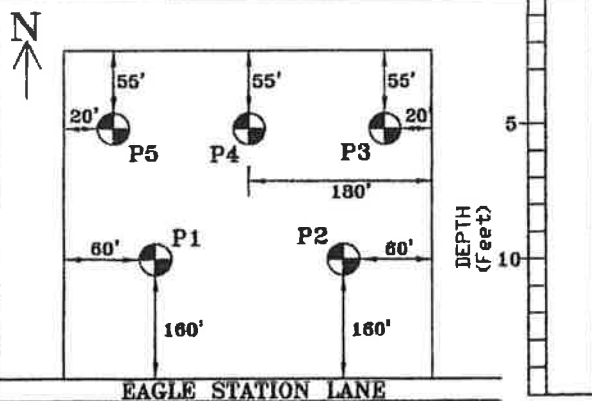
Plate No. 9

HOLE NO. P 2LOCATION: EAGLE VILLAGE CONDOMINIUMSFIELD
TECHNICIAN: KLMSOIL TESTED: SILTY SAND (SM)DIMENSION: 8" diameter, 3' deep

Set-Up Run
DATE: 11/12/08 11/13/08

LOG

TIME (Hours/Minutes)	MEASURED DROP (Inches)	REMARKS	
11/12 4 HOUR PRESOAK	0.00	Add Initial water IAW NAC 444.7962	
		Presoak IAW NAC 444.7966 (4 HOURS)	
11/13	0.00	Readjust water to 6' Over Gravel IAW NAC 444.7968	
0:30	3.00	Proceed IAW NAC 444.7968	
0:30	2.75		
0:30	2.50		
0:30	2.00		
0:30	1.75		
0:30	1.50		
0:30	1.50		
0:30	1.50	Terminate IAW NAC 444.7968	PERCOLATION RATE: 20 MPI
			TEST PERFORMED AT: 3.0 FT.
			PIT EVALUATED BY:



SEE BORING LOGS

Job No. 5274.04-A

PERCOLATION TEST RECORD

Pezonella
Associates, Inc
Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 555-5555 FAX (775) 555-5542

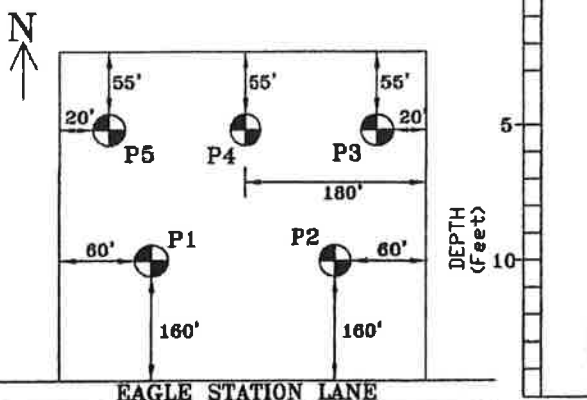
EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA

Plate No. 10

HOLE NO. P 3LOCATION: EAGLE VILLAGE CONDOMINIUMSFIELD
TECHNICIAN: KLMSOIL TESTED: SILTY SAND (SM)DIMENSION: 8" diameter, 3.5' deepSet-Up Run
DATE: 11/12/08 11/13/08

LOG

TIME (Hours/Minutes)	MEASURED DROP (Inches)	REMARKS	
11/12 4 HOUR PRESOAK	0.00	Add initial water IAW NAC 444.7962	
		Presoak IAW NAC 444.7966 (4 HOURS)	
11/13	0.00	Readjust water to 6' Over Gravel IAW NAC 444.7968	
0:30	1.88	Proceed IAW NAC 444.7968	
0:30	1.75		
0:30	1.63		
0:30	1.50		
0:30	1.38		
0:30	1.25		
0:30	1.00		
0:30	1.00	Terminate IAW NAC 444.7968	PERCOLATION RATE: 30 MPI
			TEST PERFORMED AT: 3.5 FT.
			PIT EVALUATED BY:



SEE BORING LOGS

Job No. 5274.04-A

PERCOLATION TEST RECORD

Pezonella
Associates, Inc
Consulting Engineers
520 Edison Way Reno, Nevada 89502
PHONE (775) 856-5555 FAX (775) 856-8042

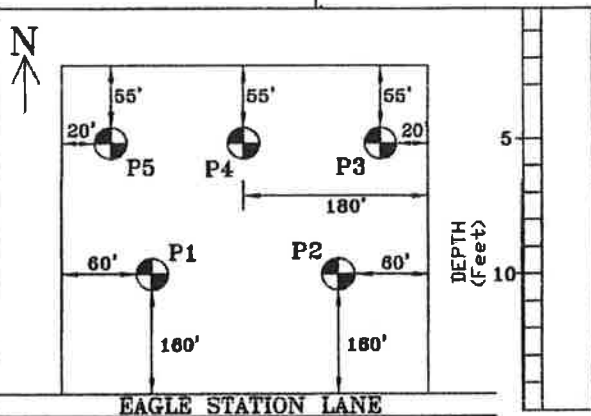
EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA

Plate No. 11

HOLE NO. P 4LOCATION: EAGLE VILLAGE CONDOMINIUMSFIELD
TECHNICIAN: KLMSOIL TESTED: SILTY SAND (SM)DIMENSION: 8" diameter, 4' deepSet-Up Run
DATE: 11/12/08 11/13/08

LOG

TIME (Hours/Minutes)	MEASURED DROP (Inches)	REMARKS	
11/12 4 HOUR PRESOAK	0.00	Add initial water IAW NAC 444.7962	
		Presoak IAW NAC 444.7966 (4 HOURS)	
11/13	0.00	Readjust water to 6" Over Gravel IAW NAC 444.7968	
0:30	2.50	Proceed IAW NAC 444.7968	
0:30	2.25		
0:30	2.00		
0:30	1.75		
0:30	1.63		
0:30	1.50		
0:30	1.25		
0:30	1.25	Terminate IAW NAC 444.7968	PERCOLATION RATE: 24 MPI
			TEST PERFORMED AT: 4.0 FT.
			PIT EVALUATED BY:



SEE BORING LOGS

Job No. 5274.04-A

PERCOLATION TEST RECORD

Pezonella Associates, Inc
 Consulting Engineers
 5320 Edison Way Reno, Nevada 89502
 PHONE (775) 856-5656 FAX (775) 856-6042

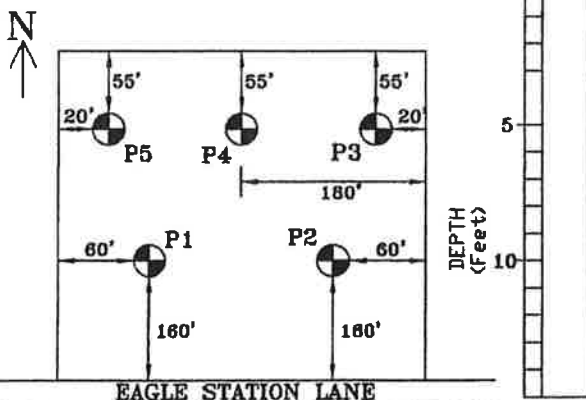
EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA

Plate No. 12

HOLE NO. P 5LOCATION: EAGLE VILLAGE CONDOMINIUMSFIELD
TECHNICIAN: KLMSOIL TESTED: SILTY SAND (SM)DIMENSION: 8" diameter, 4.5' deepSet-Up Run
DATE: 11/12/08 11/13/08

LOG

TIME (Hours/Minutes)	MEASURED DROP (Inches)	REMARKS	
11/12 4 HOUR PRESOAK	0.00	Add Initial water IAW NAC 444.7962	
		Presoak IAW NAC 444.7966 (4 HOURS)	
11/13	0.00	Readjust water to 6' Over Gravel IAW NAC 444.7968	
0:30	2.25	Proceed IAW NAC 444.7968	
0:30	2.00		
0:30	1.75		
0:30	1.63		
0:30	1.50		
0:30	1.38		
0:30	1.25		
0:30	1.25	Terminate IAW NAC 444.7968	PERCOLATION RATE: 24 MPI
			TEST PERFORMED AT: 4.5 FT.
			PIT EVALUATED BY:



SEE BORING LOGS
















Job No. 5274.04-A

PERCOLATION TEST RECORD

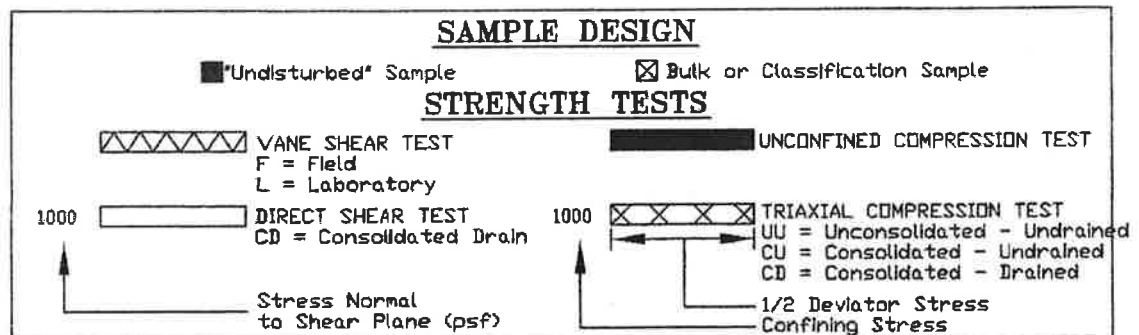
Pezonella Associates, Inc
 Consulting Engineers
 520 Edison Way Reno, Nevada 89502
 PHONE (775) 856-8044 FAX (775) 856-6042

EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA

Plate No. 13

MAJOR DIVISIONS					TYPICAL NAMES	
COARSE GRAINED SOILS MORE THAN HALF IS LARGER THAN #200 SIEVE	GRAVELS MORE THAN HALF COURSE FRACTION IS LARGER THAN No. 4 SIEVE SIZE	CLEAN GRAVELS WITH LITTLE OR NO FINES	GW		WELL GRADED GRAVELS, GRAVEL-SAND MIXTURES	
			GP		POORLY GRADED GRAVELS, GRAVEL-SAND MIXTURES	
		GRAVELS WITH OVER 12% FINES	GM		SILTY GRAVELS, POORLY GRADED GRAVEL-SAND SILT MIXTURES	
			GC		CLAYEY GRAVELS, POORLY GRADED GRAVEL-SAND-CLAY MIXTURES	
	SANDS MORE THAN HALF COURSE FRACTION IS SMALLER THAN No. 4 SIEVE SIZE	CLEAN SANDS WITH LITTLE OR NO FINES	SW		WELL GRADED SANDS, GRAVELLY SANDS	
			SP		POORLY GRADED SANDS, GRAVELLY SANDS	
		SANDS WITH OVER 12% FINES	SM		SILTY SANDS, POORLY GRADED SAND-SILT MIXTURES	
			SC		CLAYEY SANDS, POORLY GRADED SAND-CLAY MIXTURES	
FINE GRAINED SOILS MORE THAN HALF IS SMALLER THAN #200 SIEVE	SILTS AND CLAY LIQUID LIMIT LESS THAN 50		ML		INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY	
			CL		INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS	
			OL		INORGANIC CLAYS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY	
	SILTS AND CLAYS LIQUID LIMIT GREATER THAN 50		MH		INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SANDY OR SILTY SOILS, ELASTIC SILTS	
			CH		INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS	
			OH		ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	
	HIGHLY ORGANIC SOILS			Pt		PEAT AND OTHER HIGHLY ORGANIC SOILS

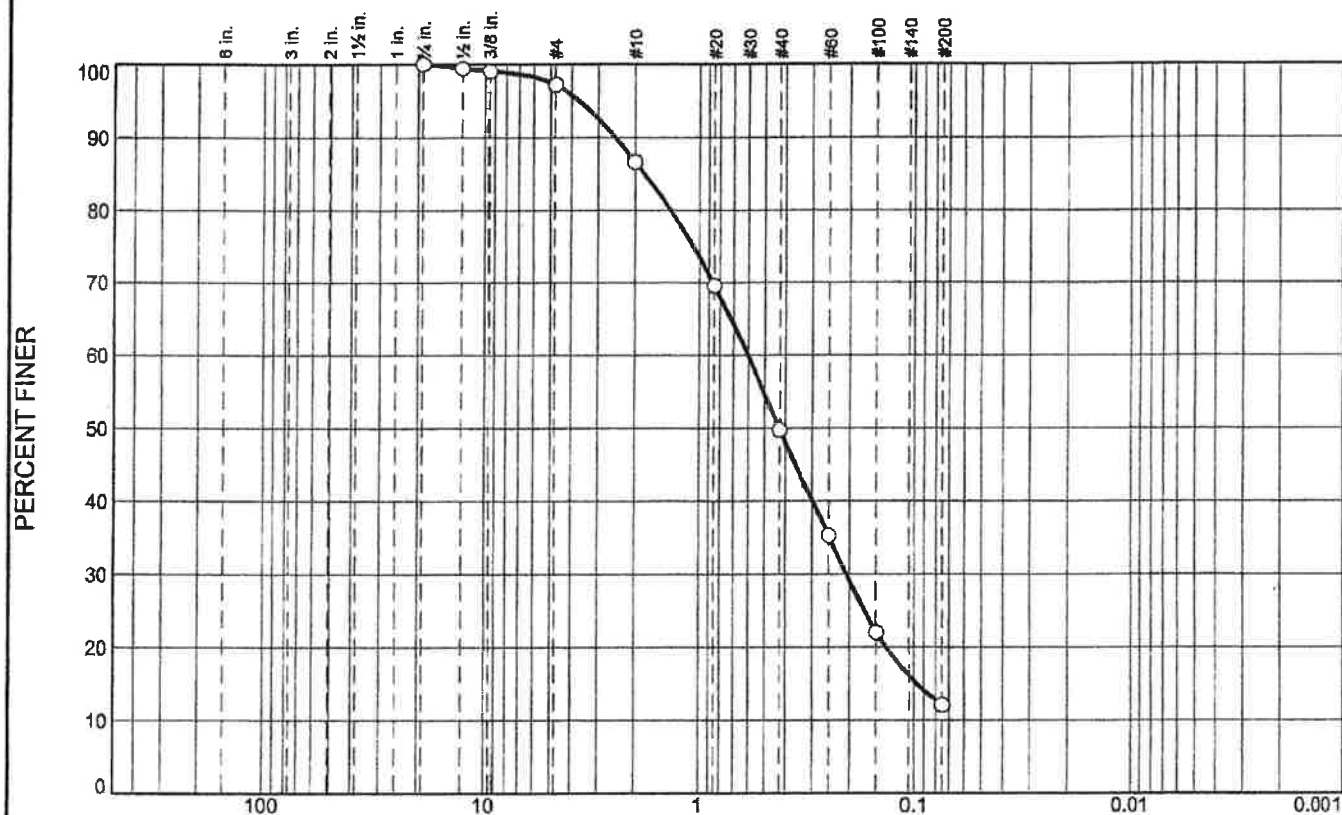
UNIFIED SOIL CLASSIFICATION SYSTEM



KEY TO TEST DATA

Job No. 5621.01-A	EAGLE VILLAGE CONDOMINIUMS	02-10-06
Pezonella Associates, Inc. Consulting Engineers 520 Edison Way Reno, Nevada 89502 PHONE (775) 858-8500 FAX (775) 858-8042	SOIL CLASSIFICATION CHART AND KEY TO TEST DATA	Plate No. 14

Particle Size Distribution Report



GRAIN SIZE - mm.							
% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	2.9	10.4	37.0	37.6	12.1	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
.75"	100.0		
.5"	99.4		
.375"	99.0		
#4	97.1		
#10	86.7		
#20	69.6		
#40	49.7		
#60	35.3		
#100	22.0		
#200	12.1		

* (no specification provided)

Soil Description

Brown silty sand (SM)

PL= Atterberg Limits LL= PI=

Coefficients
D₈₅= 1.8062 D₆₀= 0.6034 D₅₀= 0.4289
D₃₀= 0.2068 D₁₅= 0.0971 D₁₀=
C_u= C_c=

USCS= SM Classification AASHTO=

Remarks

Sample No.:
Location:

Source of Sample: TB-1

Date: 01-30-06
Elev./Depth: 2.5-3.0'

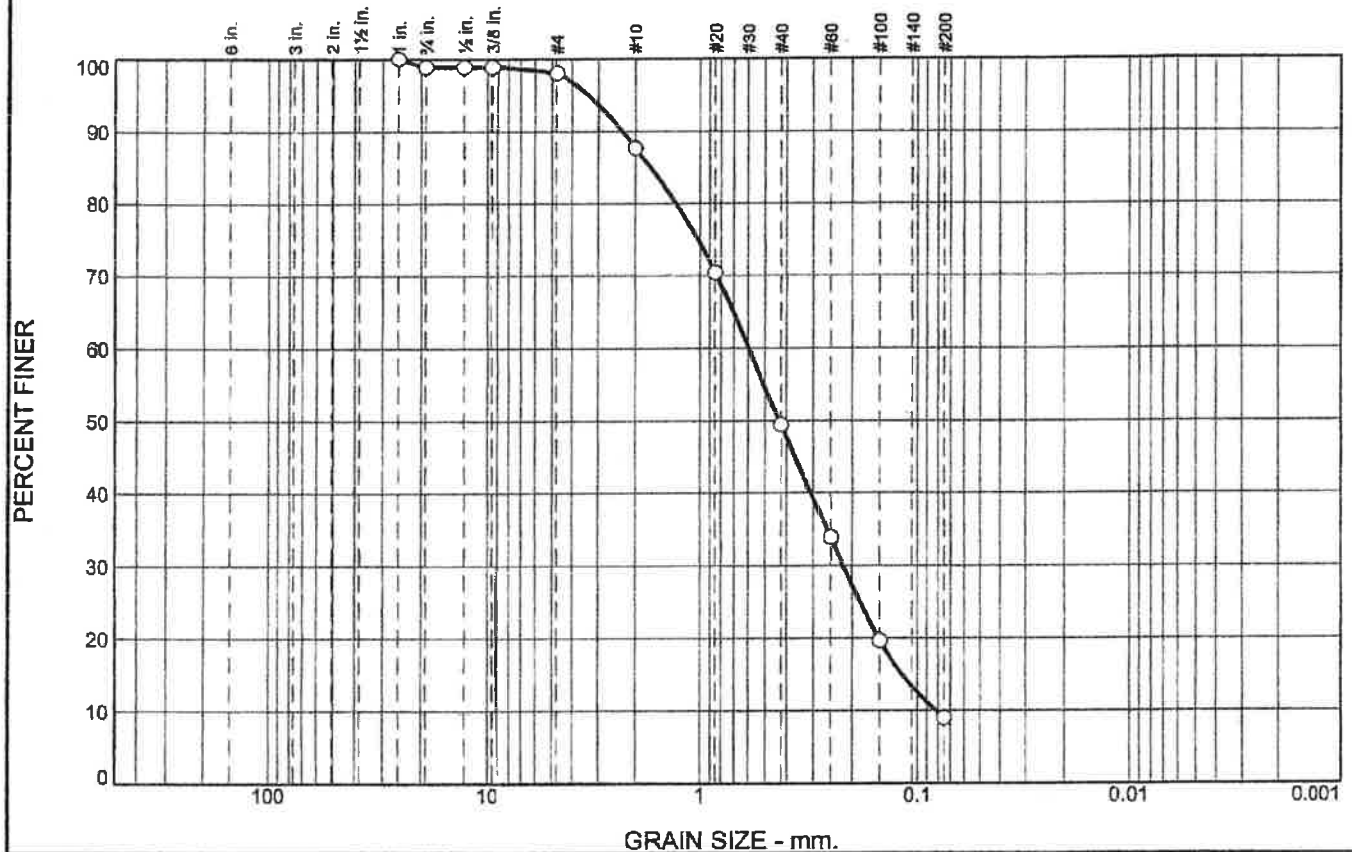
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 15 229

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	1.1	0.9	10.3	38.3	40.4	9.0	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1"	100.0		
.75"	98.9		
.5"	98.9		
.375"	98.9		
#4	98.0		
#10	87.7		
#20	70.4		
#40	49.4		
#60	33.9		
#100	19.6		
#200	9.0		

Soil Description
Brown poorly graded sand with silt (SP-SM)

Atterberg Limits
 PL= LL= PI=

Coefficients
 D₈₅= 1.6965 D₆₀= 0.5960 D₅₀= 0.4329
 D₃₀= 0.2197 D₁₅= 0.1184 D₁₀= 0.0818
 C_u= 7.28 C_c= 0.99

Classification
 USCS= SP-SM AASHTO=

Remarks

* (no specification provided)

Sample No.:
Location:

Source of Sample: TB-1

Date: 01-30-06
Elev./Depth: 10.0-10.5'

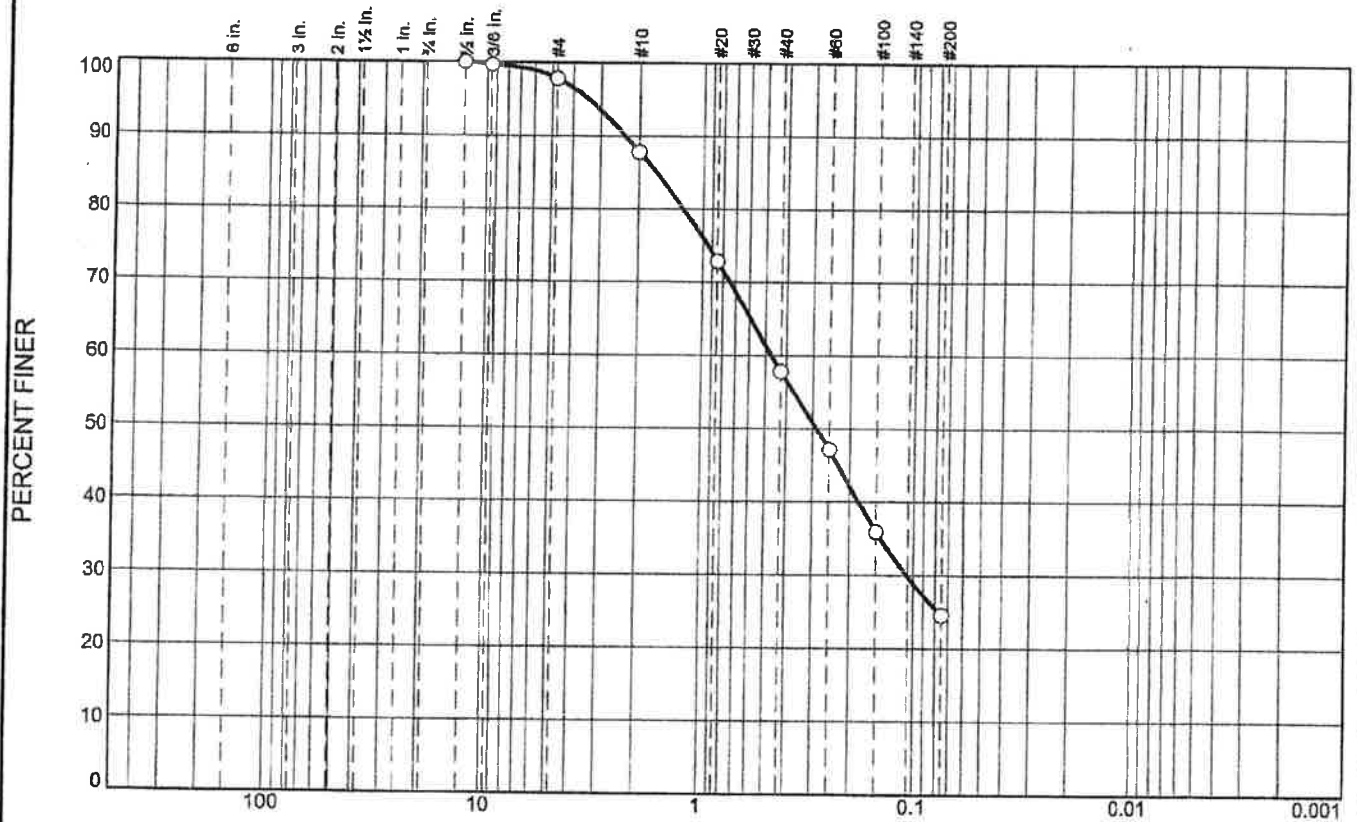
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 16 230

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	2.2	10.0	30.0	33.3	24.5	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
.5"	100.0		
.375"	99.7		
#4	97.8		
#10	87.8		
#20	72.9		
#40	57.8		
#60	47.1		
#100	35.9		
#200	24.5		

(no specification provided)

Soil Description
Brown silty sand (SM)

Atterberg Limits
PL= LL= PI=

Coefficients
D₈₅= 1.6676 D₆₀= 0.4711 D₅₀= 0.2875
D₃₀= 0.1081 D₁₅= D₁₀=
C_u= C_c=

Classification
USCS= SM AASHTO=

Remarks

Sample No.:
Location:

Source of Sample: TB-4

Date: 01-30-06
Elev./Depth: 0.0-4.0'

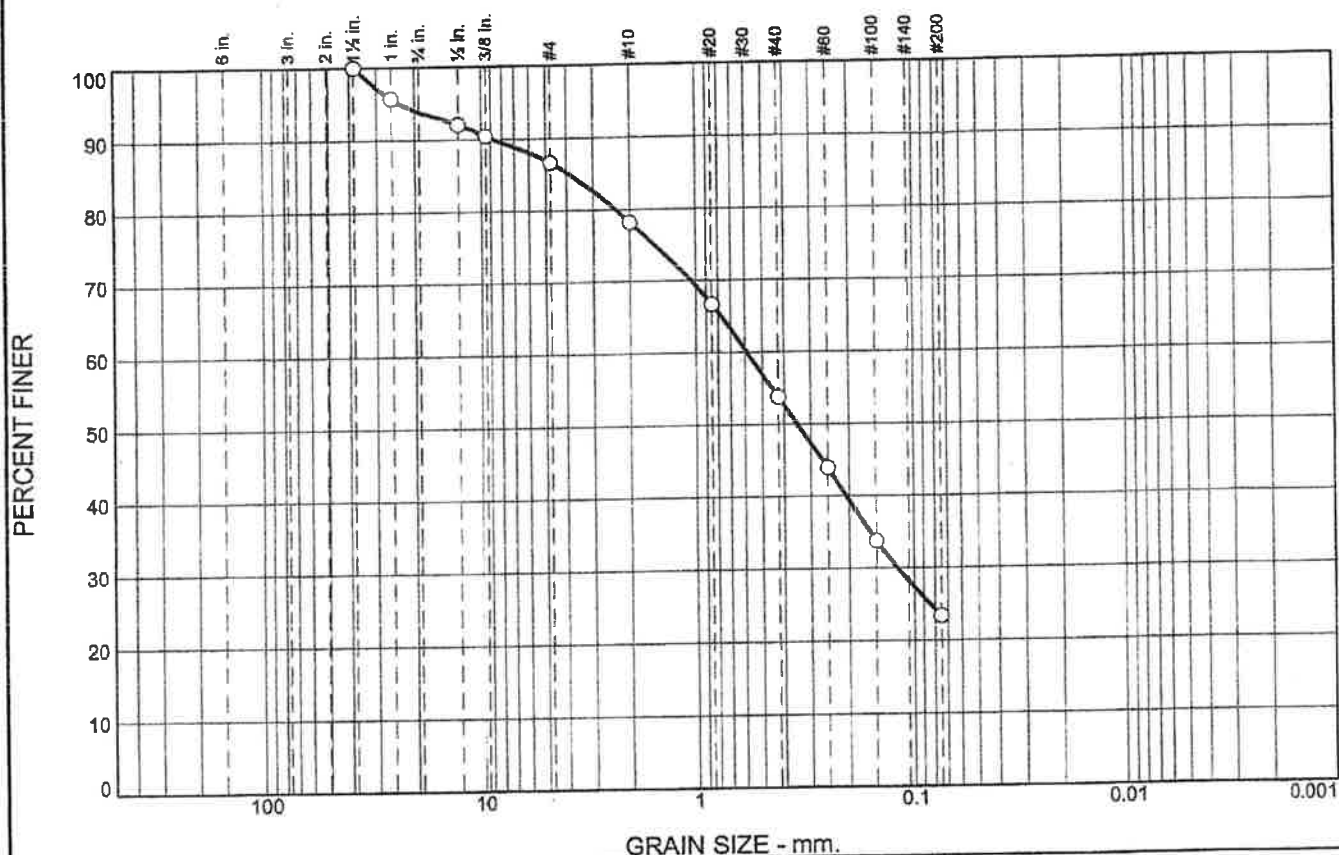
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 17 231

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	6.2	7.2	8.4	24.4	30.4	23.4	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1.5"	100.0		
1"	95.6		
.5"	92.1		
.375"	90.4		
#4	86.6		
#10	78.2		
#20	66.7		
#40	53.8		
#60	43.9		
#100	33.8		
#200	23.4		

Soil Description

Brown silty sand (SM)

PL= Atterberg Limits LL= PI=

Coefficients
 D₈₅= 3.8598 D₆₀= 0.5882 D₅₀= 0.3465
 D₃₀= 0.1199 D₁₅= D₁₀=
 C_u= C_c=

USCS= SM Classification AASHTO=

Remarks

* (no specification provided)

Sample No.:
Location:

Source of Sample: TB-5

Date: 01-30-06
Elev./Depth: 0.0-4.0'

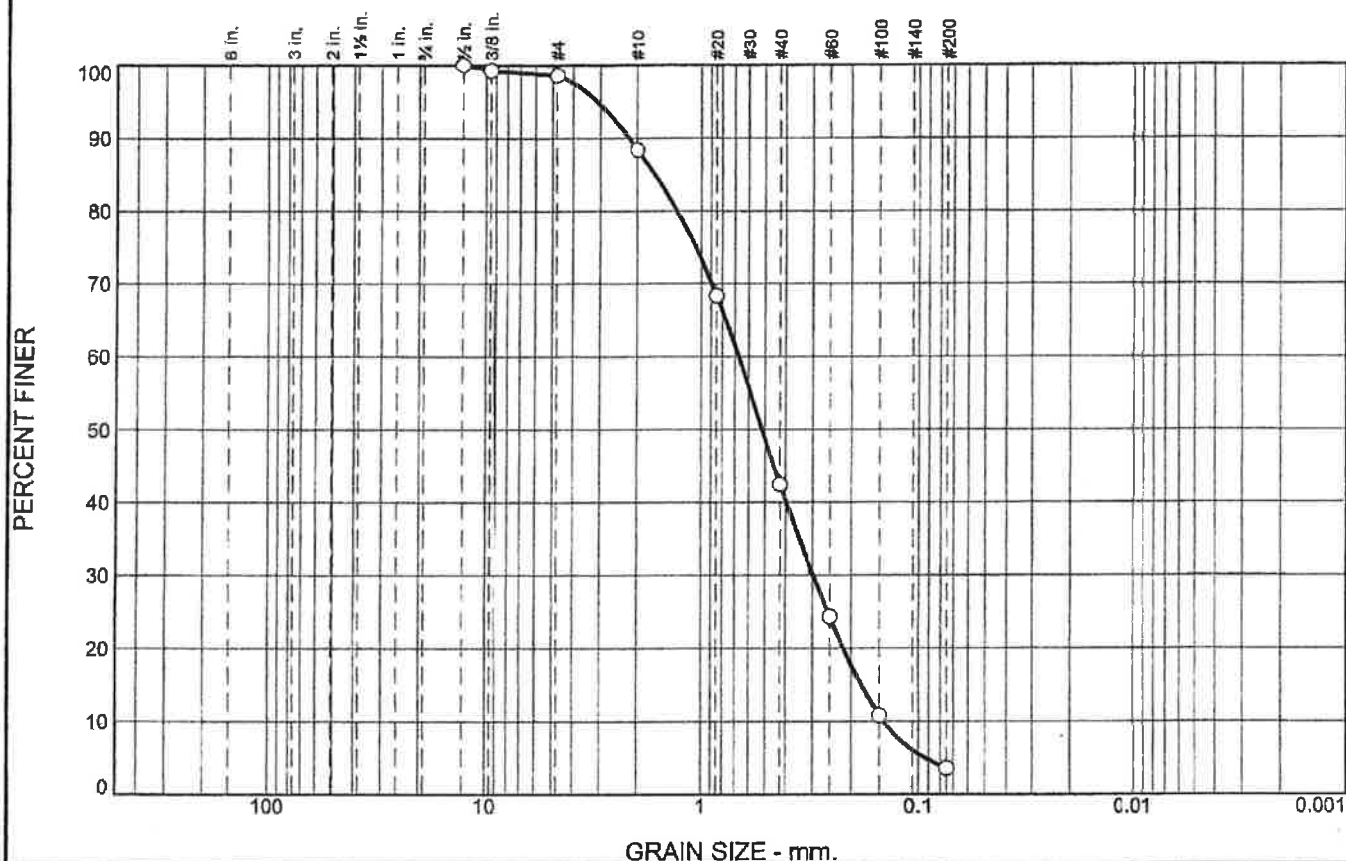
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 18
232

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	1.4	10.2	46.0	38.8	3.6	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
.5"	100.0		
.375"	99.3		
#4	98.6		
#10	88.4		
#20	68.4		
#40	42.4		
#60	24.3		
#100	10.8		
#200	3.6		

* (no specification provided)

Soil Description
Brown poorly graded sand with silt (SP-SM)

Atterberg Limits
PL= LL= PI=

Coefficients
D₈₅= 1.6548 D₆₀= 0.6707 D₅₀= 0.5176
D₃₀= 0.2985 D₁₅= 0.1811 D₁₀= 0.1439
C_u= 4.66 C_c= 0.92

Classification
USCS= SP AASHTO=

Remarks

Sample No.:
Location:

Source of Sample: TB-5

Date: 01-30-06
Elev./Depth: 15.0-15.5'

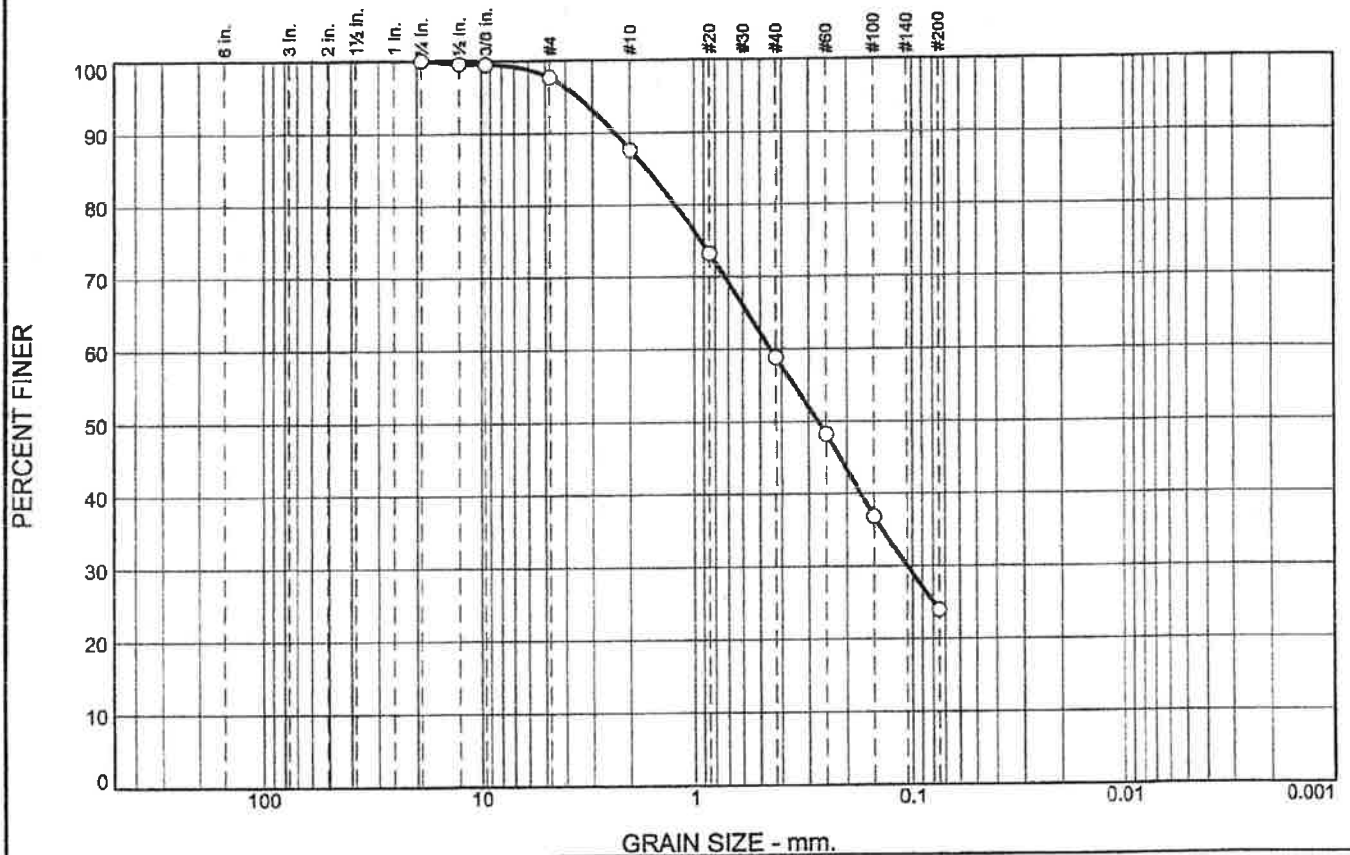
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 19 233

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	2.4	10.0	28.8	34.9	23.9	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
.75"	100.0		
.5"	99.5		
.375"	99.5		
#4	97.6		
#10	87.6		
#20	73.2		
#40	58.8		
#60	48.3		
#100	36.8		
#200	23.9		

* (no specification provided)

Soil Description
Brown silty sand (SM)

Atterberg Limits
 PL= _____ LL= _____ PI= _____

Coefficients
 D₈₅= 1.6849 D₆₀= 0.4502 D₅₀= 0.2716
 D₃₀= 0.1059 D₁₅= _____ D₁₀= _____
 C_u= _____ C_c= _____

Classification
 USCS= SM AASHTO= _____

Remarks

Sample No.:
Location:

Source of Sample: TB-7

Date: 01-30-06
Elev./Depth: 1.0-1.5'

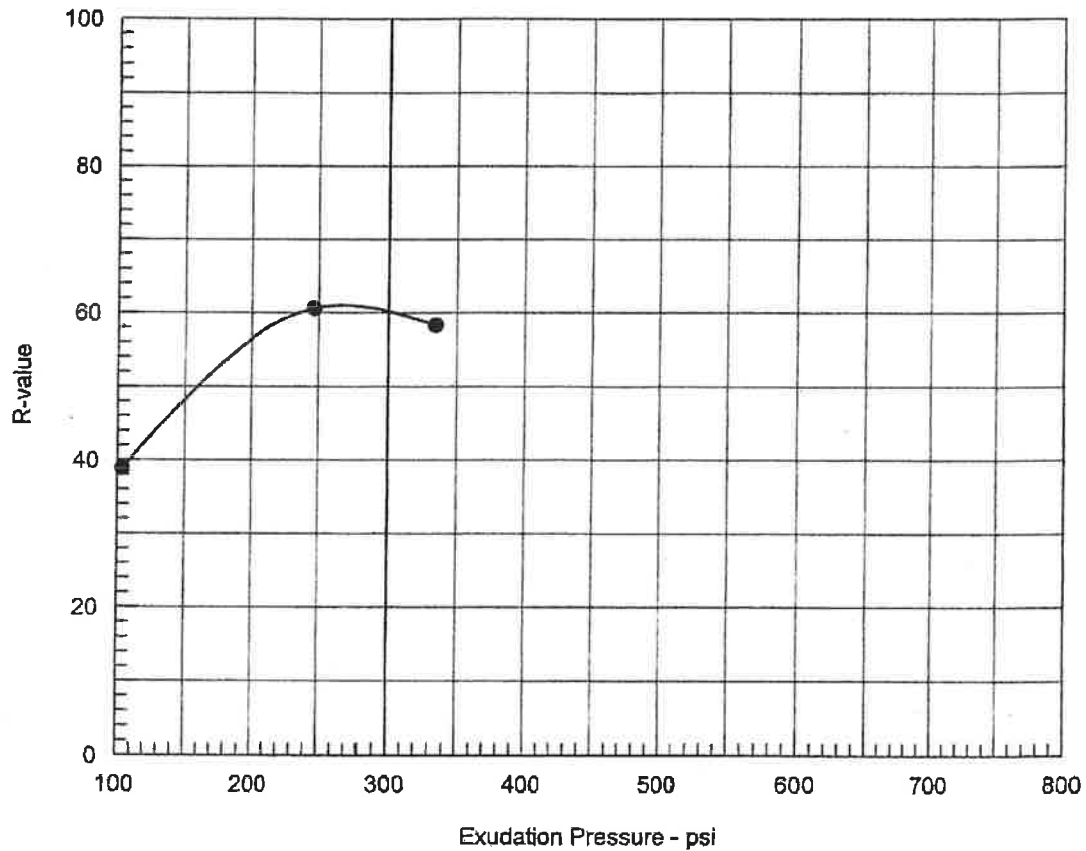
**PEZONELLA
ASSOCIATES, INC.
Reno, Nevada**

Client:
Project: Eagle Village Condominiums

Project No: 5621.01-A

Plate 20 234

R-VALUE TEST REPORT



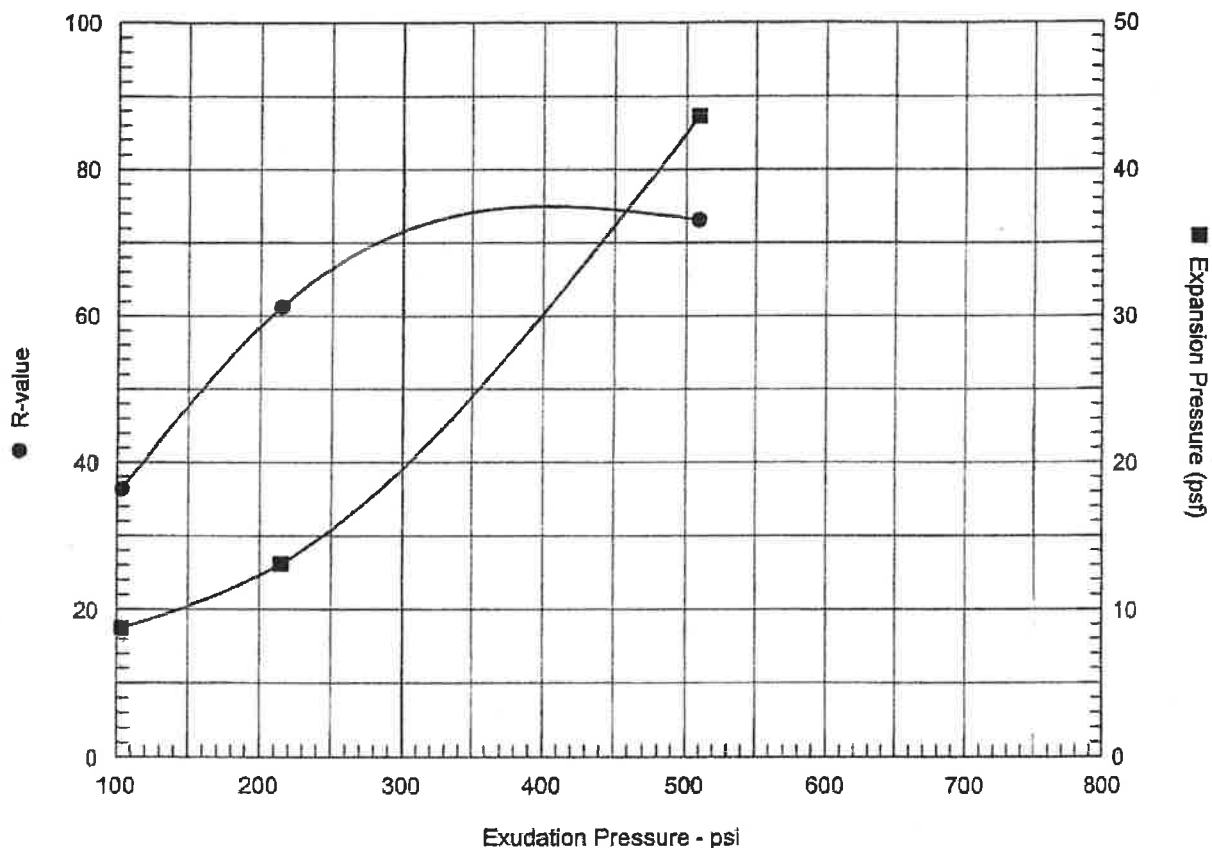
Resistance R-Value and Expansion Pressure - ASTM D 2844

No.	Compact. Pressure psi	Density pcf	Moist. %	Expansion Pressure psf	Horizontal Press. psi @ 160 psi	Sample Height in.	Exud. Pressure psi	R Value	R Value Corr.
1	200	116.6	10.7	0	40	2.51	247	60.6	60.6
2	125	121.5	11.7	0	69	2.51	103	38.8	38.8
3	300	125.9	9.6	0	43	2.48	334	58.3	58.3

Test Results		Material Description	
R-value at 300 psi exudation pressure = 60.2		Brown silty sand (SM)	
Project No.: 5621.01-A Project: Eagle Village Condominiums Source of Sample: TB-4 Depth: 0.0-4.0' Date: 11/18/2008		Tested by: Checked by: Remarks:	
R-VALUE TEST REPORT PEZONELLA ASSOCIATES, INC.			

Plate 21

R-VALUE TEST REPORT

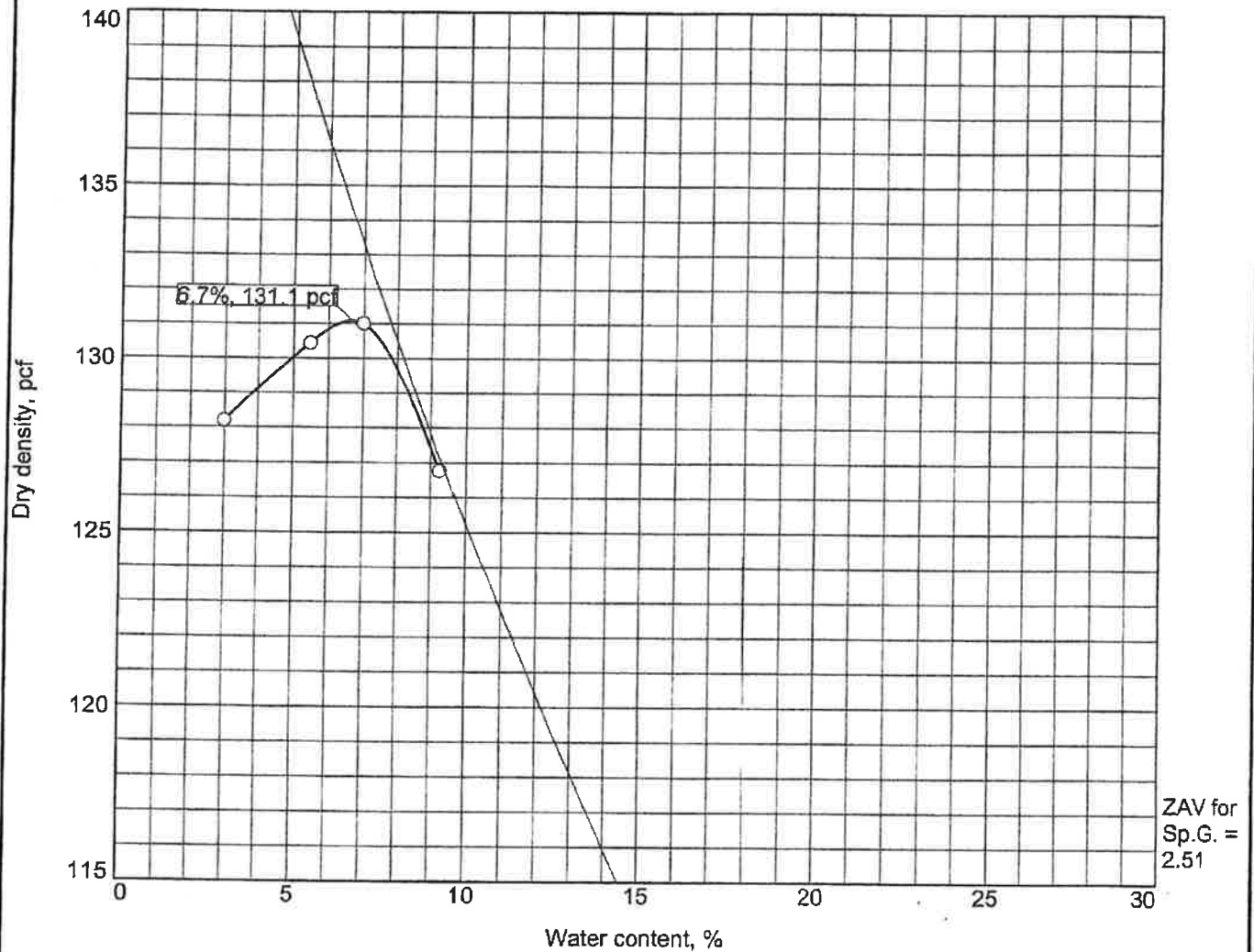


Resistance R-Value and Expansion Pressure - ASTM D 2844

No.	Compact. Pressure psi	Density pcf	Moist. %	Expansion Pressure psf	Horizontal Press. psi @ 160 psi	Sample Height in.	Exud. Pressure psi	R Value	R Value Corr.
1	240	124.5	10.9	9	79	2.55	103	36.3	36.3
2	300	127.5	8.2	44	29	2.54	509	73.1	73.1
3	275	120.4	9.6	13	40	2.51	215	61.2	61.2

Test Results	Material Description
R-value at 300 psi exudation pressure = 71.5 Exp. pressure at 300 psi exudation pressure = 20 psf	Brown silty sand (SM)
Project No.: 5621.01-A Project:Eagle Village Condominiums Source of Sample: TB-5 Depth: 0.0-4.0' Date: 11/18/2008	Tested by: Checked by: Remarks:
R-VALUE TEST REPORT PEZONELLA ASSOCIATES, INC.	
Plate 22	

COMPACTION TEST REPORT

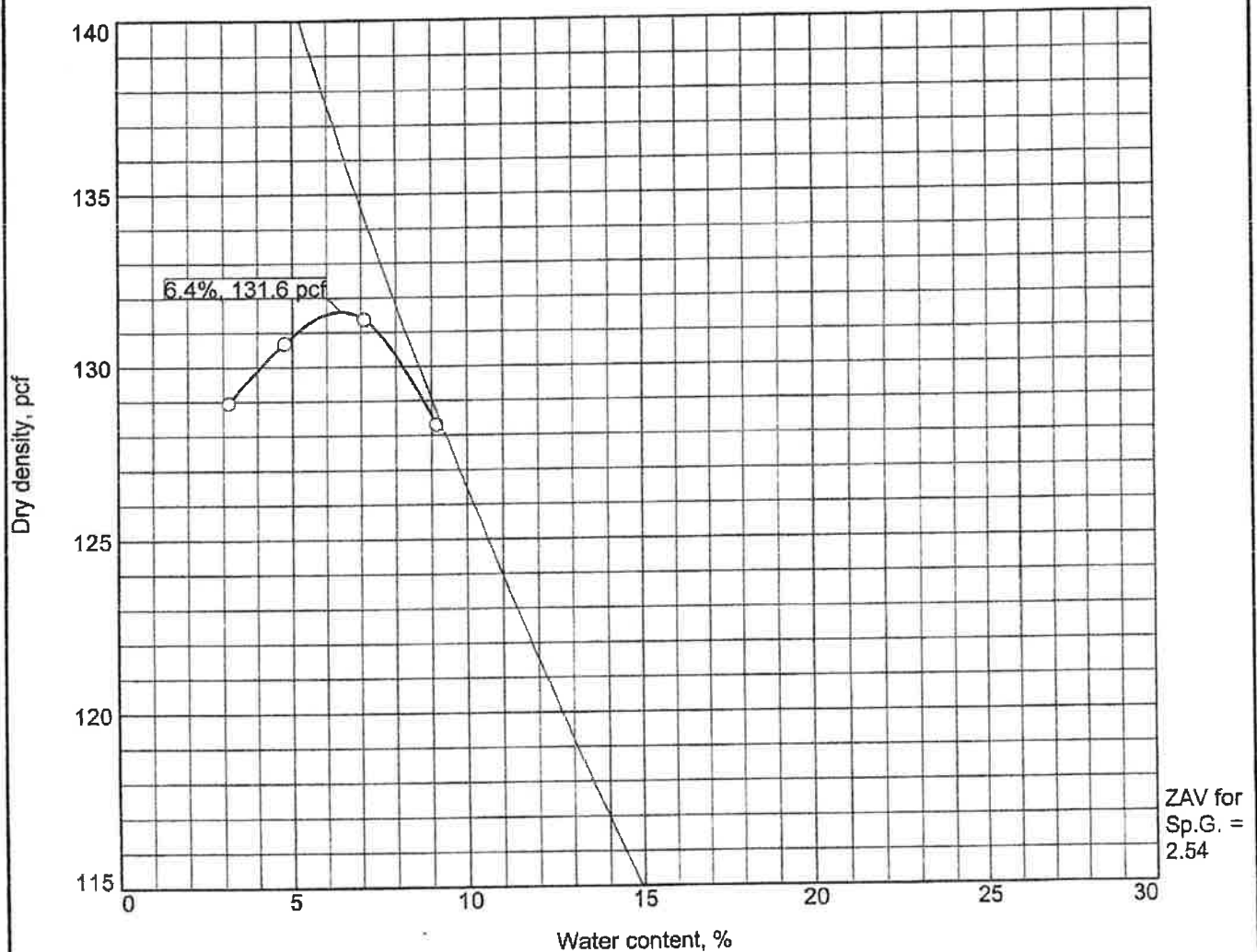


Test specification: ASTM D 1557-02 Method A Modified

Elev/ Depth	Classification		Nat. Moist.	Sp.G.	LL	PI	% > #4	% < No.200
	USCS	AASHTO						
0.0-4.0'	SM						2.2	24.5

TEST RESULTS	MATERIAL DESCRIPTION
Maximum dry density = 131.1 pcf	Brown silty sand (SM)
Optimum moisture = 6.7 %	
Project No. 5621.01-A Client: Project: Eagle Village Condominiums Date: Source of Sample: TB-4 Depth: 0.0-4.0' PEZONELLA ASSOCIATES, INC. Reno, Nevada	Remarks:

COMPACTION TEST REPORT

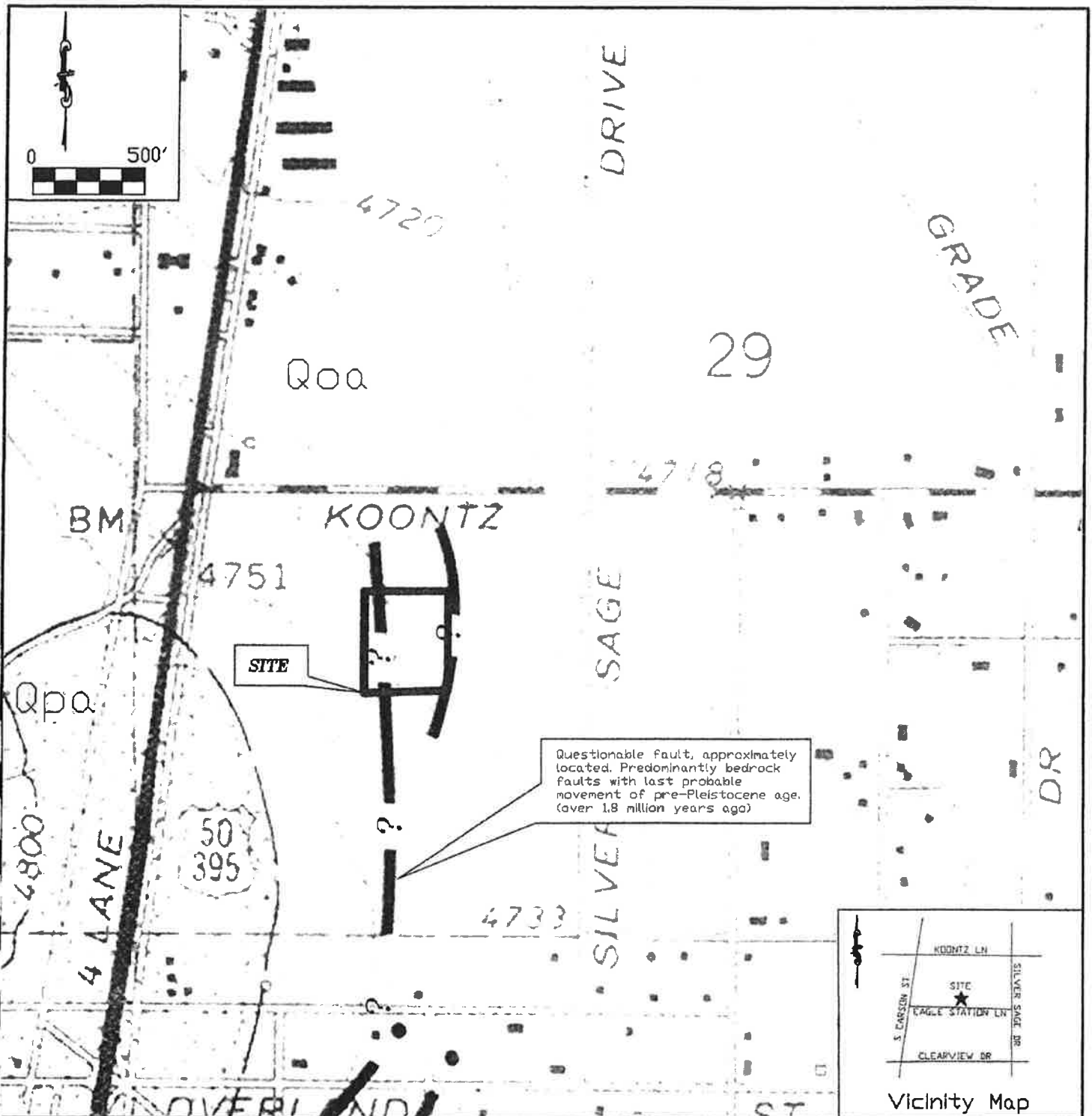


Test specification: ASTM D 1557-02 Method A Modified

Elev/ Depth	Classification		Nat. Moist.	Sp.G.	LL	PI	% > #4	% < No.200
	USCS	AASHTO						
0.0-4.0'	SM						13.4	23.4

TEST RESULTS	MATERIAL DESCRIPTION
Maximum dry density = 131.6 pcf	Brown silty sand (SM)
Optimum moisture = 6.4 %	
Project No. 5621.01-A Client: Project: Eagle Village Condominiums Date: Source of Sample: TB-5 Depth: 0.0-4.0' PEZONELLA ASSOCIATES, INC. Reno, Nevada	Remarks:

Plate 24



Date:
01/26/06

Job No:
5621.01-A

Geologic Map

Ref: Dennis T. Trexler and John W. Bell, Carson City Folio Geologic Map, 1977

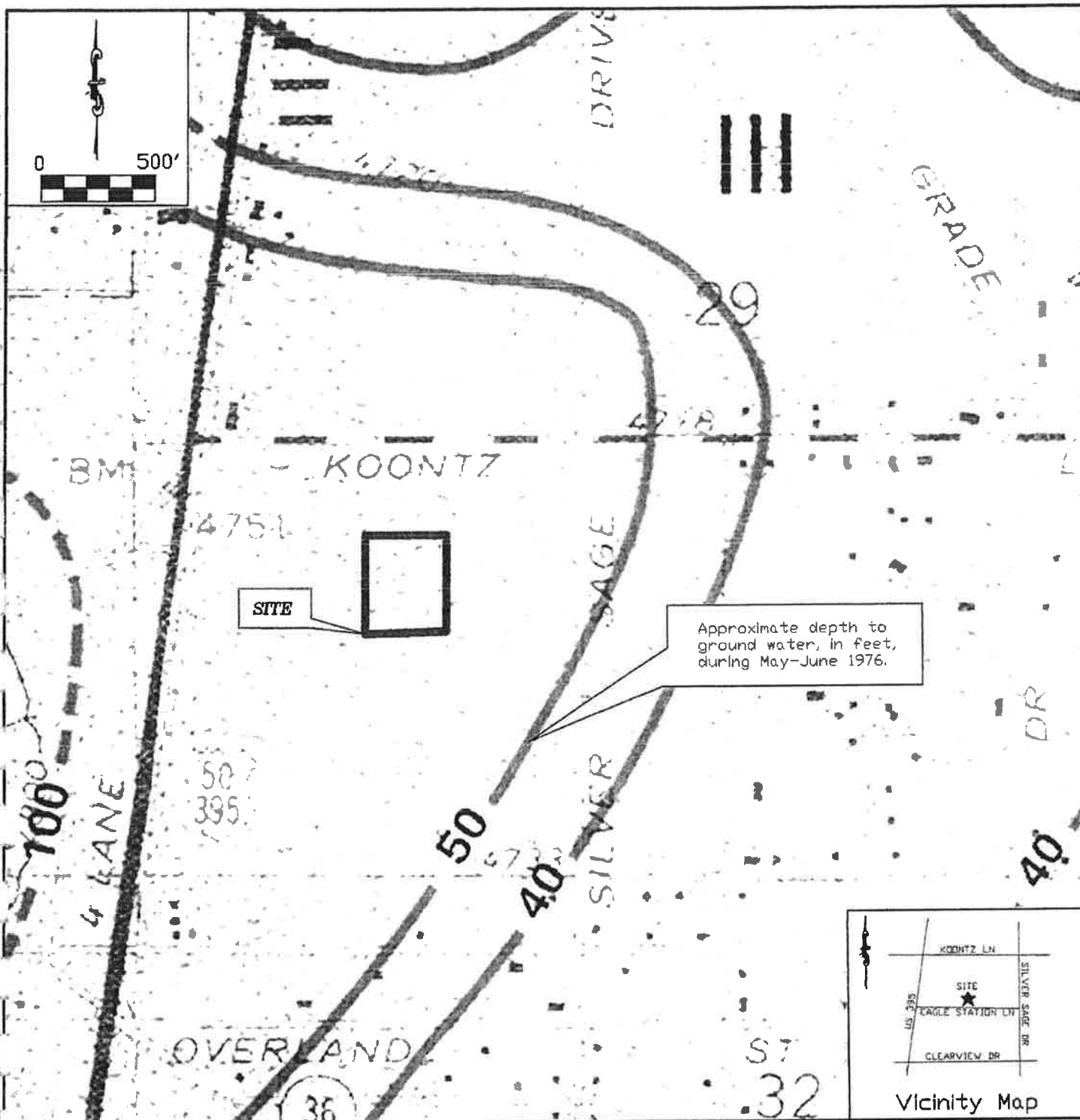



**PEZONELLA
ASSOCIATES, INC.**

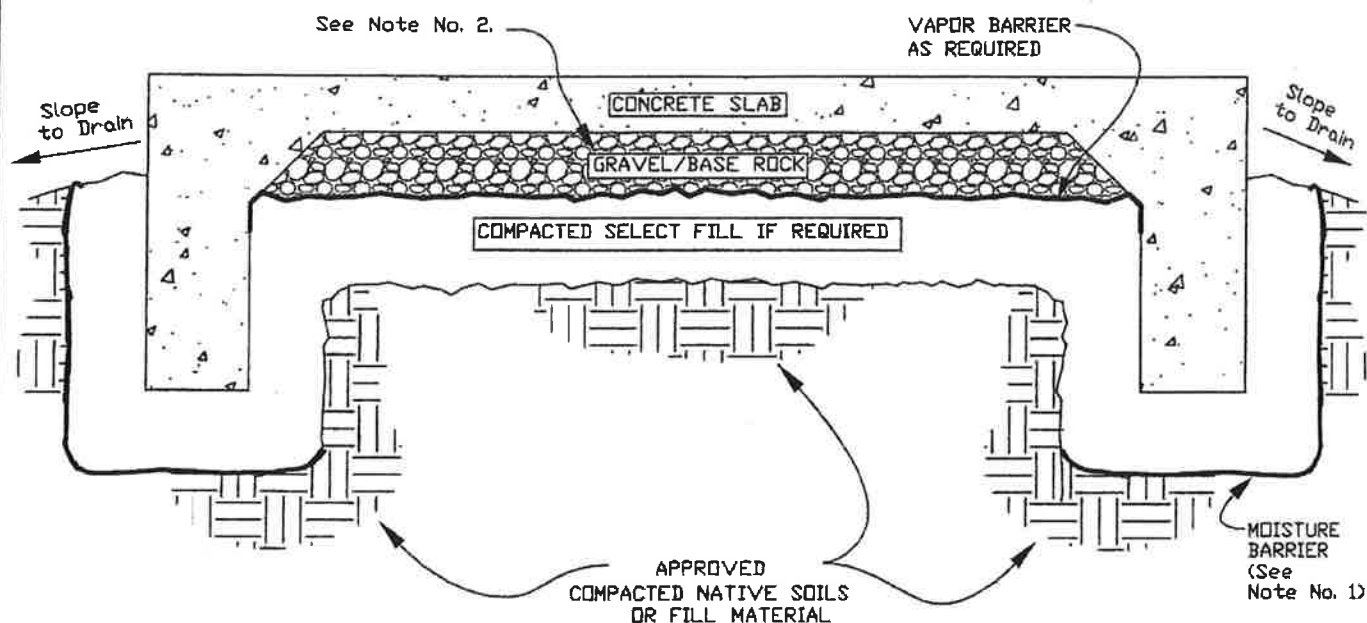
520 EDISON WAY,
RENO, NEVADA 89502

**Eagle Village Condominiums
Carson City, Nevada**

Plate 25



Date: 01/26/06	Job No: 5621.01-A	Depth to Groundwater Map Ref: Terry Katzer, Carson City Folio Groundwater Map, 1980	
 PEZONELLA ASSOCIATES, INC. 520 EDISON WAY, RENO, NEVADA 89502		Eagle Village Condominiums Carson City, Nevada	Plate 26



NOTES:

- 1.) A moisture barrier shall be provided.
- 2.) Thickness of gravel/base rock shall be 4 inches or as determined by a structural engineer.

Not to Scale

Job No. 5621.01-A

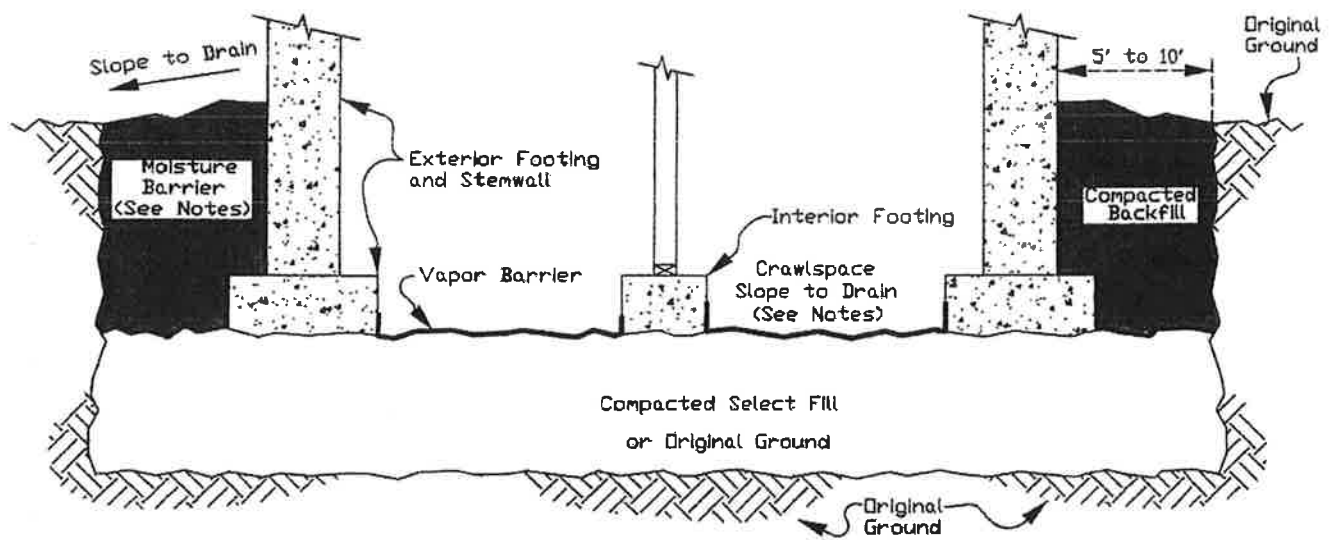
SLAB-ON-GRADE
AND BACKFILL DETAIL

02-10-06

Pezonella
Associates, Inc
Consulting Engineers
620 Edison Way Reno, Nevada 89502
PHONE (775) 556-5556 FAX (775) 556-8048

EAGLE VILLAGE CONDOMINIUMS
CARSON CITY, NEVADA


Plate No.
27



NOTES:

- 1.) A moisture barrier shall be provided where granular material is used as backfill
- 2.) Crawlspace shall be sloped to a suitable point which will aid in conveying any collected water outside the building

Not to Scale

Job No. 5621.01-A	FOUNDATION AND BACKFILL DETAIL	02-10-06
 Pezonella Associates, Inc Consulting Engineers 520 Edison Way Reno, Nevada 89502 PHONE (775) 855-5555 FAX (775) 855-8942	EAGLE VILLAGE CONDOMINIUMS CARSON CITY, NEVADA	Plate No. 28