

STAFF REPORT FOR PLANNING COMMISSION MEETING OF OCTOBER 28, 2015

FILE NO: SUP-15-095

AGENDA ITEM: F-4

STAFF AUTHOR: Kathe Green, Assistant Planner

REQUEST: Special Use Permit to allow a new wireless telecommunication tower with an 80-foot tall monopole on property zoned General Commercial (GC).

OWNER: Carson Gaming LLC

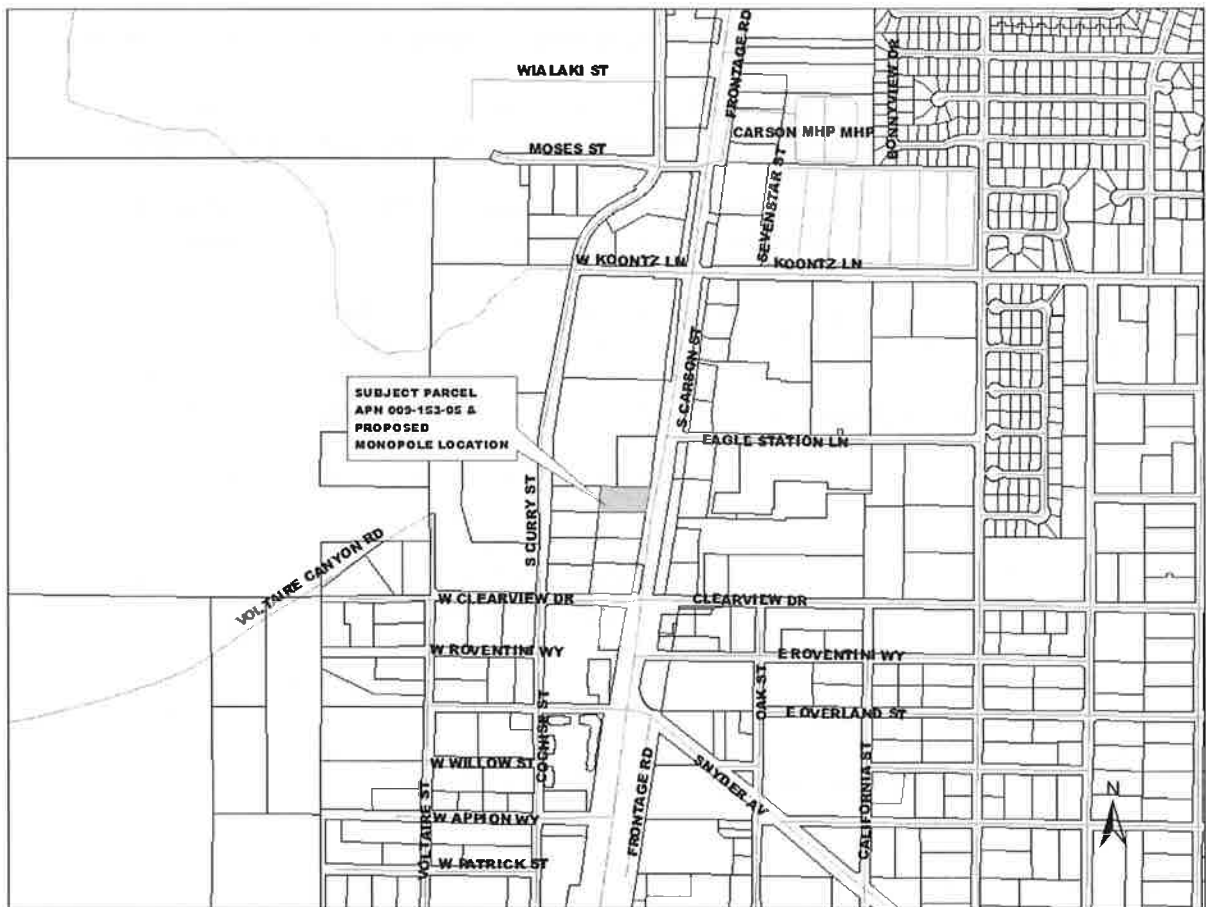
APPLICANT: Verizon Wireless

AGENT: Epic Wireless for Verizon Wireless/Buzz Lynn

LOCATION: 3910 South Carson Street

APN: 009-153-05

RECOMMENDED MOTION: "I move to approve SUP-15-095, a Special Use Permit to allow a wireless telecommunication facility with an 80-foot tall monopole on property zoned General Commercial, located at 3910 South Carson Street, APN 009-153-05, based on the findings and subject to the conditions of approval contained in the staff report."



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall obtain a building permit from the Carson City Building Division prior to any proposed construction.
5. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning and Community Development Department 30 days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

The following shall be submitted with any building permit application:

6. The applicant shall submit a copy of the Notice of Decision and conditions of approval, signed by the applicant and owner, with any building permit application.
7. All projects and improvements must be performed in accordance with Nevada State Revised Statutes (NRS) 623 and 624 and Carson City Municipal Code (CCMC) 15.05.020
8. Any repairs, replacement, and alterations must comply with 2012 International Building Codes, 2012 Uniform Plumbing Code, Uniform Mechanical Code or 2012 International Mechanical Code, 2012 Fuel Gas Code, 2011 Electrical Code, Adopted International Energy Conservation Code, and 2012 Northern Nevada Amendments.
9. All contractors are required to carry State and local license.
10. The applicant shall submit documentation with a building permit application that the applicant is licensed by the Federal Communications Commission (FCC) and has the legal right to install and use the proposed facility.
11. The project boundary leased area will be surrounded by an existing CMU retaining wall, new CMU wall, or chain link fencing. Chain link fencing shall include sight obscuring slats to the full height of the fencing. Overall height of CMU retaining wall with chain link fencing on top shall not exceed 12 feet. The CMU wall sections shall not be more than eight feet in height.
12. The exterior of facilities and equipment shall not be lighted unless required by Federal Aviation Administration (FAA), with the exception of manually operated emergency

lighting. The tower structure shall include a light fixture at the same height and appearance of other poles in the parking area. The applicant shall submit exterior light fixture details for any proposed fixtures for the facility and pole with a building permit application. On-site lighting of the ground facility shall only be turned on during maintenance visits to the site. Lights must be recessed or shielded with a 90-degree full cutoff so that light is projected downward and not horizontally or upward. Light sources or refractors shall not extend below the bottom of the shield.

13. Ground and roof mounted facilities shall be painted a non-glossy color that blends with the surrounding natural environment. Provide proposed color choices for the monopole, antennas, exterior of equipment building, and chain link slats with the building permit.

The following applies to the site throughout the life of the project:

14. This approval allows the placement of one additional carrier on the monopole structure and future ground-mounted equipment shelter within the ground lease area as stated in the plans submitted and approved with this application, subject to the conditions of approval. The applicant shall reasonably allow for co-location of at least one other provider's antennas on the pole structure, if technically feasible, by limiting the cost to the providers to a fair and equitable share of the lease, design, capital costs for the construction and reasonable maintenance.
15. The exterior of the lease area shall contain adequate controlled access and be posted with a one square foot sign indicating the facility owner(s) and 24-hour emergency telephone number.
16. This permit shall become null and void and the wireless communications tower structure shall be removed from the site if and when the use is abandoned for a period of more than 12 consecutive months.
17. Three pine trees are proposed to be removed to accommodate construction. Replacement trees will be required on this parcel or at another public location in compliance with Development Standards Division 3.4. If off-site replacement is proposed, applicant will pay an appropriate fee to the Parks and Recreation Department.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), 18.04.135 (General Commercial Uses), 18.15 (Communication Facilities and Equipment), and Development Standards Division 1 Land Use and Site Design at 1.9 (Wireless Telecommunication Facilities and Equipment).

MASTER PLAN DESIGNATION: Commercial/Regional Commercial (C/RC)

PRESENT ZONING: General Commercial (GC)

KEY ISSUES: Will the proposed wireless telecommunication facility with a 80 foot tall monopole be in keeping with all of the standards of the Carson City Municipal Code? Is this location appropriate for this facility and monopole? Will the monopole substantially increase reception and coverage of wireless telecommunication for users in this vicinity?

SURROUNDING ZONING AND LAND USE INFORMATION

WEST: General Commercial (GC)/vacant land

EAST: General Commercial (GC)/Highway 395/50, then shopping center
NORTH: General Commercial (GC)/Hotel
SOUTH: General Commercial (GC)/Taco Bell

ENVIRONMENTAL INFORMATION

1. FLOOD ZONE: D
2. EARTHQUAKE FAULT: Moderate, Zone III, within 500 feet
3. SLOPE/DRAINAGE: Slopes to east
4. SOILS: 58- Surprise coarse sandy loam, 2 to 4 percent slopes

SITE DEVELOPMENT INFORMATION

1. LOT SIZE: 1.03 acres/44,855 square feet
2. STRUCTURE SIZE: 80-foot tall monopole, with a 30 by 30 foot screened area containing the pole and supporting equipment.
3. STRUCTURE HEIGHT: 80-foot monopole, surrounding CMU wall maximum height eight feet, chain link fencing maximum four feet on top, maximum height CMU with fencing on top is 12 feet. Other areas of chain link fencing are limited to a maximum height of seven feet. Equipment within the structure is not to exceed the height of the fencing. Barbed wire will be allowed on top of the chain link fencing.
4. PARKING: No assigned parking space. There is adequate parking on site for required monthly maintenance visits.
5. SETBACKS: Zero setbacks are required other than when a property is adjacent to residential or streets in the General Commercial zoning district.
6. VARIANCES REQUESTED: None

PREVIOUS REVIEWS

- SUP-07-059 Signs were reviewed to exceed size and square footage
- U-89/90-10 Allow banners and pennants

BACKGROUND:

Wireless telecommunication facilities are regulated by the Federal Telecommunications Act. This Act sets forth requirements and standards for both wireless service providers and local governments. The regulations for such facilities within the Carson City Municipal Code are based on the requirements of the Act, which are generally intended to facilitate the provision and expansion of the wireless service network nationwide while retaining zoning control at the local government level.

DISCUSSION:

A Special Use Permit is required for the following reasons:

According to CCMC Title 18.15.025.2 Communication Facilities and Equipment, a telecommunication tower in any non-residential zoning district requires approval of a Special Use Permit unless the tower is proposed as a co-location on an existing tower, and does not increase the height of the tower by more than 10 feet, or the tower meets the height restriction of the proposed zoning district, or does not increase the height of an existing tower. This proposal is for development of an 80- foot tall monopole in the General Commercial zoning district where the maximum height allowed is 45 feet.

This facility is proposed as a monopole, rather than attached to or within a building. It is proposed as a pole design, rather than disguised as a pine tree, as there are no other large trees in this vicinity which are of a height or type that would meld with a faux pine tree

appearance. The applicant is proposing a light fixture on the pole at the height of the other pole fixtures in the vicinity. The surrounding property is parking area or vacant, and the only other buildings near this location are the hotel to the north, parking garage to the northwest and Taco Bell to the south. The applicant states the other buildings in this vicinity would not be viable for co-location. The applicant has also submitted documentation showing the level of improvement to services in this area for wireless phone customer services, to support the need for the requested height of the monopole in this location. It is noted all utility lines would be underground to the facility.

Verizon aims to provide enhanced cellular communication utility service in its communications network of customers in Carson City and surrounding areas through enhanced communication services for greater safety and efficiencies in the foreseeable future. This coverage will provide more reliable and efficient communications service, including emergency calls such as fire, sheriff, ambulance and public works, along with the general citizenry and traveling public. There is a continuing need for expansion of telecommunication facilities as wireless has become extremely popular, with the volume of electronic media being transmitted increasing at a tremendous rate. There is an ongoing desire from the public for complete wireless coverage, with improved call quality, signal strength, wireless connection services, and downloading of information, without dropped calls or interruption of service. The applicant has provided detailed maps showing the improved coverage which is anticipated if this request is approved.

There are several telecommunication facilities which have been placed on top of buildings, as monopoles, and monopines in Carson City as the demand for these services has expanded. The applicant has provided justification for the proposed location, showing existing and proposed coverage if the monopole is approved at this location.

The applicant has also provided photo-simulation pictures of the vicinity of the proposed monopole. The site is presently used as a parking lot. While there has been improvement of this site with placement of landscaping and striped parking, the parcel has not been developed with any buildings. The parcel to the north has been developed as a hotel, the area to the west is vacant, the area to the south is a Taco Bell restaurant, while the area directly to the east is the highway, then a shopping center farther east.

It is noted that the proposed telecommunication site is a large parking island, with three mature pine trees and shrubs on site. The text from the applicant states no landscaping will be disturbed, but a subsequent conversation clarified that landscaping will be removed as a consequence of this construction. The applicant agreed to pay the cost to replace these three trees on this parcel or at public location in compliance with Development Standards Division 3.4. The height of these removed trees must be replaced at the rate of 2:1 height, or replacement of 12 feet of existing tree height with 24 feet height of new trees. Replacement trees may be deciduous. A replacement two-inch caliper deciduous tree equals six foot of evergreen tree height. Costs for purchase and planting of off-site trees are determined by and in compliance with the Parks and Recreation Department policies. The applicant will work with Vern Krahn of the Parks and Recreation Department to determine the height of existing trees and determining the appropriate fee to be paid.

The applicant provided text in compliance with Development Standards Division 1 Land and Use Design, Section 1.9:

Location and placement standards- The proposed location for a monopole is on a parcel in the

south area of Carson City. According to the applicant, there are no other structures or facilities in this area which have sufficient height or location to accomplish the desired coverage. Therefore, the applicant is proposing a new monopole, similar in height and character to other light standard poles in the area, but with additional requested height to 80 feet. The applicant states the proposed monopole would be of sufficient height and construction to provide wireless coverage to existing and future customers as well as to provide the opportunity for co-location of at least one more carrier on the monopole in the future, although the shelter area may need to be expanded to accommodate this co-location.

There are trees in the area and on the parcel involved, but no trees of adequate height are in the vicinity to provide screening of the proposed pole height of 80 feet. A monopole is being proposed rather than a monopine, as a faux tree will be out of character with the surrounding landscape. The color of the pole and antennas would be reviewed as a condition of the building permit. The applicant suggests the monopole be the same color as the existing light fixture poles on site. This monopole is proposed at the rear of the parcel, at the southwest corner of the existing parking area. One parking island is proposed to be removed from the parking area to accommodate the new monopole, equipment shelter facility and CMU wall, fencing with chain link and slats. No removal of parking spaces is proposed at this time. It is noted there is an elevation change directly west and south of the proposed area, which will provide additional screening of the site. There is an access way leading from the higher Curry Street down to South Carson Street which passes this parcel on the west and south. The monopole improvements will be at the lower elevation area.

The standards require that the applicant be licensed by the Federal Communications Commission (FCC) in order to operate the proposed facility. A condition of approval requires that the applicant submit this documentation with the building permit submittal.

Height and dimension standards- The height of the proposed equipment facility is one story. The height of the proposed pole is 80 feet with antennas proposed at 76 feet. The applicant states there is adequate room for co-location of a carrier on the pole in the future, but the shelter area on the ground may need to be expanded to provide adequate room for supporting equipment. The height restriction in the General Commercial zoning district is 45 feet. Therefore, the height of the proposed monopole must be reviewed and approved by the Planning Commission under a Special Use Permit prior to the implementation of the use. The applicant states the height of the monopole needs to be 80 feet to reach the intended service area to provide the service desired, and has provided coverage maps in support of this requirement.

Setbacks- The setbacks in the General Commercial zoning district are zero unless adjacent to a street, where a six-foot wide landscaping strip is required or adjacent to a residential zoning district, then 30 feet is the required setback. This property is not adjacent to a residential zoning district. Freestanding facilities and equipment shall not be located closer than four times the facility height from any residentially zoned property. The required minimum would be 80 feet in height times four or 320 feet. No properties are residentially zoned within this distance from the parcel.

A 30-foot wide access, drainage and public utility easement exists to the south and west of this property. There will not be adequate space between the CMU wall on the west and proposed equipment location for a landscape area in this location. This is the current situation as well. Landscaping exists on the parcel area to the south of the proposed equipment location and will

be continued in this area. This review includes the request to continue to waive the requirement for a six-foot wide landscape area on the west of the proposed construction.

Design Standards- The equipment facility building is proposed as one story, with a perimeter CMU wall. The area which is a retaining wall will have four feet of chain link fencing with slats on top. The remainder will have seven foot tall chain link fencing around the leased 30 feet by 30 feet area. All of the chain link fencing will have sight obscuring slats. Barbed wire strands may be added to the top of the chain link fencing to provide an additional level of security if necessary. The color of the building, fencing slats, pole and antennas will be determined during the Building Permit process, but will be a neutral color, designed to match the other improvements on site. Exterior lighting of the facility is limited to a fixture which meets Dark Sky standards, which will only be lighted when the facility is manned for maintenance, repair, or during emergencies. A condition of approval is placement of a one square foot sign indicating the facility owner(s) and a 24-hour emergency telephone number. The monopole is proposed to have a light fixture which matches the other fixtures at the same height as other poles in the parking lot area.

The proposed facility complies with or is not applicable to the remainder of the criteria listed in the Development Standards.

PUBLIC COMMENTS: Public notices were mailed to 38 adjacent property owners on October 9, 2015 within 1,015 feet of the subject site. As of the writing of this report no written comments have been received either in favor of or in opposition to the proposal. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on October 28, 2015, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Department:

1. All projects and improvements must be performed in accordance with Nevada State Revised Statutes (NRS) 623 and 624 and Carson City Municipal Code (CCMC) 15.05.020.
2. Any repairs, replacement, and alterations must comply with 2012 International Building Codes, 2012 Uniform Plumbing Code, Uniform Mechanical Code or 2012 International Mechanical Code, 2012 Fuel Gas Code, 2011 Electrical Code, Adopted International Energy Conservation Code, and 2012 Northern Nevada Amendments.
3. All contractors are required to carry State and local license.

Fire Department:

1. Project must comply with the 2012 IFC and Northern Nevada Fire Code.
2. Generator may require a shunt trip depending on installation.

Engineering Department: No preference or objection, but the area is fairly steep, so temporary and permanent erosion control must be addressed.

Health Department: No concerns

Parks and Recreation Department: No comments received

Environmental Control: No concerns

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.062 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The proposed project is consistent with Goal 1.5, Foster Cooperation on Master Plan Issues at 1.5d, Coordination of Services as well as 1.5e, Sierra Pacific Power and Southwest Gas, in that wireless telecommunication services have become so widespread that they are as necessary as other utilities in the community. This monopole site will strengthen the communications infrastructure in Carson City. Cellular coverage is a service provided universally to residents, the traveling public, tourists, and businesses. Ensuring coverage to users of these services has become as necessary as other commonly used and provided services such as water, sewer, electricity and natural gas. The intention of the placement of this monopole is to provide widespread coverage to the greater Carson City area.

The proposed project is also consistent with Goal 3.2, Protect Visual Resources at 3.2c, Communication Facilities and Equipment. The location of the tower has been chosen with the intent to provide service as well as to be less noticeable, as it proposed to be placed at the rear of the parcel and would be painted a color and finish that would match the existing light fixture poles already in the area. The proposed color will be reviewed during the Building Permit process. The supporting equipment shelter will also be painted a matching neutral color, with a CMU retaining wall and seven foot tall chain link fence with neutrally colored slats surrounding the leased 30 foot by 30 foot area.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The proposed facility will be located to the rear of an existing parcel which is currently zoned General Commercial. Parking is the only other use on the property, in support of a hotel and casino. This is an improved area with curbs, gutters and sidewalks. There is an elevation change at this location, with the pole being proposed at the lower height. The proposed use will generate no significant noise, vibrations, fumes, odors, dust, glare or physical activity which could have a negative impact on adjacent uses. The facility is likely to be visited once or twice a month by a technician for service, repair and maintenance. Other than those scheduled visits, only needed emergency maintenance is anticipated. The facility will not be lighted except during periods of active maintenance.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

A service technician will visit the facility occasionally, usually once or twice a month, for maintenance or for emergency servicing of the facility. Adequate on-site parking and access is available near the leased area to accommodate this maintenance activity. The location of the monopole and equipment is proposed in the southwest corner of the site. This is a parking location used by the hotel on an adjacent parcel to the north. No other buildings are located on the parcel. No additional vehicular or pedestrian traffic is assumed to be generated in conjunction with the subject proposal which could adversely impact vehicular or pedestrian

circulation in the area.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The proposal will not require the extension or expansion of any public services and facilities are adequate in the area to accommodate the proposed facility.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The purpose statement of the General Commercial (GC) zoning district is to preserve a commercial district limited primarily to retail and wholesale of new and used material, repair and service facilities, and offices.

Upon approval of the Special Use Permit with the recommended conditions of approval, the subject use will be in conformance with the requirements of the Carson City Municipal Code and the Development Standards relating to wireless communication facilities.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The proposed tower, antennas, equipment shelter building, fencing and related equipment will not be detrimental to the public health, safety, convenience and welfare, and will cause no adverse impacts to surrounding properties. The monopole would provide the means to improve public safety, convenience and welfare by expanding wireless telecommunication coverage to the stationary as well as motoring public, and provide more coverage to the south section of Carson City. Per the Telecommunications Act, it has been determined that electromagnetic waves emitted by or to such facilities are not a public health risk and may not be considered in reviewing an application.

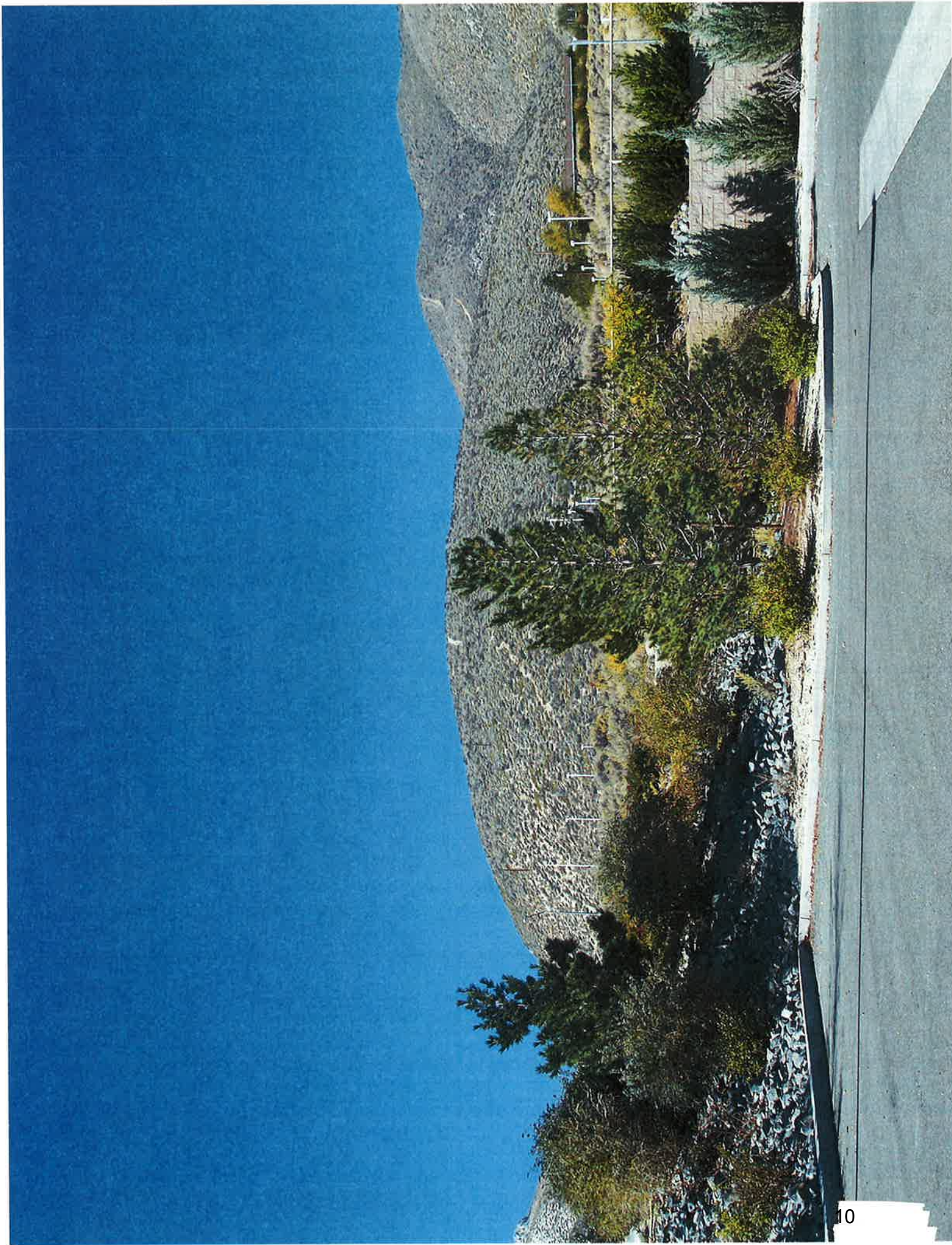
7. Will not result in material damage or prejudice to other property in the vicinity.

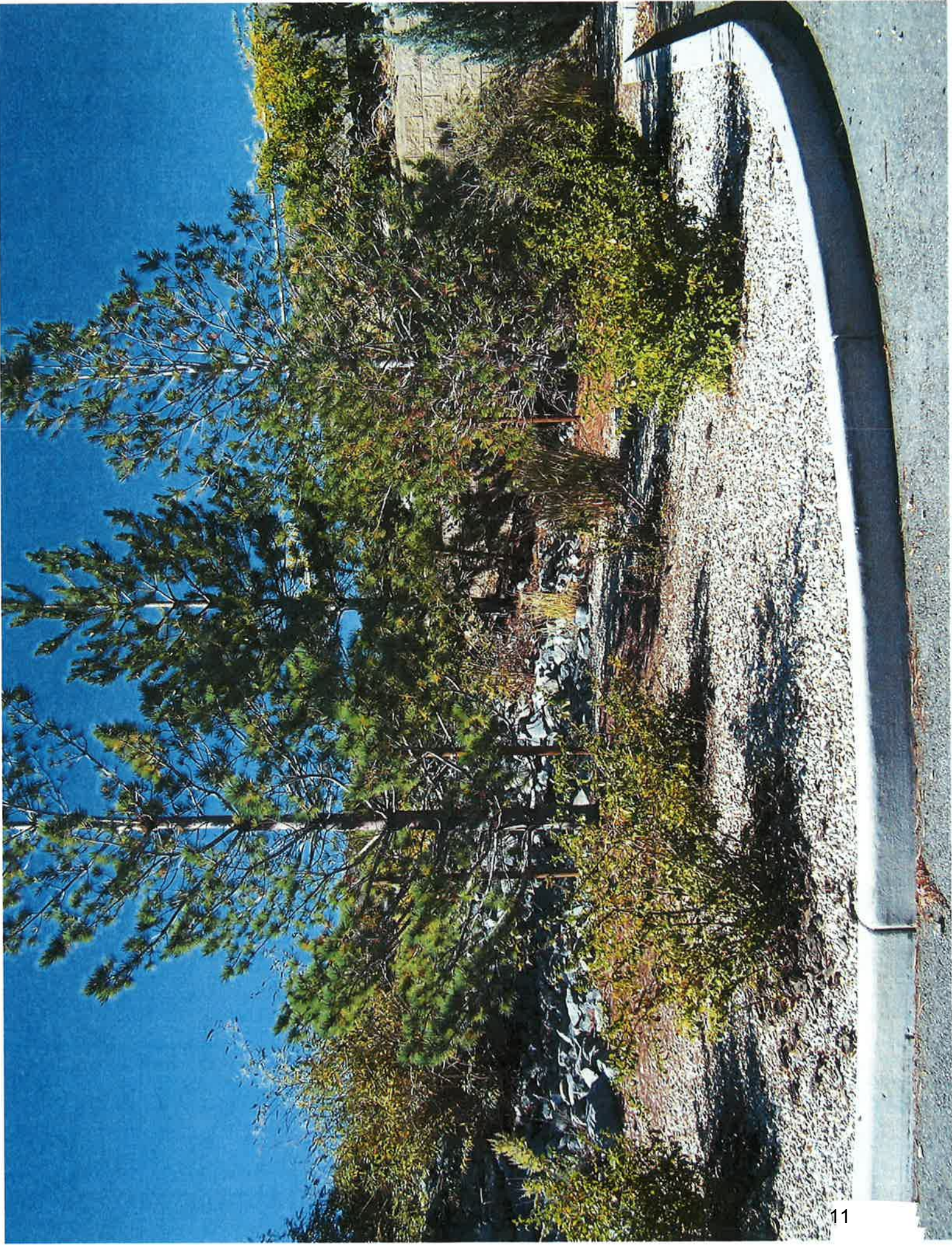
As noted above, the impacts of the proposed facility, with the recommended conditions of approval, will be minimal and will not result in material damage or prejudice to other property in the vicinity as the proposed facility will be at the rear of a parking lot, will be painted to blend with the surrounding landscape, will have a light fixture on the pole, similar to other poles in the area, and no buildings in the area are tall enough to provide an alternative location to provide the desired coverage.

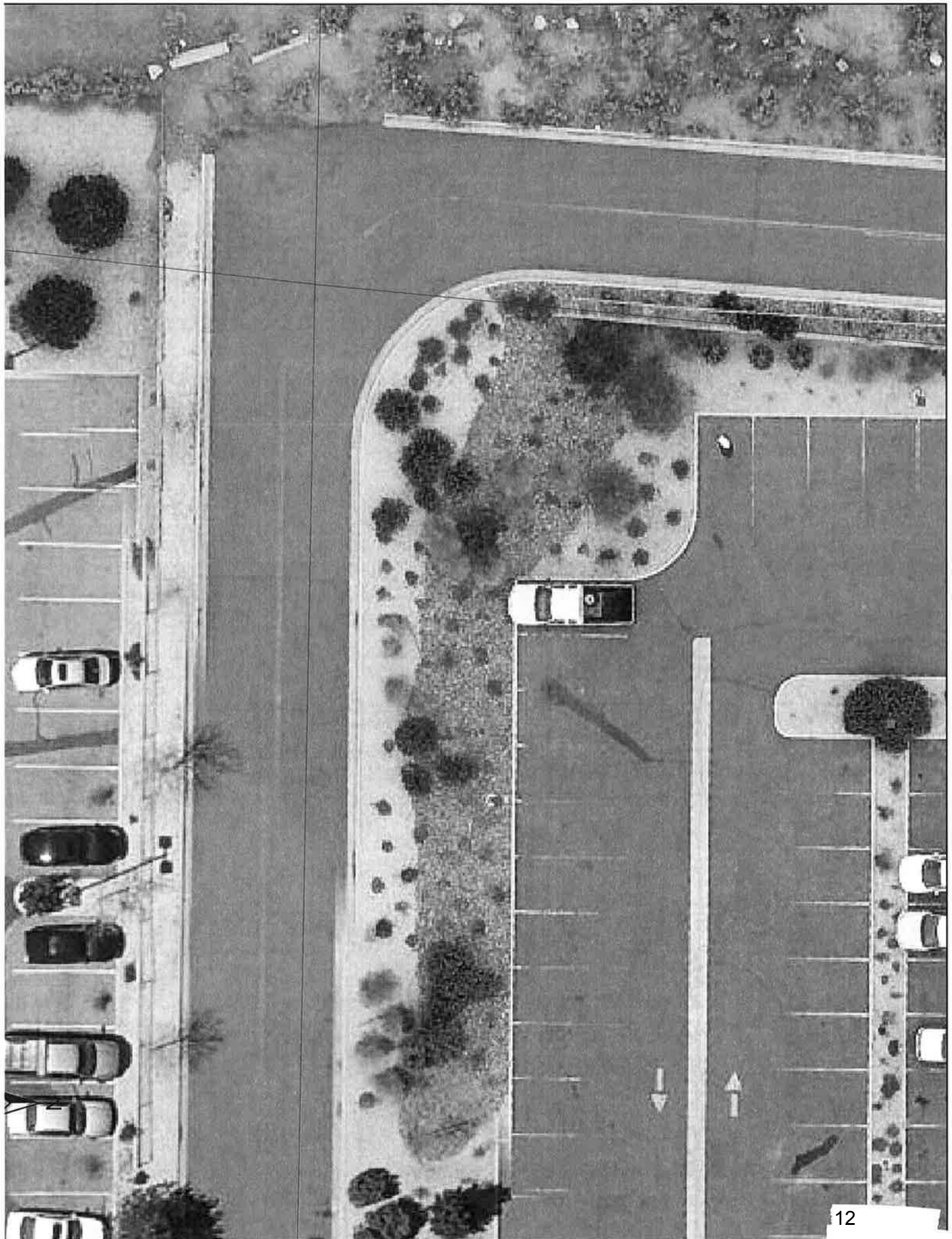
Attachments

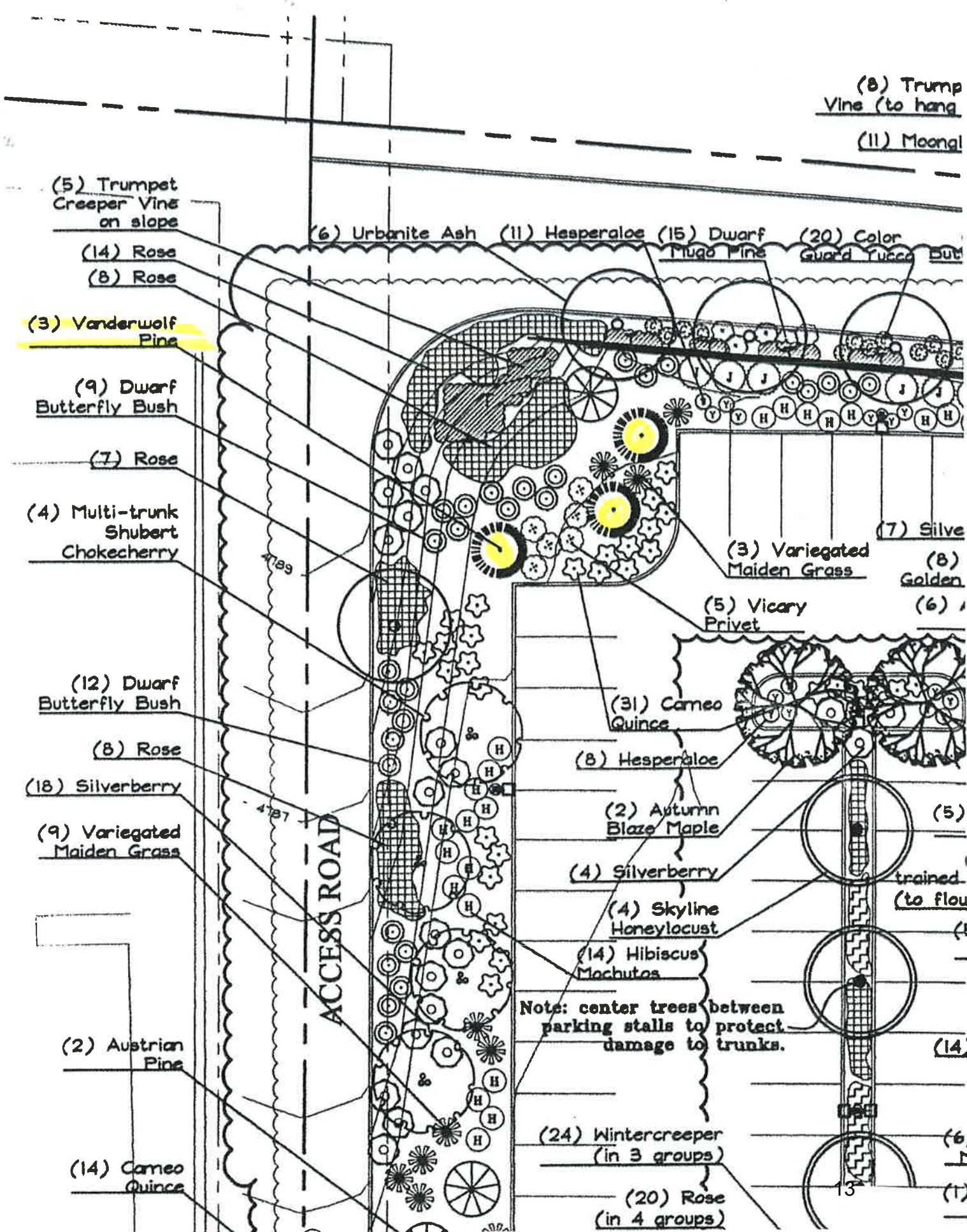
- Site Photos
- Building Department comment
- Engineering Department comment
- Fire Department comment
- Health Department comment
- Environmental Control comment
- Application SUP-15-095











(8) Trump Vine (to hang)

(11) Moongl

(5) Trumpet Creeper Vine on slope

(14) Rose
(8) Rose

(3) Vanderwolf Pine

(9) Dwarf Butterfly Bush

(7) Rose

(4) Multi-trunk Shubert Chokecherry

(6) Urbanite Ash

(11) Hesperaloe

(15) Dwarf Mugo Pine

(20) Color Guard Yucca But

(3) Variegated Maiden Grass

(7) Silver

(8) Golden

(6) I

(5) Vicary Privet

(31) Cameo Quince

(8) Hesperaloe

(2) Autumn Blaze Maple

(4) Silverberry

(4) Skyline Honeylocust

(14) Hibiscus Mochutos

Note: center trees between parking stalls to protect damage to trunks.

(24) Wintercreeper (in 3 groups)

(20) Rose (in 4 groups)

(2) Austrian Pine

(14) Cameo Quince

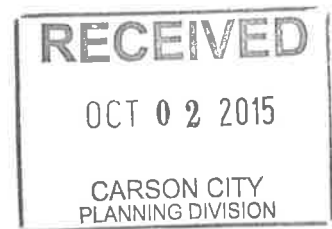
trained (to flou

(14)

(6)

(1)

October 2, 2015



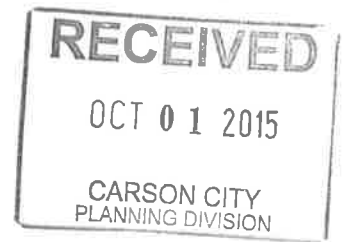
SUP-15-095:

1. All projects and improvements must be performed in accordance with Nevada State Revised Statute (NRS) 623 & 624 and Carson City Municipal Code (CCMC) 15.05.020.
2. Any Repairs, Replacement, and Alterations must comply with 2012 International Building Codes, 2012 Uniform Plumbing Code, Uniform Mechanical Code or 2012 International Mechanical code, 2012 Fuel Gas Code, 2011 Electrical Code, Adopted International Energy Conservation Code, and 2012 Northern Nevada Amendments.
3. All Contractors are required to carry State and local license.

Shawn Keating CBO
Building Official
Carson City Community Development Department
Web page <http://www.carson.org/index.aspx?page=172>
skeating@carson.org
Office 775-887-2310 X 7052
Fax 775-887-2202
Cell 775-230-6623

October 1, 2015

SUP-15-095



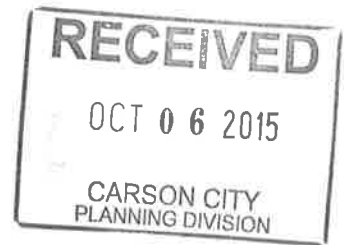
We have the following comments for SUP 15-095:

1. Project must comply with the 2012 IFC and Northern Nevada Fire Code.
2. Generator may require a shunt trip depending on installation.

Dave Ruben

Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701

Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209



**Engineering Division
Planning Commission Report
File Number SUP 15-095**

TO: Planning Commission

FROM: Rory Hogen, E.I.

DATE: October 5, 2015

MEETING DATE: Oct. 28, 2015

SUBJECT TITLE:

Action to consider an application for a Special Use Permit from Epic Wireless for Verizon Wireless to install a new cell tower and accompanying structure near the Marriott's Hotel, 3910 S Carson St, apn 09-153-05.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request. This area is fairly steep, so temporary and permanent erosion control must be addressed.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. All construction and improvements must meet the requirements of Carson City and State of Nevada Codes and Development Standards.

CCMC 18.02.080 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

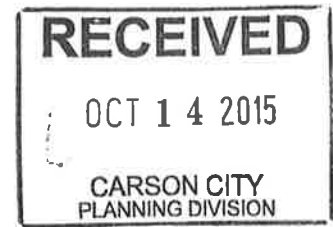
The proposal will not affect traffic or pedestrian facilities.

CCMC 18.02.080 (5d) - Public Services

Existing facilities appear to be adequate for this project.

October 14, 2015

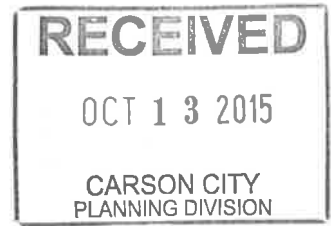
Sup-15-095



Carson City Health and Human Services has no concerns with this project.

Dustin Boothe

Health and Human Services



October 12, 2015

Major Project Review Committee

Re: # SUP – 15 - 095

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the approval of SUP-15-095 telecommunications tower review:

1. ECA has no comments concerning this request.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor

RECEIVED
SEP 17 2015
CARSON CITY
PLANNING DIVISION

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:
CCMC 18.02

FILE # SUP - 15- SUP - 15 - 095

SPECIAL USE PERMIT

APPLICANT PHONE #
Epic Wireless for Verizon Wireless 775-852-5367

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)

MAILING ADDRESS, CITY, STATE, ZIP
8700 Auburn Folsom Rd., ste. 400, Granite Bay, CA 95746

+ noticing fee

EMAIL ADDRESS
buzz.lynn@epicwireless.net

SUBMITTAL PACKET

PROPERTY OWNER PHONE #
Carson Gaming, LLC 775-886-1607

- ☐ 8 Completed Application Packets (1 Original + 7 Copies) including:
- ☐ Application Form
- ☐ Written Project Description
- ☐ Site Plan
- ☐ Building Elevation Drawings and Floor Plans
- ☐ Proposal Questionnaire With Both Questions and Answers Given
- ☐ Applicant's Acknowledgment Statement
- ☐ Documentation of Taxes Paid-to-Date (1 copy)
- ☐ Project Impact Reports (Engineering) (4 copies)
- ☐ CD containing application digital data (to be submitted once the application is deemed complete by staff)

MAILING ADDRESS, CITY, STATE, ZIP
3870 S. Carson Street, Carson City, NV 89701

EMAIL ADDRESS
ferrantet@casinofandango.com

APPLICANT AGENT/REPRESENTATIVE PHONE #
Buzz Lynn 775-852-5367

Application Reviewed and Received By:

MAILING ADDRESS, CITY STATE, ZIP
650 S. Rock Blvd., #10, Reno, NV 89502

Submittal Deadline: See attached PC application submittal schedule.
Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

EMAIL ADDRESS
buzz.lynn@epicwireless.net

Project's Assessor Parcel Number(s): 00915305
Street Address **ZIP Code**
3910 S. Carson Street, Carson City, NV 89701

Project's Master Plan Designation **Project's Current Zoning** **Nearest Major Cross Street(s)**
C/Rc GC Clearview Dr.

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: 18.15, or Development Standards, Division 1, Section 9, a request to allow as a conditional use is as follows:

New wireless communications site consisting of 80' stealth light pole with radome-encapsulate antennas, outdoor equipment, and diesel backup generator

PROPERTY OWNER'S AFFIDAVIT Carson Gaming, LLC

I, Court Cardinal, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature [Signature] Address 3870 S. Carson Street, Carson City, NV 89701 Date 9/17/15

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY Carson

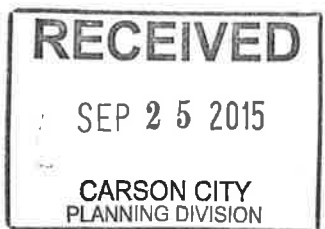
On Sept 17, 2015, Court Cardinal, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

**Verizon Wireless - Fandango
Special Use Permit Application
SUP 15-096
3910 S. Carson St.
Carson City, NV**



Background: Verizon Wireless currently operates its wireless business incorporating a wireless a wireless network in various locations in Carson City. Verizon's purpose in this application is to improve coverage and capacity of its wireless network, improve user response times, and to enhance public safety by improving the communications network, in part, for police and fire departments, and other emergency response services.

Justification: Improved coverage would be achieved along S. Carson St. and surrounding vicinity between Central Carson City and Hwy 50. Central Carson and Carson City are unable to process higher data flow rates commensurate with the rate of smart phone use. This proposed site will offload and handle capacity in the beta sectors of both Carson City and Central Carson sites.

Accordingly, Verizon is requesting a Special Use Permit to place its facilities on SWC of the Marriott Courtyard hotel site.

In keeping with the City's objective to minimize the visual presence of cellular installations, the objective was to find an existing site with enough height to satisfy the RF-propagation requirements. Further, locating on an existing structure would alleviate the need to construct a new tower. However no existing facilities were available that fit the coverage objectives of both the City and Verizon.

In keeping with the desires of Carson City and with the desires of the surrounding community, Verizon proposes a Special Use Permit within the desired improvement envelope on the attached plans.

Verizon examined 2 different designs – a monopine stealth pole, and a light standard. Property ownership felt the monopine would look out of place and further thought a light standard would be more in keeping with the consistency of other parking light standards in the immediate surrounding area.

Specifics requested and agreed upon are:

- All fencing within the Verizon compound to be CMU retaining wall.
- All utilities underground to eliminate visual impact
- Protect public safety during and after construction phase.

Question 1: How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan elements?

Explanation: Verizon aims to provide enhanced cellular communication utility service for its communications network of customers, and will help to insure better, more reliable, more efficient communications services for Fire, Police, Public Works services, along with enhanced service for the citizenry at large.

As un-manned facilities require no water or sewer, no Fire, no Police, no schools, no roads, nor other City-provided services, thus create no additional burden on City resources. This is consistent with the Growth Management Ordinance. Power use is minimal and there is no water usage.

The work seeks to minimize the visual impact in utilizing the bare minimum disruption necessary to access the facility, minimizing the view shed of the installation by limiting its size and by camouflaging the installation with a radome antenna surround and loer light standard placed to mimic existing standards, and match existing color.

Large or small, with an SUP, the proposed use is allowed under GC zoning.

The above satisfies the objectives in Chapter 3 – Balanced Land Use Pattern, as sought in the Carson City Master Plan Ordinance.

With regard to Chapter 4 – Equitable Distribution of recreational Opportunities, the facility will have no impact on the Parks and Recreation's ability to provide park facilities, as the site is used as a hotel/casino.

With Regard to Chapter 5 – Economic Vitality, there is no question that the facility will provide better, more reliable, more efficient communications for Verizon customers - small business, tradesmen, recreation and outdoor enthusiasts, families on a schedule, educators, elected representatives, City service providers, and an otherwise broad range of citizenry. Greater efficiencies in communications lends itself well to enhanced community vitality.

Regarding Chapter 6 – Livable Neighborhoods and Activity Centers, there is little applicability here, as the installation is unrelated to housing models, densities, or Mixed-Use Activity Centers.

Regarding Chapter 7 – A Connected City, Verizon considers this an integral part of its purpose. The installation is a primary source of increased connectivity, data and voice transmission, and communication in general throughout the population.

Question 2: Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

Explanation:

A. All surrounding property has GC (general commercial) zoning, the same as the property under review. North: Casino Fandango and Marriott Courtyard hotel. However, the installation has no impact – visual or otherwise – on the northern boundary. East: Marriott Hotel driveway and S. Carson Street (Hwy 50). There is no proximate residential housing. See photo-simulations for accurate depiction of visual impact. South – Taco Bell, fast-food drive-through. The installation creates no noise nor would there be any negative economic impact to the business. West: Access road to currently vacant commercial ground. No negative visual or economic impact. However, pains have been taken to maintain a low installation profile with all equipment painted to blend with the parking lot/hotel/commercial/casino surroundings, so as to minimize any visual affects.

B. Unmanned wireless installations generate minimal noise, no traffic and no water use. The monthly testing of the back-up generator last for approximately 15 minutes and is done during daytime hours. The pole is stealthed with a radome "tube" surrounding the antennas and will be painted to match the existing functional light poles at the hotel and casino. The stealth light pole will also have matching functional lighting at the same height as existing.

Dust control is accomplished because there will be very little excavation and all access driveways are paved. The installation itself is static and creates no dust following installation.

C. The installation will not be a detriment to the neighborhood because it will be stealthed thanks to its radome, functioning light standard motif, and blending paint color. It produces no sound, dust, or odorous emissions. Pedestrians will be free to walk the parking lot, as always, and the site will be secure so as not to draw public nuisance.

D. The communications installation is not a traffic-generator. Thus Verizon proposes to stealth with radome, paint, and light standard motif, as minimally-intrusive as possible. Vehicle access is unaffected and is consistent with existing hotel parking lot use.

E. Short and long range benefits are nearly congruous. Carson City citizens will have better, more efficient, more robust, and more effective communications capacity. The installation also provides for communications needs, and enhances medical, police, and fire response. It also adds redundancy to the ability communicate such that if landlines are unavailable, or there is a power outage, Verizon's cellular communications services remain intact, as would Public Works for enhanced public services and safety, including access to 911 Emergency services.

Question 3: Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

Unquestionably, yes. Verizon has worked closely every step with the existing owner/user to seamlessly blend with the commercial, casino, hotel and travel corridor features of the geography, and to minimize visual impact to the greatest extent possible.

Explanation:

A. The School District will not be affected. Sheriff's Department may be positively affected by decreased response times, and citizen's more reliable connectivity in the case of emergency.

B. All surfaces are currently paved and will remain so. Some existing dirt areas will be additionally paved. The installation itself will require no drainage. There is no water accumulation or discharge.

C. There are no water supplies serving the facility, as this is an un-manned installation requiring no water.

D. There is no sewer serving the facility, as this is an un-manned installation requiring no sewer.

E. No public road improvement needed.

F. Title report, Community Development, licensed engineers and surveyors.

G. Outdoor lighting has not been contemplated, except as required by FAA, and that required to blend with existing parking lot lighting. However, Verizon standard exterior lighting remains off unless switched on by maintenance/hotel/casino personnel. When switched on, is shielded from adjoining property by covers that keep light shining down and minimizing light pollution, and is consistent with other parking lot lighting.

H. Landscaping will remain as-is excepting small dirt sections utilized for equipment. All equipment will be surrounded by solid fencing so as to appear a part of the landscape, and that no landscape was taken.

I. The SUP area is un-manned and therefore needs minimal parking only for work trucks. Parking has been limited to 1 space adjacent the installation location. The use is non-exclusive so as to leave parking ratios unaffected.

Adherence to zoning standards Division 1.9:

1.a.5) No existing structures were available, including co-location structures. This is a new freestanding facility utilizing radome screening of antennas on a functional lamp standard.

1.b. No existing structures were available, including co-location structures. This is a new freestanding facility utilizing radome screening of antennas on a functional lamp standard so as to minimize presence in the skyline within the context of the surrounding GC uses. The particular location has been designed to blend the most with a GC motif, and in keeping with the character

of the surrounding GC structures and visible infrastructure. The location is in a remote corner of the Marriott Courtyard, set back more than 200' from South Carson St. (US-395S) positioned behind the hotel to limit visibility, and blend with its surroundings.

1.c. This is a new freestanding facility utilizing radome screening of antennas on a functional lamp standard so as to minimize presence in the skyline within the context of the surrounding GC uses. The particular location has been designed to blend the most with a GC motif, and in keeping with the character of the surrounding GC structures and visible infrastructure. The location is in a remote corner of the Marriott Courtyard, set back more than 200' from South Carson St. (US-395S) positioned behind the hotel to limit visibility, and blend with its surroundings.

1.d. The location is in a remote corner of the Marriott Courtyard, set back more than 200' from South Carson St. (US-395S) positioned behind the hotel to limit visibility, and blend with its surroundings.

1.e. Verizon Wireless is an FCC-licensed carrier and has the right to right to install its facility subject to FAA and FCC compliance prior to commencement of construction.

2.a. The proposed 80' radomed light structure is the maximum height and includes all structure-mounted equipment.

2.b. The proposed 80' radomed light structure is the height of the proposed, and by definition is under the 120' limit stipulated in this section.

2.c. The proposed facility does not exceed the height restriction of 120'.

3.a. GC zoning requires 0' setback and the proposed design meets that requirement.

3.b. The facilities are not roof-mounted and this section does not apply.

3.c. The facility is surrounded by GC-zoned property and is not subject to residential setbacks.

4.a. There is no shelter. The facility is screened. All outdoor equipment will be screened by an 8' CMU retaining wall, and further screened with a 4' chainlink fence with privacy slats on top of the wall. No equipment shall be visible from outside the premises.

4.b. The facilities are not building-mounted and this section does not apply.

4.c. The facility will be painted a non-glossy color to match existing light standards (brownish bronze) Slat and wall will match existing landscaping.

4.d. There is no equipment shelter. All outdoor equipment will be screened by an 8' CMU retaining wall, and further screened with a 4' chain-link fence with privacy slats on top of the wall. No equipment shall be visible from outside the premises.

4.e. The 30' x 30' premises is large enough to accommodate co-location, as is the proposed 80' pole, though we anticipate the 2nd carrier would also need to place its tower-mounted radome to blend with Verizon's proposed radome. A shorter height would not allow for co-location of another carrier.

In compliance with Carson City Municipal Code 18.15.030.2.b the applicant shall agree to limit any future costs assessed to other service providers requesting to co-locate, that the costs shall be limited to a proportional share of the ground lease, site acquisition costs, design, capital costs for construction of the freestanding tower including associated permitting costs and reasonable maintenance, repair and replacement costs.


4.f. The exterior of the facilities will not be lighted subject to FAA requirements or emergency requirements. However, the proposed design is that of a light standard to match other light

standards within the same hotel and casino parking area, and will, accordingly, be lit at the same height and same times as the casino/hotel parking lot lights. It is a purposely lit facility to match surrounding GC parking lot lighting.

4.g. Security barrier – 8' CMU wall with 4' chain-link, slatted fence on top. The facility is secured behind a locked gate. Facility owner and contact phone number will be posted.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

 for Eric Wireless
Applicant

9/17/2015
Date

Verizon Wireless - Fandango Special Use Permit Application

**3910 S. Carson St.
Carson City, NV**

Background: Verizon Wireless currently operates its wireless business incorporating a wireless a wireless network in various locations in Carson City. Verizon's purpose in this application is to improve coverage and capacity of its wireless network, improve user response times, and to enhance public safety by improving the communications network, in part, for police and fire departments, and other emergency response services.

Justification: Improved coverage would be achieved along S. Carson St. and surrounding vicinity between Central Carson City and Hwy 50. Central Carson and Carson City are unable to process higher data flow rates commensurate with the rate of smart phone use. This proposed site will offload and handle capacity in the beta sectors of both Carson City and Central Carson sites.

Accordingly, Verizon is requesting a Special Use Permit to place its facilities on SWC of the Marriott Courtyard hotel site.

In keeping with the City's objective to minimize the visual presence of cellular installations, the objective was to find an existing site with enough height to satisfy the RF-propagation requirements. Further, locating on an existing structure would alleviate the need to construct a new tower. However no existing facilities were available that fit the coverage objectives of both the City and Verizon.

In keeping with the desires of Carson City and with the desires of the surrounding community, Verizon proposes a Special Use Permit within the desired improvement envelope on the attached plans.

Verizon examined 2 different designs – a monopine stealth pole, and a light standard. Property ownership felt the monopine would look out of place and further thought a light standard would be more in keeping with the consistency of other parking light standards in the immediate surrounding area.

Specifics requested and agreed upon are:

- All fencing within the Verizon compound to be CMU retaining wall.
- All utilities underground to eliminate visual impact
- Protect public safety during and after construction phase.

Question 1: How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan elements?

Explanation: Verizon aims to provide enhanced cellular communication utility service for its communications network of customers, and will help to insure better, more reliable, more efficient communications services for Fire, Police, Public Works services, along with enhanced service for the citizenry at large.

As un-manned facilities require no water or sewer, no Fire, no Police, no schools, no roads, nor other City-provided services, thus create no additional burden on City resources. This is consistent with the Growth Management Ordinance. Power use is minimal and there is no water usage.

The work seeks to minimize the visual impact in utilizing the bare minimum disruption necessary to access the facility, minimizing the view shed of the installation by limiting its size and by camouflaging the installation with a radome antenna surround and loer light standard placed to mimic existing standards, and match existing color.

Large or small, with an SUP, the proposed use is allowed under GC zoning.

The above satisfies the objectives in Chapter 3 – Balanced Land Use Pattern, as sought in the Carson City Master Plan Ordinance.

With regard to Chapter 4 – Equitable Distribution of recreational Opportunities, the facility will have no impact on the Parks and Recreation's ability to provide park facilities, as the site is used as a hotel/casino.

With Regard to Chapter 5 – Economic Vitality, there is no question that the facility will provide better, more reliable, more efficient communications for Verizon customers - small business, tradesmen, recreation and outdoor enthusiasts, families on a schedule, educators, elected representatives, City service providers, and an otherwise broad range of citizenry. Greater efficiencies in communications lends itself well to enhanced community vitality.

Regarding Chapter 6 – Livable Neighborhoods and Activity Centers, there is little applicability here, as the installation is unrelated to housing models, densities, or Mixed-Use Activity Centers.

Regarding Chapter 7 – A Connected City, Verizon considers this an integral part of its purpose. The installation is a primary source of increased connectivity, data and voice transmission, and communication in general throughout the population.

Question 2: Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

Explanation:

A. North: Casino Fandango and Marriott Courtyard hotel. However, the installation has no impact – visual or otherwise – on the northern boundary. East: Marriott Hotel driveway and S. Carson Street (Hwy 50). There is no proximate residential housing. See photo-simulations for accurate depiction of visual impact. South – Taco Bell, fast-food drive-through. The installation creates no noise nor would there be any negative economic impact to the business. West: Access road to currently vacant commercial ground. No negative visual or economic impact. However, pains have been taken to maintain a low installation profile with all equipment painted to blend with the parking lot/hotel/commercial/casino surroundings, so as to minimize any visual affects.

B. Unmanned wireless installations generate minimal noise, no traffic and no water use. The monthly testing of the back-up generator last for approximately 15 minutes and is done during daytime hours. The pole is stealthed with a radome “tube” surrounding the antennas and will be painted to match the existing functional light poles at the hotel and casino. The stealth light pole will also have matching functional lighting at the same height as existing.

Dust control is accomplished because there will be very little excavation and all access driveways are paved. The installation itself is static and creates no dust following installation.

C. The installation will not be a detriment to the neighborhood because it will be stealthed thanks to its radome, functioning light standard motif, and blending paint color. It produces no sound, dust, or odorous emissions. Pedestrians will be free to walk the parking lot, as always, and the site will be secure so as not to draw public nuisance.

D. The communications installation is not a traffic-generator. Thus Verizon proposes to stealth with radome, paint, and light standard motif, as minimally-intrusive as possible. Vehicle access is unaffected and is consistent with exisiting hotel parking lot use.

E. Short and long range benefits are nearly congruous. Carson City citizens will have better, more efficient, more robust, and more effective communications capacity. The installation also provides for communications needs, and enhances medical, police, and fire response. It also adds redundancy to the ability communicate such that if landlines are unavailable, or there is a power outage, Verizon's cellular communications services remain intact, as would Public Works for enhanced public services and safety, including access to 911 Emergency services.

Question 3: Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

Unquestionably, yes. Verizon has worked closely every step with the existing owner/user to seamlessly blend with the commercial, casino, hotel and travel corridor features of the geography, and to minimize visual impact to the greatest extent possible.

Explanation:

A. The School District will not be affected. Sheriff's Department may be positively affected by decreased response times, and citizen's more reliable connectivity in the case of emergency.

B. All surfaces are currently paved and will remain so. Some existing dirt areas will be additionally paved. The installation itself will require no drainage. There is no water accumulation or discharge.

C. There are no water supplies serving the facility, as this is an un-manned installation requiring no water.

D. There is no sewer serving the facility, as this is an un-manned installation requiring no sewer.

E. No public road improvement needed.

F. Title report, Community Development, licensed engineers and surveyors.

G. Outdoor lighting has not been contemplated, except as required by FAA, and that required to blend with existing parking lot lighting. However, Verizon standard exterior lighting remains off unless switched on by maintenance/hotel/casino personnel. When switched on, is shielded from adjoining property by covers that keep light shining down and minimizing light pollution, and is consistent with other parking lot lighting.

H. Landscaping will remain as-is excepting small dirt sections utilized for equipment. All equipment will be surrounded by solid fencing so as to appear a part of the landscape, and that no landscape was taken.

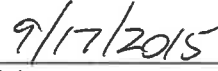
I. The SUP area is un-manned and therefore needs minimal parking only for work trucks. Parking has been limited to 1 space adjacent the installation location. The use is non-exclusive so as to leave parking ratios unaffected.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant

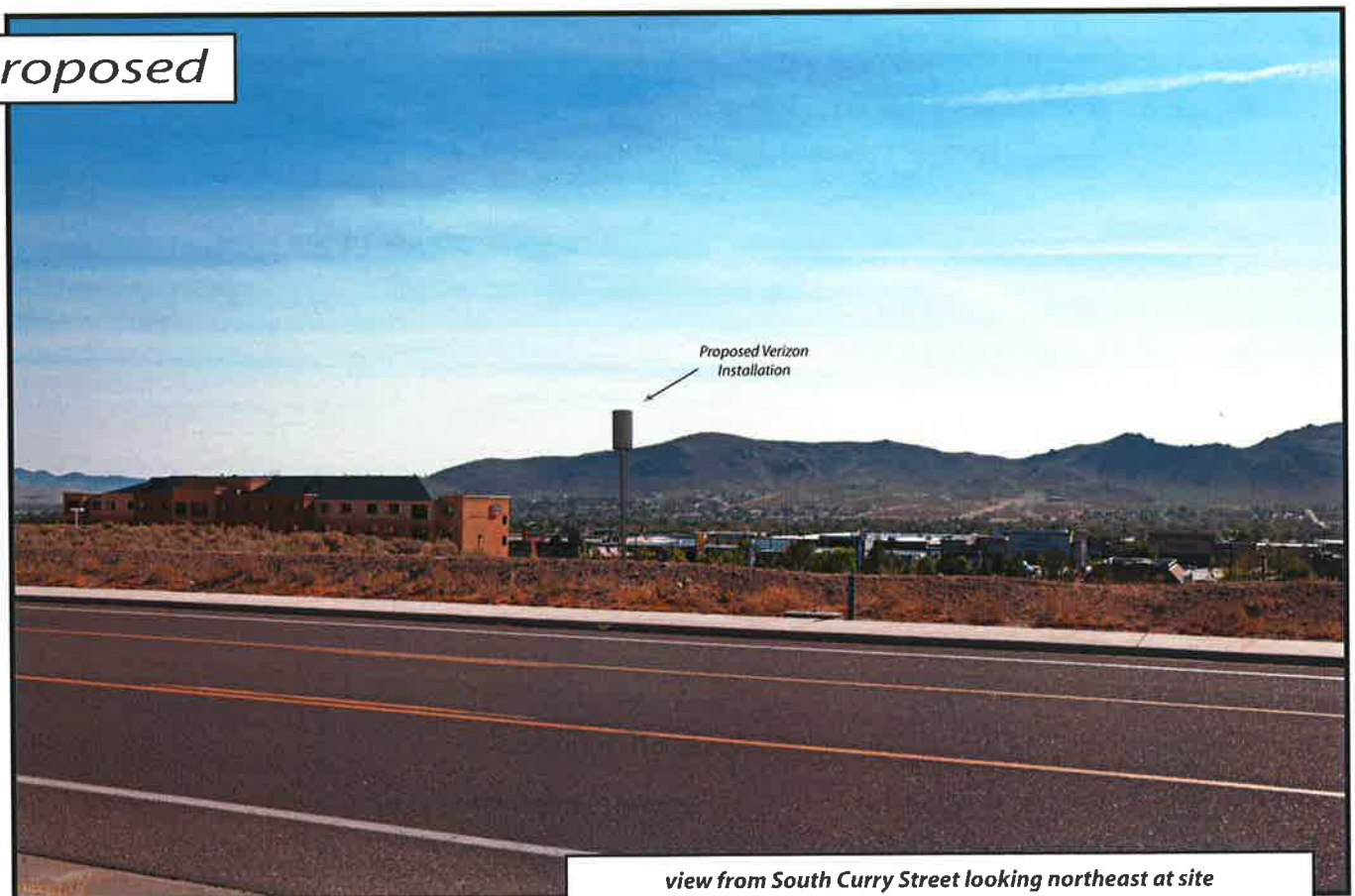


Date

Existing



Proposed



view from South Curry Street looking northeast at site

Existing



Proposed



view from South Carson Street looking north at site

AdvanceSim
Photo Simulation Solutions
Contact (925) 202-8507



295546 Fandango
3910 South Carson Street, Carson City, NV
Photosims Produced on 8-27-2015

Existing



Proposed



view from South Carson Street looking west at site

AdvanceSim
Photo Simulation Solutions
Contact (925) 202-8507

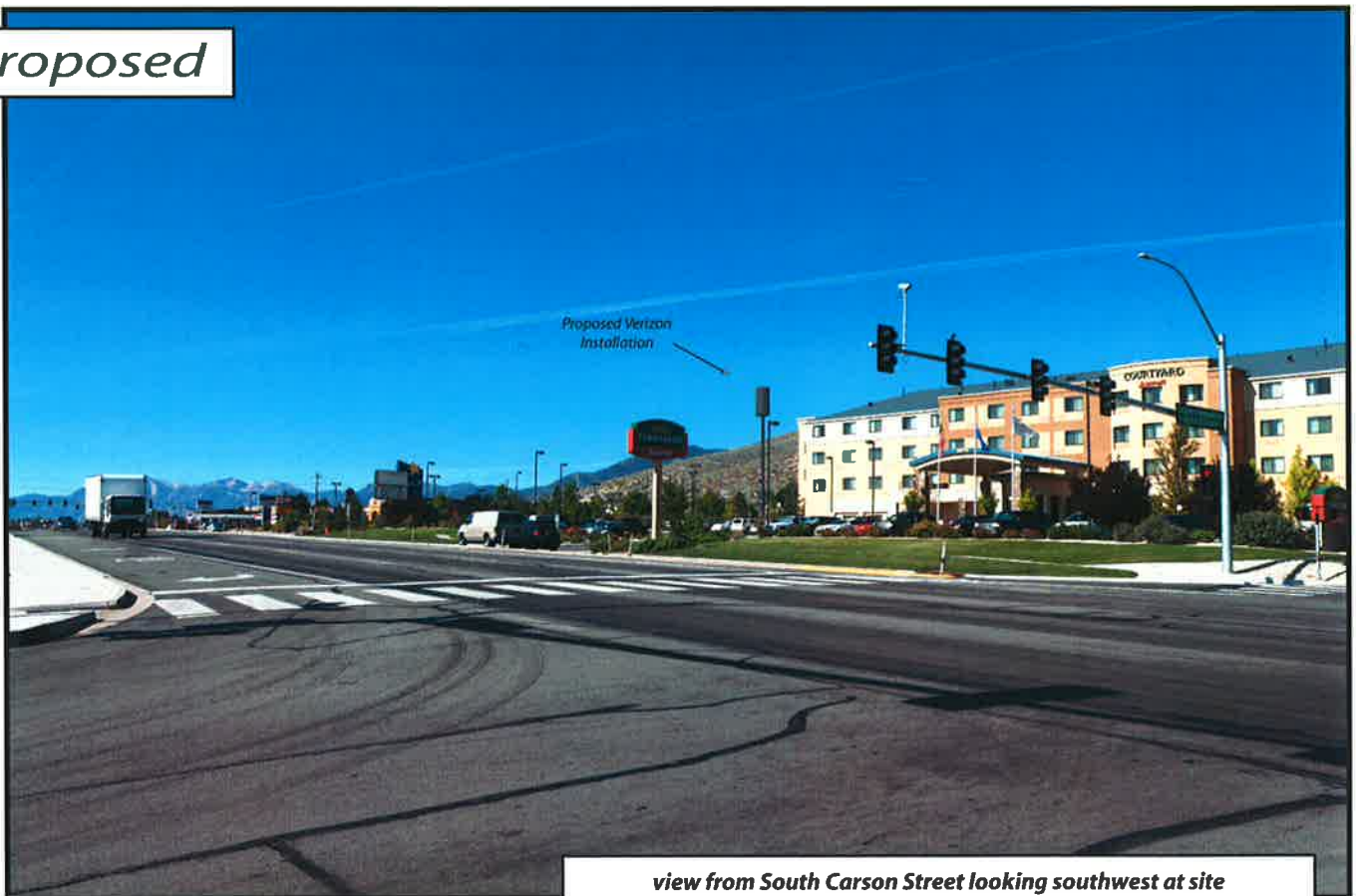


295546 Fandango
3910 South Carson Street, Carson City, NV
Photosims Produced on 8-27-2015

Existing



Proposed



view from South Carson Street looking southwest at site

**Verizon Wireless • Proposed Base Station (Site No. 295546 “Fandango”)
3910 South Carson Street • Carson City, Nevada**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate the base station (Site No. 295546 “Fandango”) proposed to be located at 3910 South Carson Street in Carson City, Nevada, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

Executive Summary

Verizon proposes to install directional panel antennas on a tall pole to be sited at the southwest corner of the parking lot at the Marriott Courtyard Hotel, located at 3910 South Carson Street in Carson City. The proposed operation will comply with the FCC guidelines limiting public exposure to RF energy.

Prevailing Exposure Standards

The U.S. Congress requires that the Federal Communications Commission (“FCC”) evaluate its actions for possible significant impact on the environment. A summary of the FCC’s exposure limits is shown in Figure 1. These limits apply for continuous exposures and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. The most restrictive FCC limit for exposures of unlimited duration to radio frequency energy for several personal wireless services are as follows:

Wireless Service	Frequency Band	Occupational Limit	Public Limit
Microwave (Point-to-Point)	5–80 GHz	5.00 mW/cm ²	1.00 mW/cm ²
WiFi (and unlicensed uses)	2–6	5.00	1.00
BRS (Broadband Radio)	2,600 MHz	5.00	1.00
WCS (Wireless Communication)	2,300	5.00	1.00
AWS (Advanced Wireless)	2,100	5.00	1.00
PCS (Personal Communication)	1,950	5.00	1.00
Cellular	870	2.90	0.58
SMR (Specialized Mobile Radio)	855	2.85	0.57
700 MHz	700	2.40	0.48
[most restrictive frequency range]	30–300	1.00	0.20

General Facility Requirements

Base stations typically consist of two distinct parts: the electronic transceivers (also called “radios” or “channels”) that are connected to the traditional wired telephone lines, and the passive antennas that send the wireless signals created by the radios out to be received by individual subscriber units. The transceivers are often located at ground level and are connected to the antennas by coaxial cables. A



**Verizon Wireless • Proposed Base Station (Site No. 295546 “Fandango”)
3910 South Carson Street • Carson City, Nevada**

small antenna for reception of GPS signals is also required, mounted with a clear view of the sky. Because of the short wavelength of the frequencies assigned by the FCC for wireless services, the antennas require line-of-sight paths for their signals to propagate well and so are installed at some height above ground. The antennas are designed to concentrate their energy toward the horizon, with very little energy wasted toward the sky or the ground. This means that it is generally not possible for exposure conditions to approach the maximum permissible exposure limits without being physically very near the antennas.

Computer Modeling Method

The FCC provides direction for determining compliance in its Office of Engineering and Technology Bulletin No. 65, “Evaluating Compliance with FCC-Specified Guidelines for Human Exposure to Radio Frequency Radiation,” dated August 1997. Figure 2 describes the calculation methodologies, reflecting the facts that a directional antenna’s radiation pattern is not fully formed at locations very close by (the “near-field” effect) and that at greater distances the power level from an energy source decreases with the square of the distance from it (the “inverse square law”). The conservative nature of this method for evaluating exposure conditions has been verified by numerous field tests.

Site and Facility Description

Based upon information provided by Verizon, including zoning drawings by ATM Engineering, dated May 15, 2015, it is proposed to install six Andrew directional panel antennas – four Model SBNHH-1D65C and two Model SBNHH-1D45C – on a new 80-foot steel pole to be sited at the southwest corner of the parking lot at the Marriott Courtyard Hotel, located at 3910 South Carson Street in Carson City. The antennas would employ up to 6° downtilt, would be mounted at an effective height of about 76 feet above ground, and would be oriented in pairs toward 5°T, 95°T, and 190°T. The maximum effective radiated power in any direction would be 17,430 watts, representing simultaneous operation at 7,660 watts for AWS, 6,830 watts for PCS, and 2,940 watts for 700 MHz service; no operation on cellular frequencies is presently proposed from this site. There are reported no other wireless telecommunications base stations at the site or nearby.

Study Results

For a person anywhere at ground, the maximum RF exposure level due to the proposed Verizon operation is calculated to be 0.017 mW/cm², which is 1.8% of the applicable public exposure limit. The maximum calculated level at the top-floor elevation of the Hotel* is 2.7% of the public exposure limit. The maximum calculated level at the second-floor elevation of the nearby parking garage is 1.0% of the public limit. The maximum calculated level at the second-floor elevation of any nearby

* Located at least 160 feet away, based on photographs from Google Maps.



**Verizon Wireless • Proposed Base Station (Site No. 295546 "Fandango")
3910 South Carson Street • Carson City, Nevada**

residence[†] is 0.71% of the public limit. It should be noted that these results include several "worst-case" assumptions and therefore are expected to overstate actual power density levels from the proposed operation.

No Recommended Mitigation Measures

Due to their mounting location and height, the Verizon antennas would not be accessible to unauthorized persons, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. It is presumed that Verizon will, as an FCC licensee, take adequate steps to ensure that its employees or contractors receive appropriate training and comply with FCC occupational exposure guidelines whenever work is required near the antennas themselves.

Conclusion

Based on the information and analysis above, it is the undersigned's professional opinion that operation of the base station proposed by Verizon Wireless at 3910 South Carson Street in Carson City, Nevada, will comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment. The highest calculated level in publicly accessible areas is much less than the prevailing standards allow for exposures of unlimited duration. This finding is consistent with measurements of actual exposure conditions taken at other operating base stations.

Authorship

The undersigned author of this statement is a qualified Professional Engineer, holding California Registration Nos. E-13026 and M-20676, which expire on June 30, 2017. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

September 9, 2015



William F. Hammett
William F. Hammett, P.E.
707/996-5200

[†] Located at least 1,000 feet away, based on photographs from Google Maps.

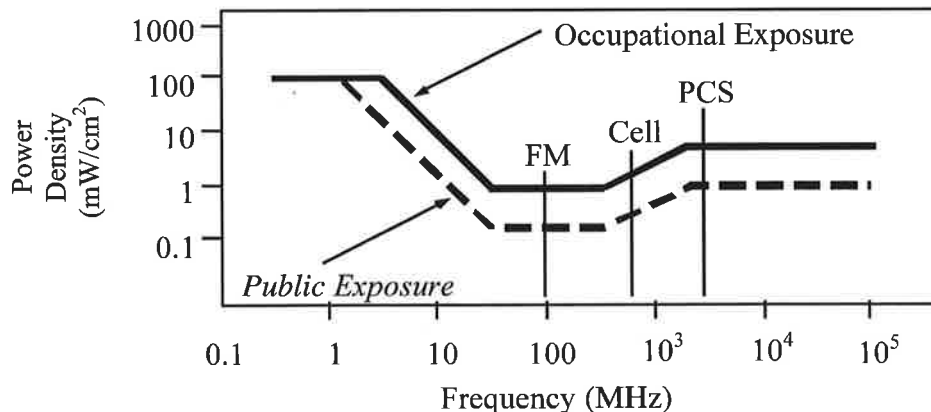


FCC Radio Frequency Protection Guide

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission ("FCC") to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The FCC adopted the limits from Report No. 86, "Biological Effects and Exposure Criteria for Radiofrequency Electromagnetic Fields," published in 1986 by the Congressionally chartered National Council on Radiation Protection and Measurements ("NCRP"). Separate limits apply for occupational and public exposure conditions, with the latter limits generally five times more restrictive. The more recent standard, developed by the Institute of Electrical and Electronics Engineers and approved as American National Standard ANSI/IEEE C95.1-2006, "Safety Levels with Respect to Human Exposure to Radio Frequency Electromagnetic Fields, 3 kHz to 300 GHz," includes similar limits. These limits apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health.

As shown in the table and chart below, separate limits apply for occupational and public exposure conditions, with the latter limits (in *italics* and/or dashed) up to five times more restrictive:

Frequency Applicable Range (MHz)	Electromagnetic Fields (<i>f</i> is frequency of emission in MHz)					
	Electric Field Strength (V/m)		Magnetic Field Strength (A/m)		Equivalent Far-Field Power Density (mW/cm ²)	
0.3 – 1.34	614	<i>614</i>	1.63	<i>1.63</i>	100	<i>100</i>
1.34 – 3.0	614	<i>823.8/f</i>	1.63	<i>2.19/f</i>	100	<i>180/f²</i>
3.0 – 30	1842/f	<i>823.8/f</i>	4.89/f	<i>2.19/f</i>	900/f ²	<i>180/f²</i>
30 – 300	61.4	<i>27.5</i>	0.163	<i>0.0729</i>	1.0	<i>0.2</i>
300 – 1,500	3.54√ <i>f</i>	<i>1.59√f</i>	√ <i>f</i> /106	<i>√f/238</i>	f/300	<i>f/1500</i>
1,500 – 100,000	137	<i>61.4</i>	0.364	<i>0.163</i>	5.0	<i>1.0</i>



Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits, and higher levels also are allowed for exposures to small areas, such that the spatially averaged levels do not exceed the limits. However, neither of these allowances is incorporated in the conservative calculation formulas in the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) for projecting field levels. Hammett & Edison has built those formulas into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radio sources. The program allows for the description of buildings and uneven terrain, if required to obtain more accurate projections.



RFR.CALC™ Calculation Methodology

Assessment by Calculation of Compliance with FCC Exposure Guidelines

The U.S. Congress required (1996 Telecom Act) the Federal Communications Commission (“FCC”) to adopt a nationwide human exposure standard to ensure that its licensees do not, cumulatively, have a significant impact on the environment. The maximum permissible exposure limits adopted by the FCC (see Figure 1) apply for continuous exposures from all sources and are intended to provide a prudent margin of safety for all persons, regardless of age, gender, size, or health. Higher levels are allowed for short periods of time, such that total exposure levels averaged over six or thirty minutes, for occupational or public settings, respectively, do not exceed the limits.

Near Field.

Prediction methods have been developed for the near field zone of panel (directional) and whip (omnidirectional) antennas, typical at wireless telecommunications base stations, as well as dish (aperture) antennas, typically used for microwave links. The antenna patterns are not fully formed in the near field at these antennas, and the FCC Office of Engineering and Technology Bulletin No. 65 (August 1997) gives suitable formulas for calculating power density within such zones.

For a panel or whip antenna, power density $S = \frac{180}{\theta_{BW}} \times \frac{0.1 \times P_{net}}{\pi \times D \times h}$, in mW/cm²,

and for an aperture antenna, maximum power density $S_{max} = \frac{0.1 \times 16 \times \eta \times P_{net}}{\pi \times h^2}$, in mW/cm²,

where θ_{BW} = half-power beamwidth of the antenna, in degrees, and

P_{net} = net power input to the antenna, in watts,

D = distance from antenna, in meters,

h = aperture height of the antenna, in meters, and

η = aperture efficiency (unitless, typically 0.5-0.8).

The factor of 0.1 in the numerators converts to the desired units of power density.

Far Field.

OET-65 gives this formula for calculating power density in the far field of an individual RF source:

$$\text{power density } S = \frac{2.56 \times 1.64 \times 100 \times \text{RFF}^2 \times \text{ERP}}{4 \times \pi \times D^2}, \text{ in mW/cm}^2,$$

where ERP = total ERP (all polarizations), in kilowatts,

RFF = relative field factor at the direction to the actual point of calculation, and

D = distance from the center of radiation to the point of calculation, in meters.

The factor of 2.56 accounts for the increase in power density due to ground reflection, assuming a reflection coefficient of 1.6 (1.6 x 1.6 = 2.56). The factor of 1.64 is the gain of a half-wave dipole relative to an isotropic radiator. The factor of 100 in the numerator converts to the desired units of power density. This formula has been built into a proprietary program that calculates, at each location on an arbitrary rectangular grid, the total expected power density from any number of individual radiation sources. The program also allows for the description of uneven terrain in the vicinity, to obtain more accurate projections.



(P) GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY VERIZON WIRELESS (WHERE REQUIRED) OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AS THEY MAY BE DISCOVERED IN PLANS, DOCUMENTS, NOTES, OR SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION INCLUDING, BUT NOT LIMITED BY, DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF VERIZON WIRELESS (WHERE REQUIRED) AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY VERIZON WIRELESS (WHERE REQUIRED).
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. DISCREPANCIES WILL BE REPORTED IMMEDIATELY TO VERIZON WIRELESS (WHERE REQUIRED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTOR(S).
3. A COPY OF GOVERNING AGENCY APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW, SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE PLANS ARE NOT TO BE USED BY THE WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS GOVERNING AGENCY APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS, IN GOOD CONDITION, COMPLETE WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES UNDER THE DIRECT CARE OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUPPLY VERIZON WIRELESS (WHERE REQUIRED), WITH A COPY OF ALL REVISIONS, ADDENDA, AND/OR CHANGE ORDERS AT THE CONCLUSION OF THE WORK AS A PART OF THE AS-BUILT DRAWING RECORDS.
4. THE CONTRACTOR SHALL STUDY THE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING PLANS AND CROSS CHECK THEIR DETAILS, NOTES, DIMENSIONS, AND ALL REQUIREMENTS PRIOR TO THE START OF ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT AND SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
6. THE CONTRACTOR HAS THE RESPONSIBILITY OF LOCATING ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR, OR SUBCONTRACTOR AS SPECIFIED IN THE AGREEMENT BETWEEN SUBCONTRACTOR AND CONTRACTOR, SHALL BEAR THE EXPENSES OF REPAIR AND/OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGE BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
7. THE REFERENCES ON THE DRAWINGS ARE FOR CONVENIENCE ONLY AND SHALL NOT LIMIT THE APPLICATION OF ANY DRAWING OR DETAIL.
8. NOT USED.
9. ALL GLASS AND GLAZING IS TO COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER SAFETY COMMISSION SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (42 FR 1428, CFR PART 1201) AND LOCAL SECURITY REQUIREMENTS.
10. ALL EXISTING CONSTRUCTION, EQUIPMENT, AND FINISHES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE SITE WITH THE FOLLOWING EXCEPTIONS:
 - A. PROPERTY NOTED TO BE RETURNED TO THE OWNER.
 - B. PROPERTY NOTED TO BE REMOVED BY THE OWNER.
11. THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE THE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT. TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
12. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER ROUGH FRAMED FLOORS OR ROOFS SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING AND/OR BRACING IS TO BE PROVIDED WHERE THE STRUCTURE HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
13. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCE. VERIZON WIRELESS (WHERE REQUIRED) IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
14. PRIOR TO THE POURING OF ANY NEW SLAB OVER AN EXISTING SLAB THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, CHASES, AND EQUIPMENT WHICH ARE TO BE IMPLEMENTED INTO THE NEW WORK. ALL ITEMS DESIGNATED TO BE ABANDONED SHALL BE NOTED AND DISCUSSED WITH THE OWNER AND VERIZON WIRELESS (WHERE REQUIRED) AS PART OF THE AS-BUILT DRAWING PACKAGE.
15. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING, CONSTRUCTION, AND ANY OTHER PROJECT EFFORT AS MANDATED BY THE GOVERNING AGENCY.
16. OWNER, CONTRACTOR, AND VERIZON WIRELESS (WHERE REQUIRED) SHALL MEET JOINTLY TO VERIFY ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
17. NOT USED.
18. NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL MATCH IN FORM, TEXTURE, FINISH, AND IN MATERIALS EXCEPT AS NOTED IN THE PLANS AND SPECIFICATIONS.
19. CONTRACTOR TO REPLACE AND/OR REROUTE ANY EXISTING UNDERGROUND UTILITIES ENCOUNTERED DURING TRENCHING AND GENERAL CONSTRUCTION.
20. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING, BLOCKING, AND/OR SLEEVES REQUIRED FOR THE INSTALLATION OF FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, HARDWARE, AND FINISH ITEMS TO INSURE A PROPER AND COMPLETE JOB.
21. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PROJECT LEVEL, STRAIGHT, AND TRUE ACCORDING TO THE PLANS. THE CONTRACTOR SHALL COMPARE THE LINES AND LEVELS OF THE EXISTING CONDITIONS WITH THOSE SHOWN ON THE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. VERIZON WIRELESS (WHERE REQUIRED) SHALL BE NOTIFIED OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES PRIOR TO ANY CONSTRUCTION.
22. THE CONTRACTOR IS TO PROVIDE PROTECTION FOR ADJOINING PROPERTIES FROM PHYSICAL HARM, NOISE, DUST, DIRT, AND FIRE AS REQUIRED BY THE GOVERNING AGENCIES.
23. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AND/OR REVISIONS AVAILABLE AS REQUIRED BY THE GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF ALL MATERIALS AND SHALL NOT DO SO ON PUBLIC PROPERTY WITHOUT A PERMIT TO DO SO FROM THE GOVERNING AGENCIES FOR THIS PURPOSE.
25. GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
26. TRADES INVOLVED IN THE PROJECT SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING, FITTING, PATCHING, ETC., SO AS TO BE RECEIVED PROPERLY BY THE WORK OF OTHER TRADES.
27. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT PREMISES AND SHALL BE LEFT IN A CLEAN (BROOM FINISH) CONDITION AT ALL TIMES BY EACH TRADE AS THEY PERFORM THEIR OWN PORTION OF THE WORK.
28. VERIZON WIRELESS (WHERE REQUIRED) DOES NOT GUARANTEE ANY PRODUCTS, FIXTURES, AND/OR ANY EQUIPMENT NAMED BY A TRADE OR MANUFACTURER. GUARANTEE OR WARRANTY THAT MAY BE IN EFFECT IS DONE SO THROUGH THE COMPANY OR MANUFACTURER PROVIDING THE PRODUCT, FIXTURE, AND/OR EQUIPMENT ONLY. UNLESS SPECIFIC RESPONSIBILITY IS ALSO PROVIDED BY THE CONTRACTOR/SUBCONTRACTOR IN WRITTEN FORM.
29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT; UNLESS NOTED OTHERWISE IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR. (EXCEPTION) THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATERTIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
30. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE SAFETY OF THE OWNER'S EMPLOYEES, WORKMEN, AND ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
31. THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN PERMIT AND MAKE FINAL PAYMENT FOR SAID DOCUMENT.
32. THE ARCHITECT/ENGINEER IN CHARGE SHALL SIGN AND SEAL ALL DRAWINGS AND/OR SPECIFICATIONS.
33. FIRE EXTINGUISHER REQUIREMENTS SHALL BE VERIFIED WITH THE LOCAL FIRE MARSHALL.
34. VERIZON WIRELESS (WHERE REQUIRED) WILL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT. VERIZON WIRELESS (WHERE REQUIRED) PROJECT APPROVAL OF A SEPARATE ITEM SHALL NOT INCLUDE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
35. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO PLACEMENT OF MONOPINE FOOTING AND OTHER STRUCTURES TO BE PLACED IN GROUND. SEE GENERAL NOTE #6 ON THIS SHEET.
36. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
37. NOT USED.
38. CONTRACTOR TO PROVIDE TRENCH AS REQUIRED TO INSTALL BOTH ELECTRICAL AND TELEPHONE UNDERGROUND CONDUITS (#40 PVC), BACKFILL WITH CLEAN SAND AND COMPACT TO THE SATISFACTION OF THE DISTRICTS INSPECTOR. REPLACE FINISH GRADE WITH MATCHING MATERIALS (GRASS, ASPHALT, CONCRETE, ETC.)
39. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL USA NORTH AT 1-800-227-2600 AT LEAST 72 HOURS BEFORE DIGGING.
40. CONTRACTOR TO PROVIDE HEAVY STEEL PLATES AT OPEN TRENCHES FOR SAFETY AND TO PROTECT EXISTING GROUND SURFACES FROM HEAVY EQUIPMENT UTILIZED DURING CONSTRUCTION.
41. CONTRACTOR TO PATCH AND REPAIR ALL GROUND SURFACES WITHIN THE CONSTRUCTION AREA AS NECESSARY TO PROVIDE A UNIFORM SURFACE AND MAINTAIN EXISTING SURFACE DRAINAGE SLOPES.
42. CONTRACTOR TO REPLACE LANDSCAPE VEGETATION THAT WAS DAMAGED DUE TO CONSTRUCTION, AND TO MODIFY REMAINING IRRIGATION LINES TO OPERATING CONDITION, PROVIDING FULL COVERAGE TO IMPACTED AREAS.
43. THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.



CALL 811
WWW.CALL811.COM
CONTRACTOR TO CALL NATIONWIDE
ONE-CALL SYSTEMS AT LEAST (2)
WORKING DAYS PRIOR TO DIGGING.

verizonwireless

FANDANGO

3910 S. CARSON STREET, CARSON CITY, NV 89701

PROJECT ID: 20141069259

PS LOCATION #: 295546

VICINITY MAP



DIRECTIONS TO SITE FROM VERIZON

FROM: VERIZON: 255 PARKSHORE DRIVE, FOLSOM, CA 95630
TO: 3910 S. CARSON STREET, CARSON CITY, NV 89701

1. GET ON US-50 E/EL DORADO FWY FROM PARKSHORE DR AND PRAIRIE CITY RD 5 MIN (2.8 MI)
2. FOLLOW US-50 E/EL DORADO FWY TO PIONEER TRAIL IN EL DORADO COUNTY 1 H 21 MIN (73.2 MI)
3. TURN RIGHT ONTO PIONEER TRAIL
4. FOLLOW US-50 E TO S CARSON ST IN CARSON CITY 31 MIN (23.4 MI)
5. 3870 S CARSON ST CARSON CITY, NV 89701

PROJECT INFORMATION

PROPERTY INFORMATION:

SITE NAME: FANDANGO
PS LOCATION#: 295546
PROJECT ID: 20141069259
SITE ADDRESS: 3910 S. CARSON STREET, CARSON CITY, NV 89701

APN: 009-153-05

COUNTY: CARSON CITY
ZONING: GC (GENERAL COMMERCIAL)
CURRENT USE: HOTEL PARKING
JURISDICTION: CITY OF CARSON CITY

CONSTRUCTION TYPE:
OCCUPANCY: U (UNMANNED)

GROUND ELEVATION: 4792' AMSL

SITE MANAGER/DESIGN TEAM:

EPIC WIRELESS
8700 AUBURN FOLSOM ROAD; SUITE 400
GRANITE BAY, CA 95746
CONTACT: BRETT EWING
TELEPHONE: (916) 844-9324
EMAIL: BRETT.ewing@EPICWIRELESS.NET

LEASING/ZONING MANAGER:

EPIC WIRELESS
8700 AUBURN FOLSOM ROAD; SUITE 400
GRANITE BAY, CA 95746
CONTACT: BUZZ LYNN
DESK: (775) 852-5367
MOBILE: (916) 730-4420
EMAIL: BUZZ.LYNN@EPICWIRELESS.NET

PROPERTY OWNER:

OWNER: CARSON GAMING HOTELS, LLC
CONTACT: TRACI FERRANTE
PHONE: 775-886-1607
ADDRESS: 3910 S. CARSON STREET, CARSON CITY, NV 89701
EMAIL: FERRANDET@CASINOFANDANGO.COM

SHEET INDEX

T-1 TITLE SHEET, PROJECT INFORMATION

C-1 SURVEY

A-1 OVERALL SITE PLAN & SITE PLAN

A-2 EQUIPMENT PLAN

A-3 ELEVATIONS & ANTENNA PLAN

PROJECT DESCRIPTION

NEW (N) UNMANNED TELECOMMUNICATION SITE CONSISTING OF THE FOLLOWING:

- PROPOSED VERIZON WIRELESS 30'X30' LEASE WALL AREA CONTAINING THE FOLLOWING:

- (P) 10'-0"X18'-0" EQUIPMENT AREA.
- (P) 80' MONOPOLE WITH LIGHT STANDARD
- (P) (6) 8" ANTENNAS, (3) (F) ANTENNAS, (9) TOTAL ANTENNAS AT 76' AGL
- (P) (2) HYBRID TRUNK CABLES TO BE ROUTED AT INSIDE OF MONOPOLE.
- (P) (9) RRUS12 RRH WITH A2 RECEIVERS.
- (4) (P) SURGE SUPPRESSORS, (2) AT EQUIPMENT AND (2) ON TOWER REQUIRED.
- (P) PRELIMINARY AZIMUTHS ARE 5°/95°/190°
- (P) STANDBY 48KW DIESEL GENERATOR WITH 210 GALLON UL 142 LISTED TANK ON A 5'X10' CONCRETE PAD.
- (P) METER AND ILC W/ ATS.
- (P) CMU WALL AT RETAINED SIDE.
- (P) FENCE W/ SLATS TO MATCH.
- (4) (P) VERIZON WIRELESS OUTDOOR EQUIPMENT CABINETS: (2) (P) ENODEB CABINETS, (1) (P) -48 CABINET & (1) MISC. CABINET.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

1. 2012 INTERNATIONAL BUILDING CODE
2. 2012 INTERNATIONAL RESIDENTIAL CODE
3. 2012 UNIFORM PLUMBING CODE
4. 2012 UNIFORM MECHANICAL CODE
5. 2011 NATIONAL ELECTRICAL CODE
6. 2009 INTERNATIONAL ENERGY CONSERVATION CODE
7. 2012 INTERNATIONAL FIRE CODE
8. ANSI/EIA-TIA-222-G
9. ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS.
10. 2012 NORTHERN NEVADA AMENDMENTS

FANDANGO

PROJECT ID: 20141069259

PS LOCATION #: 295546

3910 S. CARSON STREET
CARSON CITY, NV 89701



ATM Engineering

Tim McPartland, SE
2525 East Bidwell Street
Folsom, CA 95630
Phone: 916-859-7300
Direct: 916-934-5177
Email: timm@atmengengineering.com

STAMP

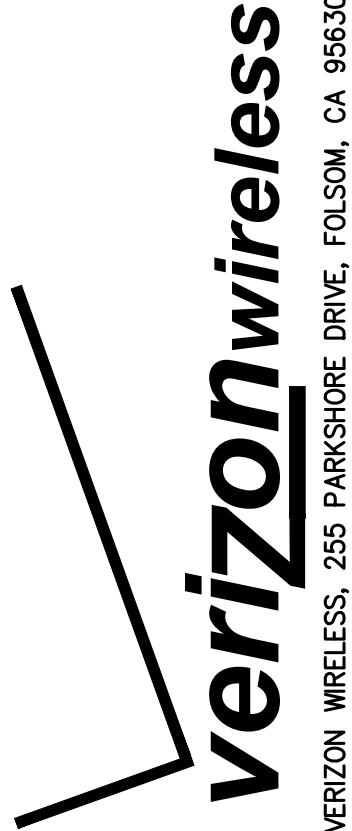
ISSUE STATUS

INT	DATE	DESCRIPTION	REV
AEB	03/30/15	90% 2D'S	0
AEB	04/16/15	95% 2D'S	0
CES	09/02/15	100% 2D'S	0
AM	09/11/15	100% 2D'S	0

SHEET TITLE:

TITLE SHEET &
PROJECT INFORMATION

T-1



VERIZON WIRELESS, 255 PARKSHORE DRIVE, FOLSOM, CA 95630

DATE OF SURVEY: 11-29-15

SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL, PLS 13385
LOCATED IN THE COUNTY OF CARSON, STATE OF NEVADA

BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD
INFORMATION. THIS IS NOT A BOUNDARY SURVEY.

ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D.
88 DATUM. ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.

N.G.V.D. 1929 CORRECTION: SUBTRACT 3-73' FROM ELEVATIONS
SHOWN.

CONTOUR INTERVAL: 1 FT.

ASSESSOR'S PARCEL NUMBER: 009-153-05

LANDLORD(S): CARSON GAMING LLC
11411 SOUTHERN HIGHLANDS PKWY #300
LAS VEGAS, NV 89141

Project Name: Fandango

Project Site Location: 3910 S. Carson Street
Carson City, NV 89701
Carson City County

Date of Observation: 01-29-15

Equipment/Procedure Used to Obtain Coordinates: Trimble Geo
XT post processed with Pathfinder Office software.

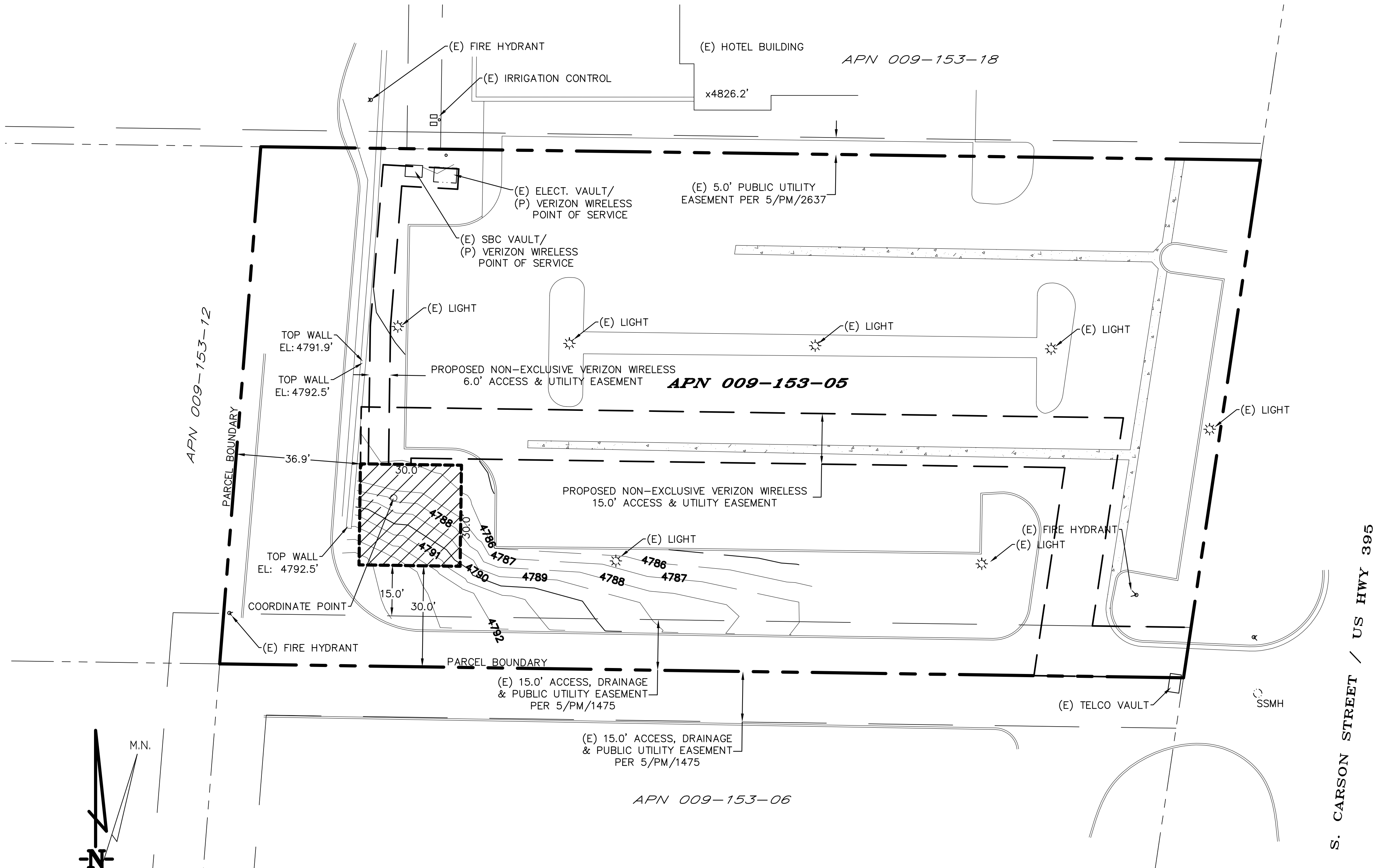
Type of Antenna Mount: Proposed Free Standing Monopole

Coordinates

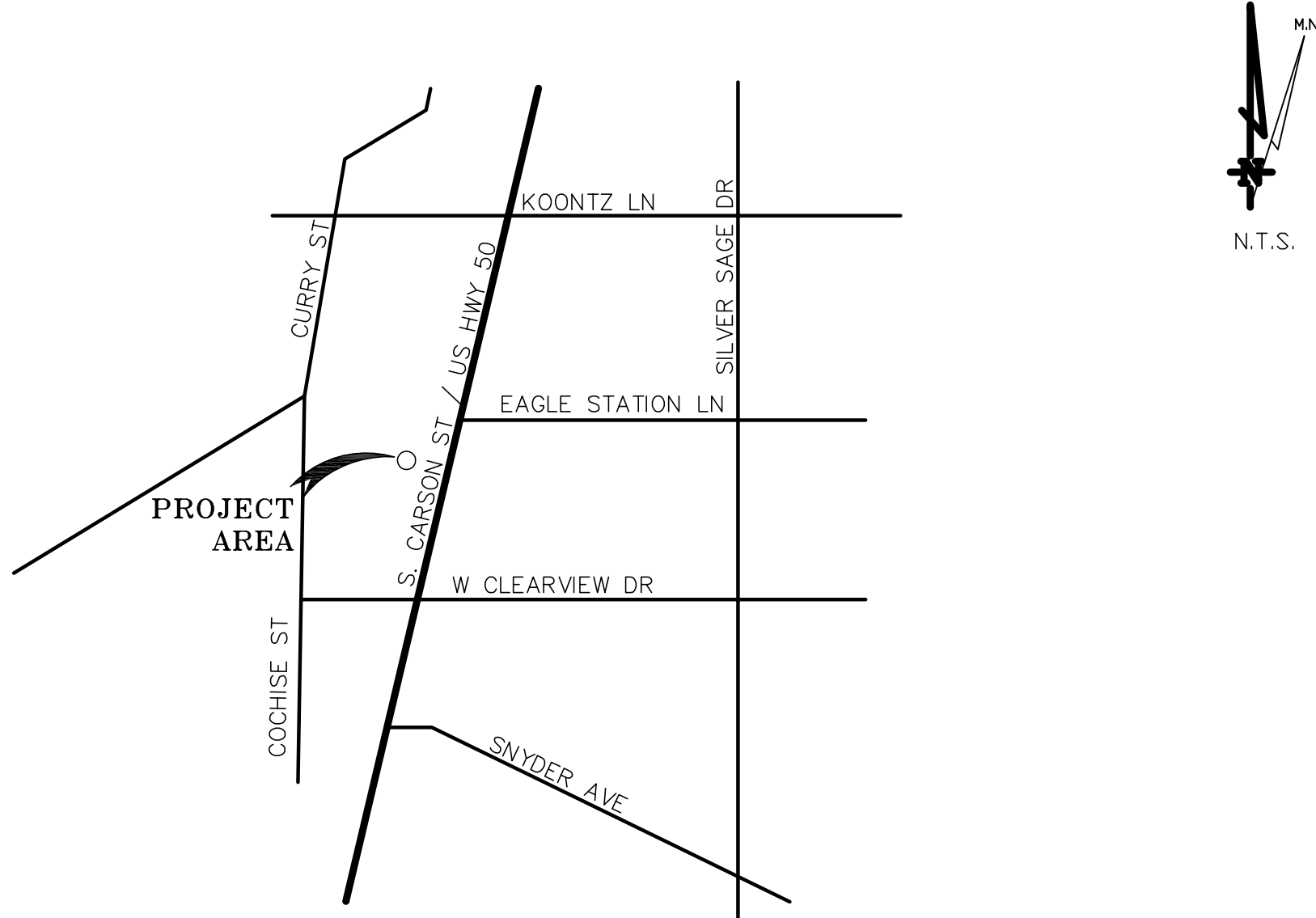
Latitude: N 39°07'48.02"(NAD83) N 39°07'48.35"(NAD27)

Longitude: W 119°46'17.50"(NAD83) W 119°46'13.85"(NAD27)

ELEVATION of Ground at Structure (NAVD88) 4792' AMSL



PROJECT AREA ENLARGEMENT



CARSON CITY, NV

VICINITY MAP

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF GEIL ENGINEERING AND THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE AND CARRIER FOR WHICH THEY ARE PREPARED. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM GEIL ENGINEERING. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH GEIL ENGINEERING WITHOUT PREJUDICE AND VISUAL CONTACT WITH THEM SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

Fandango
Lease Area Description

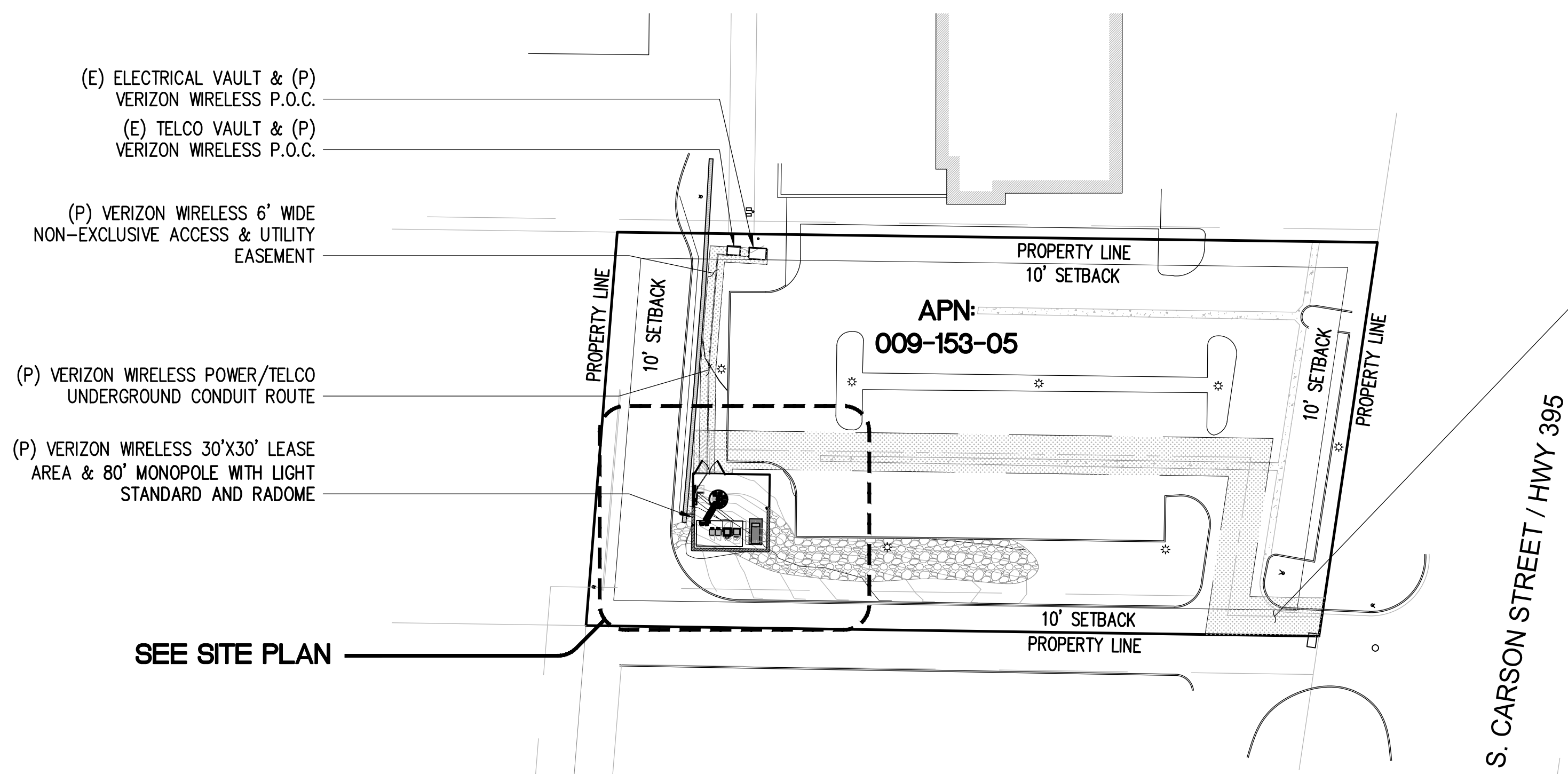
All that certain lease area being a portion of Parcel 1-D as delineated on the plat filed in Book 5 of Parcel Maps, Page 1475 Official Records of Carson County, Nevada being more particularly described as follows:

Commencing at the Southeast corner of the aforementioned parcel of land; thence along the South boundary thereof North 89°10'28" West 215.20 feet; thence leaving said parcel boundary North 00°49'32" East 30.00 feet to the True Point of Beginning; thence from said point of beginning North 89°10'28" West 30.00 feet; thence North 00°49'32" East 30.00 feet; thence South 89°10'28" East 30.00 feet; thence South 00°49'32" West 30.00 feet to the true point of beginning.

Together with an easement for access and utility purposes, fifteen feet in width, the centerline of which is described as follows: Beginning at a point on North boundary of the above described lease area which bears South 89°10'28" East 7.50 feet from the Northwest corner thereof; thence from said point of beginning North 00°49'32" East 9.39 feet; thence South 89°10'28" East 212.30 feet; thence South 08°27'11" West 62.44 feet; thence South 89°10'28" East 35.85 feet more or less to the public right of way.

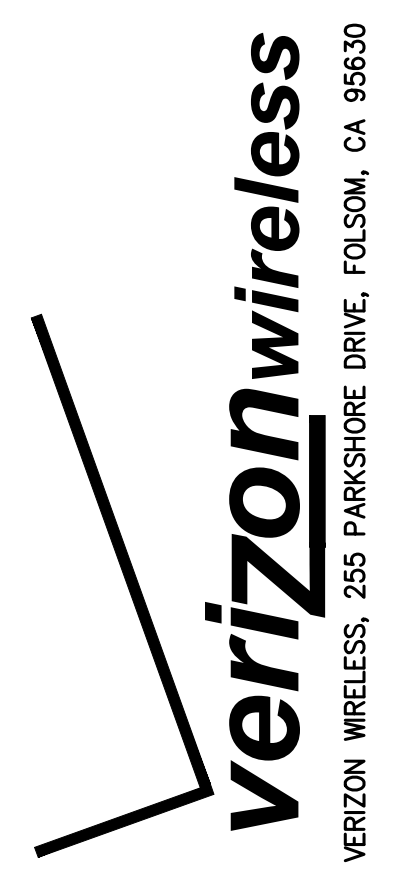
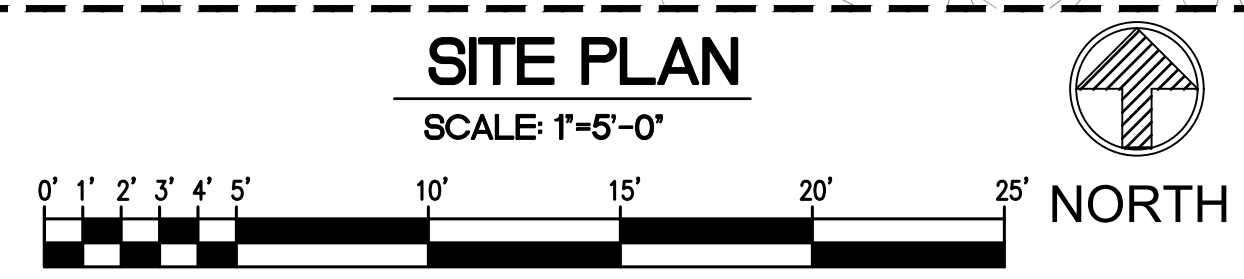
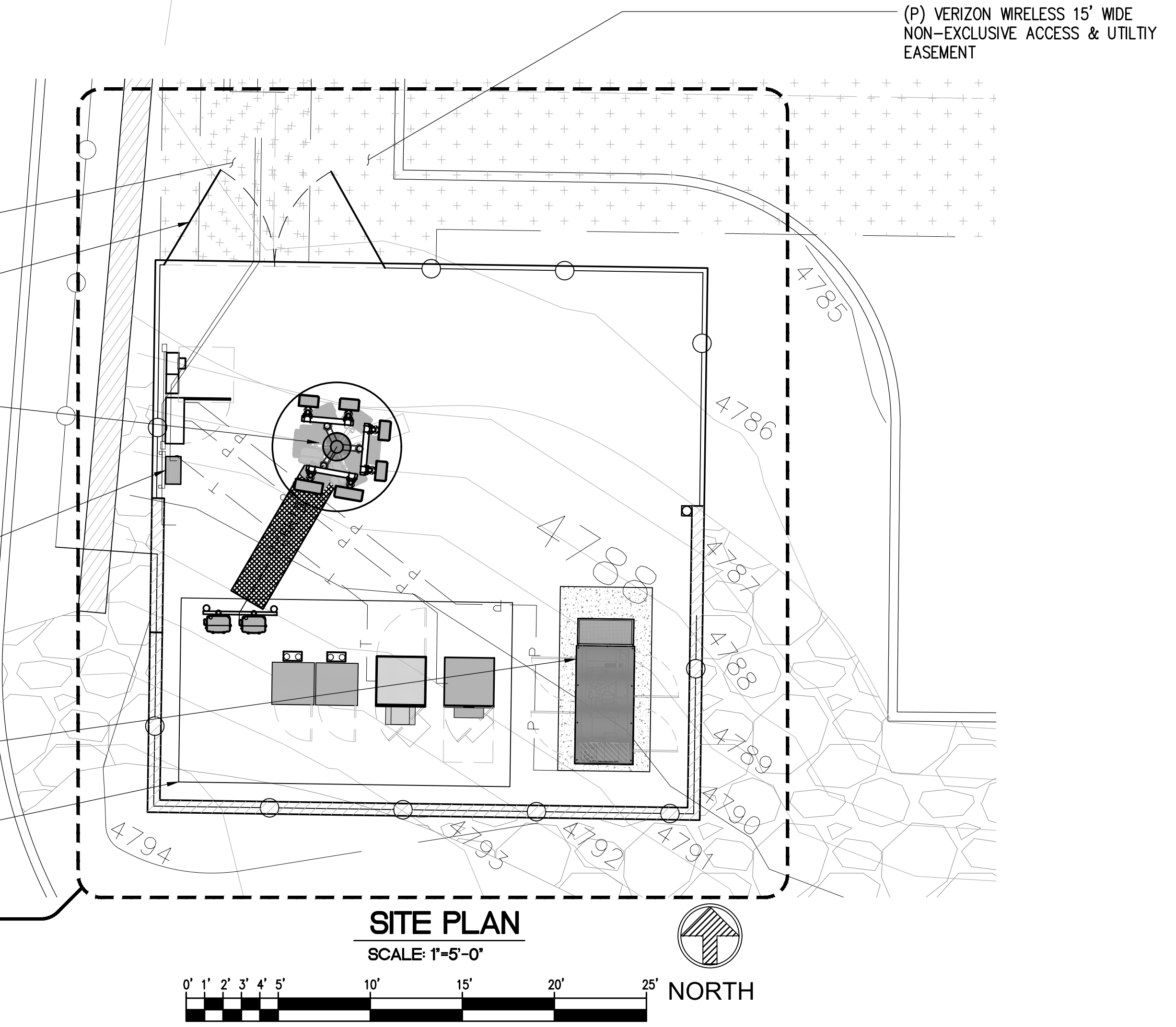
Also together with an easement for access and utility purposes, six feet in width, the centerline of which is described as follows: Beginning at a point on North boundary of the above described lease area which bears North 89°10'28" West 24.37 feet from the Northeast corner thereof; thence from said point of beginning North 00°49'32" East 40.94 feet; thence North 04°33'24" East 44.92 feet; thence South 86°42'54" East 19.5 feet more or less to an existing utility service connection location.

DEPT	APC	APPROVED	DATE
	RE	RF	INT
Surveyor	GEIL ENGINEERING ENGINEERING • SURVEYING • PLANNING 1226 HIGH STREET AUBURN, CALIFORNIA 96603 Phone: (530) 885-1226 Fax: (530) 885-1309		
	FANDANGO 3910 S. Carson Street Carson City, NV 89701 PLOT PLAN AND SITE TOPOGRAPHY		
REVISIONS	02-13-15	Preliminary Drawing	DG
REV	04-02-15	redline	DG
REV	04-19-15	rev. access esmt.	DG
REV	06-05-15	redlines	DG
REV	09-03-15	rev. tower loc.	DG
REV			
REV			
REV			
Sheet			
C-1			



- (P) ROUTE FOR POWER AND TELCO CONDUITS
- (P) 12' WIDE SITE ACCESS GATES
- (P) VERIZON WIRELESS 80' MONOPOLE WITH LIGHT STANDARD AND RADOME
- (P) VERIZON WIRELESS UTILITY H-FRAME
- (P) VERIZON WIRELESS STANDBY 48KW DIESEL GENERATOR W/ 210 GALLON UL 142 LISTED TANK ON A (P) 5'X10' CONCRETE PAD, W/ "NO SMOKING", "DIESEL FUEL" AND APPROPRIATE NFPA 704 SIGNAGE ON THE GENERATOR/ DIESEL FUEL STORAGE TANK
- (P) VERIZON WIRELESS 10'-0"x18'-0" EQUIPMENT PAD

SEE ENLARGED SITE PLAN



FANDANGO

PROJECT ID: 20141069259
PS LOCATION #: 295546
3910 S. CARSON STREET
CARSON CITY, NV 89701



ATM Engineering

Tim McPartland, SE
2525 East Bidwell Street
Folsom, CA 95630
Phone: 916-859-7300
Direct: 916-934-5177
Email: timm@atmengineering.com

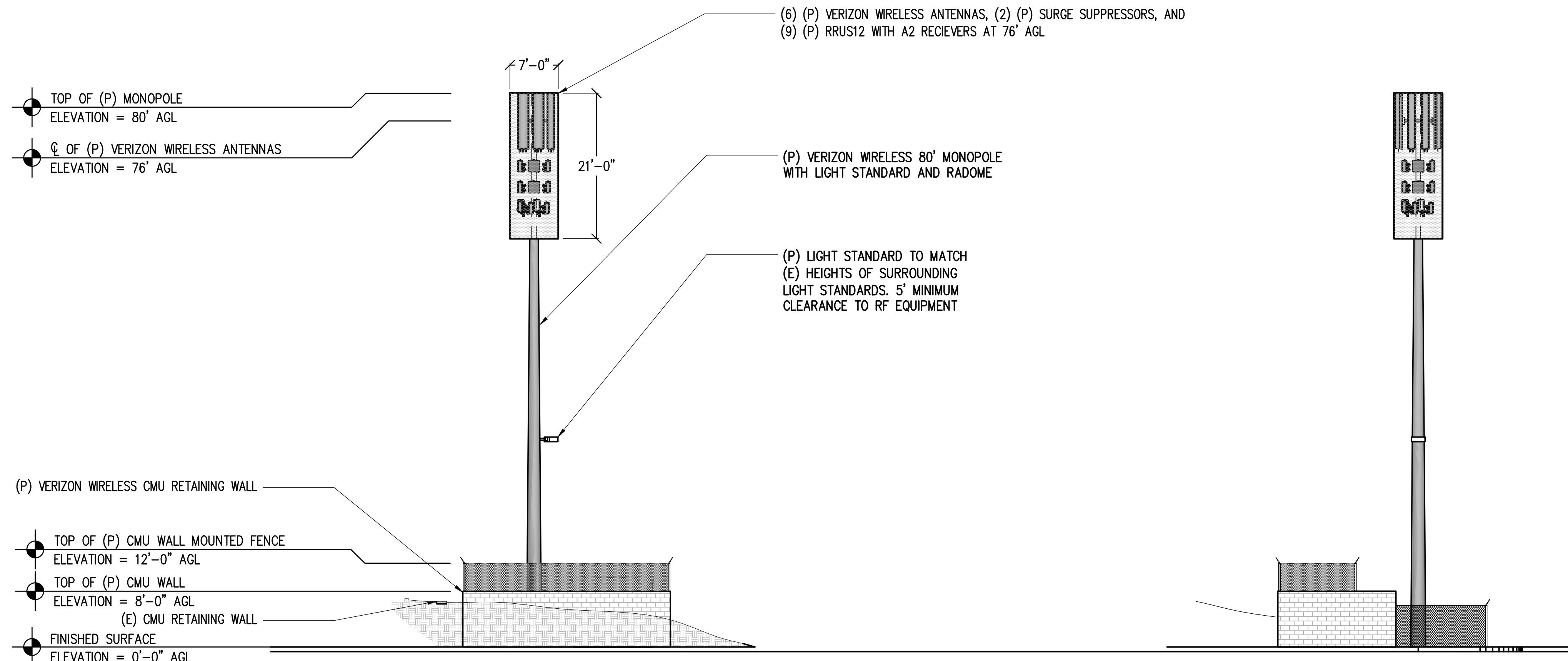
STAMP

ISSUE STATUS

INT	DATE	DESCRIPTION	REV
AEB	03/30/15	90% ZD'S	0
AEB	04/16/15	95% ZD'S	0
CES	09/02/15	100% ZD'S	0
AM	09/11/15	100% ZD'S	0

SHEET TITLE:
OVERALL SITE PLAN
& SITE PLAN

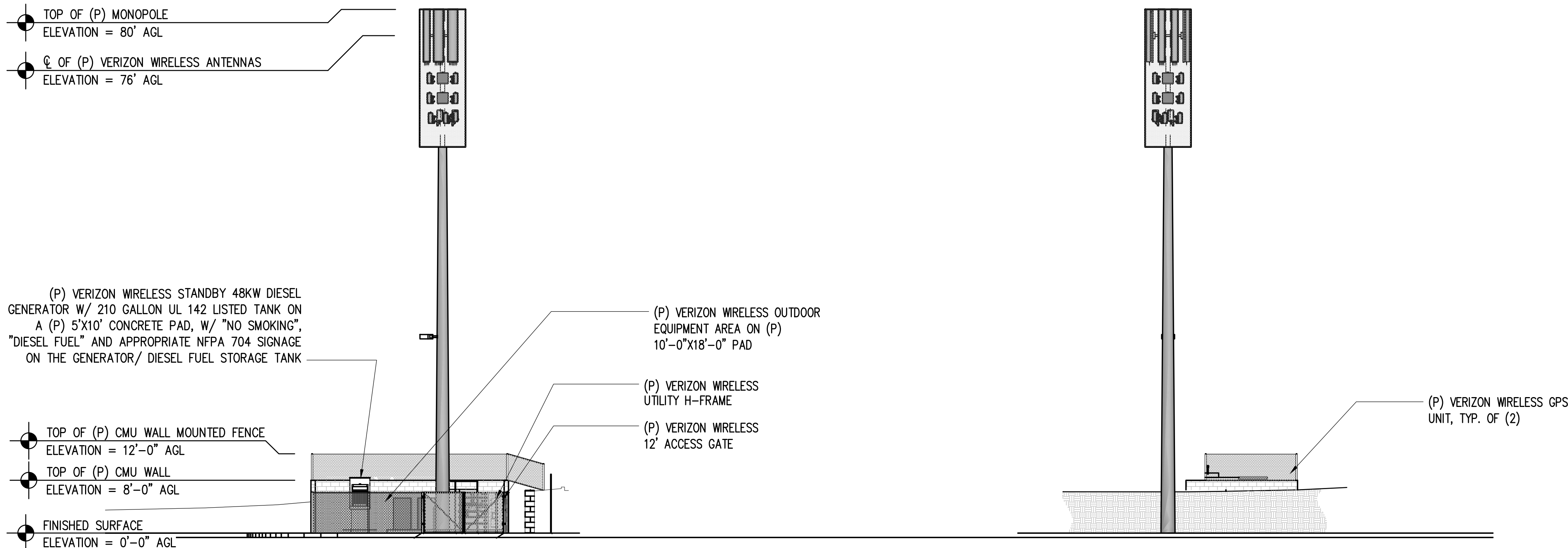
A-1



SOUTH ELEVATION
SCALE: 3/32" = 1'-0" ft

EAST ELEVATION
SCALE: 3/32" = 1'-0" ft

NOTE:
1 (P) TOWER MOUNTED
EQUIPMENT TO BE PAINTED TO
MATCH (P) MONOPOLE.

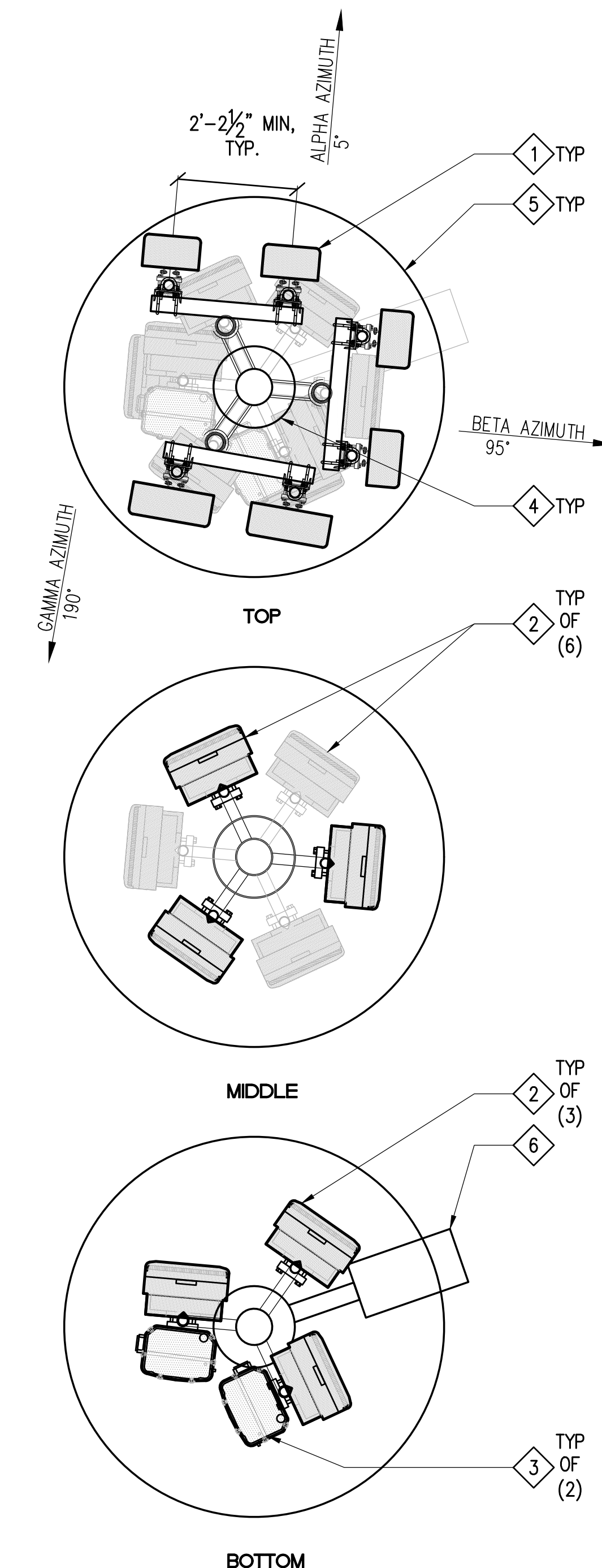


NORTH ELEVATION
SCALE: 3/32" = 1'-0" ft

WEST ELEVATION
SCALE: 3/32" = 1'-0" ft

ANTENNA PLAN KEY NOTES:

- 1 (6) (P) VERIZON WIRELESS 8' TALL ANTENNAS, TYPICAL OF (2) PER SECTOR
- 2 (9) VERIZON WIRELESS RRUS-12 W/A2 RECEIVERS, TYPICAL OF (3) PER SECTOR, STACK AND OFFSET ON MOUNTS
- 3 (2) (P) TOWER MOUNTED RAYCAP SURGE SUPPRESSORS
- 4 (P) VERIZON WIRELESS 80' MONOPOLE W/ LIGHT STANDARD AND RADOME
- 5 (P) VERIZON WIRELESS 7' DIAMETER RADOME
- 6 (P) LIGHT STANDARD BELOW TO MATCH (E)



ANTENNA PLAN
SCALE: 1/2" = 1'



FANDANGO

PROJECT ID: 20141069259
PS LOCATION #: 295546
3910 S. CARSON STREET
CARSON CITY, NV 89701



ATM Engineering

Tim McPartland, SE
2525 East Bidwell Street
Folsom, CA 95630
Phone: 916-859-7300
Direct: 916-934-5177
Email: timm@atmengineering.com

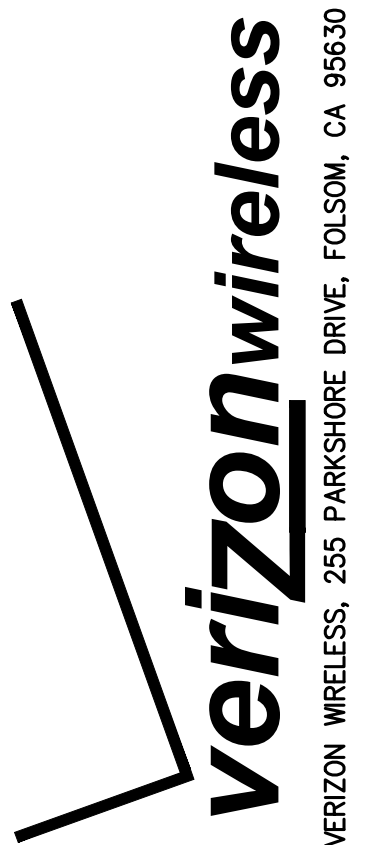
STAMP

ISSUE STATUS

INT	DATE	DESCRIPTION	REV
AEB	03/30/15	90% ZD'S	0
AEB	04/16/15	95% ZD'S	0
CES	09/02/15	100% ZD'S	0
AM	09/11/15	100% ZD'S	0

SHEET TITLE:
ELEVATIONS
& ANTENNA PLAN

A-3



VERIZON WIRELESS 255 PARKSHORE DRIVE, FOLSOM, CA 95630