



STAFF REPORT

Report To: Board of Supervisors

Meeting Date: March 17, 2016

Staff Contact: Danny Rotter, Public Works

Agenda Title: For Possible Action: To approve an agreement between Carson City, Nevada and Lopiccolo Investments, LLC, a Nevada limited liability company, for a permanent easement necessary for construction of improvements associated with the Downtown Improvement Project, Project Number 031407. (Danny Rotter, Drotter@carson.org)

Staff Summary: Staff have been working with the property owner on an agreement to provide an easement to construct the stage and associated improvements on Third Street that overlap only the adjacent property.

Agenda Action: Formal Action/Motion

Time Requested: 5 Mins

Proposed Motion

Move to approve an agreement between Carson City, Nevada and Lopiccolo Investments, LLC, a Nevada limited liability company, for a permanent easement necessary for construction of improvements associated with the Downtown Improvement Project, Project Number 031407.

Board's Strategic Goal

Economic Development

Previous Action

N/A

Background/Issues & Analysis

The property owner has reviewed the project's design plans and possible impacts to the site. Through negotiations the agreement has been formulated. The property owner has requested that parking from the current public parking lot west of Curry Street be designated public parking for the residential units on the site. The site is zoned Downtown Mixed Use which would not require additional parking if a change of use were to occur.

Applicable Statute, Code, Policy, Rule or Regulation

N/A

Financial Information

Is there a fiscal impact? Yes No

If yes, account name/number:

Is it currently budgeted? Yes No

Explanation of Fiscal Impact: There is no direct fiscal impact from this agreement as the construction project contains the fiscal impact.

Alternatives

Approve agreement with modifications, Do not approve agreement and direct staff otherwise.

Board Action Taken:

Motion: _____

1) _____

Aye/Nay

2) _____

(Vote Recorded By)

A portion of APNs 003-113-15 and 003-113-09

AFTER RECORDING RETURN TO:
DANIEL ROTTER
CARSON CITY PUBLIC WORKS
3505 BUTTI WAY
CARSON CITY, NV 89701-3498

WITH A COPY TO:
LOPICCOLO INVESTMENTS LLC
c/o Mark A. Lopiccolo, Manager
Jennifer M. Lopiccolo, Manager
Lopiccolo Investments, LLC
1400 Chaparral Dr.
Carson City, Nevada NV 89703

AGREEMENT BETWEEN
CARSON CITY, NEVADA

AND LOPICCOLO INVESTMENTS LLC, A NEVADA LIMITED LIABILITY COMPANY
FOR A PERMANENT EASEMENT NECESSARY FOR CONSTRUCTION OF IMPROVEMENT
ASSOCIATED WITH THE DOWNTOWN IMPROVEMENT PROJECT, PROJECT NUMBER
031407

THIS AGREEMENT, made this _____ day of _____, 20____,
between LOPICCOLO INVESTMENTS LLC, A NEVADA LIMITED LIABILITY COMPANY,
hereinafter called the OWNER, and CARSON CITY, NEVADA, A CONSOLIDATED
MUNICIPALITY, hereinafter called the CITY,

WITNESSETH:

WHEREAS, OWNER owns APNs 003-113-15 and 003-113-09, located at the
intersection of S. Curry St. and Third St, adjacent to 310 S. Carson St., in Carson City, Nevada;
and

WHEREAS, the CITY has undertaken the construction of the Downtown Improvement
Project, Project Number 031407; and

WHEREAS, a portion of APNs 003-113-15 and 003-113-09 are necessary for
construction of improvements associated with the Downtown Improvement Project, Project
Number 031407; and

WHEREAS, OWNER wishes to dedicate a portion of APNs 003-113-15 and 003-113-09
to the CITY a permanent easement as described on Exhibit A and depicted on Exhibit B,
attached hereto and made a part herein.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants
herein contained, it is agreed as follows:

A portion of APNs 003-113-15 and 003-113-09

ARTICLE I – OWNER AGREES

1. The OWNER, for and in consideration of the covenants and other considerations by the CITY as hereinafter provided agrees as follows:

(a) To dedicate and convey a permanent easement to the CITY, for the purpose of location, construction, and maintenance of a plaza and improvements associated with the Downtown Improvement Project, located upon, over and across all that real property described as a portion of APNs 003-113-15 and 003-113-09; said real property situate, lying and being in Carson City, State of Nevada, and more particularly described in Exhibit A and depicted on Exhibit B.

(b) To grant the CITY a PERMANENT EASEMENT conveying a permanent easement upon, over and across certain real property described as a portion of APNs 003-113-15 and 003-113-09 on Exhibit A and depicted on Exhibit B.

(c) To be responsible for said premises, including risk and liability for loss and damage, including all repairs to said premises until such date as CITY has recorded the easement, or such date as the CITY or its agents and contractors have entered any portion of the premises for the construction of the Project.

(d) To permit the CITY, its authorized agents and contractors to enter in and upon OWNER'S before described lands for which Permanent Easement is granted upon execution of this agreement.

(e) To waive and hereby does waive, with full knowledge that a public project improvements and the necessary incidents thereto are to be located upon, over and across the lands hereinabove described, any claim for any and all damages to the remaining adjacent lands and property of the OWNER caused by the construction of the Project as depicted in the construction plans attached as Exhibit C.

(f) To waive, and does hereby waive as an informed and knowledgeable OWNER, its rights to just compensation for the construction of the Project as shown on Exhibit C.

(g) Does hereby acknowledge that said project improvements will reduce OWNER's parking but in reliance upon section III (1)© below.

A portion of APNs 003-113-15 and 003-113-09

ARTICLE II – CITY AGREES

1. The CITY, in consideration of the granting of the permanent easement and other covenants of the OWNER hereinabove set forth, agrees as follows:

(a) To accept dedication of a perpetual easement and right-of-way, for the purpose of location, construction, and maintenance a plaza and improvements associated with the Downtown Improvement Project, located upon, over and across all that real property described as a portion of APN's 003-113-15 and 003-113-09 on Exhibit A and depicted on Exhibit B.

(b) In the event the property conveyed herein is used for other than the Project as shown in Exhibit C, or upon CITY's failing to comply with any condition, covenant contained in this Agreement, such event is a violation of the terms of this agreement. To enforce compliance with the terms of this agreement the OWNER may give the CITY a written notice of the violation of the terms of this agreement by certified, return receipt mail describing the violation and giving notice of the OWNER's intent to revoke the easement if the CITY fails to correct the violation within a period of thirty (30) days from the date of mailing of the notice. If the CITY does not cure the violation the OWNER may at any time file a notice of termination of easement with the Carson City Recorder, and all improvements placed within the easement shall become the property of the OWNER.t.

(c) The City agrees to allocate 6 parking spaces in the parking lot located at 202 South Curry Street, APN 003-114-06 for the exclusive use of the residents of 310 South Carson Street, APN 003-113-09. The spaces allocated shall be the southeasternmost 6 unless otherwise reviewed and approved by the OWNER and CITY.

(d) The property currently enjoys a downtown mixed used zoning which does not require additional parking should a change of use or remodeling effort occur. The City shall uphold this zoning and associated parking requirements and not impose requirements that would adversely affect the parcel above and beyond what the requirements would be if the Project was not built on the easement.

ARTICLE III- IT IS MUTUALLY AGREED

1. It is mutually agreed and understood by the CITY and by the OWNER as follows:

(a) This AGREEMENT shall not become effective until and unless approved by appropriate official action of the Carson City Board of Supervisors.

(b) All notice or other communications required or permitted to be given under this AGREEMENT shall be in writing and shall be deemed to have been duly given if delivered personally in hand, by facsimile with simultaneous regular mail, or mailed certified mail, return receipt requested, postage prepaid on the date posted, and addressed to the other party at the address set forth below:

A portion of APNs 003-113-15 and 003-113-09

FOR CITY: Darren Schulz, City Engineer
City of Carson City
3505 Butti Way
Carson City, Nevada 89701
Phone: (775) 283-7391
Fax: (775) 887-2112
E-mail: DSchulz@carson.org

FOR OWNER: Mark A. Lopiccolo, Manager
Jennifer M. Lopiccolo, Manager
Lopiccolo Investments, LLC
1400 Chaparral Dr.
Carson City, Nevada NV 89703
Phone: (775) 772-9579
E-fax (775) 236-1712
E-mail: Jenny.Lopiccolo@cbselectre.com

(c) This AGREEMENT constitutes the entire agreement of the parties and such is the entire contract between the parties hereto, and no modification hereof shall be binding upon the parties unless the same is in writing and signed by the respective parties hereto.

(d) The parties hereto represent and warrant that the person executing this AGREEMENT on behalf of each party has full power and authority to enter into this AGREEMENT and that the parties are authorized by law to perform the acts contemplated herein.

(e) All covenants and agreements herein contained shall extend to and be obligatory upon the heirs, executors, administrators, successors and assigns, as the case may be, of the respective parties.

(f) As used herein the term OWNER shall include the plural as well as the singular, and the feminine as well as the masculine and the neuter.

(g) The covenants and agreements expressed in the AGREEMENT shall survive the recordation of the easement. .

(h) This AGREEMENT and the rights and obligations of the parties hereto shall be governed by, and construed according to, the laws of the State of Nevada. The parties consent to the exclusive jurisdiction of the Nevada First Judicial District Court, Carson City, Nevada, for enforcement of this AGREEMENT.

IN WITNESS WHEREOF the parties hereto have executed this AGREEMENT the day and year first above written.

LOPICCOLO INVESTMENTS LLC,
A NEVADA LIMITED LIABILITY COMPANY

By: _____
MARK A. LOPICCOLO, Manager

By: _____
JENNIFER M. LOPICCOLO, Manager

If signer shall be a corporation, trust, partnership or other unnatural person, an authorized person must sign on behalf of the signer. The agreement must be executed by the person approved by the bylaws, articles, or a certified, stamped copy of a resolution of the board of directors as provided with the executed agreement.

STATE OF NEVADA)
) SS.
CARSON CITY)

This instrument was acknowledged before me on _____, by _____
as _____
of LOPICCOLO INVESTMENTS LLC, A NEVADA LIMITED LIABILITY COMPANY.

S
E
A
L

NOTARY PUBLIC

STATE OF NEVADA)
) SS.
CARSON CITY)

This instrument was acknowledged before me on _____, by _____
as _____
of LOPICCOLO INVESTMENTS LLC, A NEVADA LIMITED LIABILITY COMPANY.

S
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L

NOTARY PUBLIC

CARSON CITY:

REVIEWED AND RECOMMENDED BY:

DARREN SCHULZ *Date*
City Engineer

APPROVED FOR LEGALITY AND FORM:

Carson City District Attorney *Date*

ROBERT CROWELL, Mayor *Date*

ATTEST:

Susan Merriwether, Clerk Recorder *Date*

**EXHIBIT A
LEGAL DESCRIPTION
EASEMENT**

Within APN 003-113-15 and APN 003-113-09

A portion of Lot numbers 2 and 3 of Block 26 of the Sears, Thompson and Sears Subdivision, including a portion of the abandoned alley between Lot numbers 1 and 2, within the Northwest quarter of the Southwest quarter of Section 17 in Township 15 North, Range 20 East, M.D.B.& M., Carson City, Nevada, more particularly described as follows:

BEGINNING at the Northwest corner of Block 26;

THENCE along the north line of Block 26, S.89°06'56"E., 88.60 feet;

THENCE S.1°00'26"W., 21.05 feet;

THENCE N.89°06'56"W., 21.00 feet;

THENCE S.1°00'26"W., 10.86 feet;

THENCE N.89°06'56"W., 8.40 feet;

THENCE S.1°00'26"W., 5.96 feet;

THENCE N.89°06'56"W., 8.72 feet;

THENCE S.1°00'26"W., 17.32 feet;

THENCE N.89°06'56"W., 50.48 feet to the West line of Block 26;

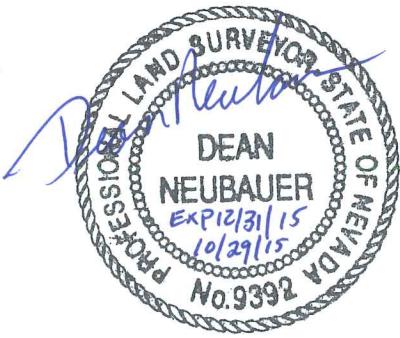
THENCE along the West line of Block 26, N.1°00'26"E., 55.19 feet to the **POINT OF BEGINNING**.

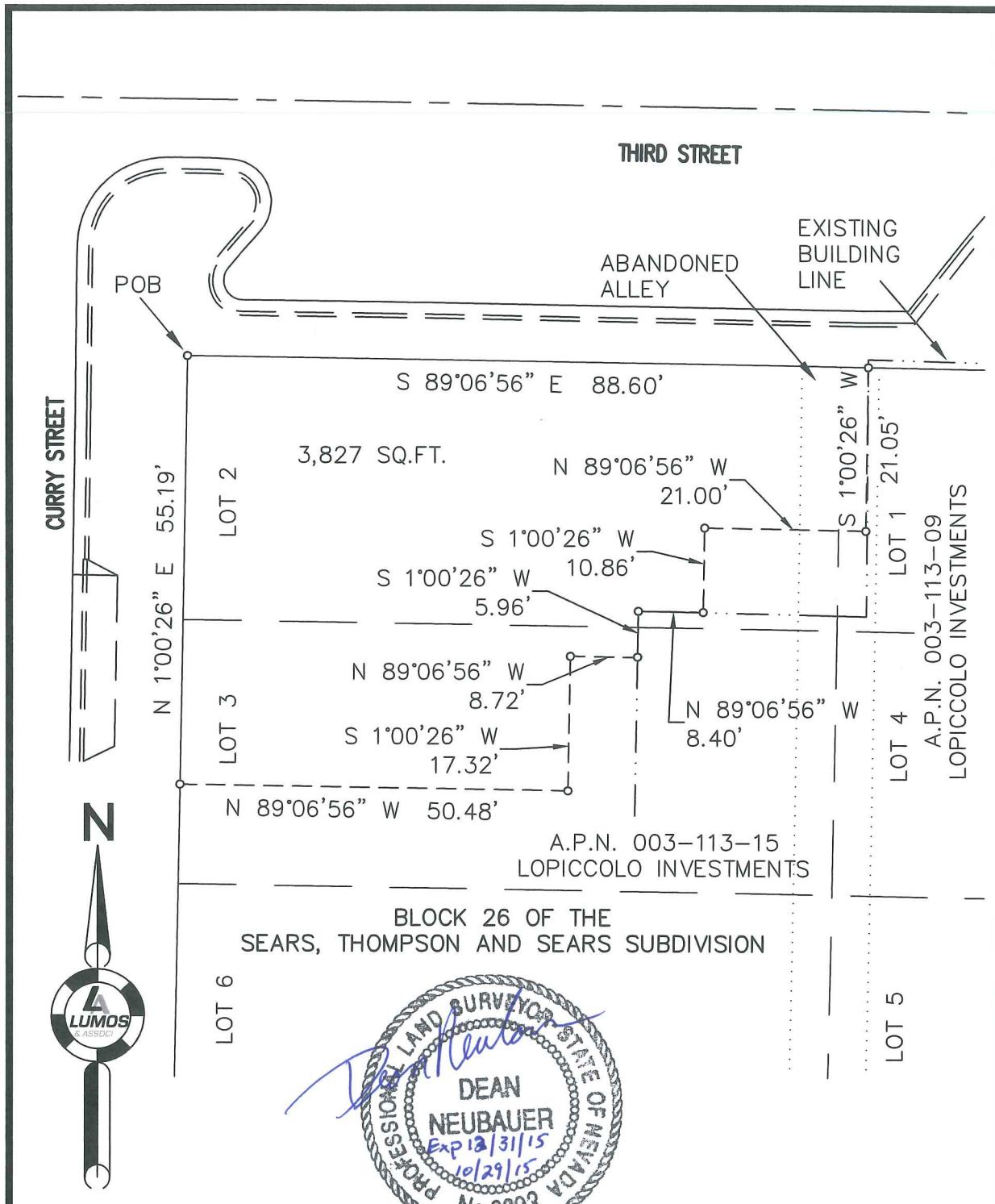
This easement contains 3,827 square feet more or less.

The basis of bearings for this legal description is based on NAD 83/94 and Nevada State Plane, West Zone coordinate system, Carson City Datum, shown as S.89°06'56"E. along the north line of Block 26.

Prepared under the supervision of
Dean Neubauer, P.L.S. 9392
800 E. College Parkway
Carson City, NV 89706

END OF DESCRIPTION.





<p>LUMOS & ASSOCIATES 800 E. COLLEGE PARKWAY CARSON CITY, NEVADA 89706 PH. (775) 883-7077 FAX (775) 883-7114</p>	<p>EXHIBIT B LOPICCOLO INVESTMENT, LLC & CARSON CITY SECTION 17, T. 15 N., R. 20 E., M.D.B.& M.</p>	<p>Date: 10-29-2015 Scale: 1" = 20' Job No: 8737.000</p>
CARSON CITY		NEVADA

DOWNTOWN STREETSCAPE IMPROVEMENT PLANS

CARSON CITY, NEVADA
PROJECT 03-1407

BOARD OF SUPERVISORS

Bob Crowell	Mayor
Karen Abowd	Supervisor
Brad Bonkowski	Supervisor
Lori Bagwell	Supervisor
Jim Shirk	Supervisor
Susan Merriwether	City Clerk

DESIGNED FOR

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY
CARSON CITY, NV 89701
887-2355

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (SSPWC) AND THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" (SDPWC) AS ADOPTED BY CARSON CITY. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR PUBLIC WORKS CONSTRUCTION FROM THE CARSON CITY PERMIT CENTER PRIOR TO THE START OF CONSTRUCTION.

2. ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE CARSON CITY RIGHT-OF-WAY SHALL CONFORM TO SECTION 100.33, 332.04 AND 332.05 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE UNR T2 CENTER, TEMPORARY TRAFFIC CONTROL GUIDELINES LATEST EDITION. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CARSON CITY ENGINEERING DIVISION PRIOR TO ANY STREET CLOSURES.

3. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (811) OR (1-800-227-2600) AT LEAST TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION AND COMPLY WITH THE REQUIREMENTS OF NRS AND NAC 455 THROUGHOUT THE COURSE OF THE WORK. SEWER SERVICE LATERALS ARE NOT OWNED OR MARKED BY CARSON CITY.

4. THE CONTRACTOR SHALL CALL THE CARSON CITY ENGINEERING DIVISION (887-2300) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL ONE (1) WORKING DAY PRIOR TO REQUIRED INSPECTIONS AND TESTING. THE REQUIRED INSPECTIONS AND TESTING ARE LISTED ON THE INSPECTION RECORD ISSUED WITH EACH PERMIT. THE CONTRACTOR MUST HAVE THE PERMIT NUMBER AND THE DESCRIPTION LISTED ON THE INSPECTION RECORD TO SCHEDULE REQUIRED INSPECTIONS AND TESTING. FOR CITY CONTRACTED PROJECTS, THE CONTRACTOR SHALL SCHEDULE INSPECTIONS PER THE CONTRACT DOCUMENTS.

5. FINAL INSPECTIONS WILL BE PERFORMED BY CARSON CITY ENGINEERING DIVISION ACCORDING TO THE CARSON CITY INSPECTIONS AND TESTING PROCEDURES. NOTE: THESE PROCEDURES REQUIRE SUBMITAL OF RECORD DRAWING PRINTS BY THE CONTRACTOR AND 10 WORKING DAYS TO PREPARE A FINAL PUNCH LIST. ALL CONDITIONS OF THE FINAL INSPECTION MUST BE COMPLETED PRIOR TO FINAL ACCEPTANCE OR ANY APPROVAL OF A CERTIFICATE OF OCCUPANCY BY THE CARSON CITY ENGINEERING DIVISION.

6. MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE CARSON CITY ENGINEERING DIVISION. WORK PERFORMED WITHOUT WRITTEN APPROVAL BY CARSON CITY ENGINEERING WILL REQUIRE REMOVAL AT THE CONTRACTORS EXPENSE.

7. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.

8. PLAN APPROVAL FOR SEWER AND WATER CONSTRUCTION SHALL EXPIRE ONE YEAR FROM DATE OF APPROVAL UNLESS CONSTRUCTION HAS BEEN INITIATED. (CCMC 12.06.180F, 12.01.140D)

9. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ACQUIRING A STORMWATER DISCHARGE PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION (NDEP) INCLUDING DEVELOPING, SUBMITTING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL DEVELOP, PLACE AND MAINTAIN STORM WATER PROTECTION DEVICES IN COMPLIANCE WITH THE NEVADA CONTRACTORS FIELD GUIDE FOR CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (JUNE 2008).

10. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTORS' RESPONSIBILITY TO VERIFY THESE LOCATIONS AT THE PROPOSED POINTS OF CONNECTIONS AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION, PRIOR TO BEGINNING CONSTRUCTION. POTHOLING IS REQUIRED. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

11. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF PROPER SHORING OF TRENCHES IN ACCORDANCE WITH OCCUPATIONAL SAFETY LAWS. THE DUTIES OF THE ENGINEER DO NOT INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY IN, ON, OR NEAR THE CONSTRUCTION SITE.

12. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

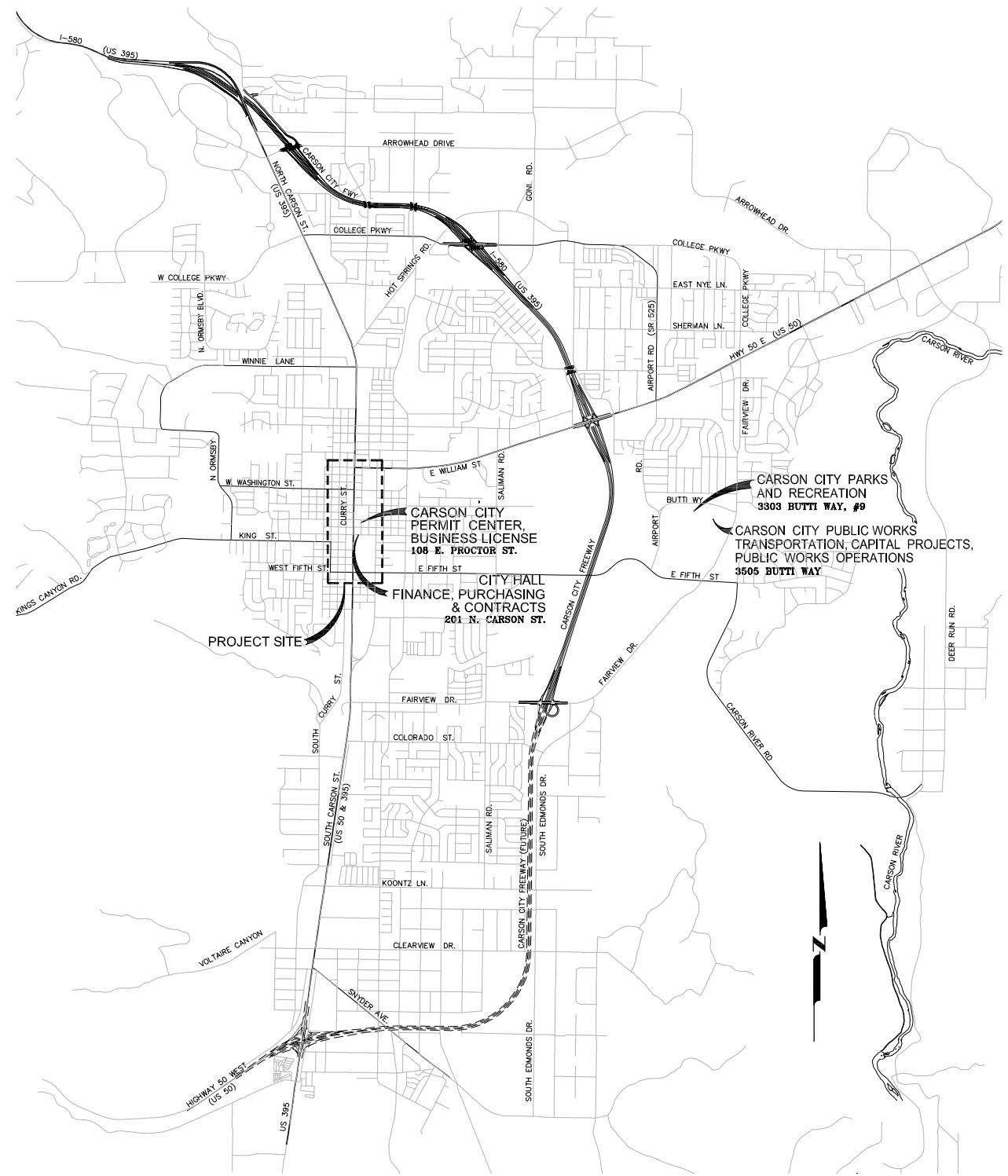
13. ALL WATERLINE AND RISERS SHALL BE DISINFECTED IN ACCORDANCE WITH STATE HEALTH DEPT. REQUIREMENTS AND AWWA C651 PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING ALL REQUIRED SAMPLES AND THE COST OF ANALYSIS AT A NEVADA-APPROVED LABORATORY.

14. CONTACT THE BUREAU OF WATER POLLUTION CONTROL AT (775)-687-9418 PRIOR TO SYSTEM DISINFECTION TO COORDINATE THE DISPOSAL OF HEAVILY CHLORINATED WATER.

15. ALL WATER PIPE SHALL BE PRESSURE TESTED PER AWWA C605.

16. AN AIR QUALITY PERMIT AND STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.

17. ANY AND ALL OPENINGS IN UNFINISHED PIPING OR APPURTENANCES MUST BE SEALED AT THE END OF EACH WORKING DAY IN SUCH A MANNER AS TO PREVENT THE ENTRY OF BIRDS AND OTHER ANIMALS, DIRT, TRENCH WATER AND OTHER SOURCES OF POLLUTION OR CONTAMINATION.



VICINITY MAP

N.T.S.

SHEET INDEX

1.0 TITLE SHEET
2.0 INDEX MAP, NOTES, LEGEND & ABBREVIATIONS
3.0-3.3 DEMOLITION PLANS
HC1-HC5 HORIZONTAL CONTROL
U1-U8 UTILITY PLAN & PROFILES
E0-E8 ELECTRICAL PLANS
C1-C8 SURFACE IMPROVEMENTS PLAN & PROFILES
LM1-LM8 LANDSCAPE MATERIALS
LP0-LP8 LANDSCAPE PLANTING
LF1-LF8 LANDSCAPE FURNISHINGS
I1-I8 IRRIGATION PLANS
CS1-CS5 STRIPING & SIGNAGE
D1.X TYPICAL DETAILS AND ROADWAY SECTIONS
D2.X UTILITY DETAILS
D3.X ELECTRICAL DETAILS
D4.X LANDSCAPE DETAILS
D5.X IRRIGATION DETAILS
WAY FINDING AND STREET SIGNING SUMMARY

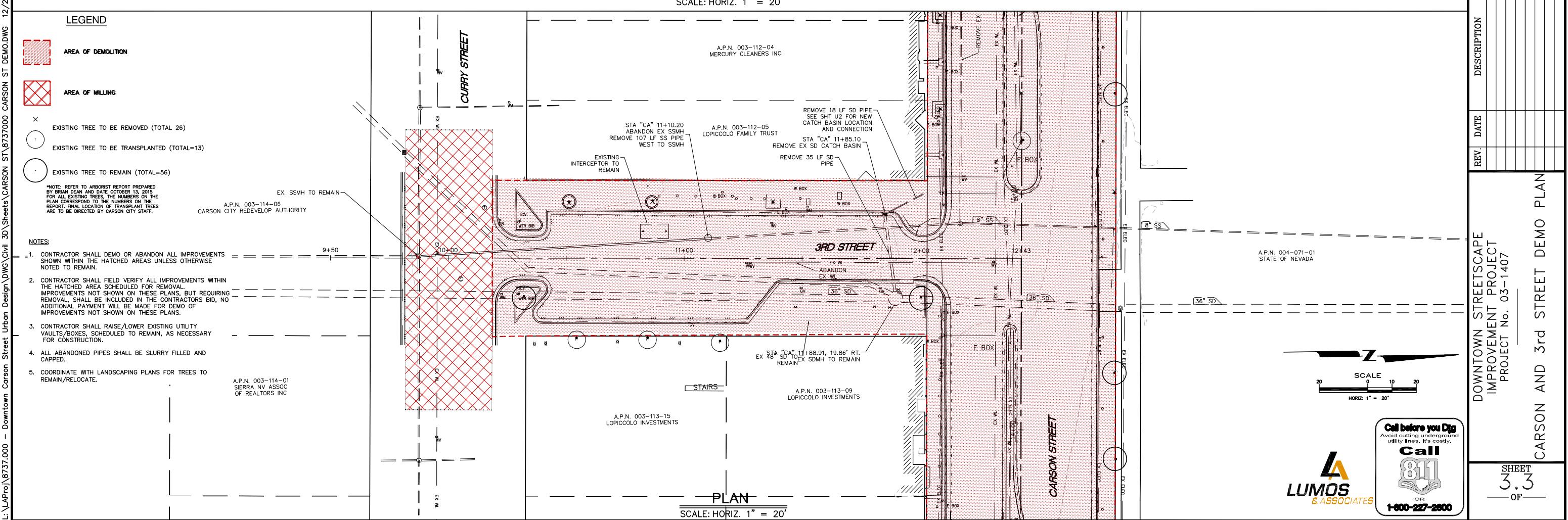
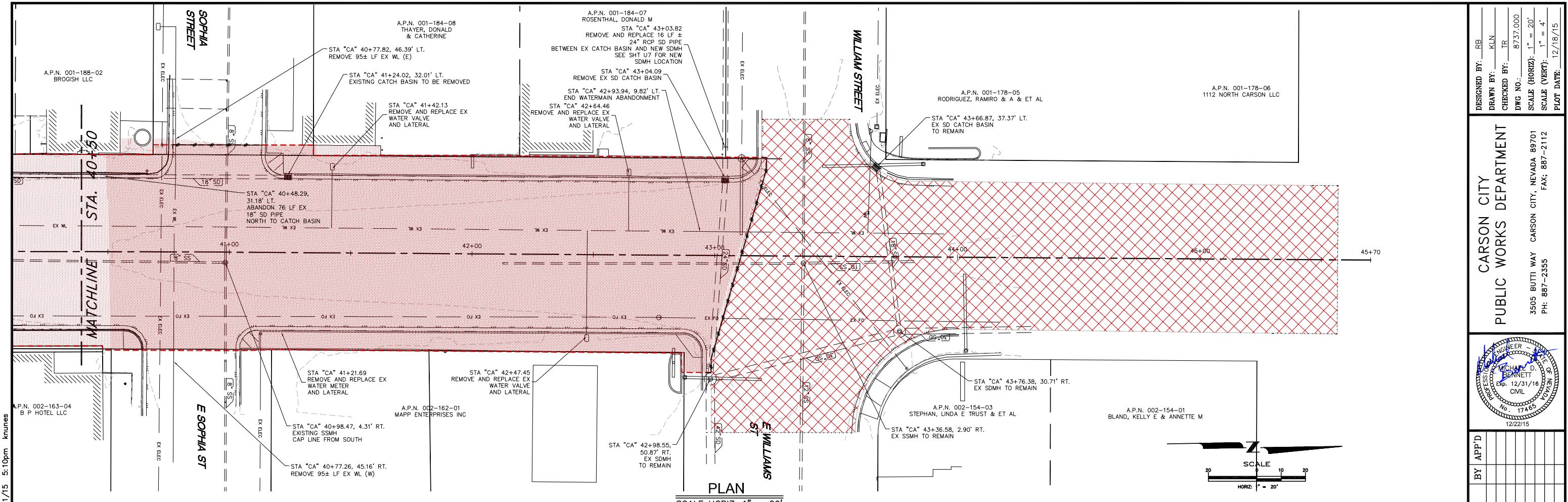
REVIEWED FOR CARSON CITY REQUIREMENTS

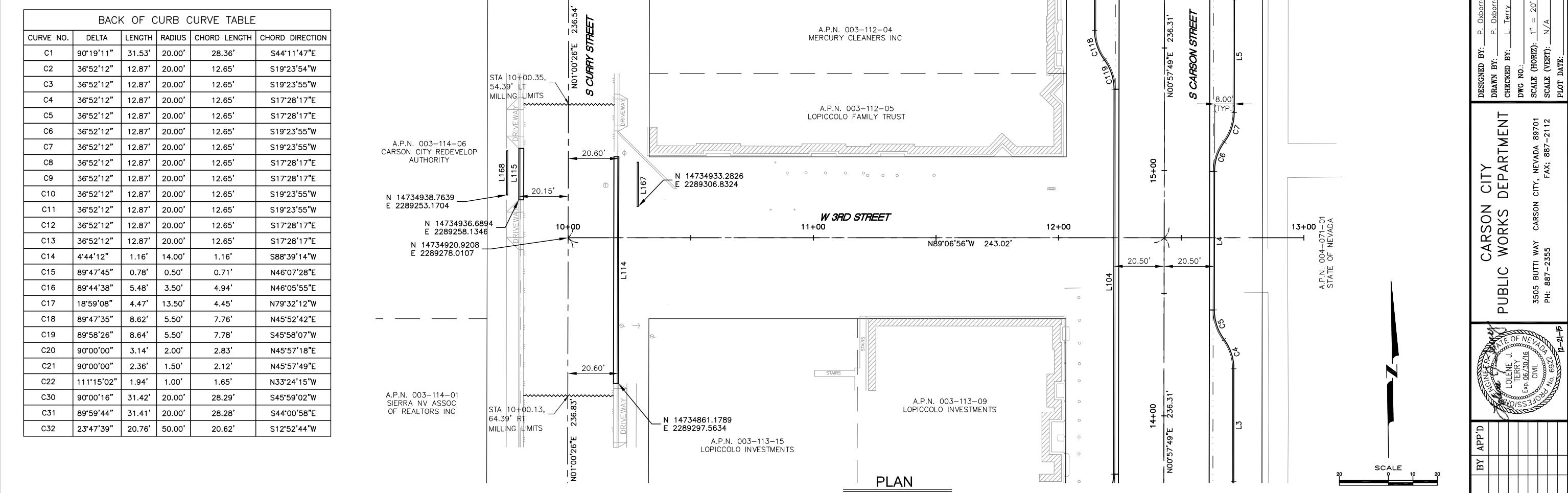
DANIEL ROTTER, P.E. – ENGINEERING MANAGER DATE

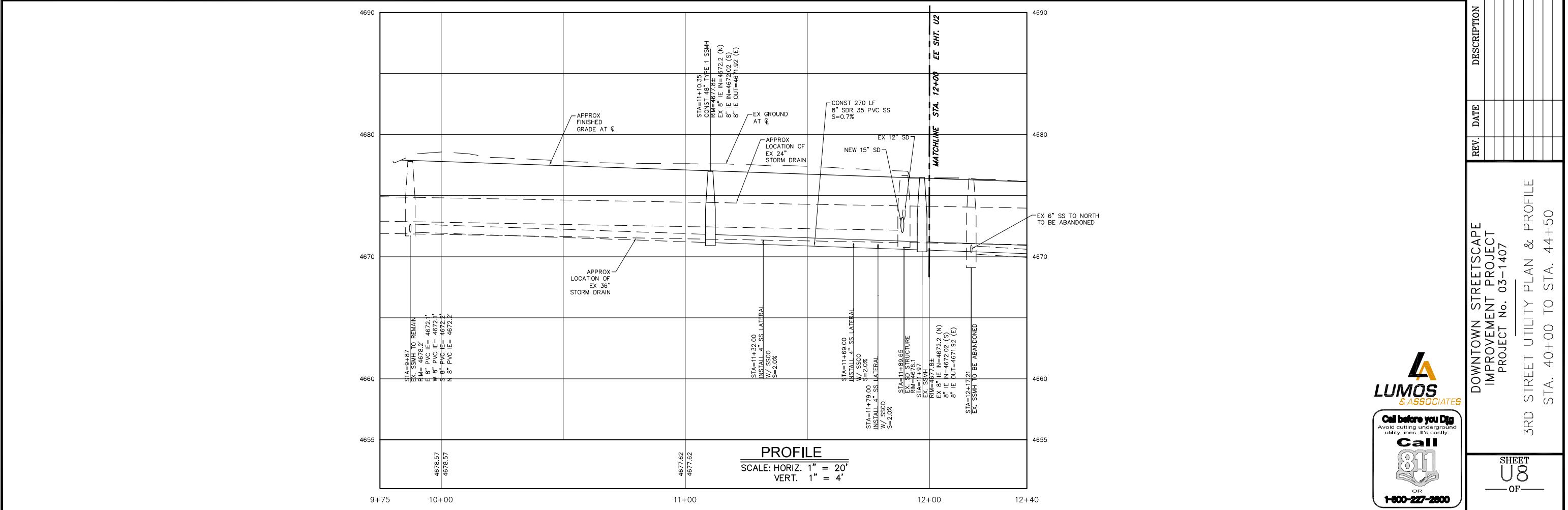
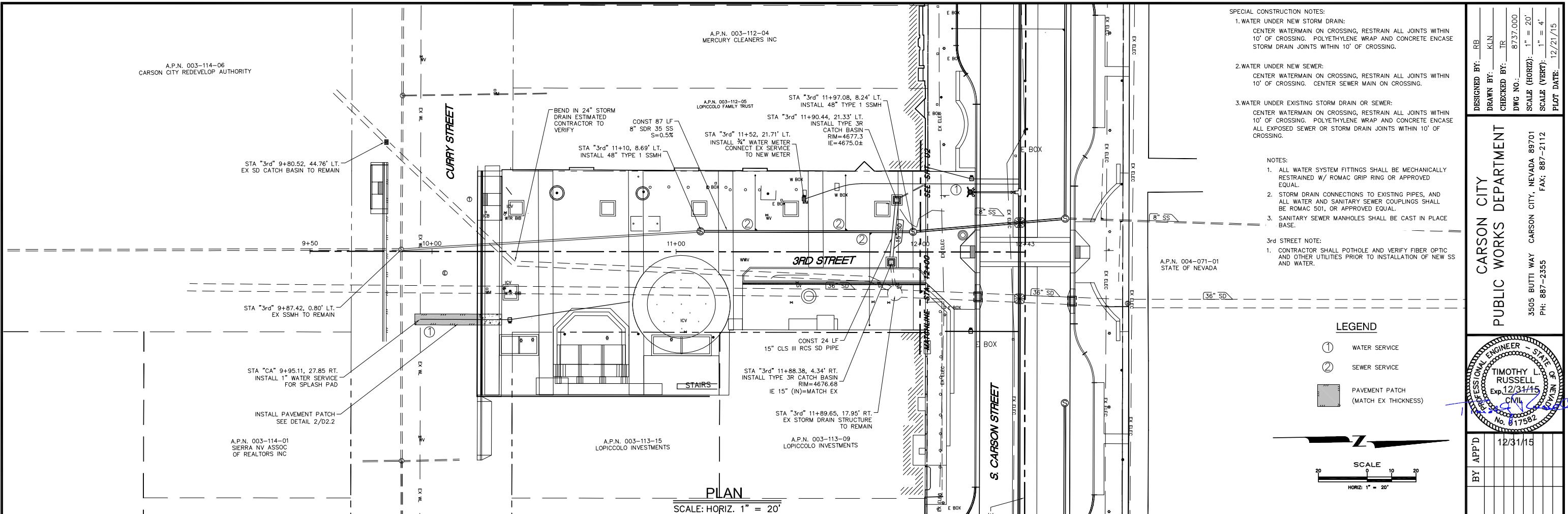
DEVELOPMENT ENGINEERING DATE

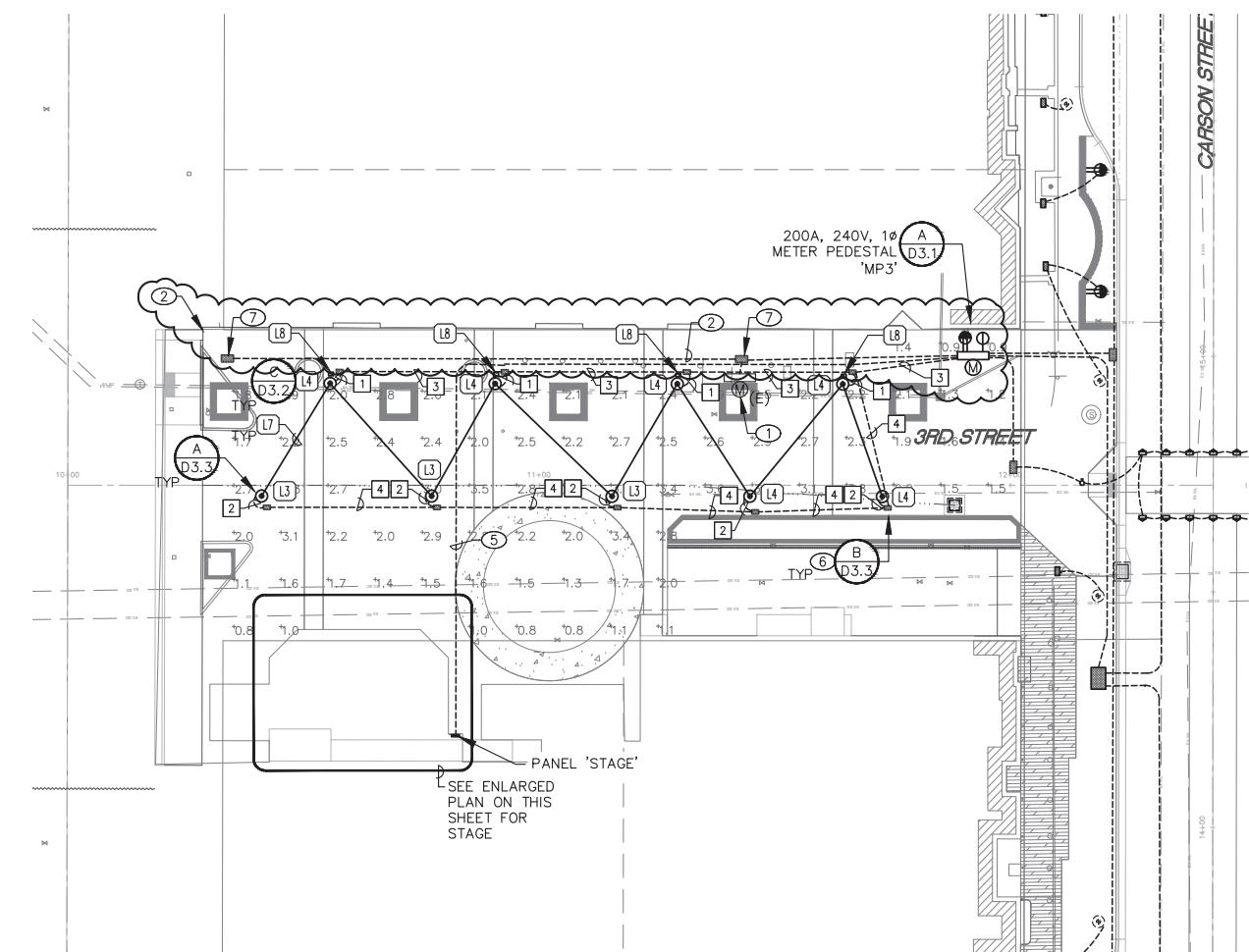
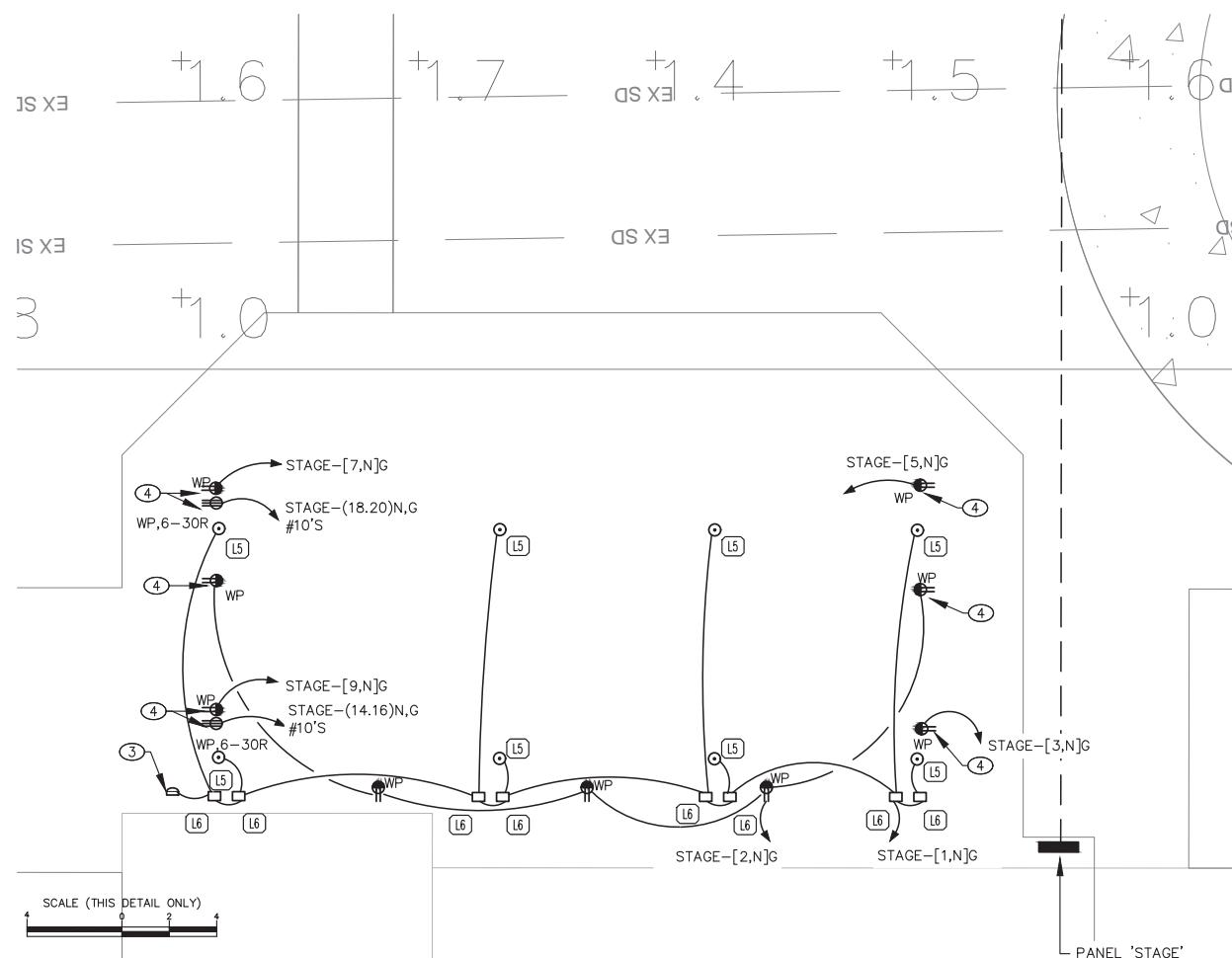
DARREN SCHULZ, P.E. – PUBLIC WORKS DIRECTOR DATE

DESIGNED BY: <u>RB</u>	DRAWN BY: <u>KLN</u>																
CHECKED BY: <u>IR</u>	DWG NO.: <u>8737.000</u>																
SCALE (HORIZ): <u>1:2500</u>	SCALE (VERT): <u>1:2112</u>																
PLOT DATE: <u>12/21/15</u>																	
CARSON CITY PUBLIC WORKS DEPARTMENT																	
3505 BUTTI WAY CARSON CITY, NEVADA 89701																	
PH: 887-2355 FAX: 887-2112																	
TITLE SHEET																	
<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY APP'D</th> </tr> </thead> <tbody> <tr> <td>6/19/15</td> <td>30% SUBMITTAL</td> <td></td> <td></td> </tr> <tr> <td>9/1/15</td> <td>60% SUBMITTAL</td> <td></td> <td></td> </tr> <tr> <td>12/21/15</td> <td>90% SUBMITTAL</td> <td></td> <td></td> </tr> </tbody> </table>		REV.	DATE	DESCRIPTION	BY APP'D	6/19/15	30% SUBMITTAL			9/1/15	60% SUBMITTAL			12/21/15	90% SUBMITTAL		
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DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT																	
PROJECT No. 03-1407																	
Call before you Dig																	
Avoid cutting underground utility lines. It's costly.																	
SHEET 1.0 OF																	









DESIGNED BY: BD	DRAWN BY: SG
CHECKED BY: KP	SCALE (HORIZ): AS NOTED
DWG NO.: XX-XXXX-X.dwg	SCALE (VERT): NA
3505 BUTTI WAY CARSON CITY, NEVADA 89701	PILOT DATE: 12/18/2015
PH: 837-2355	
PH: 887-2112	

18-Dec-15		PANEL: STAGE		LOCATION: 3RD ST STAGE							
TYPE	DESCRIPTION	LOAD	BKR	CIR	A	B	CIR	BKR	LOAD	DESCRIPTION	TYPE
L	STAGE GENERAL LIGHTING	250	20	1	1150		1	20	900	STAGE RECEPTS	R
L	STAGE LIGHTING RECEPT	1500	20	3			1500	3	20	SPARE	
L	STAGE LIGHTING RECEPT	1500	20	5	1500			5	20	SPARE	
L	STAGE LIGHTING RECEPT	1500	20	7	1500		7	20	SPARE		
L	STAGE LIGHTING RECEPT	1500	20	9	1500		9	20	SPARE		
SPARE		20	11		0		11	20			
SPARE		20	13	2000			13	30/2	2000	OVERHEAD STAGE RECEPT	R
SPARE		20	15		2000		15	X	2000	X	R
E	SPLASH FOUNTAIN	2000	30/2	17	4000		17	30/2	2000	OVERHEAD STAGE RECEPT	R
E	X	2000	X	19			19	X	2000	X	R

10150	9000				
COPPER BUS SIZE:	125	GROUND:	STANDARD	NOTES:	
VOLTAGE:	240	OUNTING:	SURFACE		
PHASE:	1	ENCLOSURE:	NEMA 3R		
WIRE:	2	# OF 1-POLE CIRCUITS	20		
LUGS:	MCB	CONNECTED KVA:	19.2		
BREAKER AIC RATING:	22K	CONNECTED AMPS:	79.8		
NEUTRAL:	100%	NET KVA:	19.2		
FEEDER OCPD SIZE:	100	NET AMPS:	79.8		

CONDUIT & WIRE SCHEDULE - 3RD ST					
RUN #	CONDUIT PVC 3/4"	WIRE PVC 2"	PHASE #10	GND #10	CIRCUIT
1	1	6	1		4,6,8
2	1	4	1		4,6
3	1	6	1		4,6,8
4	1	4	1		4,6

SCALE
20 0 10 20



PK Electrical, Inc.
Engineering • Design • Consulting

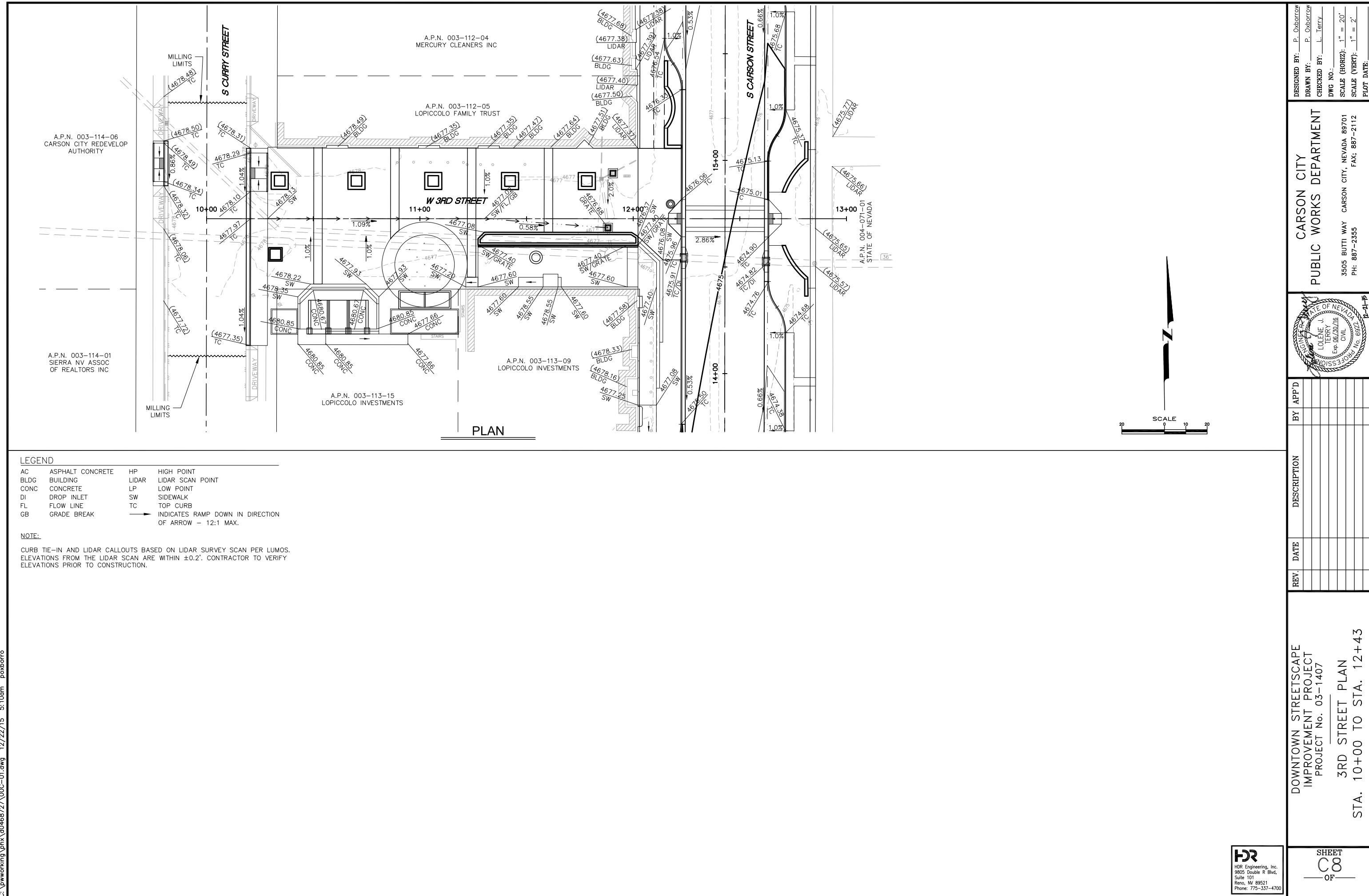
881 Sierra Rose Dr, Ste B-1, Reno, NV 89511 | 775.826.9010
5105 DTC Pkwy, Ste 420 | Greenwood Village, CO 80111 | 720.481.3200
pkelectrical.com © 2008-2015 PK Electrical, Inc.
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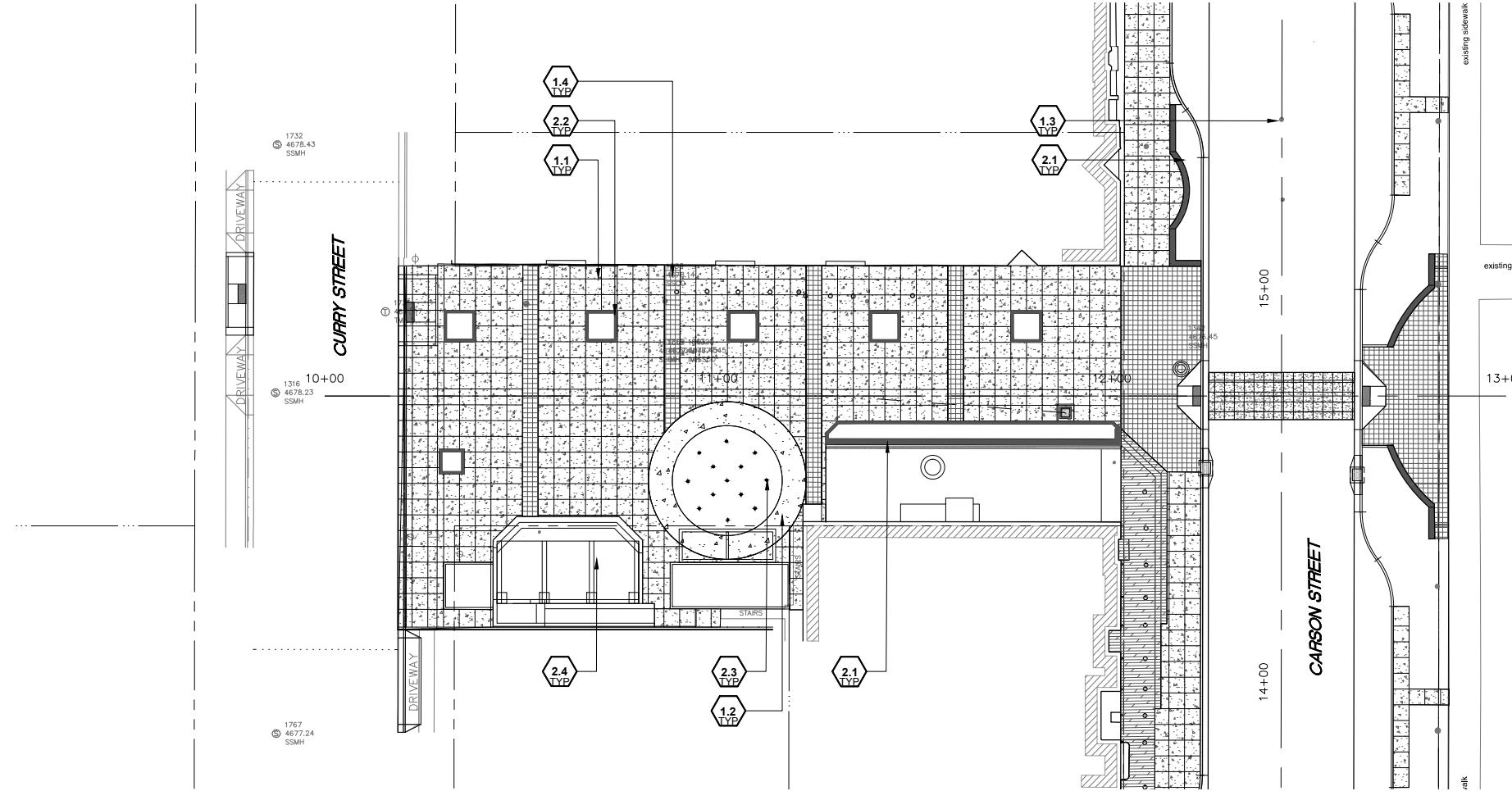
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 837-2355 FAX: 887-2112



DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT No. 03-1407
3RD STREET - ELECTRICAL PLAN
STA. 1+00 TO STA. 3+43

SHEET E8 OF





SYMBOL LEGEND:

SITE FURNISHINGS	SITE MATERIALS
3.1 BENCH	CONCRETE UNIT PAVER
3.2 BICYCLE RACK	FLUSH CONCRETE BAND
3.3 TRASH RECEPTACLES	CONCRETE PAVING, PEDESTRIAN
3.4 MOBILE PLANTER	PLANTER WALL
3.5 BOLLARD - FIXED	PLANTER CURB
LIGHT POLE (SEE ELECTRICAL)	STAMPED CONCRETE (FIRKIN FOX)

SITE DETAIL KEYNOTES:

1.0 PAVEMENTS	SHEET	3.0 SITE FURNISHINGS	SHEET
1.1 Concrete Paving (Finish 1, Pedestrian)	LM-1	3.1 Bench	LM-4
1.2 Concrete Paving (Finish 2, Pedestrian)	LM-1	3.2 Bike Rack	LM-4
1.3 Concrete Paving (Finish 3, Vehicular)	LM-1	3.3 Trash Receptacle	LM-4
1.4 Concrete Unit Paver (Type 1)	LM-1	3.4 Mobile Planter	LM-4
1.5 CIP Concrete Band	LM-2	3.5 Bollard - Fixed	LM-4
1.6 Control Joint @ CIP Concrete	LM-2	3.6 Wayfinding Sign, Pedestrian	LM-6
1.7 Expansion Joint	LM-2	3.7 Wayfinding Sign, Vehicular	LM-7

2.0 WALLS / MISC	SHEET	4.0 LANDSCAPING	SHEET
2.1 Planter Wall	LM-2	4.1 Tree Planting in Landscape	LM-5
2.2 Planter Curb	LM-2	4.2 Tree Planting in Turf	LM-5
2.3 3rd Street - Pedestrian Fountian	LM-3	4.3 Shrub Planting in Landscape	LM-5
2.4 3rd Street - Stage and Shade Structure	LM-3	4.4 Tree Root Guards	LM-5
		4.5 Perennial Planting	LM-5
		4.6 Turf Planting	LM-5
		4.7 Evergreen Tree Planting	LM-5

MATERIALS NOTES:

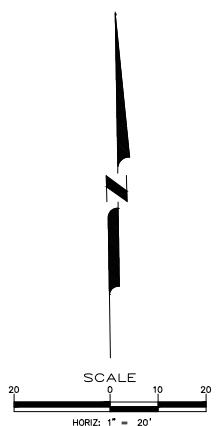
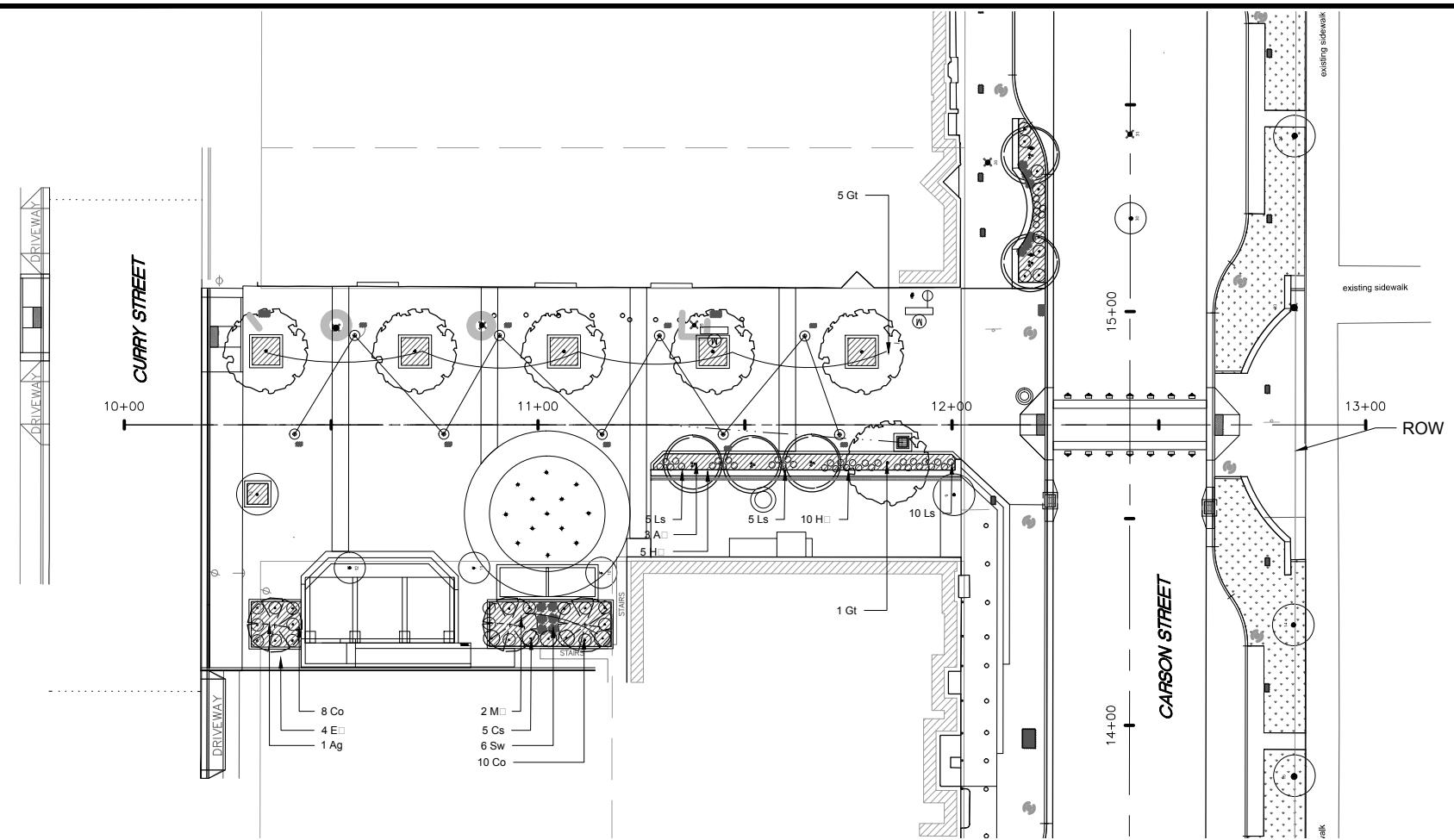
- SOURCE OF SURVEY IS LUMOS AND ASSOCIATES.
- SOURCE OF BASE SHEETS IS HDR.
- COORDINATE ALL LANDSCAPE MATERIALS WITH CIVIL LAYOUT AND UTILITY SHEETS. CURBS, RAMPS, AND UTILITIES ARE SHOWN HERE FOR REFERENCE ONLY.
- SCORE PATTERN FOR PEDESTRIAN SIDEWALK IS 4'X4' SQUARE.
- CONCRETE PAVING TO TIE INTO SIDE STREETS AND MATCH EXISTING SCORE PATTERNING.
- REFER TO PLANTING PLANS (LP SHEET SERIES) FOR EXISTING TREES TO REMAIN.
- REFER TO SITE FURNISHING PLANS (LF SHEET SERIES) FOR LOCATIONS OF SITE FURNISHING.

DESIGNED BY: _____	DRAWN BY: _____
CHECKED BY: _____	DRW NO.: _____
SCALE (HORIZ.): _____	SCALE (VERT.): _____
PLOT DATE: Dec. 18, 2015	
CARSON CITY, NEVADA 89701 3505 BUTTE WAY PH: 887-2355 FAX: 887-2112	
PUBLIC WORKS DEPARTMENT	
REGISTERED LANDSCAPE ARCHITECT STEVEN M. NOLL 510 12/21/2015	

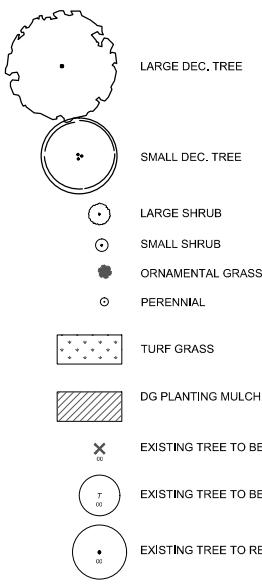
DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT	REV.	DATE	DESCRIPTION	BY APP'D
CARSON STREET - MATERIALS PLAN	03-1407			

Call before you Dig!
Avoid cutting underground utility lines. It's costly.
Call 811 OR
STA. 10+00 TO STA. 12+43





PLANT LEGEND



PLANT LIST

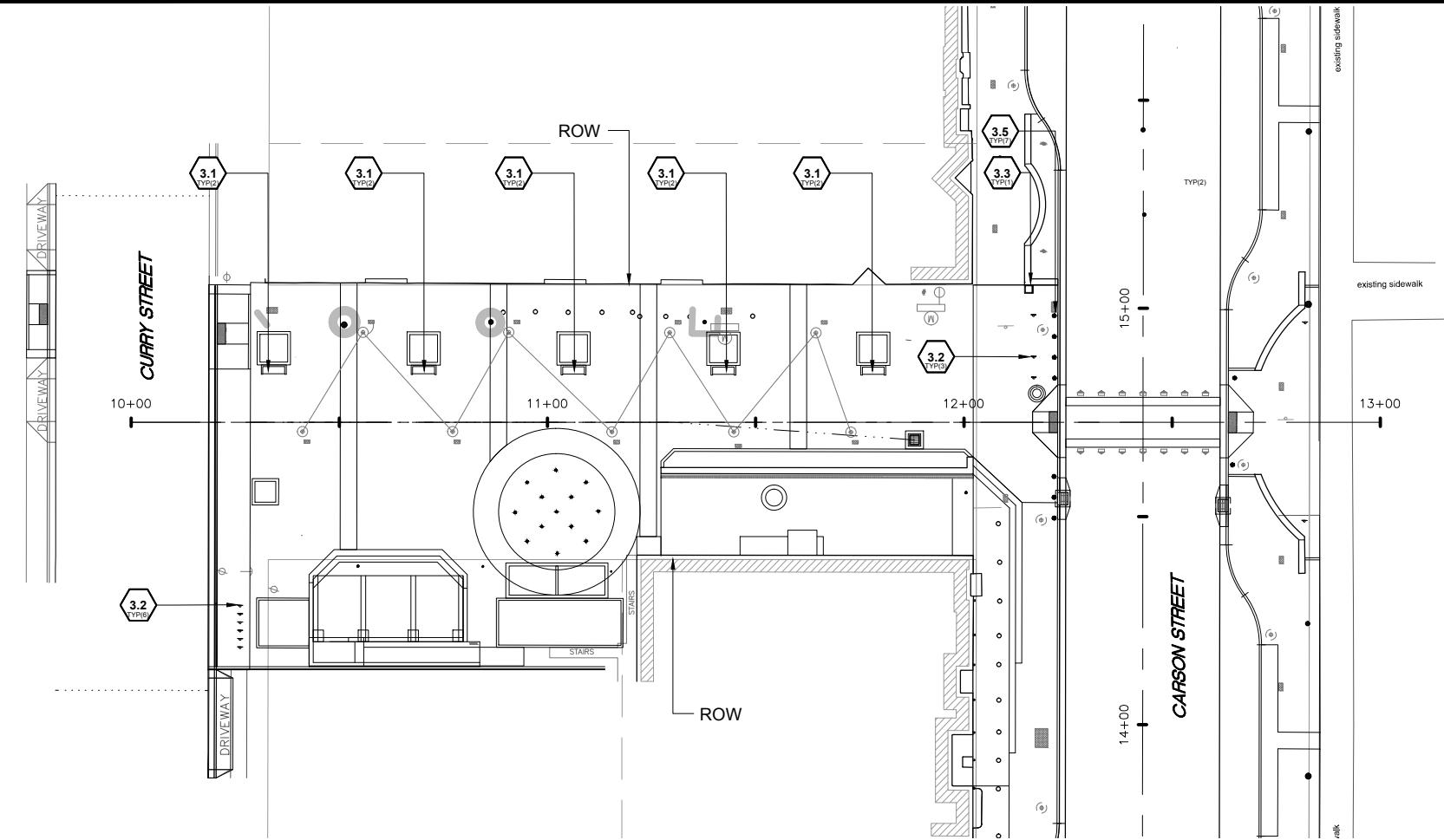
ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
LARGE DECIDUOUS TREES					
Gt	Gleditsia triplinervia 'Sunburst'	Thornless Honey Locust	6	3" C.I.	
SMALL DECIDUOUS TREES					
Ao	Acer negundo	Trident Maple	3	3" C.I.	
Ag	Acer ginnala	Auricle Maple	1	3" C.I.	
Cl	Chionanthus	Chiffon Bush	-	3" C.I.	
Mo	Millettia (fruitless only)	Crimson Millettia	2	3" C.I.	
Pc	Pyrus calleryana	Callery Pear	-	3" C.I.	
LARGE SHRUB					
Cs	Caryopteris clandestina	Blue Mist Shrub	6	5 G.I.	
Eo	Euonymus alatus	Burning Bush	4	5 G.I.	
SMALL SHRUB					
Co	Cotoneaster lucidus	Hedge Cotoneaster	17	5 G.I.	
Li	Ligustrum	Lavender	-	5 G.I.	
Ri	Rubus idaeus	Alpine Currant	-	5 G.I.	
Si	Spiraea 'Anthony Waterer'	Anthony Waterer Shrub	-	5 G.I.	

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
PERENNIALS					
As	Achillea millefolium	Yarrow	-	1 G.I.	
Au	August lily	Nettles	-	1 G.I.	
Cr	Centranthus ruber	Giant Hyssop	-	1 G.I.	
Ho	Heuchera	Aliter's Beard	15	1 G.I.	
Hu	Heuchera	Dalmatian Bell	-	1 G.I.	
Ls	Leucanthemum superbum	Shasta Daisy	20	1 G.I.	
Oo	Oenothera lindheimeri	Evening Primrose	-	1 G.I.	
Pe	Penstemon elatior	Firecracker Penstemon	-	1 G.I.	
ORNAMENTAL GRASSES					
Hs	Helictotrichon sempervirens	Blue Oat Grass	-	1 G.I.	
Ms	Miscanthus sinensis	Maiden Grass	-	1 G.I.	
Sw	Stipa tenuissima	Giant Sedge	6	1 G.I.	
GROUNDCOVER					
Ar	August lily	Blue Bugle	TBD	6" Pot	Located in Movie Plane Planters
Ro	Rosmarinus officinalis 'Prostratus'	Dwarf Rosemary	TBD	6" Pot	Located in Movie Plane Planters
Sc	Santolina chamaecyparissus	Lavender Cotton	TBD	6" Pot	Located in Movie Plane Planters

*NOTE: REFER TO ASSESSMENT REPORT PREPARED BY BRIAN DEAN AND DATE OCTOBER 13, 2015 FOR ALL EXISTING TREES. THE NUMBERS ON THE PLAN CORRESPOND TO THE NUMBERS ON THE REPORT. LOCATION OF TRANSPLANT TREES TO BE REMOVED BY CARSON CITY STAFF.

DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT No. 03-1407
CARSON STREET - LANDSCAPE PLAN
STA. 10+00 TO STA. 12+43

DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
Dwg. No.: _____
Scale (Horiz.): _____
Scale (Vert.): _____
Plot Date: Dec. 18, 2015
CARSON CITY, NEVADA 89701
3505 BUTTE WAY PH: 887-2355 FAX: 887-2112
PUBLIC WORKS DEPARTMENT
STEVEN M. NOLL
REGISTERED LANDSCAPE ARCHITECT
510
STATE OF NEVADA
12/21/2015



SITE DETAIL KEYNOTES:

1.0 PAVEMENTS	SHEET □	3.0 SITE FURNISHINGS	SHEET □
1.1 Concrete Paving (Finish 1, Pedestrian)	LM-1	3.1 Bench	LM-4
1.2 Concrete Paving (Finish 2, Pedestrian)	LM-1	3.2 Bike Rack	LM-4
1.3 Concrete Paving (Finish 3, Vehicular)	LM-1	3.3 Trash Receptacle	LM-4
1.4 Concrete Unit Paver (Type 1)	LM-1	3.4 Movable Planter	LM-4
1.5 CIP Concrete Band	LM-2	3.5 Bollard - Fixed	LM-4
1.6 Control Joint @ CIP Concrete	LM-2	3.6 Wayfinding Sign, Pedestrian	LM-6
1.7 Expansion Joint	LM-2	3.7 Wayfinding Sign, Vehicular	LM-6

2.0 WALLS / MISC	SHEET □	4.0 LANDSCAPING	SHEET □
2.1 Planter Wall	LM-2	4.1 Tree Planting in Landscape	LM-5
2.2 Planter Curb	LM-2	4.2 Tree Planting in Turf	LM-5
2.3 3rd Street - Pocket Fountain	LM-3	4.3 Shrub Planting in Landscape	LM-5
2.4 3rd Street - Staged Shade Structure	LM-3	4.4 Tree Root Guards	LM-5
		4.5 Perennial Planting	LM-5
		4.6 Turf Planting	LM-5
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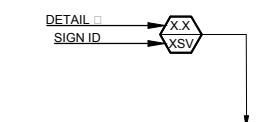
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- SOURCE OF BASE SHEETS IS HDR.
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- REFER TO SITE FURNISHING PLANS (LF SHEET SERIES) FOR LOCATIONS OF SITE FURNISHING.

SYMBOL LEGEND:

SITE FURNISHINGS	
□	3.1 BENCH
□	3.2 BICYCLE RACK
□	3.3 TRASH RECEPTACLES
□	3.4 MOBILE PLANTER
●	3.5 BOLLARD - FIXED
◎	3.6 WAYFINDING SIGN, PEDESTRIAN
◎	3.7 WAYFINDING SIGN, VEHICULAR

WAYFINDING SIGN LEGEND:



DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
Dwg. No.: _____
Scale (Horiz.): _____
Scale (Vert.): _____
Plot Date: Dec. 18, 2015

CARSON CITY, NEVADA 89701
3505 BUTTE WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112



DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT No. 03-1407
CARSON STREET - FURNISHING PLAN
STA. 10+00 TO STA. 12+43

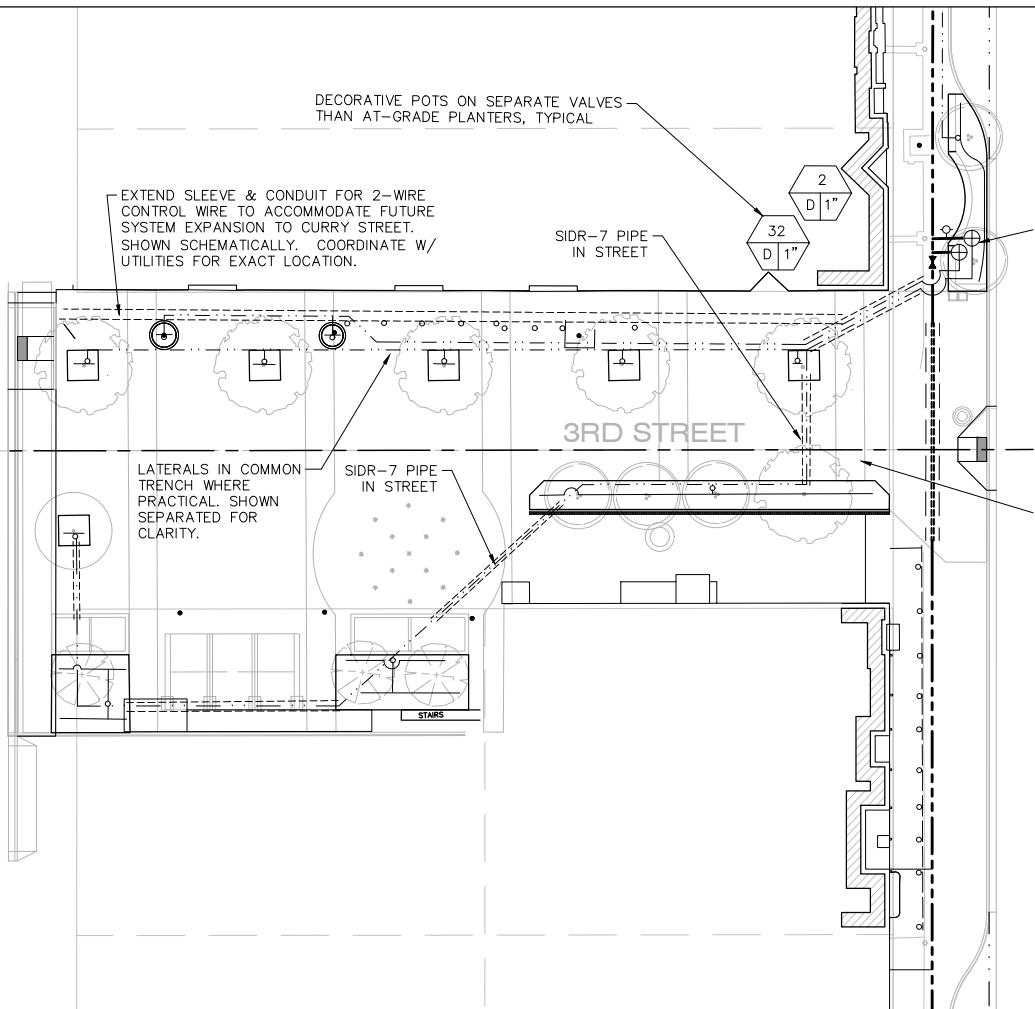
Call

before you Dig

Avoid cutting underground
utility lines. It's costly.

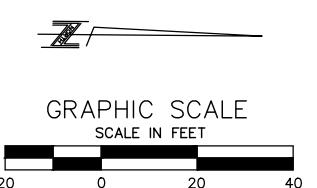
Call

1-800-227-2600



DRIP/SPRAY IRRIGATION LEGEND			
SYMBOL	UNIT	SERIES/MODEL	COMMENT
— — — —	IRRIGATION MAIN FROM VALVE FOR DRIP - 2"	SCHEDULE 40 PVC	INSTALL 24" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (NOT SHOWN FOR CLARITY).
— · · · —	DRIP IRRIGATION DISTRIBUTION LINE (SOLID PIPE)	SCHEDULE 40 PVC 1" SIZE	INSTALL 18" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (NOT SHOWN FOR CLARITY).
— · · · · —	SIDR-7 PIPE	MATCH PIPE SIZE	INSTALL AT ALL STREET CROSSINGS WITHIN IRRIGATION SLEEVE.
— — — —	PROPOSED POLY DRIP LINE	1/2" SIZE	PROPOSED POLY DRIP LINES TO REMAIN
— · · · —	IRRIGATION DISTRIBUTION LINE (DRIP)	SCHEDULE 40 PVC	INSTALL 18" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (NOT SHOWN FOR CLARITY).
♀	DRIPLINE INSERT FITTING TO PVC PIPE		SEE DETAILS
— — — —	IRRIGATION SLEEVE	SCHEDULE 40 PVC	INSTALL AT SPECIFIED DEPTH PER MAIN LINE OR LATERAL PIPE. EXTEND SLEEVE 12" BEYOND PAVEMENT AND MARK WITH A WOOD STAKE.
⊕	DRIP VALVE, PLANTER	1" SIZE	LOCATE IN PLANTER
□	PULL BOX	TRAFFIC RATED	BOX FOR SPLICING IRRIGATION CONTROL WIRE - LOCATE IN PLANTER WHEN POSSIBLE
○	QUICK COUPLER	RAINBIRD 33-DRC - $\frac{3}{4}$ "	LOCATE IN PLANTER
■	ISOLATION VALVE	SAME SIZE AS MAIN LINE	LOCATE IN PLANTER
●	TREE BUBBLER	RAINBIRD 1300A-F	INSTALL PER DETAIL
(not shown)	CONTROL WIRE CONDUIT	2" SIZE	INSTALL PER TRENCH DETAIL (NOT SHOWN FOR CLARITY)

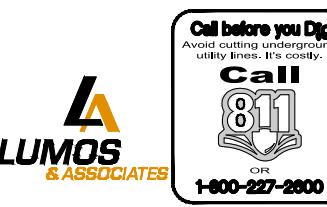
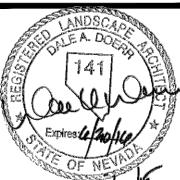
FOR CARSON CITY IRRIGATION NOTES,
SEE SHEET I-3



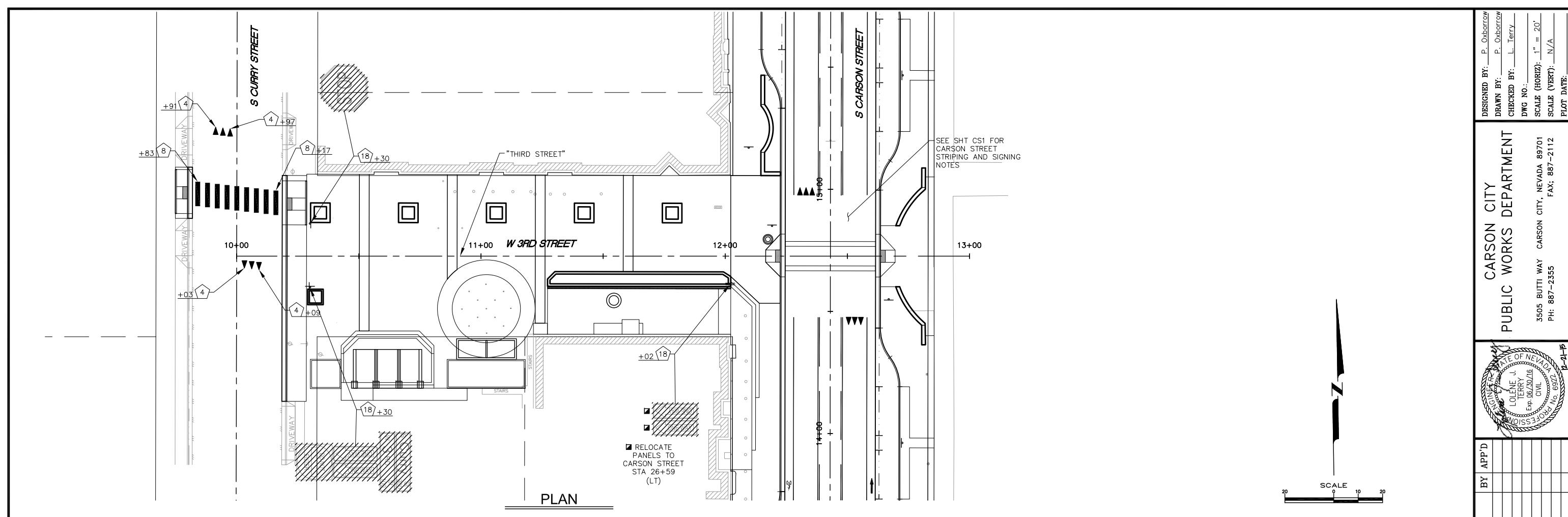
DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT
PROJECT NO. 03-1407
CARSON STREET - IRRIGATION PLANS
STA. 10+00 TO STA. 12+43

DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
Dwg. No.: _____
Scale (Horiz.): _____
Scale (Vert.): _____
Plot Date: _____

CARSON CITY, NEVADA 89701
3505 BUTTI WAY CARSON CITY, NEVADA 89701
FAX: 887-2112 PH: 887-2355



SHEET
— 8 — OF



3RD STREET SIGNING AND STRIPING NOTES:			
NOTE NO:	DESCRIPTION	SHEET CS5	
		UNIT	QTY
1	PROTECT IN PLACE	EA	-
2	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) ("ONLY") (8' HIGH) OR ("BUS") (8" HIGH) (AS SHOWN ON PLANS)	EA	-
3	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) ("ARROW") (8' HIGH)	EA	-
4	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) ("YIELD") (PER STD C-5.4.4)	EA	6
5	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (8-INCH SOLID WHITE)	LF	-
6	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (24-INCH SOLID WHITE) (STOP BAR) (PER STD C-5.4.3)	LF	-
7	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (6-INCH SOLID WHITE)	LF	-
8	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (24-INCH SOLID WHITE) (CROSSWALK) (PER STD C-5.4.3)	LF	90
9	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (4-INCH DOUBLE SOLID YELLOW)	LF	-
10	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (4-INCH BROKEN/SOLID YELLOW)	LF	-
11	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (WHITE BIKE SYMBOL AND ARROW)	EA	-
12	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (4" WHITE PARKING SPACE MARKINGS) (PER STD R-407)	LF	-
13	PLACE PERMANENT PAVEMENT MARKING FILM (TYPE 2) (4-INCH BROKEN WHITE)	LF	-
14	PERMANENT SIGNS, RESET (PANEL ONLY)	EA	-
15	INSTALL PERMANENT SIGNS (GROUND MOUNTED) (METAL SUPPORT) PER DETAIL C-5.4.2	EA	-
16	INSTALL PERMANENT SIGNS (PANEL ONLY) ON LIGHT POST OR SIGN POST	EA	-
17	INSTALL PERMANENT SIGNS, RESET (PANEL TO NEW GROUND MOUNTED METAL SUPPORT)	EA	-
18	PERMANENT SIGNS (REMOVE)	EA	3
19	PERMANENT SIGNS, REMOVE (PANEL ONLY)	EA	-

THIS IS A GENERAL LIST. NOT ALL ACTIVITIES ARE USED.
PROTECT EXISTING FEATURES IN PLACE UNLESS NOTED OTHERWISE.
STATIONING IS FROM "THIRD STREET" CONTROL LINE.

DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT
PROJECT NO. 03-1407

3RD STREET STRIPING & SIGNAGE PLAN
STA. 10+00 TO STA. 12+43



SHEET
CS5
OF

C:\pworking\phx\d0463727\0CS-01.dwg 12/22/15 5:27am poxboro

