



Community Development Department

108 E. Proctor Street
Carson City, Nevada 89701
(775) 887-2180 – Hearing Impaired: 711

Date: April 25, 2016

Item 5-3

To: Redevelopment Authority Citizens Committee
Meeting of May 2, 2016

From: Lee Plemel, Director

Subject: Façade Improvement Grant Application Review and Approval

RECOMMENDED RACC MOTION: I move to approve \$_____ in Redevelopment Façade Improvement Program grant funding to [property address], subject to the required conditions of approval in the staff memo. (Repeat the motion for each address for which funding is awarded.)

CONDITIONS OF APPROVAL: All Façade Improvement Program grant awards are subject to the following conditions of approval:

1. The applicant shall obtain and submit three bids or competitive quotes for the proposed work to the Community Development Department prior to commencing the work. The applicant is not required to choose the lowest bid, however reimbursement of funds by the City shall be based upon the lowest bid.
2. All work shall be performed with building permits and shall be completed by contractors licensed to perform the applicable work.
3. If the property is sold within 12 years of the completion of the improvements for which the funding was granted, the funds reimbursed for the project by Redevelopment shall be paid back to Redevelopment in full. The property owner shall sign a lien for the funds on a form provided by the City that must be recorded by the City prior to Redevelopment authorizing the reimbursement of any project expenses.
4. All improvements must be made in compliance with the plans approved by the RACC. Minor modifications in compliance with the applicable Development Standards for design may be approved by the Community Development Director.
5. Payments from the City shall be made on a reimbursement-basis only at a rate of no more than 50% of the actual expenses incurred by the property owner up to the total amount of funds approved.
6. For façade improvement projects that equal or exceed a total cost of \$10,000, reimbursement may be made in a maximum of two payments. The first payment may be requested for up to 50% of the approved Façade Improvement Program funds only after expenses have been incurred by the applicant equaling or exceeding 50% of the total project costs. The final reimbursement payment shall only be made upon completion and final inspection approval of the proposed improvements.

7. Reimbursement for projects that are less than \$10,000 in total costs shall be provided in a one-time payment only after improvements have been completed and have received final inspection approvals.
8. Applicants who receive funding must document all expenditures and provide the Community Development Department with proof of payment (receipts, paid invoices, etc.) for all eligible improvements, including costs associated with the property owner's required match, within 30 days of project completion.
9. Improvements for which Façade Improvement Program funds are awarded must be completed by November 2, 2016 (within 180 days of application approval).
10. Rehabilitation of properties with the Downtown Mixed-Use zoning district shall comply with the Development Standards, Division 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, specifically subsections 3 and 4 relating to Cleaning and Repair, Removal and Replacement of surfaces, materials, and structures.

DISCUSSION:

The Redevelopment Authority/Board of Supervisors approved the Façade Improvement Program (FIP) on May 3, 2016. The approval included authorizing the allocation of \$150,000 in FY 2015-16 (current fiscal year) and \$50,000 in FY 2016-17 (fiscal year beginning July 1, 2016), for a total of \$200,000.

The Resolution authorizing the FIP (attached) includes all the requirements related to the program. The Resolution established that applications would initially be accepted by April 15 for review by the Redevelopment Authority Citizens Committee (RACC) on May 2, 2016, with subsequent applications accepted and reviewed on a first-come, first-served basis until funding is exhausted. The RACC has final approval authority for all allocated FIP funding.

The Community Development Department received 9 applications totaling \$171,441 in eligible funding requests. Applications were submitted for two additional properties (208/210 N. Carson Street and 312 S. Carson Street) but were deemed incomplete for review because they lacked an authorization signature from the property owners. It is anticipated that these applications will be resubmitted when the property owners' signatures are obtained. Staff will schedule monthly RACC meetings, as necessary, to review any applications submitted after this review cycle.

The general purpose of the FIP is stated in the preamble of the enacting Resolution, and includes: to improve the appearance of commercial areas through building rehabilitation; to engage the business owners in the revitalization process and assisting in the reuse of vacant buildings; to create an incentive program to be an integral part of Carson City's private-public partnership initiatives to retain and expand businesses in Carson City; and to stimulate investment in properties and improve the desirability of properties within Redevelopment Areas 1 and 2 by improving the exterior appearance of buildings.

The detailed eligibility requirements of the FIP are as follows:

- Eligible Properties: All commercial properties within Redevelopment Areas 1 and 2 are eligible to apply for Façade Improvement Program funds.

- Ineligible Properties: Ineligible properties include properties already receiving tax incentives or other financial incentives from the City, residentially-zoned properties, buildings that were constructed within the last five years, properties for which property taxes are owed and not paid up to date, and properties with outstanding or unresolved code enforcement issues.
- Eligible Improvements: All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. Landscaping is not an eligible expense.
- Maximum Façade Improvement Program Funding: The maximum Façade Improvement Program funding that may be awarded is \$25,000 per property individual Assessor's Parcel Number, subject to authorization of Program funding by the Board of Supervisors.
- Required Property Owner Matching Funds: The property owner shall pay a minimum of 50% of the total project costs. Total project cost includes construction and all expenses incurred in the preparation and permitting of plans for the improvements, including building permit fees, design work, and construction drawings.

FAÇADE IMPROVEMENT PROGRAM GRANT APPLICATIONS:

Following is a summary of the applications received with information included that pertains to the review criteria noted above. Refer to the attached application packets for more detail and explanation.

Address: 318 N. Carson Street (Mystique restaurant, The Cigar Bar, various offices)

Requested funding (% of total project cost): \$18,218 (50% of \$36,436)

Improvement description: Improvements to Carson Street and Curry Street building frontages, including new paint, replace existing awnings and install new awnings, replace existing light fixtures.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district. The building is significant in its historic façade configuration and requires little more than maintenance to be an example of good historic downtown building preservation. The proposed improvements meet the DTMU development standards (Division 6), including the addition of appropriate lighting and awnings, and Development Standards 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures. The applicant must take care when cleaning existing brick surfaces and avoid abrasive cleaning, if possible, in compliance with the restoration guidelines.

Staff recommendation: Staff recommends funding the full amount requested.

Address: 308 N. Carson Street (Carson Jewelry & Loan)

Requested funding (% of total project cost): \$11,235 (50% of \$22,470)

Improvement description: Paint, new flags, new redesigned awnings.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district. Like other properties on this block, the building is significant in its historic façade configuration and requires little in the way of modifications to be an example of historic downtown building preservation. The proposed improvements meet the DTMU development standards (Division 6), including the addition of awnings, and Development Standards 6.6.11, Guidelines for the

Renovation and Restoration of Existing Structures. The applicant will be required to obtain an encroachment permit from the Public Works Department for the placement of awning support posts in the sidewalk.

Staff recommendation: Staff recommends funding the full amount requested.

Address: 112 N. Curry Street (Office building)

Requested funding (% of total project cost): \$16,250 (50% of \$32,500)

Improvement description: New roof.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district and the Historic District. The applicant has received approval from the Historic Resource Commission for the re-roof, but the applicant indicates that the cost has significantly increased from what was anticipated due to the asbestos remediation required for the removal of the existing shingles. The existing roof is significantly deteriorated and is unsightly in its current condition. The proposed roofing will be in compliance with the character of the historic structure.

The FIP Resolution does not specifically address the eligibility of roofs, stating that “all exterior building façade” updating and maintenance are eligible and only specifically excluding “landscaping.” Various definitions of “building façade” include: any face of a building given special architectural treatment; and any side of a building facing a public way or space and finished accordingly. Since the property is a corner lot, the entire deteriorated roof is visible from the street frontage.

Staff recommendation: If the RACC determines that the reroof meets the intent of the FIP, staff recommends funding the full amount requested. Alternatively, the RACC may consider funding only the asbestos remediation amount of \$6,500 (per the bid provided) to facilitate the improvements.

Address: 210 S. Carson Street (Office building)

Requested funding (% of total project cost): \$9,360 (50% of \$18,720)

Improvement description: Replacement dated stone and tile materials with updated materials.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district. This property has clearly undergone façade modifications from its historic origin, with current improvements likely from the 1950's to 1970's era. The façade is in need of repair and upgrades. The proposed improvements meet the DTMU development standards (Division 6), including the addition of awnings, and Development Standards 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures.

Staff recommendation: Staff recommends funding the full amount requested.

Address: 123 W. 2nd Street (Offices)

Requested funding (% of total project cost): \$21,378 (50% of \$42,756, including paving)

Improvement description: Paint trim, wash brick, and install two new awnings on the Carson Street side of the building.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district. The building is significantly in its historic façade configuration and requires little more than maintenance to be an example of good historic downtown building preservation. The proposed improvements meet the DTMU development standards (Division 6), including the addition of awnings, and Development Standards 6.6.11, Guidelines for the Renovation and Restoration of

Existing Structures. The applicant must take care when cleaning existing brick surfaces and avoid abrasive cleaning, if possible, in compliance with the restoration guidelines.

The requested funding includes funding for parking lot and patio paving improvements. The FIP specifically excludes “landscaping” as an eligible expense and is limited to building façade improvements. Staff believes the intent of the standards is to limit funding to building façade improvements. At staff’s request, the applicant provided a cost breakdown for the façade improvements only, excluding the parking lot/patio paving. The cost estimate for building façade improvements is \$19,004. Ineligible expenses may not be counted towards the property owner’s matching funds.

Staff recommendation: Staff recommends funding 50% of the cost of façade improvement excluding the cost of the parking lot and paving area, for a total grant of \$9,502.

Address: 224 S. Carson Street (Mom & Pop’s Diner, various shops on Third Street)

Requested funding (% of total project cost): \$25,000 (24% of \$105,091)

Improvement description: Various façade renovations and material upgrades for the property fronting Carson Street and the entire 3rd Street frontage.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district. The property and the building façade stretch from Carson Street to Curry Street along the entire Third Street frontage, which is currently under construction to create a public plaza. The existing facades maintain much of the character of the historic buildings, but there is a mix of dated materials and the façade is in need up maintenance and upgrading. The proposed improvements meet the DTMU development standards (Division 6), and Development Standards 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures.

Staff recommendation: Staff recommends funding the full amount requested.

Address: 310 S. Carson Street (Historic St. Charles Hotel, Firkin & Fox restaurant)

Requested funding (% of total project cost): \$25,000 (35% of \$71,254)

Improvement description: Replace eight deck posts, including decorative trim; install new stairway to upper deck, replace existing 2nd floor deck at the rear (west side) of the building including decorative railings.

Redevelopment Area #: 1

Staff analysis: The property is located within the Downtown Mixed Use (DTMU) zoning district and the Historic District, and the property is on the National Historic Register. The work is being done as a result of old, worn-out materials that need replacement. The north side pillars are being replaced concurrently with the McFadden Plaza improvements currently under construction on 3rd Street. The stairs and deck are also being replaced on the west side of the building, along with the associated decorative railings. The proposed improvements meet the DTMU development standards (Division 6), and Development Standards 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures. Historic Resource Commission approval will be required for the proposed work.

The proposed improvements include deck materials that may not typically be considered “façade” improvements. Staff is unclear on the percentage of the cost associated with the decking versus other maintenance improvements that are key visual elements of the building, though the visible elements appear to be a significant part of the work.

Staff recommendation: If the RACC determines that the deck meets the intent of the FIP, staff recommends funding the full amount requested. Façade improvement of \$50,000 or more would

allow RACC to authorize the full amount requested of \$25,000. If the RACC determines that the façade portion of the improvements are less than \$50,000, the RACC may consider authorizing reduced funding.

Address: 631 N. Division Street (Residential/office mixed-use building)

Requested funding (% of total project cost): \$25,000 (37% of \$68,126)

Improvement description: New exterior improvements being made with conversion of a former dental office to residences (second floor) and offices (first floor).

Redevelopment Area #: 1

Staff analysis: The property is located within the Residential Office zoning district and the Historic District. The applicant has received approval from the Historic Resource Commission for the project.

The project is currently under construction. The FIP Resolution does not specifically address whether or not projects already under construction are eligible for funding. The improvements do, indeed, “improve the appearance” of the commercial area as stated in the Resolution. However, it is also the stated intent of the FIP to “stimulate investment in properties” within the Redevelopment Areas. Construction of this project started before the FIP was established, so it could be argued that the FIP will not stimulate the improvements. Staff believes it was the intent of the FIP to encourage new improvements.

Staff recommendation: Staff does not believe this application meets the intent of the FIP to “stimulate investment” in properties and recommends that the RACC not allocate FIP funds to this project.

Address: 2811 S. Carson Street (Grandma Hattie’s)

Requested funding (% of total project cost): \$20,000 (49% of \$41,215)

Improvement description: Replace existing freestanding sign with new sign.

Redevelopment Area #: 2

Staff analysis: The property is located on South Carson Street in Redevelopment Area #2, on the southeast corner of Carson and Sonoma Streets. The existing freestanding “Grandma Hattie’s” sign is in need of repair/replacement. The applicant plans to replace the sign with a new cabinet sign in the same configuration, size and height of the existing sign.

Eligible FIP improvements include “all exterior building façade *and signage* updating and maintenance.” The intent of the FIP, as adopted, is to allow improvements to signs in addition to building façade improvements.

Staff recommendation: Staff recommends funding the full amount requested.

If you have any questions regarding these Façade Improvement Program grant applications, please contact Lee Plemel at 283-7075 or lplemel@carson.org.

Attachments:

1. Application funding summary spreadsheet
2. Façade Improvement Program Resolution
3. Development Standards Division 1.1, Architectural Design
4. Applicable Division 6 DTMU Development Standards
5. Façade Improvement Program grant applications

FAÇADE IMPROVEMENTS FUNDING FY 2016-17

BUSINESS NAME	PROPERTY ADDRESS	AMOUNT REQUESTED	TOTAL PROJECT COST	Staff Recommended
Shaheen Beauchamp Builders LLC	318 N. Carson Street	\$18,218	\$36,436	\$18,218
Carson Jewelry & Loan	308/310 N. Carson Street	\$11,235	\$22,470	\$11,235
Curry Musser Proctor & Green LLC	112 N. Curry Street	\$16,250	\$32,500	\$16,250
David & Robin Shriver	210 S. Carson Street	\$9,360	\$18,720	\$9,360
Lopiccolo Investment, LLC	123 W 2nd Street	\$21,378	\$42,756	\$9,502
Lopiccolo Trust	224 S. Carson Street	\$25,000	\$105,091	\$25,000
Lopiccolo Investment, LLC	310 S. Carson Street	\$25,000	\$71,254	\$25,000
Huronout Inc.	631 N. Division Street	\$25,000	\$68,126	\$0
Grandma Hattie's	2811 S. Carson Street	\$20,000	\$41,215	\$20,000
	Total:	\$171,441	\$438,568	\$134,565

RESOLUTION NO. 2016-RAR-2 and 2016-R-3

A RESOLUTION TO ESTABLISH THE CARSON CITY REDEVELOPMENT FAÇADE IMPROVEMENT PROGRAM FOR REDEVELOPMENT PROJECT AREAS 1 AND 2

WHEREAS, a stated objective of the Redevelopment Area 1 Plan is to improve the appearance of commercial areas through building rehabilitation, and

WHEREAS, strategies in the Redevelopment Area 2 Plan include engaging the business owners in the revitalization process and assisting in the reuse of vacant buildings; and

WHEREAS, the Carson City Redevelopment Authority and Board of Supervisors desire to create an incentive program to be an integral part of Carson City's private-public partnership initiatives to retain and expand businesses in Carson City; and

WHEREAS, this program is designed to stimulate investment in properties and to improve the desirability of properties within Redevelopment Areas 1 and 2 by improving the exterior appearance of buildings.

NOW THEREFORE, the Carson City Redevelopment Authority and Board of Supervisors do hereby resolve to establish the Carson City Redevelopment Façade Improvement Program for Redevelopment Project Areas 1 and 2, which includes the following guidelines.

1. Eligible Properties: All commercial properties within Redevelopment Areas 1 and 2 are eligible to apply for Façade Improvement Program funds.
2. Ineligible Properties: Ineligible properties include properties already receiving tax incentives or other financial incentives from the City, residentially-zoned properties, buildings that were constructed within the last five years, properties for which property taxes are owed and not paid up to date, and properties with outstanding or unresolved code enforcement issues.
3. Eligible Improvements: All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. Landscaping is not an eligible expense.
4. Maximum Façade Improvement Program Funding: The maximum Façade Improvement Program funding that may be awarded is \$25,000 per individual Assessor's Parcel Number, subject to authorization of Program funding by the Board of Supervisors.
5. Required Property Owner Matching Funds: The property owner shall pay a minimum of 50% of the total project costs. Total project cost includes construction and all expenses incurred in the preparation and permitting of plans for the improvements, including building permit fees, design work, and construction drawings.

6. Façade Improvement Program Application Review Process:

- A. The Redevelopment Authority Citizens Committee (RACC) shall review and have final decision authority on all Façade Improvement Program applications.
- B. Initial applications are due April 15, 2016, to be reviewed by the RACC on May 2, 2016, for the available FY 2015-16 funding and FY 2016-17 funding. In subsequent years, applications will be accepted through April 15 each year for review by the RACC at its first regular meeting in May for available funding the following Fiscal Year, beginning July 1. If available funding is not fully used in any given application review cycle, applications will be accepted on a first-come, first-served basis until available, budgeted funding is exhausted.
- C. Façade Improvement Program applications must include plans meeting commercial building permit standards showing all proposed improvements.
- D. Decisions of the RACC regarding Façade Improvement Program applications may be appealed to the Redevelopment Authority provided that such appeal is made within 7 days of the RACC's decision. Only Façade Improvement Program applicants affected by the RACC's decision have standing to appeal.
- E. The property owner shall sign the application consenting to the proposed improvements and all applicable requirements of the Façade Improvement Program.

7. Reimbursement of Redevelopment Funds: Façade Improvement Program funds shall be awarded as a grant, with no reimbursement required, provided that the property is not sold within 12 months of the completion of the façade improvements for which the grant was awarded. If the property is sold within 12 months of the completion of the façade improvements for which the grant was awarded, the property owner shall be responsible to pay back 100% of the Façade Improvement Program funds awarded by Carson City.

8. Compliance with Development Standards:

- A. All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- B. Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.

9. Commitment Agreement: Each participant in the Façade Improvement Program must execute and record a document agreeing to reimburse the City 100% of the awarded Façade Improvement Program funds if the property is sold within 12 months of the completion of the façade improvements for which the grant was awarded. The agreement shall be in the form as required by the City.

10. Reimbursement Process:

- A. Payments from the City shall be made on reimbursement-basis only at a rate of no more than 50% of the actual expenses incurred by the property owner up to the total amount of funds approved.
- B. For façade improvement projects that equal or exceed a total cost of \$10,000, reimbursement may be made in a maximum of two payments. The first payment may be requested for up to 50% of the approved Façade Improvement Program funds only after expenses have been incurred by the applicant equaling or exceeding 50% of the total project costs. The final reimbursement payment shall only be made upon completion and final inspection approval of the proposed improvements.
- C. Reimbursement for projects that are less than \$10,000 in total costs shall be provided in a one-time payment only after improvements have been completed and have received final inspection approvals.
- D. Applicants who receive funding must document all expenditures and provide the Community Development Department with proof of payment (receipts, paid invoices, etc.) for all eligible improvements, including costs associated with the property owner's required match, within 30 days of project completion.

11. Project Bidding Requirements:

- A. Applicants are responsible for obtaining three bids or competitive quotes for the proposed work. All contractors must be registered and bonded by the State of Nevada and licensed to perform the applicable work in Carson City.
- B. Approved projects will be based on the lowest of the three bids. The applicant may select any of the three bidders to complete the improvements, but the applicant will be responsible for costs in excess of the lowest bid.
- C. Construction contracts will be between the applicant and contractor. The contractor must obtain all required permits prior to commencing construction.

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12. Completion of Façade Improvements: Improvements for which Façade Improvement Program funds are awarded must be completed within 180 days of application approval or the beginning of the Fiscal Year from which the funds are awarded, whichever occurs later.

Upon motion by Member Brad Bonkowski, seconded by Member Lori Bagwell, the foregoing Redevelopment Authority Resolution No. 2016-RA-R-2 was passed and adopted this 3rd day of March, 2016, by the following vote:

AYES: Member Brad Bonkowski
Member Lori Bagwell
Member Robert Crowell
Chair Karen Abowd

NAYS: Vice Chair Jim Shirk

ABSENT: None.

ABSTAIN: None.


KAREN ABOWD, Chair

ATTEST:


SUSAN MERRIWETHER, Clerk-Recorder

Upon motion by Supervisor Brad Bonkowski, seconded by Supervisor Karen Abowd, the foregoing Board of Supervisors Resolution No. 2016-R-3 was passed and adopted this 3rd day of March, 2016, by the following vote:

AYES: Supervisor Brad Bonkowski
Supervisor Karen Abowd
Supervisor Lori Bagwell
Mayor Robert Crowell

NAYS: Supervisor Jim Shirk

ABSENT: None.

ABSTAIN: None.

ATTEST:


ROBERT L. CROWELL, Mayor


SUSAN MERRIWETHER, Clerk - Recorder

General Standards for Facade Improvements

1.1 - Architectural design.

Office, retail, commercial, public, institutional, industrial and multi-family buildings and their architecture play a large role in establishing the overall image of the community. In all cases, these standards stress the importance of visually identifying and unifying the community character. These standards do not require a single architectural style; instead an eclectic mixture of harmonious styles are encouraged. Buildings which are 50 years or older within the downtown area must meet the requirements of the downtown business district found in the Carson City Municipal Code.

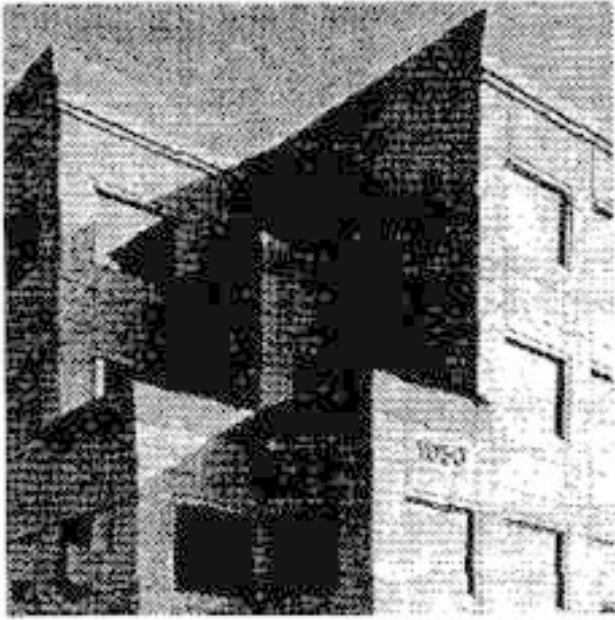
- 1.1.1 The architectural style, massing and proportion of a building should be compatible with and compliment its surroundings and environmental characteristics of the community.
- 1.1.2 Buildings should be designed on a "human scale" by using architectural enhancements such as windows, awnings, arcades, plazas, courtyards and roof overhangs.



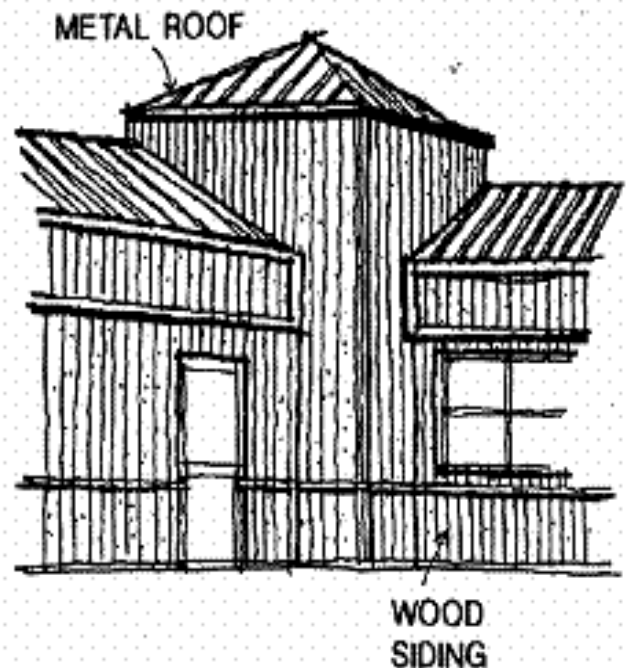
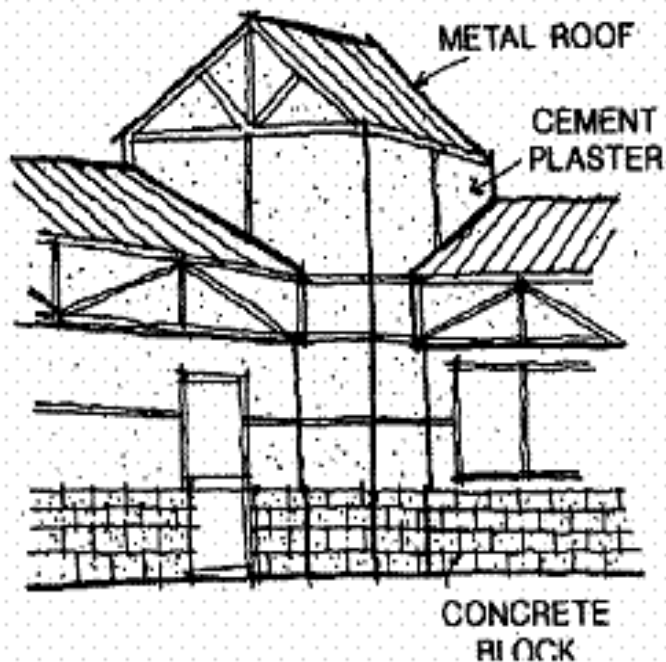
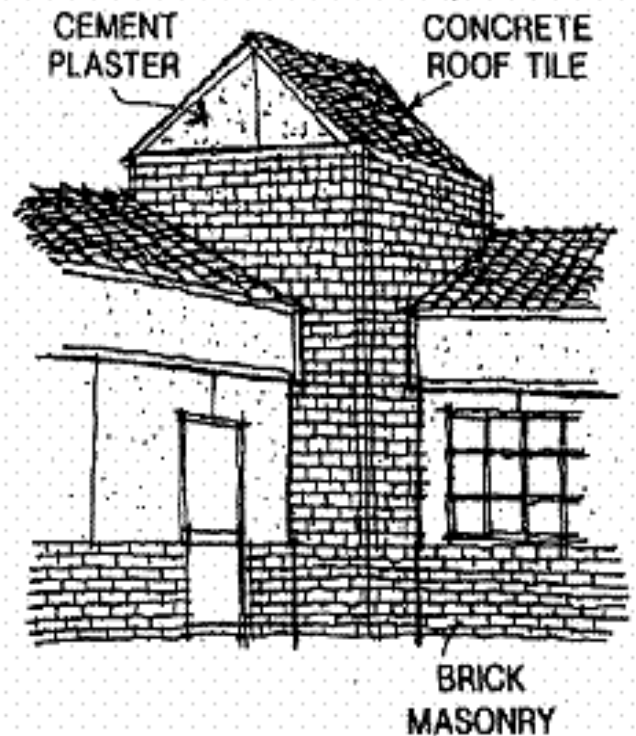
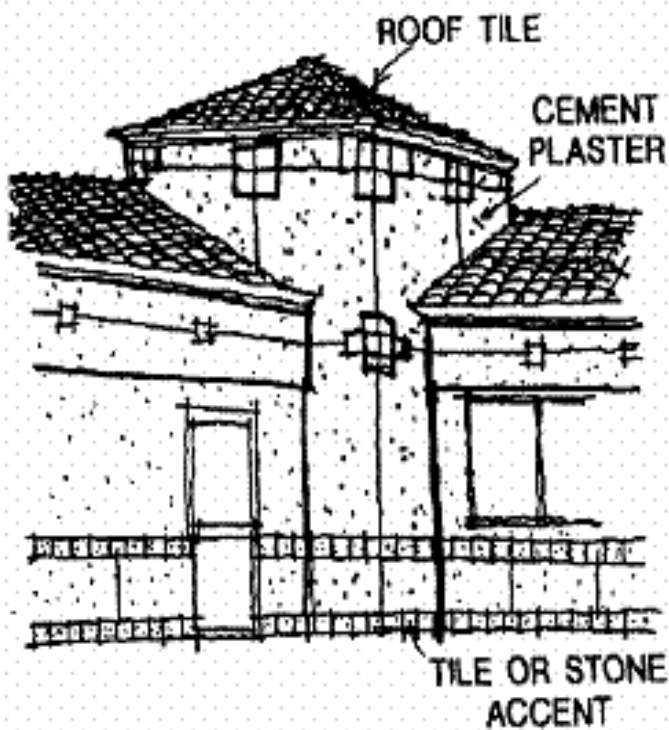
Architectural enhancements such as roof overhangs, arcades and trellises shall be used.

- 1.1.3 Variations of building details, form, line, color and materials shall be employed to create visual interest. Variations in wall planes, roof lines and direction are encouraged to prevent monotonous appearance in buildings. Large expanses of walls devoid of any articulation or

embellishment shall be avoided. Similarly vertical variation in the roof line is encouraged. Mansard roofs shall wrap around the entire building.



Variation in wall planes adds interest



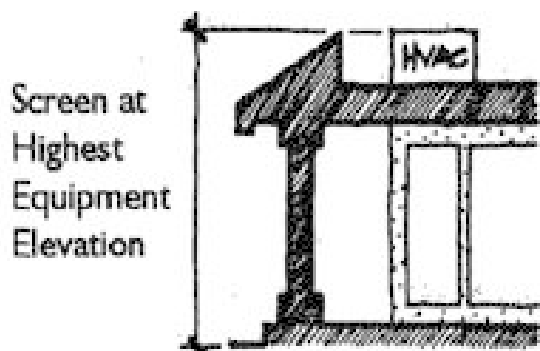
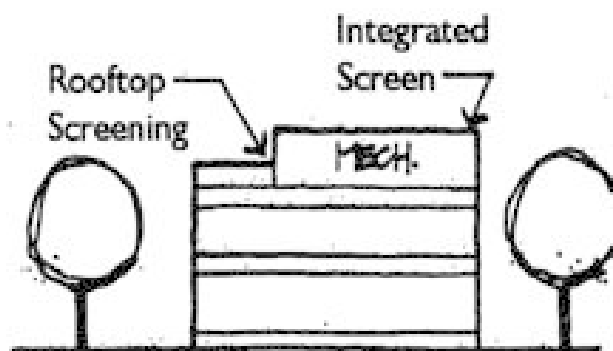
Typical materials and finishes

- 1.1.4 All building elevations shall receive architectural treatment, except in special situations where an elevation is not visible from an adjoining property or street.
- 1.1.5 Materials and finishes shall be selected for architectural harmony and enhancement of the architectural theme as well as aesthetic quality, durability and ease of maintenance. Materials, finishes and colors shall be varied where appropriate to provide architectural interest. The

number of building materials generally shall be limited to three and these materials shall not stop abruptly at corners, but continue to side or back elevations. Smooth faced block or fabricated metal wall panels are not allowed as the predominant building material.

- 1.1.6 Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earthtone in color. Bold colors shall be avoided except when used as accent or trim.
- 1.1.7 Except as otherwise provided in this section, roof-mounted equipment within commercial, industrial, office, public or multi-family districts shall be screened from view from a public right-of-way and adjacent property through the use of architectural means such as parapet walls and equipment wells. Screening of roof-mounted equipment from view must be integrated into the building design. All equipment shall be located below the highest vertical element of the building. Wall-mounted air conditioning units shall be integrated into the design and/or screened. Roof-mounted solar panels are excluded from the requirement for screening. Roof-mounted mechanical support and accessory mechanical equipment for solar panels shall be screened architecturally and integrated to match the existing roof and/or building materials.

On sites exhibiting topographic relief effecting visual screening capabilities, site-obscuring screening shall be provided to visually screen the equipment at a minimum of 100 feet from the site.



Typical Equipment Screening

- 1.1.8 Reflective, untreated roofs shall be prohibited unless painted flat, non-glossy paint to compliment or match the primary color of the primary exterior building material(s).
- 1.1.9 Multi-building/tenant projects shall include architectural consistency for all buildings including color schemes, wall textures, roofs, roof slopes, awnings and other similar architectural themes.
- 1.1.10 Buildings which give the appearance of "box-like" structures shall be discouraged.

Downtown Standards for Facade Improvements

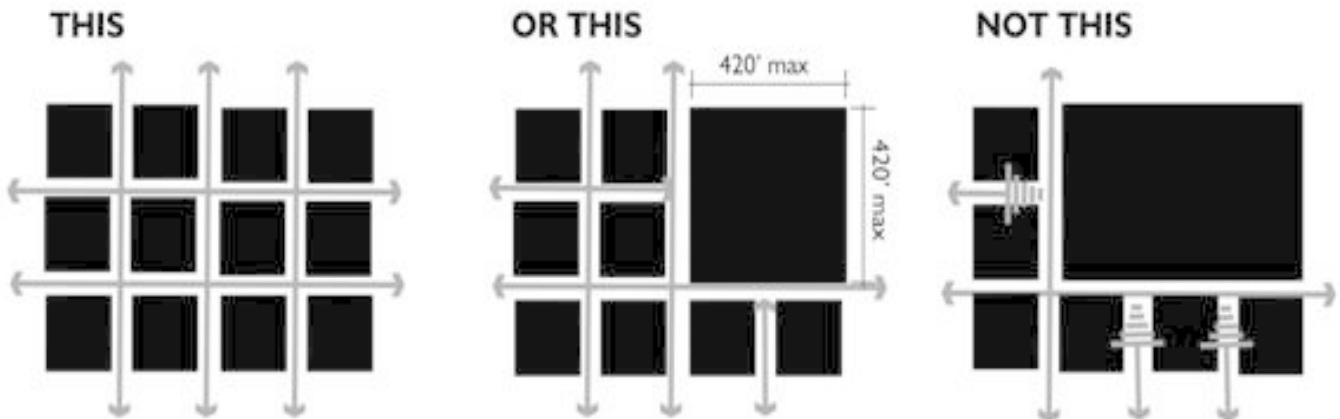
Division 6 - DOWNTOWN MIXED-USE DISTRICT

Sections:

6.6 - General development standards and guidelines.

6.6.1 Vehicular and Pedestrian Connections.

1. Intent.
 - a. To maintain a well-defined pattern of urban blocks within downtown that provide frequent connections to adjacent neighborhoods and serve as a framework for a varied mix of uses.
 - b. To maintain frequent pedestrian connections that reflect Carson City's traditional pattern of blocks while allowing for the incorporation of some larger developments and outdoor plazas that require the consolidation of 2 or more blocks, where appropriate.
2. Block Size.
 - a. To the maximum extent feasible, new development shall work within the framework of downtown's existing pattern of blocks to avoid interrupting the grid pattern, creating large "superblocks," and limiting access to adjacent neighborhoods.
 - b. Maximum block lengths resulting from block consolidation shall be limited to 420 feet.
 - c. Where block consolidation is proposed (by right-of-way abandonment), special consideration shall be given to vehicular circulation patterns, flood/drainage pathways, and view corridors to significant features in the area, such as the Capitol building and the mountains to the west.



6.6.2 Lighting.

1. Intent.
 - a. To encourage a safe, appealing, and pedestrian-friendly nighttime environment within downtown core.
 - b. To promote the retention of the downtown core's unique nighttime character, as provided by its numerous lighted marques and animated lights.
 - c. To ensure that new lighting is compatible with the established character of the downtown and the surrounding neighborhoods.

Lighting Examples:

Following are examples of the types of pedestrian-oriented lighting appropriate within the Downtown Mixed-Use District. These examples are provided for illustrative purposes only, all lighting shall be consistent with the regulations contained within this Chapter.



2. Exterior Lighting.

- a. Low-scale, decorative lighting shall be used to accent architectural details, building entries, or signs. Additional, pedestrian-scaled lighting shall be provided to illuminate sidewalks, enhancing security and extending hours of activity.
- b. All light sources shall be shielded to protect the city's dark skies and prevent spillover into adjacent residential neighborhoods and the city's downtown.
- c. Lighted marques and animated lighting, such as chase lights, exist in many locations within downtown and are reflective of the city's gaming traditions. Generally, this type of lighting should be limited to that which exists today; however, new lights may be approved by the director or designee on a project-by-project basis.
- d. Building façade accent lighting is limited to an upward angle of 45 degrees and must be focused on the building to minimize light trespass onto adjacent properties and into the sky.

3. Storefront Lighting. The incorporation of interior window lighting to highlight displays is strongly encouraged to provide off-hour interest along Carson Street.

4. Street Lights. All street lights, whether intended for pedestrian or auto-oriented purposes, shall be consistent with the city's downtown streetscape plan.

6.6.3 Signage.

1. Intent.
 - a. To encourage a diverse and visually interesting streetscape environment along Carson Street by allowing a variety of types of business signage, as traditionally found; and
 - b. To ensure that signage is compatible with the pedestrian-oriented scale of downtown.
2. General.
 - a. All standards contained in this subsection shall be applied in addition to signage regulations contained in Division 4 of the city's development standards.
 - b. If a conflict between the two articles appears to exist, the standards contained in this article shall take precedence.
3. Materials. Signs shall be constructed of durable, low-maintenance materials that complement the design and character of the building they serve.
4. Preferred Signage Types.
 - a. The use of hanging signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Hanging signs and other sign types attached to the front of buildings are permitted to project into the public right-of-way, over the sidewalk, subject to the issuance of an encroachment permit. Hanging signs shall not:
 - (1) Exceed 24 inches in height and 3 feet in length; or
 - (2) Be located where less than 8 feet of clear height can be provided above the sidewalk from the overhang or awning from which they are suspended.
 - b. The creative use of symbols or other images indicative of the use contained within the building in the design of signs is strongly encouraged.
 - c. The use of permanent window signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Window signs shall not exceed 10 percent of the window area.
5. Neighborhood Transition Character Area. The following standards shall be applicable within the neighborhood transition character area only.
 - a. The maximum freestanding sign height shall be 6 feet.
 - b. Signs shall be designed to reflect the more residential scale and appearance of the neighborhood transition character area.

PREFERRED SIGNAGE TYPES: NEIGHBORHOOD TRANSITION AREA



Examples of signs designed to reflect a more residential setting, as desired within the Neighborhood Transition character area.

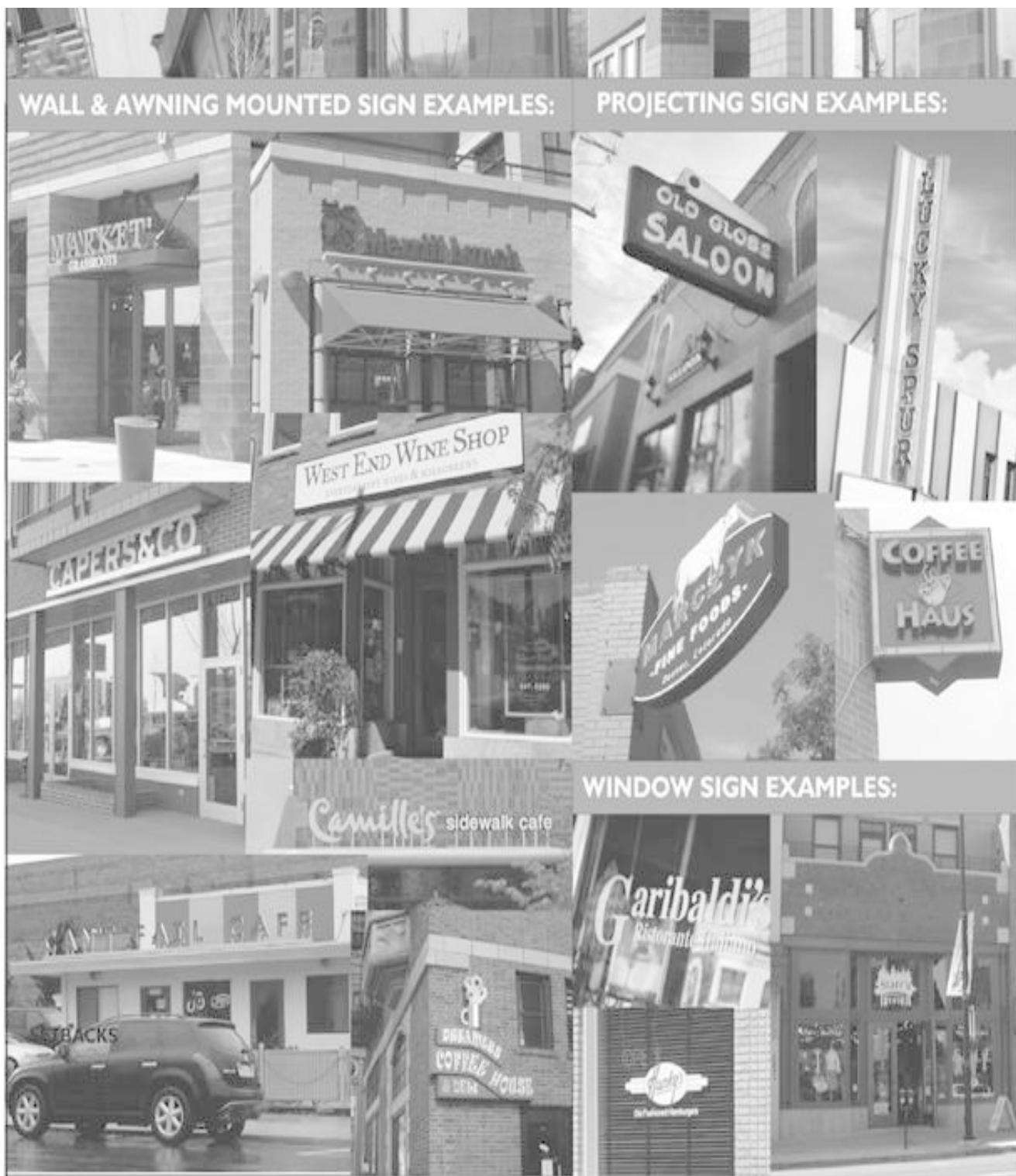
6. Wayfinding Signage. All on-site wayfinding signage shall be consistent with the city's wayfinding signage design standards.
7. A-Frame Signs ("Sandwich-Board" Signs).
 - a. One A-Frame sign is permitted per business per street frontage.
 - b. Sign must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.
 - c. A minimum of 6 feet of unobstructed sidewalk clearance must be maintained.
 - d. Signs must be professionally manufactured and shall not exceed 32 inches in width and 36 inches in height. However, chalkboard frames with erasable letters are also appropriate.
 - e. All signs shall be in good repair and neatly painted. No attachments to signs are permitted.
 - f. Signs shall not be displayed during non-business hours.
 - g. No sign shall be located where it obstructs the line of sight for passing motorists.

Preferred Signage Types:

Following are examples of the types of pedestrian-oriented signage appropriate within the Downtown Mixed-Use District. These examples are provided for illustrative purposes only. All signs shall be consistent with the regulations contained within this Chapter and Division 4 of the City's Development Standards.

HANGING SIGN EXAMPLES:





6.6.4 Sustainable Design and Construction.

1. Intent.

- a. To encourage the use of sustainable building materials and construction techniques in downtown projects, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program;
- b. To encourage the use of new and emerging technologies that lead to increased energy conservation for downtown uses; and
- c.

1. Intent.
 - a. To establish a set of baseline standards for the regulation of street vendor carts within downtown to ensure that they complement existing retail businesses, are compatible with the character of downtown, and expand the range of services available to downtown workers, visitors, and residents; and
 - b. To establish a framework for the long-term development of a formal street and sidewalk vending program to enliven the Downtown streetscape.
2. Vendor Carts. Street vendors are permitted in the DT-MU district only after approval by the redevelopment advisory citizens committee. Street vendors should have a positive impact upon the downtown, as determined by an evaluation of the application against all relevant provisions of this title. The following minimum standards shall apply for all such requests:
 - a. Street vendors shall be approved at a specific, permanent location;
 - b. Carts used for street vending shall be on wheels and shall not be larger than 3 feet by 5 feet;
 - c. Only consumable products may be sold from a street vendor cart;
 - d. If located within a city or State right-of-way, encroachment permits and liability insurance shall be required;
 - e. If adjacent to or in front of a business not their own, the street vendor cart operator shall be responsible for obtaining permission of the affected business and property owner and shall submit evidence of such permission;
 - f. If adjacent to or in front of a property listed in the Carson City historic district, review, approval, and compliance with conditions of the HRC shall be required;
 - g. Electrical and gas services require review and approval of the building and engineering divisions and the fire department;
 - h. Approval of the health department is required for all food vendors.
3. Vending Review Board. The redevelopment advisory citizens committee shall serve as the vending review board to review all applications for street vending.

6.6.10 Building Design and Character.

1. Intent.
 - a. Allow for the incorporation of a variety of architectural styles while ensuring that infill and redevelopment relates to the historic traditions of downtown Carson City and its surrounding neighborhoods in terms of its basic form, composition of building elements, and quality of materials;
 - b. Establish a high quality appearance for downtown infill and redevelopment through the incorporation of architectural detailing, façade articulation, and other features designed to provide a more distinct character and pedestrian scale;
 - c. Ensure that infill and redevelopment contributes towards the vision set forth for downtown by the city's master plan.
2. Materials. Primary building materials shall be durable and project an image of permanence typical of downtown's traditional masonry storefronts and public buildings. Appropriate materials include, but are not limited to brick, stone, or other masonry products, steel, stucco, cast concrete, split face block, composite siding, or comparable material approved by the director.
3. Four-Sided Design.
 - a.

All building facades shall be designed with a similar level of design detail. Blank walls void of architectural detailing shall not be permitted.

- b. Exceptions from the above standard may be granted for those areas of the building envelope that the applicant can demonstrate are not visible from adjacent development and streets.
 - c. Entrance locations should be placed with consideration of business-to-business pedestrian access and the relation to pedestrian crossings for safety.
4. Street Level Interest/Transparency.
- a. A minimum percentage of the total area of each ground floor building façade which faces a street, plaza, park, or other public space, shall be comprised of transparent window openings to allow views of interior spaces and merchandise, to enhance the safety of public spaces by providing direct visibility to the street, and to create a more inviting environment for pedestrians. Minimum percentages vary according to character area and use as follows:
 - (1) Main Street Mixed-Use Character Area: 50 percent minimum.
 - (2) Urban Mixed-Use Character Area:
 - (a) Non-Residential Uses: 50 percent minimum;
 - (b) Residential Uses: 35 percent minimum.
 - (3) Neighborhood Transition Character Area:
 - (a) Non-Residential Uses: 40 percent minimum;
 - (b) Residential Uses: 30 percent minimum.

Examples: Materials

Primary building materials shall be durable and project an image of permanence typical of Downtown's traditional masonry storefronts and public buildings. These examples are provided for illustrative purposes only. All materials shall be consistent with the regulations contained in this Chapter.



Street Level Interest/Transparency

NOT THIS



① Buildings that lack transparency do not create an inviting and interesting streetscape for pedestrians.

THIS



② Display windows provide transparency at the street level of these retail storefronts, creating an inviting environment for pedestrians.

Primary Building Entrances

Following are examples of building entrances made easily discernable through the use of architectural elements.



- b. For the purposes of the above standard, all percentages shall be measured using elevation views of the building plan and "ground floor" shall be measured from floor plate to floor plate.
- c. The following standards shall apply to all ground floor windows:
 - (1) Non-residential Uses. Glazing on all ground floor windows shall be transparent;

- (2) Residential Uses. Glazing on ground floor windows shall be transparent to allow views into common hallways, foyers, or entryways, but may be translucent or opaque when necessary to protect the privacy of ground-floor spaces used for dwelling purposes;
 - (3) Black or mirrored glass is prohibited.
- 5. Primary Building Entrances. Primary building entrances shall be clearly distinguished through the use of one or more of the following architectural features:
 - a. Covered walkways or arcades;
 - b. Awnings, canopies, or porches; and/or
 - c. Projected or recessed building mass.
- 6. Parking Structures.
 - a. Facades of single-use parking structures (e.g., no retail or residential) shall be articulated through the use of 3 or more of the following architectural features;
 - (1) Windows or window shaped openings;
 - (2) Masonry columns;
 - (3) Decorative wall insets or projections;
 - (4) Awnings;
 - (5) Changes in color or texture of materials;
 - (6) Approved public art;
 - (7) Integrated landscape planters; or
 - (8) Other features as approved by the director or designee.
 - b. Openings in parking structures shall be designed to screen views of parked cars from surrounding properties through the use of architectural screens or similar features.
- 7. Residential Garage Location and Design.
 - a. Where lot configurations permit, residential garages shall be located in the rear yard and accessed from the alley or a narrow drive from the street, as traditionally found in downtown's residential neighborhoods.
 - b. Attached front-loading garages shall be recessed behind the front façade of the home a minimum of 10 feet.
- 8. Screening of Utility/Mechanical Equipment.
 - a. Roof mounted mechanical equipment shall be screened from public rights-of-way and adjacent properties through the use of parapet walls, equipment wells, architectural screens, or similar features that may be integrated into the overall design of the building.
 - b. All equipment shall be located below the highest vertical element of the building.
 - c. Wall-mounted air conditioning units shall be integrated into the design of the building and/or screened.

6.6.11 Guidelines for the Renovation and Restoration of Existing Structures.

- 1. Intent.
 - a. To promote the preservation of existing downtown buildings that have historic characteristics, although they are not included as part of the historic district.
 - b.

To promote and establish appropriate procedures for the cleaning, renovation, and restoration of original downtown storefronts that have been substantially altered and obscured during previous remodeling efforts.

2. Inappropriate Alterations.

- a. Remodeling with unauthentic false historical details, trims, and moldings creates a confusing historical context for the community and should be avoided.
- b. The use of light gauge metal, steel panels, or other materials to make two or more storefronts appear to be a single, larger structure should be avoided. If panels are already in place, upper story windows, storefronts, doors, cornices, and other trim materials which were removed to accommodate the panels should be researched and replaced during the rehabilitation process.
- c. Upper story doors and windows and street-level storefronts that have been previously covered, sealed, or filled in should be restored to their original proportions and appearance during the rehabilitation process.
- d. Transom windows which were covered over when suspended acoustical tiled ceilings were installed, or for other reasons, should be uncovered during the rehabilitation process.



3. Cleaning.

- a. Abrasive cleaning techniques such as sandblasting should be avoided on the exterior of downtown buildings. Such cleaning methods cut into the building's materials, causing irreversible damage.
- b. Sandblasted buildings that have not severely deteriorated should be painted to slow the process. Care must be taken to avoid varnishes, enamels, polyurethane sealants and other products impervious to moisture penetration. Sealants will lock moisture inside the masonry and prevent evaporation ultimately causing severe moisture damage.
- c.

As an alternative to abrasive cleaning techniques, the following techniques should be considered:

- (1) A gentle water wash in combination with a natural bristle brush used to gently scrub the surface of the building. If necessary, a mild detergent can be used, but must be thoroughly rinsed.
 - (a) For heavy grime or layers of paint, a chemical cleaner may be necessary. Alkaline or acidic cleaners are available; however, chemical cleaning should always be done by experienced professionals.
 - (b) A steam cleaning process may also be appropriate for certain building materials.
- d. Whether water, steam, or chemical cleaner is used, always clean a test patch area first to judge the reaction, or consult a professional in the field. A list of local professionals is available at the planning division.
- e. All debris and cleaning materials should be contained on site and not allowed to flow into the storm drain system.

4. Repair, Removal, and Replacement.

- a. Removal of materials or structures including oversized signs, windows or door coverings, or metal slipcovers should not take place until the following steps are followed:
 - (1) Inventory and photograph or draw accurate elevations of the elements to be removed;
 - (2) Examine each element and determine how it is attached and anchored to the building. If possible, remove a small portion of a slipcover to determine how the rest is anchored;
 - (3) Create a plan for repair of original material that was damaged when alterations were made; drilled holes for anchor bolts, lost or damaged decorative elements, accumulated dirt and rust stains are the most common types of damage.
- b. If a decorative element such as a cornice or trim around a window was removed or altered to accommodate earlier renovation efforts, it may require replication by a skilled artisan or replacement with a simpler element. Catalogs of companies that specialize in replicating historic building architectural details are available from the planning division.
- c. If the original element is lost and no photo documentation is present, it is recommended that the element be substituted with a more conservative design element.
- d. Materials used to renovate existing buildings should be of a texture, scale, and color that are compatible with the original primary building material. Replacement parts should be selected so as to blend in with existing ones; rather than calling attention to themselves.
- e. Native stone and masonry should be retained on existing buildings when possible.
- f. Missing or damaged architectural features that are to be replaced should blend with the building fabric and duplicate the old or match it as closely as possible. However, these new materials should not be antiqued or made to look old when they are not.
- g. Retention of original historic building elements is encouraged over replacement. When replacement is required, attention should be given to matching the building's original window treatment as closely as possible.

(Ord. 2007-21 § 7 (Exh. A (part)), 2007)

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Shaheen Beauchamp Builders LLC
NAME OF BUSINESS / APPLICANT
318 N. Carson St, Suite 202, Carson City, NV 89703
MAILING ADDRESS, CITY, STATE, ZIP CODE
775-885-2294
PHONE # WEBSITE URL

Double Eagle Cubed LLC
NAME OF PROPERTY OWNER
318 N. Carson St, Suite 202, Carson City, NV 89703
MAILING ADDRESS, CITY, STATE, ZIP CODE
775-885-2294 **jeff@sbbbuilders.com**
PHONE # EMAIL

318 N. Carson St, Suite 202, Carson City, NV 89703
PROPERTY ADDRESS/APN
PROPERTY ZONING

18,218.00
24,136.20
\$ **TOTAL FUNDING REQUEST**

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

PROJECT NAME

Project Area (check one):
Redevelopment Area #1 ☒
Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

Scope of Work:
New paint on building front (Carson St) and building rear (Curry St) - See paint schedule on submitted plans.

Install (2) new canvas awnings on building front (Carson St) - color black
Replace (3) existing awnings on building back (Curry St) - color black

Replace (4) existing light fixtures on building front (Carson St) - see attached submittal
Replace (3) existing light fixtures on building rear (Curry St) - see attached submittal

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: July 1, 2016

Estimated Project Completion Date: August 1, 2016

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Jeff Shaheen Member

Property Owner's Signature:



Date: 3-30-16

BUDGET BREAKDOWN

4/7/2016

OWNER: DOUBLE EAGLE CUBED LLC

PROJECT: FRONT AND REAR FAÇADE IMPROVEMENTS

JOB ADDRESS: 318 N CARSON ST, CARSON CITY, NV 89703

CSI	TRADE/WORK SCOPE	UNIT	QUAN.	PRICE	AMOUNT	EXTENSION	REQUESTED REIMBURSEMENT
500	ARCHITECTURAL DESIGN FEE	LS	1	\$ 2,200.00	\$ 2,200.00	\$ 2,200.00	\$ 1,100.00
					\$ -		\$ -
502	ENGINEERING FEES				\$ -	N/A	
					\$ -		\$ -
1000	ESTIMATED BUILDING PERMIT FEE	LS	1	\$ 400.00	\$ 400.00	\$ 400.00	\$ 200.00
					\$ -		\$ -
1010	GENERAL CONDITIONS				\$ -		\$ -
	SIDEWALK CLOSURE PLAN / PERMIT / BARRICADING - ALLOWANCE	LS	1	\$ 750.00	\$ 750.00	\$ 750.00	\$ 375.00
					\$ -		\$ -
6000	CARPENTRY	LS	1	\$ 4,900.00	\$ 4,900.00	\$ 4,900.00	\$ 2,450.00
	REPAIR / REPLACE WOOD SIDING AND TRIM ON REAR OF BUILDING				\$ -		\$ -
	EQUIPMENT - LIFT RENTAL				\$ -		\$ -
9910	PAINTING	LS	1	\$ 10,400.00	\$ 10,400.00	\$ 10,400.00	\$ 5,200.00
	REPAINT FRONT AND BACK OF BUILDING				\$ -		\$ -
	CLEAN BRICK ON FRONT						\$ -
							\$ -
10000	ACCESSORIES - AWNINGS	LS	1	\$ 10,425.00	\$ 10,425.00	\$ 10,425.00	\$ 5,212.50
	INSTALL (2) NEW 24' FRAMES AND AWNINGS - FRONT						\$ -
	REPLACE (3) EXISTING AWNINGS - REAR				\$ -		\$ -
							\$ -
16000	ELECTRICAL	LS	1	\$ 6,300.00	\$ 6,300.00	\$ 6,300.00	\$ 3,150.00
	REMOVE AND REPLACE EXISTING FIGHT FIXTURES						\$ -
	INSTALL NEW LED STRIP LIGHTING UNDER NEW AWNINGS						\$ -
	LIGHT FIXTURE PACKAGE - PER NV LIGHTING	LS	1	\$ 1,061.20	\$ 1,061.20	\$ 1,061.20	\$ 530.60
							\$ -
90000	SUB TOTAL				\$ 36,436.20	\$ 36,436.20	\$ 18,218.10
91000	OWNERS CONTINGENCY						\$ -
93000	OVERHEAD & FEE					N/A	
95000	TOTAL				\$ 36,436.20	\$ 36,436.20	\$ 18,218.10









ABBREVIATIONS

ABV	ABOVE	JST	JOIST
ACOUS	ACOUSTICAL	JT	JOINT
ACT	ACCOMMODATE	LAM	LAMINATE
AD	AREA DRAIN	LAV	LAVATORY
ADJ	ADJUSTABLE	LB(S)	LOUVER
AFF	ABOVE FINISH FLOOR	LDG	LANDING
ALT	ALTERNATE	LT	LIGHT
ALUM	ALUMINUM	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
ARCH	ARCHITECT	MEMB	MEMBRANE
B.O.	BOTTOM OF	MFR	MANUFACTURER
BALC	BALCONY	MH	MISCELLANEOUS
BD	BOARD	MISC	MISCELLANEOUS
BET	BETWEEN	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
BLDG	BUILDING	MTL	METAL
BLW	BELOW	N	NORTH
BM	BEAM	NC	NOT IN CONTRACT
BOT	BOTTOM	NO	NUMBER
BRCKT	BRACKET	NOM	NOMINAL
BLVD	BULEVARD	NTS	NOT TO SCALE
BUR	BUILT UP ROOF	O.P.	OVERFLOW PIPE
C.G.	CORNER GUARD	OA	OVERALL
CAB	CABINET	OC	ON CENTER
CAK	CAULKING	OD	OUTSIDE DIAMETER
CEM	CEMENT	OFF	OFFICE
CCR	CERAMIC	OH	OPPOSITE HAND
CJ	CONTROL JOINT	OPNG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLOS	CLOSET	PART	PARTITION
CLR	CLEAR	PRFM	PERFORATED
CO	CASED OPENING	PS	PAINT GRADE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLUS	PLASTER
CONT	CONTINUOUS	PLYWD	PLYWOOD
CPT	CURPET	PAR	PART
CT	CERAMIC TILE	PT	PAINT
CTR	CENTER	PTD	PAINTED
DBL	DOUBLE	R	RISER
DET	DETAIL	RDUS	RADIUS
DIA	DIAMETER	RCP	REFLECTED CEILING PLAN
DM	DIMENSION	RD	ROOF DRAIN
DR	DOWN	REFR	REFLECTOR
DR	DOOR	REFR	REFRIGERATOR
DS	DOWN SPOUT	REIN	REINFORCED
DW	DISHWASHER	REQD	REQUIRED
DWG	DRAWING	RESK	RESIDENT
E	EAST	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EBS	EXTENSION INSULATION & FINISH	RTU	ROOF TOP UNIT (MECH)
ELEV	ELEVATION	S	SOUTH
EMER	EMERGENCY	SAF	SOUND ATTENUATION FIBER BATT
ENCL	ENCLOSURE	SC	SCUPPER
EOS	EDGE OF SLAB	SCHED	SCHEDULE
EQ	EQUAL	SEAL	SEALANT
EQUIP	EQUIPMENT	SECT	SECTION
ETR	EXISTING TO REMAIN	SF	SQUARE FOOT
EW	EACH WAY	SH	SHEET
EXP. JT.	EXPANSION JOINT	SHAWR	SHOWER
EXT	EXTENDING	SPEC	SPECIFICATION
F.O.	FACE OF	SQ	SQUARE
FA	FIRE ALARM	SS	STAINLESS STEEL
FAP	FIRE ANNUNCIATOR PANEL	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER PANEL	STRCT	STRUCTURAL
FG	FINISH GROUP	SUSP	SUSPENDED
FI	FIRE HYDRANT	SYN	SYMMETRICAL
FHD	FIRE HOSE CABINET	T	TREAD
FIN	FINISH	TAG	TONGUE & GROOVE
FLR	FLOOR	TEL	TELEPHONE
FLUO	FLUORESCENT	TER	TERRAZZO
FT	FOOT OR FEET	THK	THICK
FUR	FURRING	THR	THRESHOLD
GAL	GALLON	TO	TOP OF
GALV	GALVANIZED	TYP	TYPICAL
GB	GRID BAR	UC	UNDERCUT
GC	GENERAL CONTRACTOR	UNFM	UNFINISHED
GL	GLASS	UNF	UNLESS NOTED OTHERWISE
GND	GROUND	UN	UNLESS OTHERWISE NOTED
GWB	GYPSEUM BOARD	UTL	UTILITY
GYP	GYPSEUM	VCT	VINYL COMPOSITION TILE
HWL	HOT WATER HEATER	VERT	VERTICAL
HOWD	HARDWOOD	VF	VERIFY IN FIELD
HW	HARDWARE	VTR	VENT TERMINATION PIPE
HM	HOLLOW METAL	VWC	VINYL WALL COVERING
HORIZ	HORIZONTAL	W	WEST
HR	HOUR	W/O	WITHOUT
HT	HEIGHT	W/C	WATERCLOSET
ID	INNER DIAMETER	WIND	WINDOW
INCH	INCHES	WP	WATERPROOF
INSUL	INSULATION	WS	WETSTACK
INT	INTERIOR	WVCT	WINDSCOT
JAN	JANITOR	WT	WEIGHT

FACADE IMPROVEMENTS

318 N CARSON STREET

GENERAL NOTES

1. APPLICABLE CODES AND STANDARDS:
 - 1.1. 2012 INTERNATIONAL BUILDING CODE
 - 1.2. 2012 INTERNATIONAL RESIDENTIAL CODE (WHERE APPLICABLE)
 - 1.3. 2012 UNIFORM MECHANICAL CODE
 - 1.4. 2012 UNIFORM PLUMBING CODE
 - 1.5. 2011 NATIONAL ELECTRIC CODE
 - 1.6. 2012 INTERNATIONAL FIRE CODE
 - 1.7. 2009 I.E.C.C. INTERNATIONAL ENERGY CONSERVATION CODE
 - 1.8. CURRENT CITY OF CARSON CITY, NV MUNICIPAL CODE.
2. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PRECEDING AT HIS/HER OWN RISK.
3. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
4. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
5. CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.

PROJECT DIRECTORY

CLIENT:
DOUBLE EAGLE CUBED
ADDRESS:
318 N. CARSON STREET
SUITE 202
PHONE: 775.891.9058 **FAX:**
CONTACT: Jeff Shabben
EMAIL: jeff@sbbuilders.com

ARCHITECT:
FRAME ARCHITECTURE
ADDRESS:
4080 SOUTH MCCARRAN BOULEVARD
RENO, NV 89502
PHONE: (775) 827-9977 **FAX:**
CONTACT:
EMAIL:

AGENCIES AND UTILITIES

PLANNING DEPARTMENT:
CARSON CITY PLANNING
ADDRESS:
108 E. PROCTOR STREET
CARSON CITY, NV 89701
PHONE: 775.887.2180 **FAX:**
CONTACT:
EMAIL: planning@carsoncity.org

BUILDING DEPARTMENT:
CARSON CITY BUILDING
ADDRESS:
108 E. PROCTOR STREET
CARSON CITY, NV 89701
PHONE: 775.887.2202 **FAX:**
CONTACT:
EMAIL: blg@carsoncity.org

SHEET INDEX

GENERAL
T-1.1 Title Sheet
1

ARCHITECTURAL
A-5.0 Exterior Elevations
1

PROJECT SCOPE

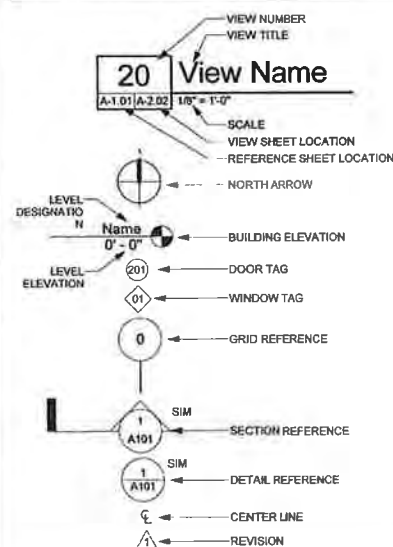
1. BUILDING FACADE IMPROVEMENTS TO INCLUDE:
2. NEW QUARTER ROUND FABRIC FIXED AWNING ALONGSIDE CARSON BOULEVARD.
3. REPLACEMENT OF WALL SCONCE LIGHTING FIXTURES WITH NEW.
4. REPLACEMENT OF HALF ROUND FABRIC FIXED AWNINGS ALONGSIDE N. CURRY STREET.
5. HYDRO BLAST AND SCRAPING OF OLD PAINT. PREP, PRIME, AND REPAINT WOOD SURFACES. BRICK AND STONE VENEER TO BE WASHED, CLEANED, AND RESEALED.
6. EXISTING WINDOWS AND EXISTING STOREFRONT WINDOWS TO REMAIN IN PLACE.
7. NO ADDITIONAL IMPROVEMENTS.

CODES

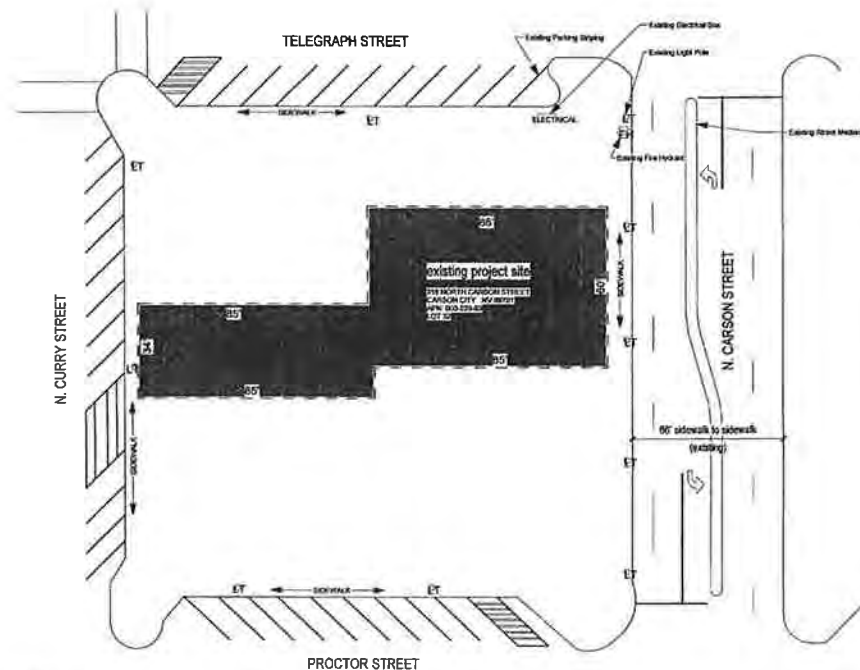
CODE INTERPRETATION	DT-MU
ZONING	400 GENERAL COMMERCIAL
LAND USE	B * A
OCCUPANCY	109.1
CONSTRUCTION TYPE	III-B
ALLOWABLE BUILDING HEIGHT	30'
ALLOWABLE BUILDING AREA	10,000
ALLOWABLE NUMBER OF STORIES	3
FIRE SPRINKLER INCREASE	N/A
FIRE SPRINKLER AREA INCREASE	N/A
FIRE RESISTANCE EXTERIOR BEARING	2 HOURS
FIRE RESISTANCE INTERIOR BEARING	0 HOURS
FIRE RESISTANCE NON BEARING INTERIOR	0 HOURS
FIRE RESISTANCE FLOOR ASSEMBLY	0 HOURS
FIRE RESISTANCE ROOF ASSEMBLY	0 HOURS
MAX TRAVEL DISTANCE WITHIN A STORY	200'
COMMON PATH OF EGRESS TRAVEL	75'
ONE EGRESS FROM SPACE REQUIRED	<50 OCC
MINIMUM NUMBER OF EXITS	2 EXITS PROVIDED

EXISTING CONDITION	
BUILDING AREA	13,441 SQ'
BUILDING HEIGHT	24'-6"
NUMBER OF STORIES	2
AUTOMATIC FIRE SPRINKLERS	NO

SYMBOLS



VICINITY MAP

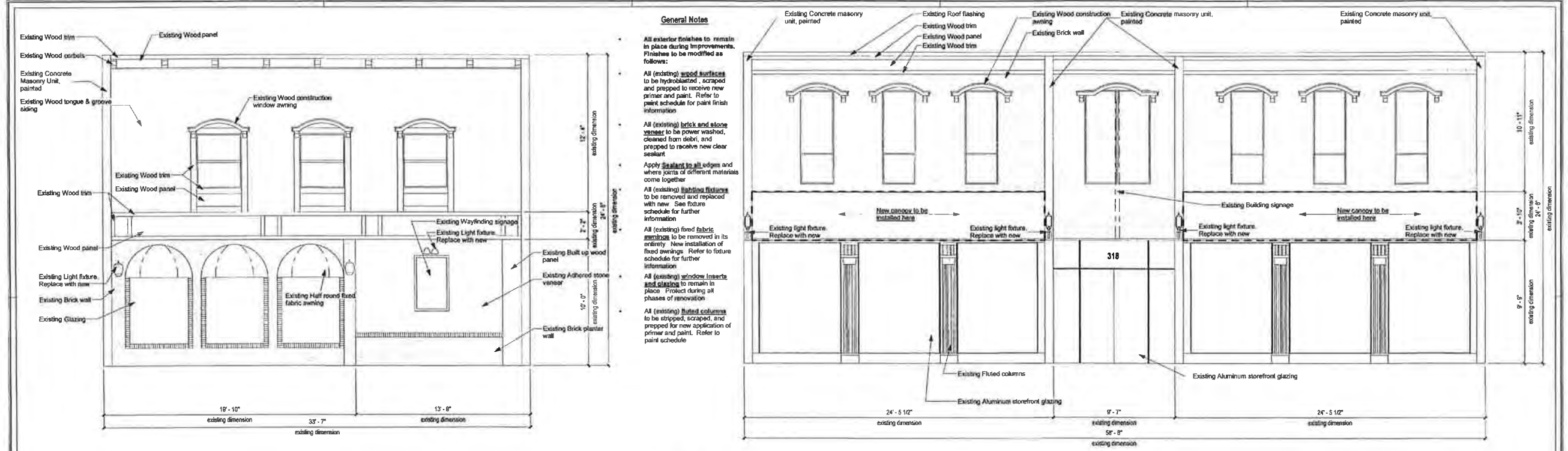


1 Existing Site Plan

Facade Improvements
318 N. Carson Street
Carson City, NV 89701
APN 003-229-03

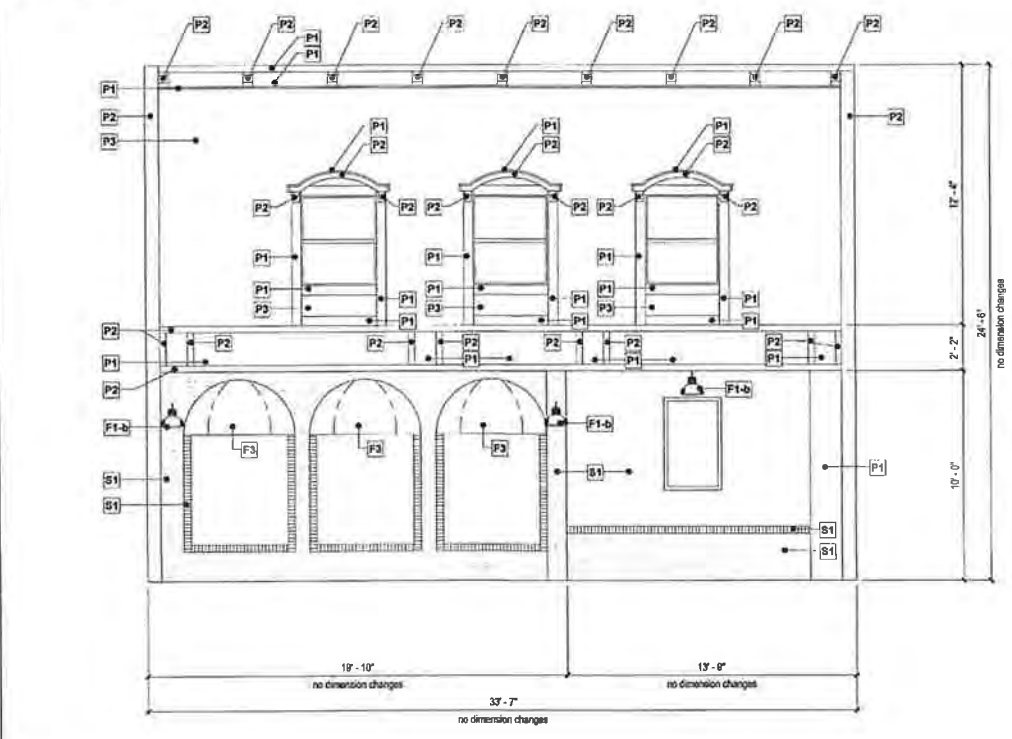
Title Sheet

DRAWN BY: smarcquez
CHECKED BY: smarcquez
DATE: 04/01/2018
PROJECT NUMBER: 16-23
SHEET: T-1.1

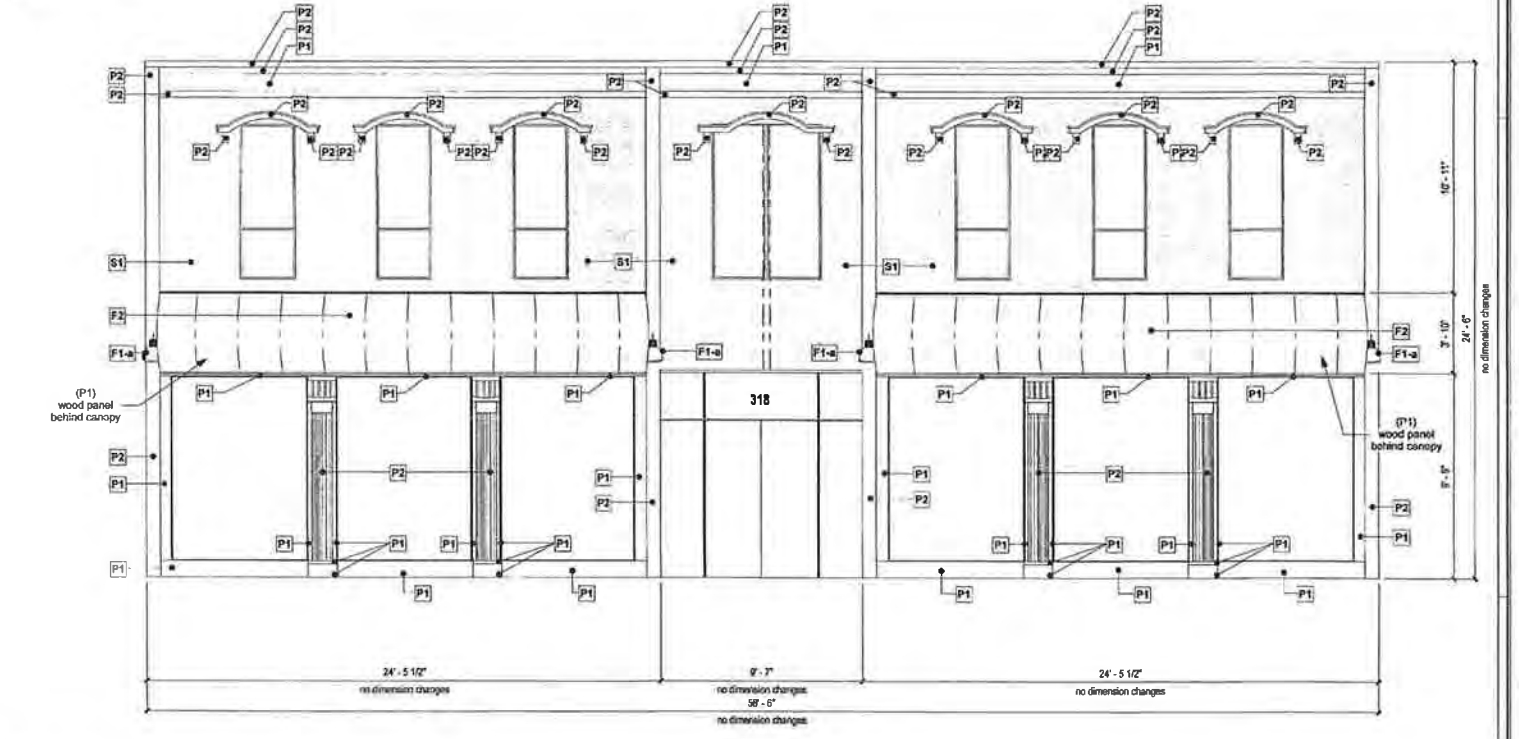


2 Existing Facade - West
A-5.0 1/4" = 1'-0"

1 Existing Facade - East
A-5.0 1/4" = 1'-0"



4 Facade Refinish - West
A-5.0 1/4" = 1'-0"



3 Facade Refinish - East
A-5.0 1/4" = 1'-0"

Fixture Schedule

Mark	Fixture	#	Description
F1-a	H-Lite Manufacturing Co	H-1516-B	Warehouse Shade Collection with heavy duty spun shade. 909-465-1999. Refer to Electrical Drawings
F1-b	H-Lite Manufacturing Co	H-1510-B	Warehouse Shade Collection with heavy duty spun shade. 909-465-1999. Refer to Electrical Drawings
F2	Eikelberger Awning & Drapery Reno, NV	-	1/4 Round fixed fabric awning. Custom length size. Wall attached. (775) 200-0058. Deferred substantial.
F3	Eikelberger Awning & Drapery Reno, NV	-	1/2 Round fixed fabric awning. Replace with same size as existing. Wall attached. (775) 200-0058. Deferred substantial.

Paint Finish Schedule

Mark	Manuf	Finish	Color	Primer
P1	PPG	1051-S	Dover Gray	Latex
P2	PPG	313-1	Ivory Tower	Latex
P3	PPG	313-4	Earthy Cane	Latex
S1	Behr	90005	Sealant	-

Revision Schedule

Revision	Description	Date
1		

Frame ARCHITECTURE, INC
4090 South McCarran Blvd. #E
Reno, NV 89502 (775) 827-9977

Facade Improvements
318 N. Carson Street
Carson City, NV 89701
APN 03-229-03

Exterior Elevations

DRAWN BY: smarquez
CHECKED BY: smarquez
DATE: 04/01/2018
PROJECT NUMBER: 16-23
SHEET: A-5.0

4/1/2018 3:00:08 PM Z:\03\0318 N. Carson Street_Facade Remodel.rvt

RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT



Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701

Façade Improvements Funding Request Form

Carson Jewelry & Loan / Mark Schmidt

NAME OF BUSINESS / APPLICANT

308 N. Carson Street CC Nv 89701

MAILING ADDRESS, CITY, STATE, ZIP CODE

7758831717

www.CCPickers.com

PHONE #

WEBSITE URL

Mark & Kimberly Schmidt Trust

NAME OF PROPERTY OWNER

3833 Sweetland Dr. CC Nv 89701

MAILING ADDRESS, CITY, STATE, ZIP CODE

7756903499

ms4pawnusa@aol.com

PHONE #

EMAIL

308/310 North Carson Street

PROPERTY ADDRESS/APN

Commercial

PROPERTY ZONING

11,235th
\$ ~~22,470~~^{up}
TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

CJL Façade Improvement

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

Professional flags off the top of the building on poles extended from uprights already in place which will give us more height and motion along with fresh paint in all areas and re-design existing awning extension to be more in tune with the width of the new wider sidewalks. Design and install appropriate signage to realize more North/South traffic travel to improve on what currently is only Easterly facing signage. Work with and help to off set costs with city staff on creating paver designs to enhance and improve the beauty in our block rather than just gray concrete on ground in front our 30' +/- street frontage.

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: OCTOBER 2016

Estimated Project Completion Date: OCTOBER 2017

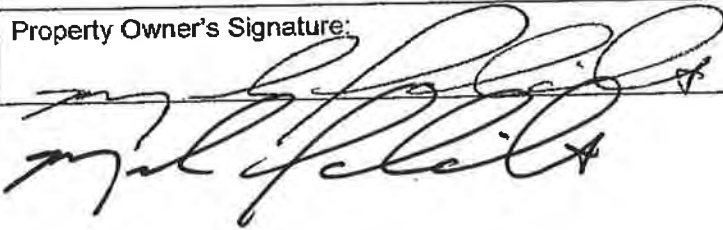
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- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Mark Schmidt

Property Owner's Signature:



Date:

4-15-16



April 15, 2016

Mark & Kimberly Schmidt
Carson Jewelry & Loan
308/310 S. Carson St.
Carson City, NV 89701

Re: Job # 025-16

Proposal #025-16-1
Front Façade Upgrades

In response to your request to price the exterior front façade upgrades, we submit our proposal.

Our proposal is based on the following: \$22,470.00

- **General Conditions:**
 1. Provide supervision of sub-contractors and Lopiccolo Construction crew throughout construction.
 2. Provide protection of surrounding areas and daily clean up.
 3. Provide dumpster and all dump fees.
 4. Provide Sani-Hut for crew members.
 5. Provide lift equipment.
- **Paint:**
 1. Exterior paint of all wood siding and trim.
 2. Pressure wash exterior.
 3. Scrape and or sand any loose or peeling paint to a sound surface.
 4. Spot prime all bare areas.
 5. Re-caulk as needed.
 6. Paint with acrylic latex paint.
- **Columns, Awnings & Flags:**
 1. Fabricate and install three new barrel awnings per plan.
 2. Center awning to have two steel, powder coated columns for structural stability and impact.
 3. Purchase and install seven new flag poles with flags to roof top railing.

RESIDENTIAL • COMMERCIAL • RENOVATIONS • REMODELS • NEW CONSTRUCTION



- **Clarifications and Exclusions:**

1. All work to be done during regular working hours Monday thru Friday 7:00am to 3:30 pm.
2. Permits or City fees are excluded.
3. Hidden and/or unforeseen conditions.

Should you have any questions please do not hesitate to call.

Sincerely,

A handwritten signature in blue ink, appearing to read 'ML', is written over a faint, larger blue outline of the signature.

Mark Lopiccolo - Owner
Lopiccolo Construction

RESIDENTIAL • COMMERCIAL • RENOVATIONS • REMODELS • NEW CONSTRUCTION

BID FILE: C/JL 308-310 S Carson

Exterior Facade Upgrades

Last Changed-

By: Lora

On: 04/15/16 12:32 PM

CODE	ACTIVITY	COMPLETE?	LAB-HRS	LABOR	MATERIAL	SUBCON	EQUIP	OTHER	TOT COST	PROF%	BID
01	GENERAL REQUIREMENTS	Y									
0105	Supervision	Y	30.00	1,952					1,952		
0110	Cleanup	Y	25.00	926					926		
0140	Protection	Y	10.00	370	35				405		
0150	Dumpster	Y						125	125		
0151	Sani Hut	Y						125	125		
0161	Lift Rental	Y					775		775		
TOTAL GENERAL REQUIREMENTS			65.00	3,248	35		775	250	4,308		
05	METALS	Y									
0550	Steel Columns Powder Coated	Y				5,000			5,000		
TOTAL METALS						5,000			5,000		
09	FINISHES	Y									
0990	Painting 2 Men 1 Week	Y	80.00	3,764	500				4,264		
TOTAL FINISHES			80.00	3,764	500				4,264		
10	SPECIALTIES	Y									
1010	Awnings & Flags	Y				4,800			4,800		
1011	Flag Poles	Y	8.00	376	700				1,076		
TOTAL SPECIALTIES			8.00	376	700	4,800			5,876		
TOTAL			153.00	7,388	1,235	9,800	775	250	19,448		
OVERHEAD									1,750	9.0	
PROFIT									1,272	6.0	
TOTAL									22,470		

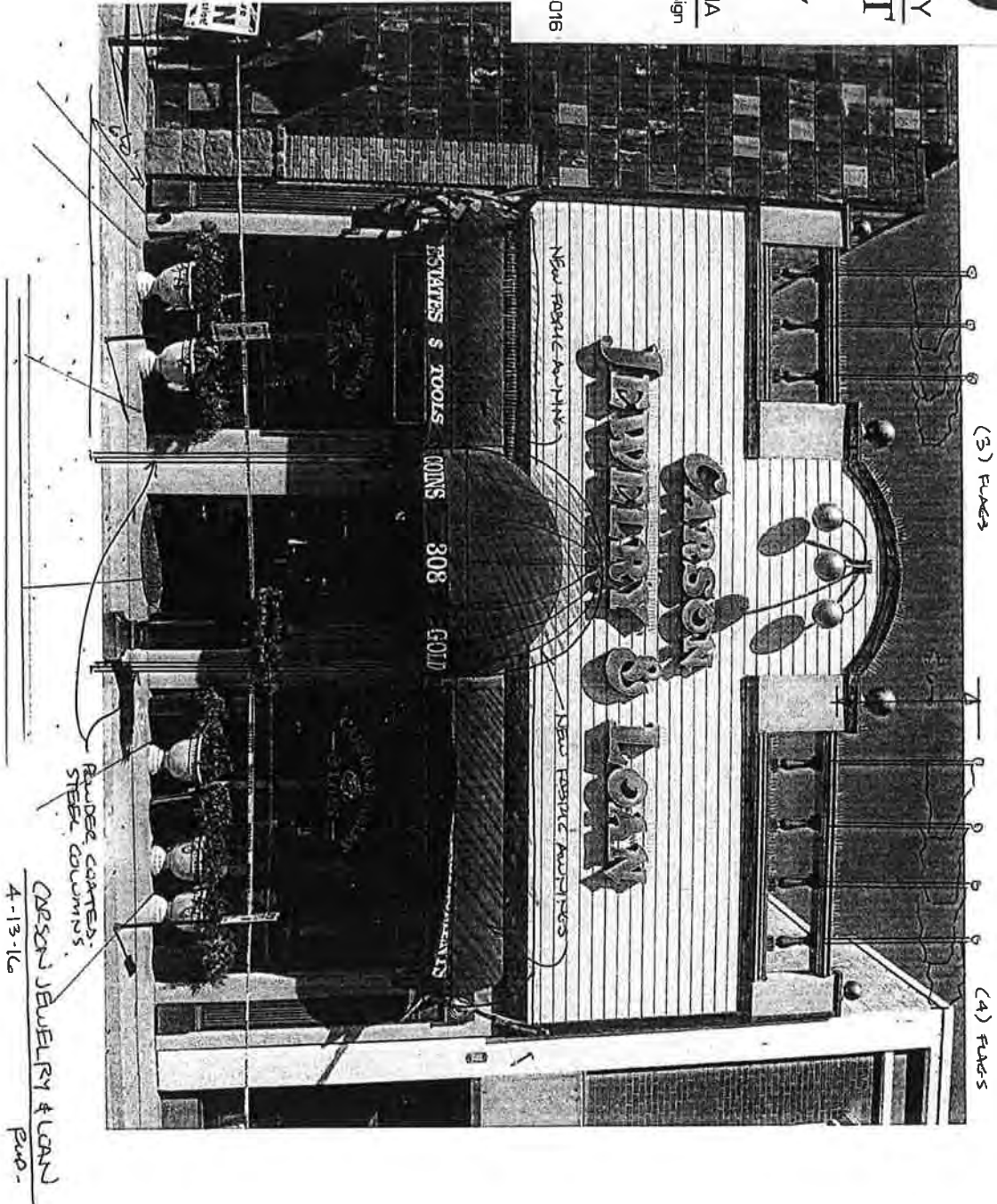


ROBERT M. DARNEY
ARCHITECT

ROBERT M. DARNEY
Principal Architect

NEVADA ARIZONA
Planning • Development • Design

490 HOT SPRINGS ROAD
CARSON CITY, NV 89703
(775) 883-3444 Fax (775) 882-4016
darney/arch@sbccglobal.net



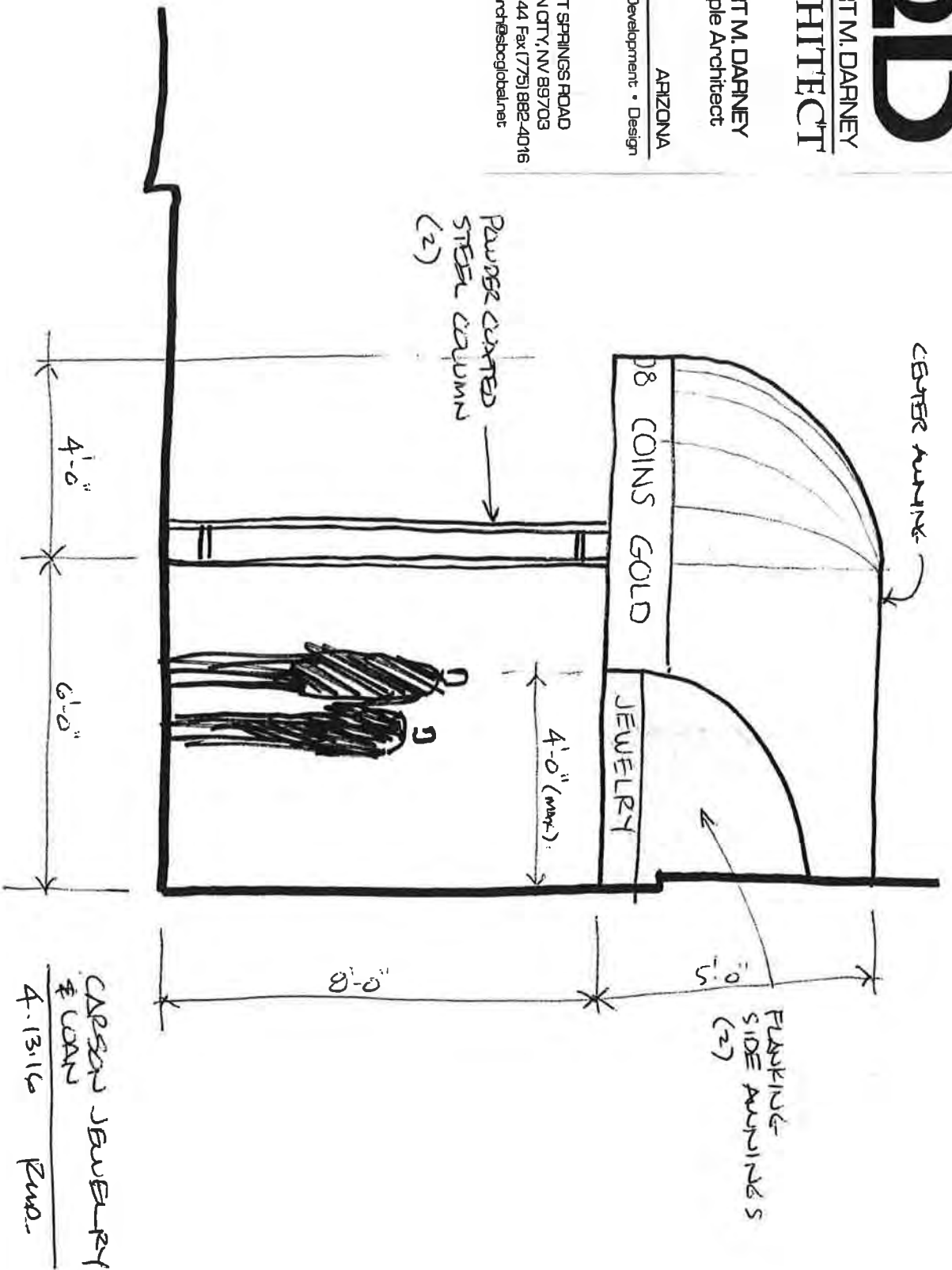
R2D

ROBERT M. DARNEY
ARCHITECT

ROBERT M. DARNEY
Principle Architect

NEVADA ARIZONA
Planning • Development • Design

490 HOT SPRINGS ROAD
CARSON CITY, NV 89703
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darneyarch@sboglobal.net

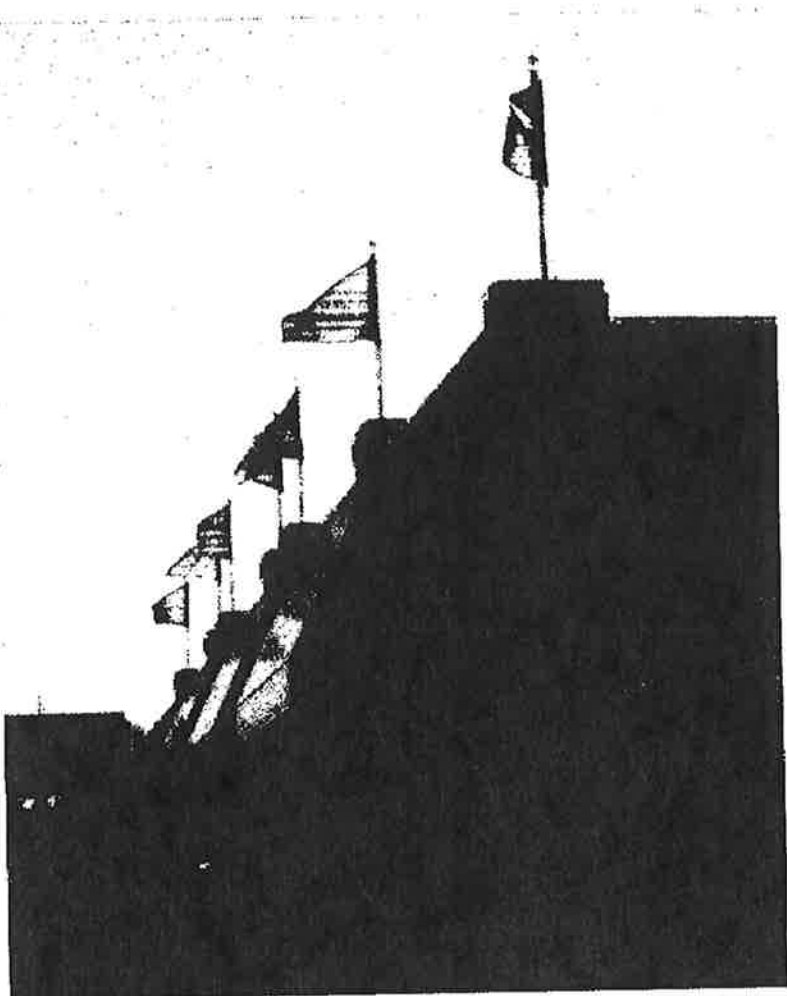


From: Mark Schmidt <ms4pawmusa@gmail.com>
To: Mark Schmidt <ms4pawmusa@aol.com>
Subject: Fwd: Carson Jewelry & Loan Facade Improvements
Date: Tue, Apr 12, 2016 1:47 pm

Sent from my iPhone

Begin forwarded message:

From: Mark Schmidt <ms4pawmusa@gmail.com>
Date: April 4, 2016 at 11:33:36 AM PDT
To: dammeyarcht@sbcglobal.net
Subject: Carson Jewelry & Loan Facade Improvements





308 N. Carson Street

RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Curry Musser Proctor & Green, LLC/John Block

NAME OF BUSINESS / APPLICANT

112 North Curry Street, Carson City, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-1013

www.stateagent.com

PHONE #

WEBSITE URL

Curry Musser Proctor & Green, LLC

NAME OF PROPERTY OWNER

112 North Curry Street, Carson City, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-1013

jed@stateagent.com

PHONE #

EMAIL

112 North Curry St, APN 003-215-02

PROPERTY ADDRESS/APN

RC

PROPERTY ZONING

\$ 16250.00

TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

The original roof of cut cedar shingles were painted red for over 80 years. It was roofed over sometime in the 1970's with a product containing asbestos. The roof is in desperate need of replacement. I will use Certainteed Grand Manor Class "A" fire rated shingles (red in color) matching what has already been replaced and was previously approved by the Historical Resources Commission

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: TBD

Estimated Project Completion Date: _____

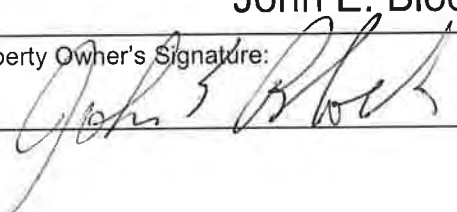
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- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

John E. Block for Curry Musser Proctor & Green, LLC

Property Owner's Signature:



Date:

4/14/16



April 4, 2016

Proposal submitted to:				Work To Be Performed At:			
Name:	Jed Block			Name:	Commercial Bldg		
Address:				Address:	112 N Curry St		
City, State:		Zip		City, State	Carson City, NV	Zip	
Phone:		Fax		Phone:			
Contact:	Jed Block jed@stateagent.com						

BID PROPOSAL

We propose to furnish all labor, equipment, materials, personnel air monitoring, laboratory fees, disposal permits/fees, asbestos notifications and special asbestos liability insurance necessary for the safe and proper removal of approximately 2,030 square feet of non-friable transite roofing.

Boom rental included in this proposal

BID PRICE: \$6,500.00

All invoices are due and payable upon receipt. A service charge of 18.00% per annum will be computed on all amounts overdue. We accept VISA, MASTERCARD & DISCOVER cards up to \$ 5,000.00 per project.

Due to the "sealed containment" requirement for abatement work, we cannot be held responsible for damaged finishes where tape must be attached. All workers are EPA/AHERA certified and DEISH LICENSED. All work will be performed in full compliance with local, state and federal regulations. EPA and DEISH may require a 10 day notification period.

Owner Responsibilities:

1. Additional cost of any third party project monitoring or final air clearance tests.
2. General Contractor responsible for securing any City and or County building permits
3. Furnish power and water within 50 feet of each work area.
4. Owner responsible for moving any and all furniture from work area, unless pre arranged.
5. Any additional Insurance requirements that result in charges to Advance Installations will be passed onto the owner/contractor.

Respectfully,
Tony Valentine
 Estimator Project Manager

TV:ai

Acceptance of proposal

Date

Payment may be available from the Residential Recovery Fund, if you are damaged financially by a project performed on your residence pursuant to a contract, including construction, remodeling, repair or other improvements, and the damage resulted from certain specified violations of Nevada law by a contractor licensed in this state. To obtain information relating to the Residential Recovery Fund and filing a claim for recovery from the Fund, you may contact the Nevada State Contractors Board at the following location – Nevada State Contractors Board 9670 Gateway Drive #100 Reno, Nevada 89521 (775) 688-1141.

Down to the square sheeting

P.O. Box 2163 Sparks, Nevada 89432-2163
 (775) 359-1468 FAX (775) 359-1484
 Contractor's Lic. NV #033627 NV #0027501 CA #649749
 License Limit \$10 Million



Don James
Roofing Company

a division of D & D Roofing and Sheet Metal, Inc.

5263 Arrowhead Drive, Carson City, NV 89706

775-882-6141 OFFICE

NV LIC #54763

775-882-7482 FAX

Jed Block
112 N. Curry St.
Carson City Nv. 89703

April 8, 2016

775-720-7313

Re: Re-roof estimate @ the above address.

After existing double-layer roofing removed by others and all spaced sheathing planks prep and cleared of nails and debris, Don James Roofing agrees to do the following:

1. Install (1) layer 7/16" OSB over spaced sheathing.
2. Mechanically attach (1) one layer of 30# felt to entire wood deck.
3. Install pre-painted edge metal. (White, brown, black)
4. Install new **Certainteed Grand Manor Class "A"** fire rated fiberglass shingles over new membrane. Color to match entryway.
5. Renew or replace all metal flashings as required and paint all penetration flashings to match shingles.
6. Install new hip and ridge shingles.
7. Install (6) attic vents.
8. If satellite dish needs to be moved, costs to reset signal responsible to the owner.
9. Properly dispose of all debris created by **Don James Roofing Co.**
10. Any unforeseen changes in materials and/or labor will result in additional costs with a written change order.
11. Upon completion, **Don James Roofing** (3) three year guarantee to apply, as well as a manufacturer's limited warranty.

Completed total: \$26,000.00

Note: Owner to contract a licensed electrical contractor to remove and reset (1) power line/ conduit that runs through the attic along the spaced sheathing. **Don James Roofing** not responsible for any asbestos clean-up on roof or grounds, or any future issues associated with the asbestos slate.

Terms: Don James requires a 50% Deposit, with the balance upon completion.

Note: This proposal expires in fifteen (15) days.

Note: Please review our terms and conditions.

We thank you for this opportunity to present this proposal, and hope it meets with your approval.
If you have any questions, or if I can be of further service, please do not hesitate to call.

Sincerely,

Don James Roofing Company

David McCullen
Division Manager

Accepted by: _____ Date: _____
I attest that I have the authority to sign this contract as well as to authorized payment.

DM:lj





RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Curry Musser Proctor & Green, LLC/John Block

NAME OF BUSINESS / APPLICANT

112 North Curry Street, Carson City, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-1013

www.stateagent.com

PHONE #

WEBSITE URL

Curry Musser Proctor & Green, LLC

NAME OF PROPERTY OWNER

112 North Curry Street, Carson City, NV 89703

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-1013

jed@stateagent.com

PHONE #

EMAIL

112 North Curry St, APN 003-215-02

PROPERTY ADDRESS/APN

RC

PROPERTY ZONING

\$ 16250.00

TOTAL FUNDING REQUEST

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Redevelopment Area #2 ☐

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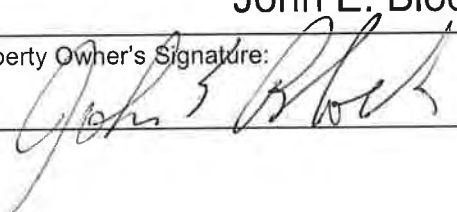
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Property Owner's Name:

John E. Block for Curry Musser Proctor & Green, LLC

Property Owner's Signature:



Date:

4/14/16



April 4, 2016

Proposal submitted to:				Work To Be Performed At:			
Name:	Jed Block			Name:	Commercial Bldg		
Address:				Address:	112 N Curry St		
City, State:		Zip		City, State	Carson City, NV	Zip	
Phone:		Fax		Phone:			
Contact:	Jed Block jed@stateagent.com						

BID PROPOSAL

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Owner Responsibilities:

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Tony Valentine
 Estimator Project Manager

TV:ai

Acceptance of proposal

Date

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P.O. Box 2163 Sparks, Nevada 89432-2163
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 Contractor's Lic. NV #033627 NV #0027501 CA #649749
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Carson City Nv. 89703

April 8, 2016

775-720-7313

Re: Re-roof estimate @ the above address.

After existing double-layer roofing removed by others and all spaced sheathing planks prep and cleared of nails and debris, Don James Roofing agrees to do the following:

1. Install (1) layer 7/16" OSB over spaced sheathing.
2. Mechanically attach (1) one layer of 30# felt to entire wood deck.
3. Install pre-painted edge metal. (White, brown, black)
4. Install new **Certainteed Grand Manor Class "A"** fire rated fiberglass shingles over new membrane. Color to match entryway.
5. Renew or replace all metal flashings as required and paint all penetration flashings to match shingles.
6. Install new hip and ridge shingles.
7. Install (6) attic vents.
8. If satellite dish needs to be moved, costs to reset signal responsible to the owner.
9. Properly dispose of all debris created by **Don James Roofing Co.**
10. Any unforeseen changes in materials and/or labor will result in additional costs with a written change order.
11. Upon completion, **Don James Roofing** (3) three year guarantee to apply, as well as a manufacturer's limited warranty.

Completed total: \$26,000.00

Note: Owner to contract a licensed electrical contractor to remove and reset (1) power line/ conduit that runs through the attic along the spaced sheathing. **Don James Roofing** not responsible for any asbestos clean-up on roof or grounds, or any future issues associated with the asbestos slate.

Terms: Don James requires a 50% Deposit, with the balance upon completion.

Note: This proposal expires in fifteen (15) days.

Note: Please review our terms and conditions.

We thank you for this opportunity to present this proposal, and hope it meets with your approval.
If you have any questions, or if I can be of further service, please do not hesitate to call.

Sincerely,

Don James Roofing Company

David McCullen
Division Manager

Accepted by: _____ Date: _____
I attest that I have the authority to sign this contract as well as to authorized payment.

DM:lj





RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Lopiccolo Investments

NAME OF BUSINESS / APPLICANT

3655 Arrowhead Dr. #140, Carson City, NV 89706

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-9447

PHONE #

WEBSITE URL

Lopiccolo Investments

NAME OF PROPERTY OWNER

Same

MAILING ADDRESS, CITY, STATE, ZIP CODE

Same

markl@lopiccoloconstruction.com

PHONE #

EMAIL

123 W.2nd St. C.C. APN 003-112-06

PROPERTY ADDRESS/APN

Commercial

PROPERTY ZONING

21,378 *AP*
~~\$42,750.00~~ *25,000* *M*
TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

123 W. 2nd St. Façade Improvements

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

Paint all exterior trim and doors. Install two new awnings. Remove existing front and rear driveway and parking surfaces. Install new concrete pavers to front and rear driveway and parking areas.

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: _____

Estimated Project Completion Date: _____

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Mark Topicco

Property Owner's Signature:

[Signature]

Date:

4-15-16



April 15, 2016

Lopiccolo Investments
123 W. 2nd Street
Carson City, NV 89701

Re: Job # 025-16

Proposal #025-16-1
Exterior Upgrades

In response to your request to price the exterior upgrades, we submit our proposal.

Our proposal is based on the following:

\$42,756.00

- **General Conditions:**

1. Provide supervision of sub-contractors and Lopiccolo Construction crew throughout construction.
2. Provide protection of surrounding areas. Provide daily cleanup.
3. Provide dumpster and all dump fees.
4. Provide Sani-Hut for crew members.
5. Provide lift equipment.

- **Paint:**

1. Exterior paint of all wood doors and trim.
2. Pressure wash exterior.
3. Scrape and or sand any loose or peeling paint to a sound surface.
4. Spot prime all bare areas.
5. Re-caulk as needed.
6. Paint with acrylic latex paint.

- **Awnings:**

1. Fabricate and install two new barrel awnings to Carson Street side of building.

- **Paver Stones:**

1. Building Parking Lot & Driveway: Remove existing asphalt and replace approximately 2105 s.f. of parking/driveway area. Excavate subgrade to allow for 6" type II road base covered by 1" paver sand and repave parking area in a standard, smooth "Basalite" paver (I Pattern, Positano color). Paved area will be filled with sand, non-polymeric filler.
2. Rear Patio/Parking Lot: Remove existing gravel, excavate and place approximately 1000 s.f. of new parking area. Excavate subgrade to allow for 6" type II road base covered by 1" paver sand and repave parking area in a standard, smooth "Basalite" paver (I Pattern, gray color). Paved area will be filled with sand, non-polymeric filler.

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- **Clarifications and Exclusions:**

1. All work to be done during regular working hours Monday thru Friday 7:00am to 3:30pm.
2. Permits or City fees are excluded.
3. Hidden and/or unforeseen conditions.

Should you have any questions please do not hesitate to call.

Sincerely,

A handwritten signature in blue ink, appearing to read 'ML', is written over a horizontal line.

Mark Lopiccolo - Owner
Lopiccolo Construction

RESIDENTIAL • COMMERCIAL • RENOVATIONS • REMODELS • NEW CONSTRUCTION

BID FILE: 2nd St Improvements

Exterior Improvements

Last Changed-

By: Lora

On: 04/15/16 12:57 PM

CODE	ACTIVITY	COMPLETE?	LAB-HRS	LABOR	MATERIAL	SUBCON	EQUIP	OTHER	TOT COST	PROF%	BID
01	GENERAL REQUIREMENTS	Y									
0105	Supervision	Y	20.00	1,301					1,301		
0110	Cleanup	Y	8.00	296					296		
0140	Protection	Y	10.00	370					370		
0150	Dumpster	Y						125	125		
0151	Sani Hut	Y						125	125		
0160	Equipment Rental	Y					750		750		
TOTAL GENERAL REQUIREMENTS			38.00	1,967			750	250	2,967		
02	SITE WORK	Y									
0261	Concrete Pavers	Y				24,038			24,038		
TOTAL SITE WORK						24,038			24,038		
09	FINISHES	Y									
0990	Painting	Y	120.00	6,006	825				6,831		
TOTAL FINISHES			120.00	6,006	825				6,831		
10	SPECIALTIES	Y									
1010	Awning	Y				6,500			6,500		
TOTAL SPECIALTIES						6,500			6,500		
TOTAL			158.00	7,973	825	30,538	750	250	40,336		
									OVERHEAD	0.0	
									PROFIT	2.420	6.0
									TOTAL		42,756

BID FILE: 2nd St Improvements
Exterior Improvements
Last Changed-
By: Lora
On: 04/15/16 12:57 PM

123 W 2nd St. Estimated Cost Breakdown
Excluding Parking Lot and Paver Area

CODE	ACTIVITY	COMPLETE?	LAB-HRS	LABOR	MATERIAL	SUBCON	EQUIP	OTHER	TOT COST	PROF%	BID
01	GENERAL REQUIREMENTS	Y									
0105	Supervision	Y	20.00	1,301					1,301		
0110	Cleanup	Y	8.00	296					296		
0140	Protection	Y	10.00	370					370		
0150	Dumpster	Y						125	125		
0151	Sani Hut	Y						125	125		
0160	Equipment Rental	Y					750		750		
TOTAL GENERAL REQUIREMENTS			38.00	1,967			750	250	2,967		
09	FINISHES	Y									
0990	Painting	Y	120.00	6,006	825				6,831		
TOTAL FINISHES			120.00	6,006	825				6,831		
10	SPECIALTIES	Y									
1010	Awning	Y				6,500			6,500		
TOTAL SPECIALTIES						6,500			6,500		
TOTAL			158.00	7,973	825	6,500	750	250	16,298		
									OVERHEAD	1,630	10.0
									PROFIT	1,076	6.0
									TOTAL	19,004	



123 W. 2nd Street



123 W. 2nd Street



123 W. 2nd Street

RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Lopiccolo Family Trust

NAME OF BUSINESS / APPLICANT

3655 Arrowhead Dr. #140, Carson City, NV 89706

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-9447

PHONE #

WEBSITE URL

Lopiccolo Family Trust

NAME OF PROPERTY OWNER

Same

MAILING ADDRESS, CITY, STATE, ZIP CODE

Same

markl@lopiccoloconstruction.com

PHONE #

EMAIL

224 S. Carson St. C.C. APN 003-112-05

PROPERTY ADDRESS/APN

Commercial

PROPERTY ZONING

~~\$125,091.00~~ 25,000

TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

224 S. Carson St. Façade Improvements

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

Rebuild and reframe existing posts. Face with stone veneer and caps. Install new facade finishes, i.e. tile, stone, siding, trim. Paint exterior complete. Remove and replace existing roof.

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: 4-13-16

Estimated Project Completion Date: _____

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6; 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Property Owner's Signature:

Date:

4-15-16

Commercial Building Exterior Renovation
224 S Carson St / 110 W 3rd St

Line Item	Description	Cost
Rebuild 6 Posts	Re-Frame 6 existing posts to include concrete footing, incorporate roof drainage 24" x 24" base, 32 " high, faced in stone with cap	
Labor		2000
Materials	Framing	350
Trim		160
Masonry L & M	Posts	3566
	Wainscot on Pop's Replace tile with stone	3119
	Cap	1000
	Total Posts and Masonry	10195
Remove and Replace Roof		
Demo Existing		5000
Dump Fees		2000
Frame Drainage		
Labor		6000
Materials		6000
Roof Drain Units (3)		1050
ABS Drain Pipe and Fittings		800
Labor		2000
Re Frame Roof 5/12 pitch		4000
Labor		2500
Materials		1500
Ridge Cap		1500
Tar Paper		2000
Labor		1680
Install New TPO Roof		18000
Metal Flashing		1000
	Total Roof	55030
Rebuild / Replace 3rd St Façade		
Façade Roofing - Shingles L & M		1920
Siding / New Trim and Fascia		
Materials		1920
Labor		5600
Under Overhang Soffiting		
Materials		1296
Labor		2500
Post Trims		
Materials		860
Labor		1120
Painting Entire Exterior		
Materials		2450
Labor		8000
Electrical	Heat Tape and exterior outlets	1200
	Total Façade Improvements	26866
Install Grease Interceptor	Underground 1500 gallon L&M	20000
	Total Grease Interceptor	20000

Commercial Building Exterior Renovation
224 S Carson St / 110 W 3rd St

Permits	1000
Project Supervision	12000
Estimated Time Frame 5-6 weeks	
Total	125091


Submitted by:
Marco Construction and Cabinets, Inc
General Contractor
Nevada License # 00506695



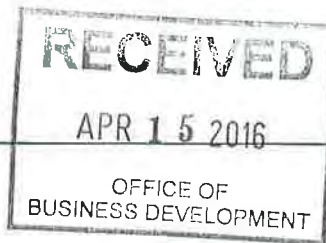
224 S. Carson Street



224 S. Carson Street



224 S. Carson Street



Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701

Façade Improvements Funding Request Form

Lopiccolo Investments LLC

NAME OF BUSINESS / APPLICANT

3655 Arrowhead Dr. #140, Carson City, NV 89706

MAILING ADDRESS, CITY, STATE, ZIP CODE

775-882-9447

PHONE #

WEBSITE URL

Lopiccolo Investments LLC

NAME OF PROPERTY OWNER

Same

MAILING ADDRESS, CITY, STATE, ZIP CODE

Same

markl@lopiccoloconstruction.com

PHONE #

EMAIL

310 So. Carson St. C.C. APN 003-113-09

PROPERTY ADDRESS/APN

Commercial

PROPERTY ZONING

~~\$71,254.00~~ 25,000. *ML*
TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

310 S. Carson St. Façade Improvements

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

Repair piers/demo eight existing posts. Install eight new posts with decorative trim. Install new stairway to upper deck at rear of building. Install new roof/deck system over existing storage room at rear of building. Paint railings and new posts.

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: 4-17-16

Estimated Project Completion Date: _____

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Mark Lopezcolo

Property Owner's Signature:

[Signature]

Date:

4-15/16



April 15, 2016

Lopiccolo Investments/St. Charles Hotel
310 S. Carson Street
Carson City, NV 89701

Re: Job # 028-16

Proposal #028-16-1
Exterior Upgrades

In response to your request to price the exterior upgrades, we submit our proposal.

Our proposal is based on the following:

\$71,254.00

- **General Conditions:**

1. Provide supervision of sub-contractors and Lopiccolo Construction crew throughout construction.
2. Provide protection of surrounding areas. Provide daily cleanup.
3. Provide dumpster and all dump fees.
4. Provide Sani-Hut for crew members.
5. Provide lift equipment.

- **Demolition:**

1. Demo existing deck and eight posts.
2. Remove existing lights and outlets. Safe off during construction.

- **Concrete:**

1. Repair existing concrete piers at front deck for eight new posts.
2. Pour new piers for new rear stairs to existing upper deck.

- **Metals:**

1. New hardware for posts/piers.

- **Carpentry:**

1. Install new 6" x 6" posts from piers to existing beam.
2. Wrap new posts with "Smart" trim and build out base for a pedestal look.
3. Build new rear stairs leading to upper existing deck.
4. Install new "Nexan Building Products" roof/deck system over existing storage room.

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- **Paint:**

1. Exterior painting of railings and new posts.
2. Pressure wash exterior.
3. Scrape and or sand any loose or peeling paint to a sound surface.
4. Spot prime all bare areas.
5. Re-caulk as needed.
6. Paint with acrylic latex paint.

- **Electrical:**

1. Reinstall existing lights and outlets on four posts.

- **Clarifications and Exclusions:**

1. All work to be done during regular working hours Monday thru Friday 7:00am to 3:30 pm.
2. Permits or City fees are included.
3. Hidden and/or unforeseen conditions.

Should you have any questions please do not hesitate to call.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mark Lopiccolo', is written over the word 'Sincerely,'.

Mark Lopiccolo - Owner
Lopiccolo Construction

RESIDENTIAL • COMMERCIAL • RENOVATIONS • REMODELS • NEW CONSTRUCTION

BID FILE: St Charles
Exterior Renovations
Last Changed-
By: Mark
On: 04/15/16 01:30 PM

CODE	ACTIVITY	COMPLETE?	LAB-HRS	LABOR	MATERIAL	SUBCON	EQUIP	OTHER	TOT COST	PROF%	BID
01	GENERAL REQUIREMENTS	Y									
0104	Supervision Princip	Y	40.00	3,003					3,003		
0110	Cleanup	Y	25.00	926					926		
0140	Protection	Y	10.00	370	35				405		
TOTAL GENERAL REQUIREMENTS			75.00	4,299	35				4,334		
02	SITE WORK	Y									
0211	Demolition	Y	64.00	2,370					2,370		
0216	Haul Off & Dump Fees	Y						600	600		
0225	Core Drilling	Y				160			160		
TOTAL SITE WORK			64.00	2,370		160		600	3,130		
03	CONCRETE	Y									
0315	Concrete	Y				3,200			3,200		
TOTAL CONCRETE						3,200			3,200		
05	METALS	Y									
0512	Structural Steel	Y			160				160		
TOTAL METALS					160				160		
06	CARPENTRY	Y									
0601	Carpentry Materials	Y			1,944				1,944		
0610	Rough Carpentry	Y	80.00	3,924					3,924		
0615	Decking	Y	140.00	6,867	21,085				27,952		
0620	Finish Carpentry	Y	96.00	4,709	1,600				6,309		
TOTAL CARPENTRY			316.00	15,500	24,629				40,129		
09	FINISHES	Y									
0990	Painting	Y	120.00	6,006	775				6,781		
TOTAL FINISHES			120.00	6,006	775				6,781		
10	SPECIALTIES	Y									
TOTAL SPECIALTIES											

BID FILE: St Charles

CODE	ACTIVITY	COMPLETE?	LAB-HRS	LABOR	MATERIAL	SUBCON	EQUIP	OTHER	TOT COST	PROF%	BID
16	ELECTRICAL	Y									
1612	Electrical	Y				2,200			2,200		
TOTAL ELECTRICAL						2,200			2,200		
17	ARCHITECT/ENGINEER	Y									
1700	Permit Allowance	Y						1,200	1,200		
1712	Architectural Plans	Y				1,200			1,200		
1720	Structural Engineer	Y				500			500		
TOTAL ARCHITECT/ENGINEER						1,700		1,200	2,900		
TOTAL			575.00	28,175	25,599	7,260		1,800	62,834		
									OVERHEAD	5,027	8.0
									PROFIT	3,393	5.0
									TOTAL		71,254

1213 26th Street SW, Cullman, AL 35055
T. 256-739-6172 F. 256-739-6173

QUOTE

Number AAAQ115198

Date Apr 6, 2016

Sold To

Lopiccolo Construction
Jenny Lopiccolo
Carson City, Nv 89703

Phone (775) 772-9579

Fax

Email jennylopiccolo@gmail.com

Ship To

Lopiccolo Construction
Jenny Lopiccolo
Carson City, Nv 89703

Phone (775) 772-9579

Fax

Email jennylopiccolo@gmail.com

Salesperson

Crystal Carpenter

Quote Expires

4/30/2016

Ship Via

Project

T8 Picture for Railing

Line	Qty	Units	Description	Unit Price	Ext. Price
1	71	ea	30'-2" Lockdry Main - Solid Color	\$150.53	\$10,687.63
2	1	ea	30'-2" Lockdry Starter - Solid Color	\$150.53	\$150.53
3	1	ea	30'-2" Lockdry Finisher - Solid Color	\$150.53	\$150.53
4	2	ea	12'-2" Lockdry Starter - Solid Color	\$60.71	\$121.42
5	2	ea	12'-2" Lockdry Finisher - Solid Color	\$60.71	\$121.42
6	2	ea	14'-2" Lockdry Starter - Solid Color	\$70.69	\$141.38
7	2	ea	14'-2" Lockdry Finisher - Solid Color	\$70.69	\$141.38
8	3	ea	14' Flashing - 1" x 1" - Solid Color	\$16.00	\$48.00
9	14	ea	14' Edge Trim - 1.5" x 1.5" - Solid Color	\$16.00	\$224.00
10	2,320	ea	Decking Screws S.S. #10 x 1 1/2"	\$0.12	\$278.40
11	430	ea	Trim Screws S.S. #10 x 1"	\$0.12	\$51.60
12	93	lin.ft.	Traditional Picket Railing - 42" Tall - Color	\$38.00	\$3,534.00
13	33	lin.ft.	Traditional Picket Stair Railing - 42" Tall - Color	\$46.00	\$1,518.00
14	21	ea	4" Post Flat Base Mount - Color	\$87.00	\$1,827.00
15	21	ea	Post Hardware for LockDry	\$20.00	\$420.00
16			SubTotal		\$19,415.29
17			Discount Valid through 4/30/16		-\$2,329.83

Shipping Notes:

Purchase Options - US Funds Only

Certified funds or cleared checks are required before shipment

Weight

4,153

SubTotal	\$17,085.46
Tax	\$0.00
Shipping	\$4,000.00
Total	\$21,085.46
Deposit Required	\$10,542.73

☐ 1/2 Down, Balance when Shipped ☐ Pay in Full

☐ Credit Card ☐ Certified Check - Money Order - Wire Transfer

*** Acceptance of Quote ***

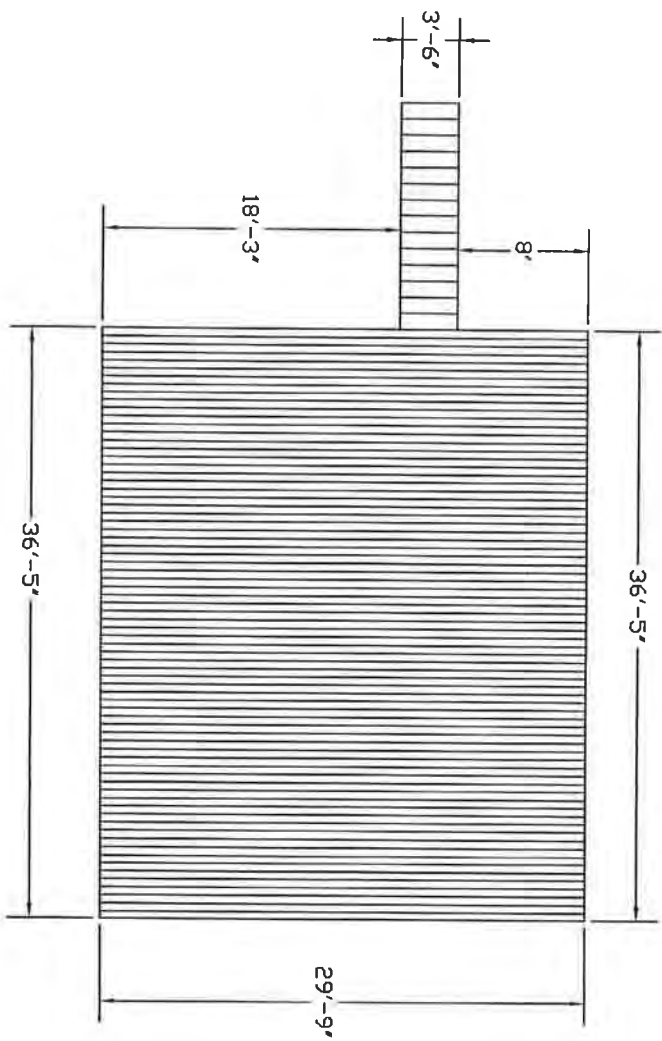
I accept this quote as submitted. Payment will be made as outlined above.

Print Name:

Sign Name:

Date:

It is the customer's responsibility to ensure that the products meet local building standards and codes. The seller asserts that the product meets industry standards, however, the customer's local standards and codes may be more or less stringent. Due to custom design requirements we can not offer refunds or exchanges. Prices quoted are subject to change without notice due to market conditions beyond the control of Nexan Building Products, Inc.. Said conditions include but are not limited to the cost of fuel, material and shipping. Taxes, fees and duties outside of the state of Alabama are the responsibility of the customer. Seller reserves the right to correct all clerical errors in any quotation, order acknowledgment or invoice.



NEXAN BUILDING PRODUCTS, INC.			
1213 26th Street SW Gullman, AL 36055 (256) 739-6172			
CUSTOMER Jenny Lopiccio			
SIZE	DRAWN BY:	SCALE	DATE
B	CRYSTAL	N/A	4/6/16



Location 8 new posts and concrete piers North side

Location New Decking , Stairs and Rail System—West Side 2nd Floor



Photo of NEW Decking / Railing / Stair System





THESE POST WERE ALL ROTTEN AND NEEDED TO BE REPLACED
PIERS HAD TO BE RAISE TO ACCOMMODATE NEW PAYER DECK

(E) POST (E) POST (E) POST (E) POST (E) POST (E) POST (E) POST

R#R 8 POSTS
ADD TO (E) PIERS

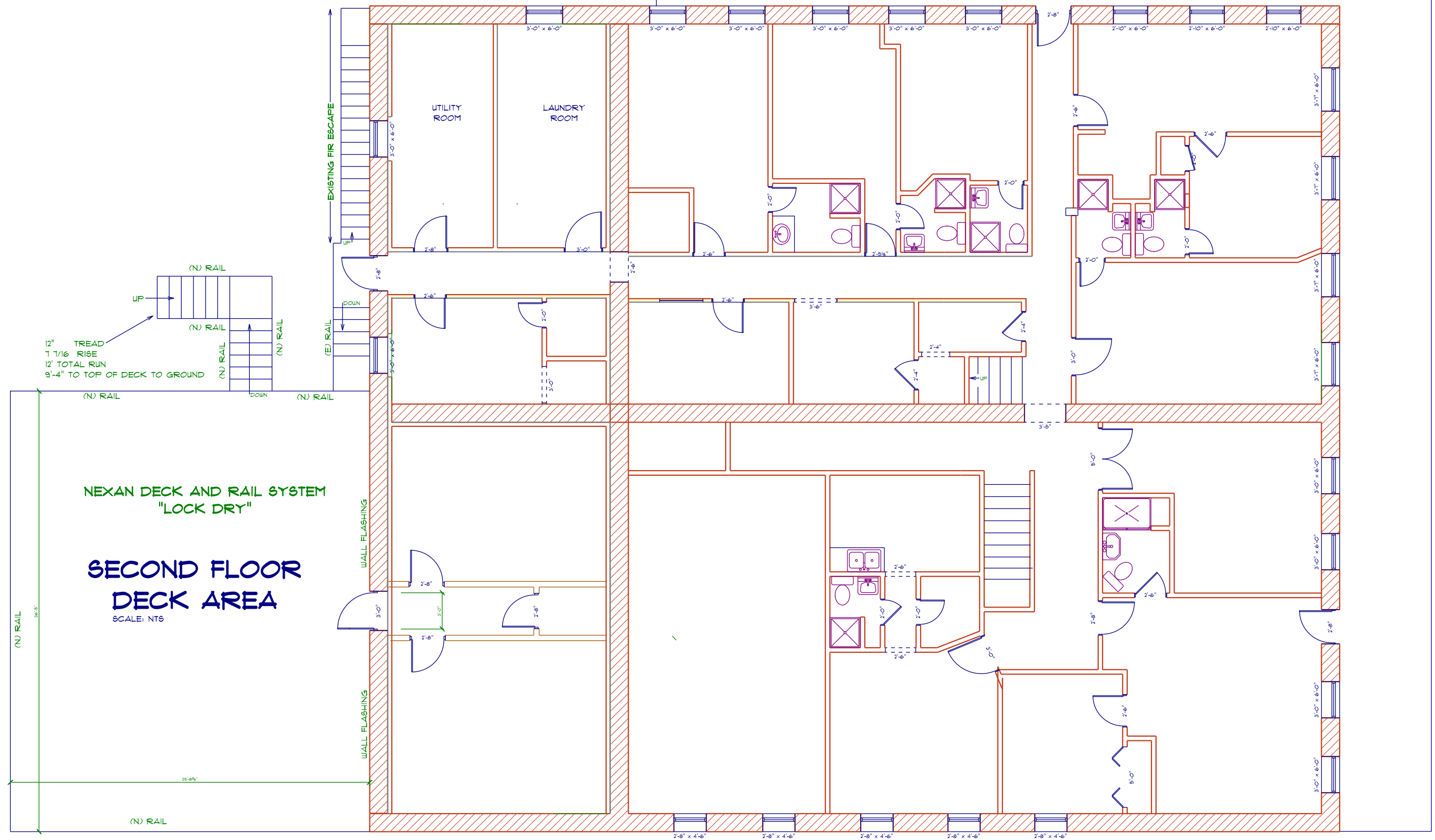
The diagram illustrates a bridge pier structure. A horizontal line represents the deck, with eight vertical posts labeled '(E) POST' spaced evenly along it. Above this line, a green cloud contains the text: 'THESE POST WERE ALL ROTTEN AND NEEDED TO BE REPLACED' and 'PIERS HAD TO BE RAISE TO ACCOMMODATE NEW PAYER DECK'. Below the line, a blue cloud contains the text: 'R#R 8 POSTS' and 'ADD TO (E) PIERS'. Two blue arrows originate from this bottom cloud, pointing towards the first and last '(E) POST' on the line.

THESE POST WERE ALL ROTTEN AND NEEDED TO BE REPLACED
PIERS HAD TO BE RAISE TO ACCOMMODATE NEW PAYER DECK

(E) POST (E) POST (E) POST (E) POST (E) POST (E) POST (E) POST

R#R 8 POSTS
ADD TO (E) PIERS

The diagram illustrates a bridge pier structure. A horizontal line represents the deck, with eight vertical posts labeled '(E) POST' spaced evenly along it. Above this line, a green cloud contains the text: 'THESE POST WERE ALL ROTTEN AND NEEDED TO BE REPLACED' and 'PIERS HAD TO BE RAISE TO ACCOMMODATE NEW PAYER DECK'. Below the line, a blue cloud contains the text: 'R#R 8 POSTS' and 'ADD TO (E) PIERS'. Two blue arrows originate from this bottom cloud, pointing towards the first and last '(E) POST' on the line.



RECEIVED

APR 15 2016

OFFICE OF
BUSINESS DEVELOPMENT



Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701

Façade Improvements Funding Request Form

HURONOUT LLC, Ellen DeChristopher, Sole Mgr.

NAME OF BUSINESS / APPLICANT
P.O. Box 1539, Carson City, NV 89702

MAILING ADDRESS, CITY, STATE, ZIP CODE
614-313-3375

PHONE # WEBSITE URL

HURONOUT LLC

NAME OF PROPERTY OWNER
P.O. Box 1539, Carson City, NV 89702

MAILING ADDRESS, CITY, STATE, ZIP CODE
614-313-3375 dechristopher11@aol.com

PHONE # EMAIL

631 N. Division Street

PROPERTY ADDRESS/APN
Residential Commercial Mix

PROPERTY ZONING

25,000.00
\$
TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

631 N. Division Rebuild

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☒

Redevelopment Area #2 ☐

Project Description (please provide as much detail as possible):

This two story building previously housed a dental practice on the top floor with open parking beneath. The exterior was unflattering and incompatible with homes and businesses in the surrounding area, and it has created an attractive nuisance in its vacant status for the past few years. Huronout LLC purchased the property in 2015 and with the help of local architect Rob Darney and local contractor DG Hand, we are now in the process of developing this building into a residential/office mix to support the Downtown Redevelopment vision of living space above business/retail. This is an HRC approved project.

The residence is a well appointed 2 bedroom, 2 bath apartment on the upper level with high end finishes. The previous open space below has been enclosed to create an office space suitable for small business owners, professionals and visiting legislators. Our intent is to locate a tenant who will want to live and work out of this address.

As noted in the exterior plan, two balconies and two dormer windows have been added to the previously flat elevation. The addition of a new roof, awnings, DSC lighting, Pella windows and doors and a Craftsman style paint scheme will turn this out of place property into a grand example of how change can honor the past.

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

Estimated Project Start Date: in progress

Estimated Project Completion Date: July 1, 2016

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name:

Ellen De Christopher, Huronout LLC

Property Owner's Signature:



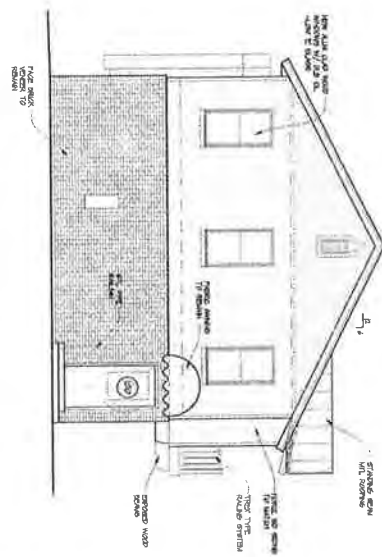
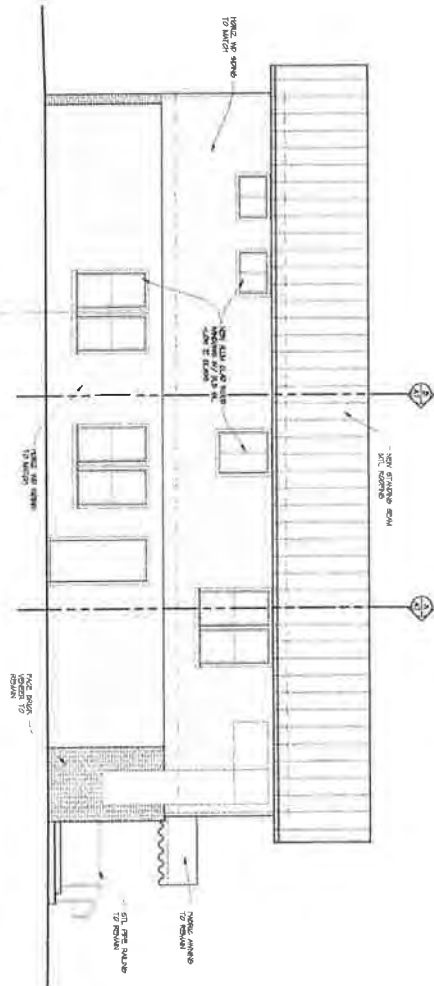
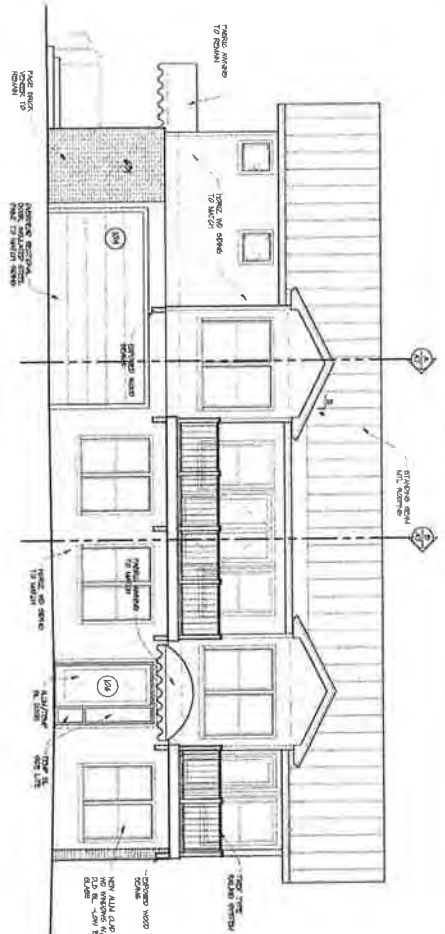
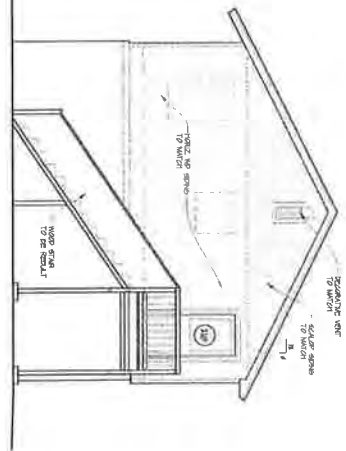
Date:

4/15/16





631 N. Division



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

DATE	10-19-2015
VERSION #	ICMD
DRAWING BY	BMJ
SCALE	AS SHOWN
SHEET NO.	A6

PROJECT RESIDENTIAL CONVERSION & EXTERIOR FACADE REMODEL
HURONOUT LLC
631 N. DIVISION ST. APN: 003-286-01

SHEET TITLE
EXTERIOR ELEVATIONS

[illegible]

ROBERT M. DARNEY
ARCHITECT

Design Development Planning

490 Hot Springs Road, Carson City, NV 89706
PHONE: (775)883-3444 FAX: 882-4016
E-MAIL: darneyarch@sbcglobal.net



Paint Scheme

631 N. Division
Huronout LLC

D.G. HAND CONSTRUCTION CO., INC. LIC.#34109
1595 N. LOMPA LANE PHONE:775 883-2526
CARSON CITY, NV. 89701 FAX: 775 883-1940

ESTIMATE

Huronout llc.
631 N. Division St.
Carson City, Nv. 89703

Scope of Work:

Remove/replace roof covering-	\$ 8,400.00
Frame new balconies and dormers-	\$ 6,350.00
Install new Pella windows-	\$21,445.00
Remove/replace siding/trim-	\$ 6,985.00
Remove/replace all exterior doors-	\$ 3,215.00
Paint exterior siding/trim/doors-	\$ 6,300.00
Remove/replace exterior lighting-	\$ 645.00
<u>Remove/replace Concrete drive/walk-</u>	<u>\$ 5,900.00</u>
Sub-Total-	\$59,240.00
15% Overhead/Profit-	\$ 8,886.00

Total Estimate- \$68,126.00

Thank you for the opportunity to bid!

DG Hand Construction



72 E. Freeport Blvd. – Sparks, NV 89431 – (775) 359-0700

License #32612 – Bid limit: \$950,000.00

Preliminary Estimate for:

**Huronout LLC. – 631 N. Division St. – Carson City, NV.
89703**

Scope of work:

Roofing replacement:	\$ 8,600.00
Rough framing – dormers and balconies:	\$
6,500.00	
Window replacement – ‘Pella’ brand:	
\$21,500.00	
Siding replacement:	\$ 7,000.00
Exterior door replacement:	\$
3,250.00	
Paint – new siding, doors and trim:	\$ 6,400.00
Concrete drive/walkway replacement:	\$ 6,000.00
<u>Miscellaneous exterior lighting:</u>	<u>\$</u>
<u>650.00</u>	
Subtotal:	\$59,900.00

<u>10% overhead + 10% profit:</u>	<u>\$11,980.00</u>
--	---------------------------

Total:	\$71,880.00
---------------	--------------------

*NV. Lic. 18897
Commercial - Residential - Insurance work - Remodeling*

Rankin Construction Co.

*4475 Bigelow Dr.
Carson City, NV 89701
(775) 882-4924
Fax (775) 882-4924*

Estimate for: HURONOUT LLC
Project: 631 N. Division Façade Improvement

ITEM COST

Roof 9,400
Framing - Balconies & Dormers 8400
Install Aluminum Clad Windows 20,800
Remove & Replace Siding and Trim 8400
Remove & Replace Exterior Doors 5640
Exterior Paint 5400
Install Dark Sky Complaint Exterior Lighting Fixtures 1450
Remove & Replace Concrete Drive/Walk 12250

Sub Total 71,740

Overhead Profit 10761

Total Estimate 82,501

Thank You
Bill Rankin 4-14-2016

RECEIVED

APR 19 2016

OFFICE OF
BUSINESS DEVELOPMENT

Carson City
Office of Business Development
108 East Proctor Street
Carson City, NV 89701



Façade Improvements Funding Request Form

Grandma Hattie's

NAME OF BUSINESS / APPLICANT

2811 S. Carson Street, Carson City, NV. 89701

MAILING ADDRESS, CITY, STATE, ZIP CODE

775 882 4900 N/A

PHONE #

WEBSITE URL

John D. Hurzel/JJJ investments LLC

NAME OF PROPERTY OWNER

P.O. Box 2433, Carson City, NV. 89702

MAILING ADDRESS, CITY, STATE, ZIP CODE

775 720 9177 johnhurzel@me.com

PHONE #

EMAIL

2811 S. Carson Street, Carson City, NV. 89701

PROPERTY ADDRESS/APN

Retail/Comercial

PROPERTY ZONING

\$ 20,000.00
TOTAL FUNDING REQUEST

All exterior building façade and signage updating and maintenance, including but not limited to painting, lighting, awnings, doors, fascia, and other decorative elements are eligible to receive Façade Improvement Program funds. (Landscaping is not an eligible expense.)

Hattie's Sign Upgrade

PROJECT NAME

Project Area (check one):

Redevelopment Area #1 ☐

Redevelopment Area #2 ☒

Project Description (please provide as much detail as possible):

Manufacture and install one internally illuminated D/F cabinet sign and repaint existing pole cover.

Lighting T-8 Fluorescent

Face Flex Face

Vinyl Color 3m Translucent

Retainer 5' flat, painted

Return Painted to match retainer

Finish Semi Gloss

Pole Cover repaint existing Pole

Removal Remove existing cabinet sign and dispose

The following must be submitted with a complete application:

- Photographs of existing façade.
- A cost estimate from a contractor or design professional licensed to perform the applicable work for all eligible improvements.
- Plans and elevations of proposed improvements. Plans must include sufficient detail to show all elements of the project.

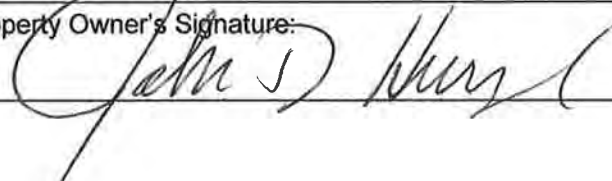
Estimated Project Start Date: June 1, 2016

Estimated Project Completion Date: June 30, 2016

Acknowledgement of Application Provisions: (please check each that you acknowledge)

- ☒ I affirm that this project conforms to all applicable codes, ordinances and regulations.
- ☒ All improvements shall be reviewed pursuant to and comply with the Carson City Development Standards Division 1.1, Architectural Design, as applicable to the proposed improvements.
- ☒ Improvements to buildings within the Downtown Mixed-Use (DTMU) zoning district shall comply with the DTMU Development Standards, Division 6.6, 6.6.2, Lighting, 6.6.3, Signage, 6.6.10, Building Design and Character, and 6.6.11, Guidelines for the Renovation and Restoration of Existing Structures, as applicable to the proposed improvements.
- ☒ All applicable permits will be obtained for this project and all accompanying inspections will be successfully completed to receive reimbursement.
- ☒ I affirm that I am in good standing with the Consolidated Municipality of Carson City with respect to taxes, fees, loans or other financial obligations to the City.
- ☒ I authorize the submittal of this application and affirm that this application and all attachments are true and accurate to the best of my knowledge.

Property Owner's Name: John D. Hurzel

Property Owner's Signature: 

Date: 4-15-16



125 East Glendale Ave.
Sparks, Nevada 89431
Phone: 775-746-4337
[Upload Artwork](#)

Julie's Sign Shoppe, Inc
125 E Glendale Ave
Sparks, NV 89431

Estimate

Date	Estimate #
3/9/2016	2308

Name / Address
Hatties 2811 S Carson St Carson City NV 89401

Ship To

			Project
Description	Qty	Rate	Total
Repair Sign: Clean up existing wire, clean secondary connections, replace broken 300 housings, remove old transformers and debris, secure sheet metal sides with tie-backs to prevent breathing, patch all old screw and bolt holes, remove logo cabinets and LED them. Remove logo can faces and make new. Install disconnect switch on cabinet.	1	5,922.00	5,922.00
To Upgrade sign - all of the above plus removing old neon and replacing with new LED border tube. Also faces to be made for HATTIES RESTAURANT	1	11,686.00	11,686.00
To remove existing cabinet, make new, similar layout.	1	22,633.00	22,633.00
Engineering	1	750.00	750.00
City of Carson permit	1	660.00	660.00
		Subtotal	\$41,651.00
		Sales Tax (0.0%)	\$0.00
		Total	\$41,651.00

Phone #
775-746-4337

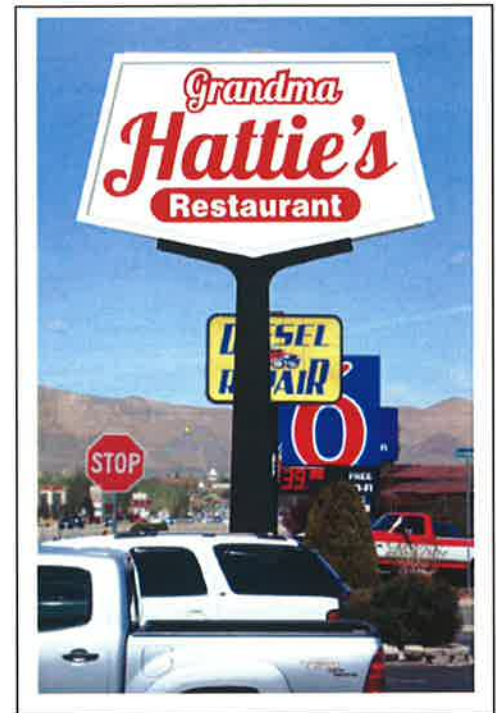
12 April 2016

Grandma Hatties Restaurant
2811 S Carson Street
Carson City, NV 89701

Dear Mr. Hurzel,
YESCO is pleased to present this proposal for the above address per YESCO drawing 569800 revised 7/28/14:

Scope of Services

Remove and dispose of existing D/F cabinet
Repaint existing pole cover
Permit, manufacture & install 10'6.5" x 18'6" cabinet
LED internally illuminated flex face
CASH PRICE \$41,215



Terms and Exclusions

- o Signed Sale Agreement and YESCO drawing.
- o 50% down payment or as outlined for financing.
- o Price is based on performing work during normal business hours.
- o Contingent upon field survey of existing conditions and equipment access.
- o YESCO reserves the right to revise this proposal fifteen (15) days from above date.

I invite you to call me with any questions.

Warm Regards,



Nadine Simala Crawford

Account Executive

Signs and Lighting - Sales and Service

(775) 284-8167

NV contractor's license 0074289 C-2, 0074920 C-6, 0075739 C-14

YESCO Reno

775-359-3131 ■ Phone

775-359-8738 ■ Fax

5350 Capital Court #104
Reno, NV 89502



PROPOSAL AND CONTRACT

2793 GORDON AVE. MINDEN NEVADA 89423

PHONE (775) 882-8875 / 267-3310

FAX (775) 267-3340 / CELL 721-0357

EMAIL: valleycreeksigns@sbcglobal.net

TO: GRANDMA HATTIE'S RESTAURANT
2811 S. CARSON ST.
CARSON CITY, NV 89701

AS THE SIGN STRUCTURE IS OVER 35 YEARS OLD I AM PROPOSING THAT WE REMOVE THE STRUCTURE DOWN TO THE FOUNDATION AND REPLACE WITH NEW. EXISTING CONCRETE FOUNDATION AND SUPPORT POLE WILL BE UTILIZED. 22 GAGE SHEETMETAL AND ANGLE IRON POLE COVER AND SIGN CABINET WILL BE THE SAME SIZE. INDIVIDUAL LIGHTED CHANNEL LETTERS WILL BE FABRICATED OUT OF .040 ALUMINUM BACKS AND RETURNS. FACES WILL BE RED LED ILLUMINATION.

TOTAL PRICE FOR ABOVE	\$43,600.00
SALES TAX	1,656.00
TOTAL CONTRACT	\$45,256.00

State Of Nevada Contractors License # 39199
Limit \$300,000.00

ANY ALTERATION OR DEVIATION FROM THE ABOVE SPECIFICATIONS INVOLVING EXTRA COST OF MATERIAL OR LABOR WILL ONLY BE EXECUTED UPON WRITTEN ORDERS FOR SAME, AND WILL BECOME AN EXTRA CHARGE OVER THE SUM MENTIONED IN THIS CONTRACT. ALL AGREEMENTS MUST BE MADE IN WRITING.

CONTRACT ACCEPTED _____

DATE: _____

RESPECTFULLY SUBMITTED BY:.


DENNIS GRIDER

4-12-16

99



SIDE VIEW

FRONT VIEW

RF-1 DOUBLE FACE ILLUMINATED
Scale: 1/4"=1'-0"

OPTION-1

NOTE: POWER TO BE SUPPLIED BY CUSTOMER

ELECTRICAL PERMIT BY OTHERS

SCOPE OF WORK

MANUFACTURE AND INSTALL ONE(1) INTERNALLY ILLUMINATED
D/F CABINET SIGN AND REPAINT EXISTING POLE COVER

SIGN SPECS

A	CABINET	LIGHTING	T-8 FLUORESCENT			
		FACE	FLEX FACE			
		VINYL COLOR	3M TRANSLUCENT - SEE COLOR KEY			
		RETAINER	5" FLAT, PAINTED			
		RETURN	PAINTED TO MATCH RETAINER			
		FINISH	SEMI GLOSS			
B	POLE COVER	REPAINT EXISTING POLE COVER				
C	REMOVAL	REMOVE EXISTING CABINET SIGN AND DISPOSE				
SHOP DRAWING REQ'D.		NO	ENG. DRAWING REQ'D.	NO	ELEC. HOOKUP INCLUDED	NO

GENERAL NOTES:

NOTE	EXISTING CABINET TO BE REMOVED
	EXISTING POLE COVER TO BE REPAINTED

COLOR KEY

PAINT	SHERWIN WILLIAMS	
	COLOR	TBD
PAINT	SHERWIN WILLIAMS	
	COLOR	TBD
VINYL	3M - TRANSLUCENT	
	COLOR	TBD

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING
MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO
COLOR CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR
APPROVED COLOR SPECIFICATIONS



YESCO LLC

5350 Capital Ct. Suite 104
Reno, NV 89502
Office: 775.359.3131

NV CONTRACTOR LICENSE NO.
0074289 / 0074290

Notice to the Customer

This drawing was created to assist you
in obtaining your proposal. The plans
herein are the property of YESCO.
Permission to copy or reuse this drawing
can only be obtained thru a
written agreement with YESCO.

© 2013 by YESCO LLC
All rights reserved

Note: The colors depicted on this rendering
may not match actual colors used on the
finished display.
Please refer to the detail drawing for the
approved color specifications.

Note: The cost of providing electrical wiring
to the sign area, all required permits and
all special inspections are no included in
this sign proposal.

Note: The proportion of signs shown on
building and landscape site photos is an
approximate representation.

CLIENT:

GRANDMA HATTIES
RESTAURANT

2811 S CARSON CITY
ADDRESS:

CARSON CITY, NV
CITY:

NADINE CRAWFORD
ACCOUNT EXECUTIVE:

DESIGNER	DATE
JIM GRANDE	6/10/14
JIM GRANDE	7/28/14

APPROVAL

CUSTOMER	DATE
LANDLORD	DATE
SALES	DATE
ESTIMATING	DATE
SURVEY	DATE

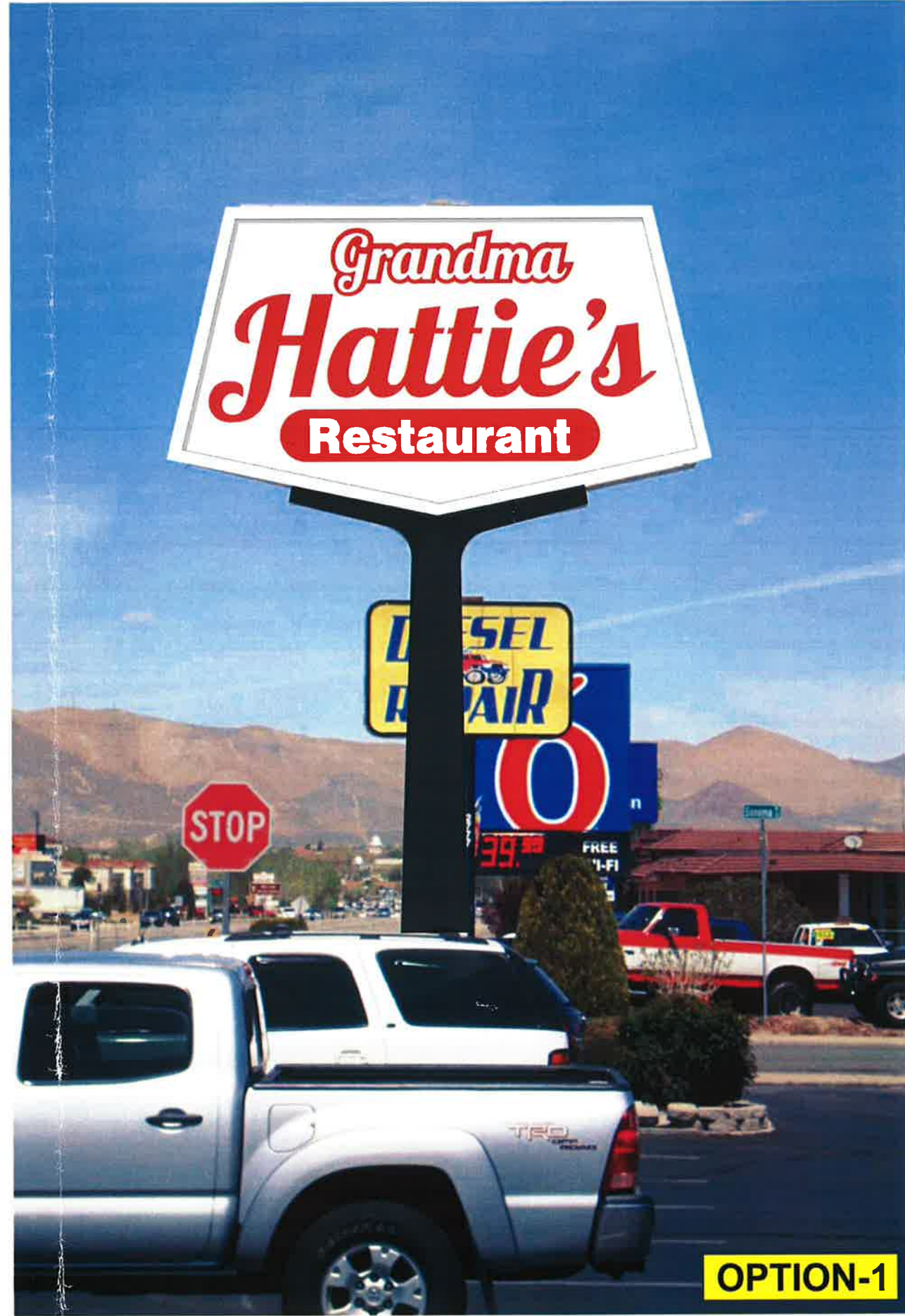
DESIGN NUMBER
569800

ARCHIVE NUMBER

SHEET
P-1



EXISTING SIGN



PROPOSED SIGN

OPTION-1

NOTE: POWER TO BE SUPPLIED BY CUSTOMER

ELECTRICAL PERMIT BY OTHERS



YESCO LLC

5350 Capital Ct. Suite 104
Reno, NV 89502
Office: 775.359.3131

NV CONTRACTOR LICENSE NO.
0074289 / 0074290

Notice to the Customer

This drawing was created to assist you in visualizing our proposal. The ideas herein are the property of YESCO. Permission to copy or reuse this drawing can only be obtained thru a written agreement with YESCO.

© 2013 by YESCO LLC
All rights reserved

Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the actual drawing for the approved color specifications.
Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal.
Note: The proportion of signs shown on building and landscape are photos is an approximate representation.

CLIENT:

GRANDMA HATTIES
RESTAURANT

2811 S CARSON CITY
ADDRESS:

CARSON CITY, NV
CITY:

NADINE CRAWFORD
ACCOUNT EXECUTIVE:

DESIGNER	DATE
JIM GRANDE	6/10/14
JIM GRANDE	7/28/14

APPROVAL

CUSTOMER DATE

LANDLORD DATE

SALES DATE

ESTIMATING DATE

SURVEY DATE

DESIGN NUMBER
569800

ARCHIVE NUMBER

SHEET
P-2