

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF JUNE 29, 2016.

FILE NO.: SUP 16-052

AGENDA ITEM: F-2

STAFF AUTHOR: Hope Sullivan, AICP
Planning Manager

REQUEST:

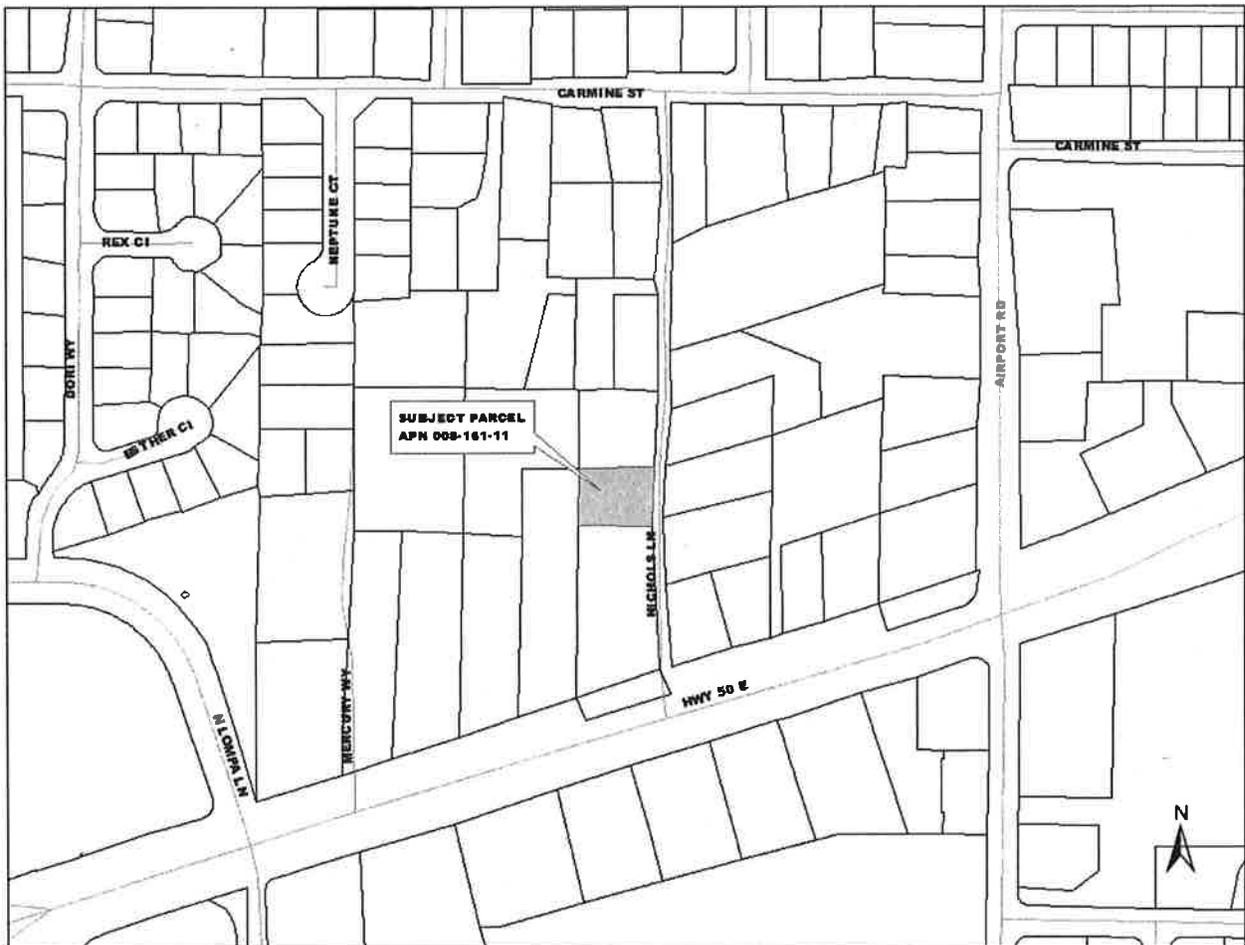
SUP-16-052 For Possible Action: To consider a request for a Special Use Permit from Dane Purcell (property owner: Dane Purcell) to allow an eight-unit multi-family apartment on property zoned General Commercial (GC), located at 1770 Nichols Ln, APN 008-161-11. (Hope Sullivan)

APPLICANT: Dane Purcell

OWNER: Dane Purcell

LOCATION: 1770 Nichols Lane

APN: 008-161-11



RECOMMENDED MOTION:

(A) SUP-16-052 - "I move to approve SUP-16-052, a Special Use Permit request to allow an eight unit apartment building on property zoned General Commercial (GC), located at 1770 Nichols Lane, APN 008-161-11, based on the findings and subject to the recommended conditions of approval in the staff report."

RECOMMENDED CONDITIONS OF APPROVAL

1. All development shall be substantially in accordance with Special Use Permit plans and application materials submitted on May 19, 2016 and supplemented on June 13, 2016, all on file with the Carson City Planning Division.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. All areas intended to serve as common open space shall be improved with landscaping consistent with the open space requirements identified in Section 1.18.6 of the Development Standards. At the time of building permit application, a detailed landscape plan demonstrating compliance with Section 1.18.6 is required to be submitted.
6. All trash and recycling containers on the site shall be screened with trash enclosures meeting the requirements of Section 1.2.6 of the Development Standards.
7. A bike rack shall be installed on site in accordance with Section 1.2.2 of the Development Standards.
8. The applicant shall submit information on any new exterior lighting that is proposed for installation with this facility. Exterior lighting shall comply with Carson City Development Standards, Division 1.3.
9. The applicant shall provide landscaping for the property in compliance with Carson City Development Standards, Division 3 – Landscaping.
10. Project must comply with the adopted 2012 IFC as amended.
11. A monitored fire sprinkler system is required.
12. Fire sprinkler and fire alarm permits are required but can be deferred submittals.

13. A Knox box will be required for the fire sprinkler riser room and fire alarm control panel.
14. Fire flow of 1500 gallons per minute is required with hydrant locations per 2012 IFC Appendix C.
15. Nichols Lane must be improved to a permanent all weather surface (paved) from the end of the existing paving to the north property line on Nichols Lane.
16. The minimum road width must be 20 feet.
17. All projects and improvements must be performed in accordance with Nevada State Revised Statute (NRS) 623 & 624 and Carson City Municipal Code (CCMC) 15.05.020.
18. All Repairs, Replacement, and Alterations must have proper building permits and comply with International Building Code, Uniform Plumbing Code, Uniform Mechanical Code or International Mechanical Code, Fuel Gas Code, Electrical Code, International Energy Conservation Code, and Northern Nevada Amendments.
19. All designs must comply with the International Building Codes Accessibility Standards specifically type A & B units.
20. All Contractors are required to carry state and local license.
21. A Technical Drainage Report prepared and sealed by a licensed engineer must be submitted at the time of application for a construction permit. The report must include on-site and off-site drainage analysis of proposed improvements designed to protect the new structures and existing downstream structures from water damage, and the report must show that negative impacts have been mitigated per Division 14 of the Carson City Development Standards.
22. A fire flow and domestic flow capacity study prepared and sealed by a licensed engineer must be submitted showing the additional usage from the 8 new apartments and that the present system can meet the new flow requirements.
23. The domestic water service line must have a reduced pressure backflow preventer placed just on the customer side of the meter. See NAC 445A.
24. The existing sewer main is 6" and must be replaced with a new 8" main from the north property line to Hwy 50. 8" is the minimum acceptable sewer main size.
25. Full permanent frontage improvements must be constructed across the entire right of way of Nichols Lane along the frontage of the property.
26. All construction and improvements must meet the requirements of Carson City and the State of Nevada Codes and Development Standards.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), CCMC 18.04.135 General Commercial (GC), CCMC DS 1.18 Residential Development Standards in Non-Residential Districts

MASTER PLAN DESIGNATION: Mixed-Use Commercial (MUC)

PRESENT ZONING: General Commercial (GC)

KEY ISSUES: Will the proposed Multi-Family Apartments be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

- EAST: General Commercial (GC)/Single Family Residential
- WEST: General Commercial (GC)/Mobile Homes
- NORTH: Mobile Home 12 (MH-12)/Mobile Home
- SOUTH: General Commercial (GC)/Nursing Home

ENVIRONMENTAL INFORMATION:

- FLOOD ZONE: X Zone (areas of minimal flooding)
- EARTHQUAKE FAULT: Zone II (moderate earthquake potential)
- SLOPE/DRAINAGE: Site is primarily flat

SITE DEVELOPMENT INFORMATION:

- LOT SIZE: 14,375 square feet
- EXISTING DEVELOPMENT: Vacant
- PROPOSED DEVELOPMENT: Eight unit apartment building with landscaping and parking
- PROPOSED PARKING: 20 spaces (2.5 per unit).

• SETBACKS:

	East	West	North	South
Required	0 feet	0 feet	30 feet	0 feet
Proposed	40 feet	3 feet	65 feet	10 feet

- VARIANCES REQUESTED: None

PREVIOUS REVIEWS:

MPR-16-026 – Major Project Review for 8 units.

HISTORY:

On April 5, 2016, the applicant participated in a Major Project Review (MPR-16-026) with City staff for this project to identify any design concerns and to determine specific requirements for the Special Use Permit application. The Major Project Review letter is attached to this staff report for reference.

DISCUSSION:

The applicant is proposing an eight unit apartment building with 20 parking spaces on a 14,375 square foot lot. All units are proposed to be two bedroom units. Each first floor unit will have a back door to access a “backyard” area, and each second floor unit will have access to a 100

square foot balcony. The applicant has also identified 1,243 square feet of common open space.

Staff has determined that the appropriate mechanism to process the request for multi-family dwellings in the General Commercial zoning district is by Special Use Permit. A Special Use Permit is required per the Carson City Municipal Code, Section 18.04.135 – General Commercial, which states that multi-family dwellings are allowed as a conditional use. Carson City Development Standards Section 1.18 provides standards for residential development in non-residential districts. Of note, there is no maximum residential density within the non-residential zoning districts. Rather, the allowable number of residential units is what can be accommodated once the open space, parking, height, and setback requirements are met.

Site Planning

Section 1.2 of the Development Standards addresses Site Design. As noted, “these standards are intended to promote quality development, visual compatibility, safety and consistency through an integration of site design elements....”

The subject property is a 14,375 square foot lot located at 1770 Nichols Lane. The applicant proposes to place the building along the southern property line, with private open space between the nursing home property to the south and the building. Common open space is proposed to the east of the building, along Nichols Lane. The site will have a single point of access off of Nichols Lane.

Section 1.2.1 of the Development Standards states “Primary entries and/or facades of buildings should be oriented towards the street or main parking areas.” Staff finds this objective is met as the primary entryways to the units are oriented toward the main parking area.

Section 1.2.2 of the Development Standards addresses provisions for bike racks in a convenient location close to the building entrances, and the clustering of buildings to create pedestrian plazas or courts. Bike racks are not currently proposed as part of this project. Staff would suggest the inclusion of a bike racks, particularly given this is an infill area, and many services are within biking distance.

Section 1.2.6 of the Development Standards addresses trash enclosures, and notes that “outside areas used for the storage of trash, refuse or recycled materials shall be completely enclosed by a gate and a six foot masonry block wall, and be designed to integrate with the site design.” The site plan shows the location of the dumpster at the west side of the parking area. To ensure it is properly screened, staff recommends a condition of approval that the dumpster screening be consistent with the requirements of Section 1.2.6 of the Development Standards.

Architecture

Architectural design is at a conceptual stage. The applicant proposes to construct a single, two story apartment building to house eight, two bedroom apartments. The overall height of the building is proposed to be 28 feet. In the GC zoning district, buildings may have a height of 45 feet. The applicant proposes to utilize T1-11 siding with a cedar shake accent, and Class A composition shingle roofing.

Section 1.1 of the Carson City Development Standards addresses Architectural Design. Policy 1.1.1 states “The architectural style, massing and proportion of a building should be compatible with and complement its surroundings and environment.” Staff recognizes that most of the development in the area is single story. The property that will be most impacted by the massing

of the proposed building is the nursing home to the south. Although the nursing home has windows on the façade facing the subject property, the windows appear to be covered up. Also, on a portion of the property, there are tall shrubs on the property line adjacent to the nursing home. Given this observation, staff does not find that the proposed two story apartments will impact the existing nursing home.

Landscaping

Division 3 of the Development Standards addresses Landscaping. These standards apply to multi-family residential projects with three or more units. The applicant has identified landscape areas on the plans, but has not provided a plan for the composition of the landscaping. Staff has included a condition of approval that a detailed landscape plan demonstrating compliance with the requirements of Division 3 of the Development Standards be submitted with the application for a building permit. Planning staff will not authorize issuance of the building permit until finding that the proposed landscape plan complies with Division 3. Landscaping must be installed prior to final inspection by the building inspector.

Access, Parking and Traffic

The applicant proposes a single point of vehicular access on Nichols Lane.

Carson City Development Standards, Section 2.1.16 requires that snow storage be considered in the design of all parking areas. The site plan shows a snow storage area at the western end of the parking area.

Per the Carson City Development Standards, Section 2.2 – Number of Parking Space Required, multi-family residential dwellings require two spaces per unit. If the property is located a street that does not allow for on-street parking, an additional parking space per two units is required. Nichols Lane cannot accommodate on-street parking. Therefore, given eight units, twenty parking spaces are required. This is the number of on-site spaces proposed.

Section 2.3 of the Carson City Development Standards provides General Parking Requirements. Per subsection 1, any off-street parking area which abuts or faces a single-family, two family, or multi-family residential district or residential use shall provide screening along the side abutting or fronting on the residential district or use. Solid six foot fencing has been considered adequate screening on other projects. Given adjacent residential uses, screening will be required along the northern property line, and along the western property line.

Given the scope of this application, a traffic study analyzing traffic impacts was not required.

Residential Development Standards in Non-Residential Districts

Residential uses proposed in a commercial zoning district are subject to specific criteria outlined in the Carson City Development Standards, Section 1.18 – Residential Development Standards in Non-Residential Districts. The development standards and how the proposed project meets them are addressed below.

1.18 Residential Development Standards in Non-Residential Districts.

The following standards are intended to establish minimum standards and Special Use Permit review criteria for residential development within the Neighborhood Business (NB), Retail

Commercial (RC), General Commercial (GC), Residential Office (RO) and General Office (GO) zoning districts.

1. *Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts.*

The proposed multi-family use is a conditional use allowed with the approval of a Special Use Permit in the General Commercial (GC) zoning district.

2. *Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of Chapter 18.04.*

The proposed application complies with the height limitations, setback requirements, parking requirements, and open space requirements. The project's proposed residential density is approximately 25 dwelling units per acre. The Master Plan designation for the subject property is Mixed-Use Commercial. This designation encourages up to 25 percent higher density residential uses but also does not specify a maximum permitted density. For reference, the High Density Residential designation in the Master Plan allows up to 36 dwelling units per acre.

3. *Maximum building height shall be the maximum height established by the zoning district in which the project is located.*

The maximum building height in the General Commercial (GC) zoning district is 45 feet. The proposed building is 28 feet.

4. *Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:*

- a. *In the NB, RC, GO and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district.*

Property to the north of the subject property is zoned MH12, and the other surrounding properties are zoned GC. The building is setback 65 feet from the property to the north, thus in compliance with this requirement.

- b. *A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area.*

Nichols Lane is not identified in the Transportation Master Plan as an arterial street.

5. *Required parking. Two spaces per dwelling unit, and in compliance with the Development Standards Division 2, Parking and Loading.*

Per Division 2, two parking spaces are required for each dwelling unit, plus one additional

parking space for each two dwelling units since parking cannot be accommodated on Nichols Lane. With eight units proposed, this results in a requirement for 20 on-site parking spaces. The applicant proposes 20 parking spaces, thus the proposed plan is in compliance with this requirement.

6. *Open Space.*

- a. *A minimum of 150 square feet per dwelling unit of common open space must be provided. For projects of 10 or more units, areas of common open space may only include contiguous landscaped areas within no dimension less than 15 feet, and a minimum of 100 square feet per unit of the common open space area must be designed for recreation, which may include but not be limited to picnic areas, sports courts, a softscape covered with turf, sand or similar materials acceptable for use by young children, including play equipment and trees, within no dimension less than 25 feet.*

The applicant has identified a 1243 square foot area in the southeast corner of the property as common open space to comply with the 1200 square foot requirement. The plans depict a number of utilities in this area as well as a drainage basin. As part of construction plan review, staff will verify that the utility improvements will not compromise the functionality of this area as an open space area.

- b. *A minimum of 100 square feet of additional open space must be provided for each unit either as private open space or common open space.*

As part of the conceptual architectural design, the applicant is proposing that the ground floor units have 100 square foot backyard areas, and that the second floor units are 100 square foot balconies. Based on this, the applicant is providing 100 square feet of private open space per unit.

- c. *Front and street side yard setback areas may not be included toward meeting the open space requirements.*

The GC zoning district does not have a front setback requirement.

7. *Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping.*

The applicant has identified areas for landscaping, but not a detailed landscape plan. A detailed landscape plans that demonstrate compliance with Development Standards, Division 3, should be submitted with the construction plans. Staff has included this statement in the conditions of approval.

8. *Special Use Permit review standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code.*

- a. *The development is not situated on a primary commercial arterial street frontage.*

This finding can be met. Nichols Lane is not a commercial arterial.

- b. *The development is integrated into a mixed-use development that includes commercial development.*
- c. *The applicant has provided evidence that the site is not a viable location for commercial uses.*

This finding can be met. Nichols Lane is a twenty foot wide, dirt road that accommodates two way traffic.

- d. *The site is designated Mixed-Use Commercial, Mixed-Use Residential or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable mixed-use criteria and standards.*

Staff finds that the proposed project meets the applicable development standards required subject to the noted conditions of approval.

PUBLIC COMMENTS: Public notices were mailed to 51 property owners within 405 feet of the subject site on June 10, 2016. As of the writing of this report, two letters from property owners in the vicinity of the proposed project have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 29, 2016, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Division:

1. All projects and improvements must be performed in accordance with Nevada Revised Statutes (NRS) 623 and 624 and Carson City Municipal Code (CCMC) 15.05.020.
2. All repairs, replacements and alterations must comply with International Building Codes, Uniform Plumbing Code, Uniform Mechanical Code or International Mechanical Code, Fuel Gas Code, Electrical Code, Adopted International Energy Conservation Code, and Northern Nevada Amendments.
3. All designs must comply with the International Building Codes Accessibility Standards specifically type A & B units.
4. All contractors are required to carry State and local licenses.

Fire Department:

1. Project must comply with the 2012 IFC and Northern Nevada Fire Amendments.
2. The apartment building must have monitored fire sprinklers.

3. Fire sprinkler and fire alarm permits are required but can be deferred submittals.
4. A Knox box will be required for the fire sprinkler riser room and fire alarm control panel.
5. Fire flow of 1500 gallons per minute is required with hydrant locations per 2012 IFC Appendix C.
6. Nichols Lane must be improved to a permanent all weather surface (paved) from the end of the existing paving to the north property line on Nichols Lane.
7. The minimum road width must be 20 feet.

Engineering Division:

The Engineering Division has no preference or objection to the special use request and suggests the following conditions of approval:

1. A Technical Drainage Report prepared and sealed by a licensed engineer must be submitted at the time of application for a construction permit. The report must include on-site and off-site drainage analysis of proposed improvements designed to protect the new structures and existing downstream structures from water damage, and the report must show that negative impacts have been mitigated per Division 14 of the Carson City Development Standards.
2. A fire flow and domestic flow capacity study prepared and sealed by a licensed engineer must be submitted showing the additional usage from the 8 new apartments and that the present system can meet the new flow requirements.
3. The domestic water service line must have a reduced pressure backflow preventer placed just on the customer side of the meter. See NAC 445A.
4. The existing sewer main is 6" and must be replaced with a new 8" main from the north property line to Hwy 50. 8" is the minimum acceptable sewer main size.
5. Full permanent frontage improvements must be constructed across the entire right of way of Nichols Lane along the frontage of the property.
6. All construction and improvements must meet the requirements of Carson City and the State of Nevada Codes and Development Standards.

Health and Human Services:

No concerns.

Environmental Control Authority:

No concerns.

Parks and Recreation Department:

No comments.

School District:

No comments.

SPECIAL USE PERMIT FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the master plan elements.*

The subject property is designated Mixed Use Commercial. This designation is intended to encourage a more compact, mixed use pattern of development along the city's major gateway corridors. This district generally provides a mix of commercial, retail, and office uses in combination with high-density residential. The residential development on the subject property is consistent with this intent, and places residents near the commercial services on Highway 50.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.*

The site is currently vacant, although there is a shed on the property. Staff finds the site more appropriate for residential development than non-residential development due to the development of surrounding properties and the limited capacity of the road. The residential use will have impacts similar to the surrounding residential uses. Development of this site, including paving the portion of Nichols Lane in front of the site, will reduce dust in the community.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The City's Engineering staff has found that the proposed use will not affect traffic or pedestrian facilities.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

With the exception of water, the project is not anticipated to overburden existing public services and facilities. To ensure adequate water flow, prior to issuance of any construction permits, a fire flow and domestic flow capacity study prepared and sealed by a licensed engineer must be submitted demonstrating that the additional usage from the 8 new apartments will meet the new flow requirements. The fire flow requirement at the hydrant locations is 1500 gallons per minute. To the extent flows do not meet standards, the water main may need to be extended to Carmine to loop the system so as to meet standards.

5. *Meets the definition and specific standards set forth elsewhere in this title for such*

particular use and meets the purpose statement of that district.

Multi-family residential development is a conditional use in accordance with Title 18.04.135 General Commercial Conditional Uses and requires a Special Use Permit. With the approval of this Special Use Permit and recommended conditions of approval, the project will meet the definition and specific standards required to support this use in the General Commercial zoning district.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

As conditioned, the proposed development will not be detrimental to public health, safety, convenience and welfare. Staff is concerned that water flow not be compromised, and that it meet standards. As conditioned, the applicant will need to demonstrate compliance with flow requirements, or identify and install improvements to realize compliance with flow requirements, prior to issuance of any construction permits.

7. *Will not result in material damage or prejudice to other property in the vicinity.*

The proposed project will not result in material damage to other property in the vicinity. Conditions are recommended to ensure that the proposed development does not compromise water flow. Additionally, conditions requiring improvements to the roadway will result in a paved, improved road

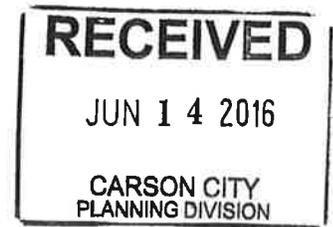
Attachments:

Site Photo
Public Correspondence
City Department Comments
Major Project Review Letter (MPR-16-026)
Application (SUP-16-026)



Rea Thompson

From: Jim McNeill <papamac@sbcglobal.net>
Sent: Monday, June 13, 2016 1:44 PM
To: Planning Department
Subject: Comment on SUP-16-052



I own the property at 1809 and 1821 Nichols Lane.

I understand that the proposed project at 1770 Nichols Lane is being designed to benefit veterans. As one myself, I applaud the effort and offer conditional support for it.

Nichols lane is a narrow, one lane dirt road which is regularly traveled by homeowners and is frequently use by vehicular traffic as a shortcut between Carmine Street and Highway 50. Although the speed limit is supposed to be 15 MPH, people constantly speed up and down the road. And every winter, large potholes and ditches develop in the roadway from runoff which has nowhere else to go. Before any additional construction is approved for Nicholas I believe the road should be metaled & built-in drainage provided. Th drainage channels could easily be constructed in a way that would make them speed bumps or dips, thereb' helping with the speeding.

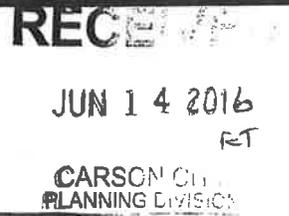
Thank you for your consideration

Jim McNeill Cell: 775.720.5408
CFII/ATP/DPE/LTC (US Army Ret) Email: papamac@sbcglobal.net
Papa Mac Enterprises (PME) Skype: papamac8
McAir, LLC
Shade Tree Micro Aviation

If you've worn shorts and a parka at the same time, you live in Nevada. - Jeff Foxworthy

Rea Thompson

From: Carol Case <carol-case@sbcglobal.net>
Sent: Tuesday, June 14, 2016 1:32 PM
To: Planning Department
Subject: Request by Dave Purcell APN 008-161-11



Regarding the request by Dave Purcell to allow an eight-unit multi family apartment located at 1770 Nichols Lane, APN 008-161-11, as a property owner at 2831 Carmine Street my comments are as follows:

Much of the traffic created by this proposal will exit on Carmine Street, as well as US Hwy 50, and this narrow dirt road is not adequate. At least one power pole will have to be relocated and the road should be widened (for two way travel) and paved. It will be necessary for the City to maintain it, otherwise this application should be denied.

Respectfully,

Charlie M Case, Jr.
369 Arrowhead Dr.
Carson City, NV 89706
775-882-5332

**Engineering Division
Planning Commission Report
File Number SUP 16-052**

TO: Planning Commission

FROM: Rory Hogen, E.I.

DATE: June 20, 2016

MEETING DATE: June 29, 2016

SUBJECT TITLE:

Action to consider an application for a Special Use Permit from Dane Purcell for an 8 unit apartment complex at 1770 Nichols Ln, apn 08-161-11.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. All construction and improvements must meet the requirements of Carson City and State of Nevada Codes and Development Standards.

Conditions of Approval:

1. A Technical Drainage Report prepared and sealed by a licensed engineer must be submitted at the time of application for a construction permit. The report must include on-site and off-site drainage analysis of proposed improvements designed to protect the new structures and existing downstream structures from water damage, and the report must show that negative impacts have been mitigated per Division 14 of the Carson City Development Standards.
2. A fire flow and domestic flow capacity study prepared and sealed by a licensed engineer must be submitted showing the additional usage from the 8 new apartments and that the present system can meet the new flow requirements. The water main may need to be extended to Carmine to loop the system.
3. The domestic water service line must have a reduced pressure backflow preventer placed just on the customer side of the meter. See NAC 445A.
4. The existing sewer main is 6" and must be replaced with a new 8" main from the north property line to Hwy 50. 8" is the minimum acceptable sewer main size.
5. Full permanent frontage improvements must be constructed across the entire right of way of Nichols Lane along the frontage of the property.

CCMC 18.02.080 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans for streets or storm drainage.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The proposal will not affect traffic or pedestrian facilities.

CCMC 18.02.080 (5d) - Public Services

Existing facilities may not be adequate for this project. If the system cannot meet new water flow requirements, the water main must be extended to loop into the main on Carmine. The existing water main is a 6" main, not an 8" as shown on the plan.

May 26, 2016



SUP-16-052:

1. Project must comply with the adopted 2012 IFC as amended.
2. A monitored fire sprinkler system is required.
3. Fire sprinkler and fire alarm permits are required but can be deferred submittals.
4. A Knox box will be required for the fire sprinkler riser room and fire alarm control panel.
5. Fire flow of 1500 gallons per minute is required with hydrant locations per 2012 IFC Appendix C.

Dave Ruben
Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701

Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209

Hope Sullivan

From: Dave Ruben
Sent: Monday, June 20, 2016 7:25 AM
To: Hope Sullivan
Subject: RE: SUP 16-052 1770 Nichols Ln

Please update my comments with these additions:

1. Road must be improved to permanent all weather surface (paved) from the end of existing paving to the north property line on Nichols Lane.
2. Minimum road width is 20'

Thanks

Dave

From: Hope Sullivan
Sent: Sunday, June 19, 2016 11:01 AM
To: Rory Hogen; Stephen Pottey; Dave Ruben; Patrick Pittenger; Dirk Goering
Cc: Daniel Rotter
Subject: FW: SUP 16-052 1770 Nichols Ln

All:
Attached are Rory's comments re: the Nichols Lane apartments. In the MPR, Engineering suggested "all 20 feet of Nichols Lane must be brought to city standards and paved along the property frontage." Fire said "Road must be improved to permanent all weather surface (paved) from the end of existing paving to the north property line on Nichols Lane." Transportation staid "the construction must include construction of the full width of the road adjacent to the property (within the limits of the right-of-way.)" And "the need / justification for curbing will need to be determined in consideration of the required drainage study."

For the SUP – no one has commented on roadway improvements. Last call!

Hope

From: Rory Hogen
Sent: Monday, June 13, 2016 8:23 AM
To: Hope Sullivan; Susan Dorr Pansky; Kathe Green
Cc: Stephen Pottey
Subject: SUP 16-052 1770 Nichols Ln

Here are my comments. Rory

Rory Hogen
Permit Engineering
108 E Proctor St
Carson City, Nevada 89701
(775) 283-7082
rhogen@carson.org



May 20, 2016

SUP 16-052

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the SUP 16-052 at 1770 Nichols Ln. request:

1. ECA has no requirements for this request.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor

Hope Sullivan

From: Shawn Keating
Sent: Saturday, June 11, 2016 10:52 AM
To: Kathe Green; Hope Sullivan
Subject: SUP-16-052

Kathe and Hope, see below for comments on # SUP-16-052:

1. All projects and improvements must be performed in accordance with Nevada State Revised Statute (NRS) 623 & 624 and Carson City Municipal Code (CCMC) 15.05.020.
2. All Repairs, Replacement, and Alterations must have proper building permits and comply with International Building Code, Uniform Plumbing Code, Uniform Mechanical Code or International Mechanical Code, Fuel Gas Code, Electrical Code, International Energy Conservation Code, and Northern Nevada Amendments.
3. All designs must comply with the International Building Codes Accessibility Standards specifically type A & B units.
4. Building Permit fee valuation is based upon the International Code Council Building Journal Index most current February issue.
5. A developer can use a master/standard plan approach for the build out.
6. All Contractors are required to carry state and local license.

Shawn Keating CBO

"There's no use talking about the problem unless you talk about the solution"

Building Official

Carson City Community Development Department

Web page <http://www.carson.org/index.aspx?page=172>

skeating@carson.org

Office 775-887-2310 X 7052

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Carson City Planning Division

108 E. Proctor Street

Carson City, Nevada 89701

(775) 887-2180-Hearing Impaired:711

www.carson.org

www.carson.org/planning

April 25, 2016

Dana Purcell
1890 Indigo Way
South Lake Tahoe, CA 96150

Major Project Review: MPR-16-026

Project Description: Multi-Family Apartment project at 1770 Nichols Lane

Review Date: April 5, 2016

Major Project Review Comments

The Major Project Review Committee has reviewed the proposed plans for an 8 unit apartment building. The following requirements and comments are provided for your use in preparing final plans and submittals for the project. Please be advised that the comments presented in this letter are based on the plans submitted with the Major Project Review application and may not include all the requirements or conditions which may be placed on the project at the time of submittal of planning applications for approval (if applicable) or final plans for building permits. It is hoped, however, that this review will expedite the completion of your project.

Some of the requirements noted below may have already been shown or otherwise indicated in the plans and need only be submitted in the final improvement plan form. Final on- and off-site improvement plans shall be submitted to the Building Division, (108 E. Proctor Street). These plans must contain all appropriate requirements of Development Engineering, Health, Utilities, Fire, and Planning Divisions/Departments.

Planning applications (if applicable), such as Master Plan Amendments, Zoning Changes, Special Use Permits, Variances, Lot Line Adjustments, Parcel Maps, etc. shall be submitted to the Planning Division (108 E. Proctor Street) for review and approval.

SITE INFORMATION:

Address: 1770 Nichols Lane

APN: 008-161-11

Parcel Size: .33 acre

Master Plan Designation: Mixed Use Commercial (MUC)

Zoning: General Commercial (GC)

PLANNING DIVISION

Contact Hope Sullivan, Planning Manager

Special Use Permit - CCMC 18.02.080

1. The project requires a Special Use Permit because a residential use is proposed in the General Commercial zoning district.

Setbacks - CCMC 18.04.195 (Non-residential)

	<u>East Side</u>	<u>West Side</u>	<u>North Side</u>	<u>South Side</u>
Required:	0	0 ft	30 ft adjacent to residential	0 ft
Proposed:	31 ft	3.5 ft	60 ft	10 ft

2. Proposed setbacks are in compliance with zoning district requirements, but it is unknown if they comply with required utility easements. Provide utility information and comply with any additional setbacks required for utility easements not shown on the submitted plan.

Height - CCMC 18.04.195 (Non-residential)

3. The proposed building height is likely in compliance with the maximum height limit of 45 feet for the General Commercial zoning district as the building is two stories. Please call out the building height in the application for a Special Use Permit.

Signs - Carson City Development Standards, Division 4.7.2 Multi-family Residential Uses

4. Signage permitted for the proposed project includes the following:
 - a. One sign denoting the name of the multi-family residential use either freestanding or attached, not exceeding 32 square feet in area;
 - b. One address sign not exceeding four square feet in area for the entire site;
 - c. One address sign not exceeding two square feet for each unit within the complex;
 - d. The maximum height of a freestanding sign shall be six feet in any residential or office zoning district; 15 feet in any other zoning district;
 - e. Illumination of signs shall be by indirect lighting only.
5. A Sign Permit will be required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning Division for information and standards. A Sign Permit application may be obtained from the Building Division. (Development Standards, Division 4.4.1)

Landscaping - Carson City Development Standards, Division 3

6. A landscape and irrigation plan shall be filed with the City and approved by the Director prior to the approval of a site plan or issuance of a building permit. The plan shall be prepared by a landscape architect registered in the State of Nevada, or other person permitted to prepare landscape plans pursuant to Chapter 623A of the Nevada Revised Statutes (NRS). Landscaping on all commercial/industrial projects must be installed or supervised by an individual at the job location with at least one of the following credentials: Certified Landscape Technician, Licensed Landscape Contractor, Certified Landscape Professional, ISA Certified Arborist, Registered Landscape Architect, a C10 Qualified Employee as recognized by the State Contractor's Board, or an equivalent

certification, approved by the Parks & Recreation Department. (Development Standards, Division 3.3)

7. The plans shall include landscape calculations relevant to the application of the standards of Division 3 of the Development Standards and shall include a plant list in a legend format giving the common and botanical names of each plant with a key number or identifying symbol assigned to each plant, the size of the plant, its spacing and the quantity to be used. (Development Standards, Division 3.3.2)
8. The landscape plans shall include construction details for planting, staking, soil amendments and any special requirements for the project and may be an attachment to the plans. (Development Standards, Division 3.3.3)
9. Identification and description of automatic irrigation components to insure that vegetation is adequately serviced through water conserving features is required. Overhead sprinkler irrigation is only allowed on turf areas or other areas requiring overhead sprinkler irrigation. (Development Standards, Division 3.3.5)
10. Trees and significant shrubs shall be preserved whenever possible and shall be considered part of the required landscape area. Preservation of existing 4-inch caliper (6-8 foot for evergreens) healthy trees will be eligible for a 2:1 credit toward the total tree requirement if approved by the Director, up to a maximum of 25% of the requirement for trees on the site. Provide an overlay on all submitted plans of all existing trees with caliper (deciduous) or height (evergreen) and significant shrubs on the site and clearly mark which will be retained on the site and which are proposed to be removed. (Development Standards, Division 3.4)
11. Tree Protection. All deviations from the Tree Protection Code must be approved by the Planning Division. Construction activities can severely damage or kill trees. See the Tree Retention/Protection, Root Pruning Detail, and Excavation Adjacent to Retained Trees in the Development Standards, Division 3 Appendix for additional requirements and information. (Development Standards, Division 3.4.2)
12. Protective Fencing shall enclose the entire area under the canopy drip line of the tree protection zone throughout the life of the project, or until work within the tree protection zone is completed. The fence shall not be moved during construction phase without prior approval of the qualified site professional utilizing the best management practices. The protective fence may be removed at final grading inspection or at the time final landscaping is installed. Refer to the detail in the Development Standards, Division 3 Appendix for sample fence drawing. (Development Standards, Division 3.4.2)
13. All landscaping shall aesthetically enhance and be compatible with the site area. Landscaping shall be installed to enhance the view of the site from public street(s) and adjacent properties. (Development Standards, Division 3.5.1)
14. A minimum of 20% of the site's impervious surfaces excluding the building coverage must be pervious areas of landscape material. The area within the public right-of-way adjacent to a site must be landscaped and may be counted for 25% of the total required landscaped area. In areas with right-of-ways over 20 feet in depth, the Director may modify or waive the requirement for landscaping of the right-of-way. The requirement may also be waived by the Director if the public agency denies permission for an encroachment permit or lease of the area to be landscaped. (Development Standards, Division 3.5.2)

15. Where landscape areas abut sidewalks, drive-aisles, parking areas or other hardscape surfaces, a minimum three-foot wide landscape buffer area must be provided between any turf areas and the hard scape to capture irrigation overspray and runoff. The buffer area may be drip-irrigated plant materials or non-living landscape materials. (Development Standards, Division 3.6.3)
16. The minimum number of trees shall be one tree per 400 square feet of landscape area. Additional trees are required if the number of trees for parking areas and along right-of-way areas as described in Development Standards, Division 3.7.1.a and 3.7.1.b exceed this minimum. The Director may modify this standard for public uses such as parks. (Development Standards, Division 3.7.1)
 - Included in the minimum required number of trees, a minimum of one shade tree must be planted for every 10 parking spaces or fraction thereof, and distributed throughout the parking area surface to provide even shading within the parking lot. For example, 18 parking spaces shall require two trees. A minimum of one deciduous tree shall be placed in each standard sized parking island.
 - Included in the minimum required number of trees, at least one tree shall be placed along the right-of-way frontage for every 30 lineal feet of right-of-way at a point not more than 20 feet from the right-of-way. The Director may allow for different spacing or locations of trees for projects with outside display such as automobile sales lots.
17. Where more than 10 deciduous trees are provided as a part of the landscape plan, a minimum of 50% of the trees shall be of a different species to ensure diversity. Additional species may be required on larger projects. (Development Standards, Division 3.7.2)
18. Non-planted, non-living materials such as wood chips, bark, decorative rock, mulch, stone or other non-living materials may be used as groundcover, and shall be distributed throughout the site. All landscape areas shall be covered with materials suitable for reducing dust and evaporation and shall be designed to improve the aesthetic appearance of the area. An attractive mix of organic and non-organic materials is encouraged. Products which appear to be dirt shall not be used. (Development Standards, Division 3.8.2)
19. A ratio of at least six shrubs (five gallon size), is required for each tree placed or retained on the site. If a large quantity of turf is proposed for the site, the required shrub count may be reduced after review and approval of the submitted landscaping plans by the Planning Division. (Development Standards, Division 3.8.3)
20. On arterial streets, minimum 10 foot wide landscape areas shall be provided along the frontage of the site adjacent to the street. On all other streets, a minimum of six foot wide landscape area shall be provided along the frontage of the site adjacent to the street. On sites with unique constraints, the Director may approve an alternative dimension if the alternative does not compromise the integrity of the landscape plan. (Development Standards, Division 3.9)
21. Tree selection for projects will be guided by the approved Carson City Tree List for Commercial Projects. Trees planted in the City will be installed according to the City's tree planting standards. The approved tree list and standard planting details are located in the Appendix of the Development Standards, Division 3. (Development Standards, Division 3.10.8)

22. Parking and driveway areas shall include concrete curbs or similar improvements as approved by the Director for protection of landscaping. Vehicle overhangs into landscaped areas shall not exceed two feet. Planter areas shall not be less than 72 square feet in size and shall have a minimum width of six feet.)Development Standards, Division 3.11.1)
23. Snow storage should be incorporated within the design of projects and should be oriented for maximum sun exposure for acceleration of melting. Driveways, drive aisles, sidewalks and landscape areas cannot be used for snow storage. Drainage and run-off from snow storage areas shall be considered in the design. (Development Standards, Division 3.11.3)
24. All non-planted landscape areas shall be covered with materials such as mulch. Products which appear to be dirt shall not be used. A weed barrier fabric is required under all rock and cobble mulches and pre-emergent herbicide is recommended. (Development Standards, Division 3.11.5)
25. Conflicts shall be avoided in design of landscape improvements by considering the size and breadth of mature landscaping. Show existing and proposed overhead and underground power lines, utility poles, light standards and utility easements on submitted landscape plans. Fire hydrants, fire connections, water boxes (three feet clearance required), water and sewer service lines (10 feet clearance required for trees), overhead utilities, signs, roof overhangs, light standards etc., shall be taken into consideration in design of landscaping. Show all proposed and existing signage for the site. (Development Standards, Division 3.11.7)
26. All landscape areas must be maintained by the property owners, including using the most current pruning standards accepted by the ANSI International Society of Arboriculture and/or the National Arborist Association. Any damaged or dead plant(s) must be replaced or repaired by the property owners within 30 days following notification by the Director. If the season of the year makes this repair or replacement within a 30 day period impractical, the person responsible for landscaping shall schedule an appropriate time for the completion of the accomplishment of this work as required and approved by the Director. Property owner shall provide a financial security in a form acceptable to the City, in the amount of 150% of the estimated cost of installation of remaining landscape improvements, which shall be filed with the City guaranteeing installation. The estimated cost of the landscaping improvements not yet completed must be verified by the City. (Development Standards, Division 3.13.1)
27. An acknowledgment by the property owner of the required maintenance for a project must be submitted to the City as a part of landscape and irrigation plan submittals. (Development Standards, Division 3.13.3)
28. Diagrams, text and examples are located in the Appendix of the Development Standards, Division 3 including, but not limited to, general landscape and irrigation notes, irrigation legend detail, typical plant list legend example, tree and shrub planting details, emitter layout and staking, bubbler, tree protection, flushing end cap, drip, spray and coupling valves, rotor/pop-up head, irrigation trench wall section, rock wall, wood and pipe bollards, approved tree, shrub, riparian and Historic District lists, pruning, tree retention/protection, root pruning and excavation adjacent to retained tree details. (Development Standards, Division 3.15)

Parking and Loading – Carson City Development Standards, Division 2

29. The number of parking spaces required for various uses is described in the parking section of the CCMC, Division 2.2 of the Carson City Development Standards. Your site requires 16 parking spaces based on two parking spaces required per dwelling unit. Per Development Standards Division 2.3. General Parking. In developments where internal or abutting public streets are reduced to less than the standard street width, thereby prohibiting on-street parking, one additional off-street parking space per two units shall be designated and shall be signed as guest parking, within 300 feet, measured by walking distance, of the areas which they serve. Development Standards Division 2.2.A. Residential Uses. Therefore, total required parking is 20 spaces. The site plan submitted demonstrates 20 spaces.
30. Parking lots adjacent to residential uses must provide proper screening. An opaque fence shall be considered adequate screening. (Development Standards, Division 2.3.1).

Architectural Design - Carson City Development Standards, Division 1

31. Proposed structures must meet the architectural standards outlined in the Development Standards, Division 1. (Development Standards, Division 1.1)
32. Variations of building details, form, line, color and materials shall be employed to create visual interest. Variations in wall planes, roof lines and direction are encouraged to prevent monotonous appearance in buildings. Large expanses of walls devoid of any articulation or embellishment shall be avoided. Similarly vertical variation in the roof line is encouraged. Mansard roofs shall wrap around the entire building. (Development Standards, Division 1.1.3)
33. Provide additional architectural treatment on elevations of the buildings. All building elevations shall receive architectural treatment, except in special situations where an elevation is not visible from an adjoining property or street. (Development Standards, Division 1.1.4)
34. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color. Bold colors shall be avoided except when used as accent or trim. (Development Standards, Division 1.1.6)

Lighting - Carson City Development Standards, Division 1

35. All nonresidential uses shall provide lighting within public parking areas and access ways to provide safety and security. All light sources shall be located and installed in such a way as to prevent spillover lighting onto adjoining properties and glare to the sky. (Development Standards, Division 1.3.3)
36. Any lighting facilities shall be so installed as to project light downward and away from adjoining properties and glare to the sky, with the exception of accent lighting, which is limited to a maximum upward angle of 45 degrees. Site lighting trespass onto adjacent locations and the night sky shall be minimized. Covers must be installed on all lighting fixtures and lamps must not extend below the bottom of the cover. All light fixtures, except streetlights, shall be located, aimed or shielded so as to minimize stray light trespassing beyond property boundaries. (Development Standards, Division 1.3.3.1)
37. All light fixtures that are required to be shielded shall be installed in such a manner that the shielding is installed as designed. Fixtures which are International Dark Sky

Association approved such as Dark Sky Friendly or equivalent with full cutoff lighting for area and wall pack fixtures are recommended. Sag, convex, drop lenses and luminaries with open bulbs are prohibited. (Development Standards, Division 1.3.3.2)

38. If elevations of buildings are proposed for accent illumination, drawings and a photometric plan shall be provided for all relevant building elevations showing the fixtures, the portions of the elevations to be illuminated, the luminance levels of the elevations and the aiming points. The maximum upward angle is 45 degrees. (Development Standards, Division 1.3.3.3)
39. Light standards, light poles and wall pack lighting adjacent to residential zones shall be limited in height as follows: Fixtures shall not exceed an overall height of 12 feet within 75 feet, 16 feet within 100 feet, 20 feet within 125 feet, 24 feet within 150 feet and 28 feet within 175 feet of property line, or center of street, whichever is closer, when adjacent to residential zones. Additional height may be permitted by the Director provided such lights are a sharp cutoff lighting system. Illumination levels at the property line of a project shall be reduced by the use of house side shields and reflectors, and shall be maintained in such a manner as to confine light rays to the premises of the project. (Development Standards, Division 1.3.3.4)
40. Parking area lights are encouraged to be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level. A photometric plan is required on all projects with building size of 50,000 square feet or larger and may also be required at the discretion of the Director. (Development Standards, Division 1.3.3.6)
41. For all projects where the total initial output of the proposed lighting equals or exceed 100,000 lumen, certification that the lighting, as installed, conforms to the approved plans shall be provided by a certified engineer before the certificate of occupancy is issued. Until this certification is submitted and reviewed, approval for use of a certificate of occupancy shall not be issued for the project. (Development Standards, Division 1.3.3.7)
42. Exterior lighting installations shall include timers, dimmers, sensors or photocell controllers that turn the lights off during daylight hours or when lighting is not needed, which will reduce unnecessary lighting, as practical. Businesses are encouraged to turn lighting down or off when businesses are not open. (Development Standards, Division 1.3.3.8)
43. Glare. Reflected glare on nearby buildings, streets or pedestrian areas shall be avoided by incorporating overhangs and awnings, using building materials and colors which are less reflective for exterior walls and roof surfaces, controlling angles of reflection and placing landscaping and screening in appropriate locations. (Development Standards, Division 1.3.3.9)
44. Luminaries which have a maximum output of 500 lumen per fixture, (equivalent to one 40-watt incandescent bulb) regardless of number of bulbs, may be left unshielded provided the fixture has an opaque top to keep light from shining directly up. Luminaries which have a maximum output of 850 lumen per fixture, (equal to one 60 watt incandescent light) regardless of number of bulbs, may be partially shielded, provided the bulb is not visible from off-site, no direct glare is produced, and the fixture has an opaque top to keep light from shining directly up. (Development Standards, Division 1.3.5.1)

45. Accent lighting. Architectural features may be illuminated by up-lighting or light directed to the building, such as wall washing, provided that the light is effectively aimed to or contained by the structure by such methods as caps, decks, canopies, marquees, signs, etc., the lamps are low intensity to produce a subtle lighting effect, and no light trespass is produced. The angle of up-lighting shall not exceed 45 degrees. Luminaries shall not be installed above the height of the parapet or roof. For national flags, statutes, public art, historic buildings or other objects of interest that cannot be illuminated with down-lighting, upward lighting may be used in the form of narrow-cone spotlighting that confines the illumination to the object of interest. (Development Standards, Division 1.3.5.2)
46. All luminaries shall be aimed and adjusted to provide illumination levels and distribution as indicated on submitted plans. All fixtures and lighting systems shall be in good working order, cleaned and maintained in a manner that serves the original design intent of the system. (Development Standards, Division 1.3.5.3)
47. Floodlights that are not full cut-off (light emitted above the fixture) may be used if permanently directed downward, not upward, and aimed at no more than a 45 degree angle, so no light is projected above the horizontal plane, and fitted with external shielding for top and side to prevent glare and off-site light trespass. Unshielded floodlights are prohibited. (Development Standards, Division 1.3.5.4)
48. Maintenance. All fixtures shall be maintained in good working order, with aiming, angles, wattage and intensity as originally approved. Replacement bulbs shall be the same or less wattage and intensity as originally approved. Fixtures and reflecting surfaces shall be cleaned on a regular schedule to reduce additional unapproved glare. (Development Standards, Division 1.3.5.10)
49. The Director may approve variations to the standards set out in this Division if variations are more appropriate to a particular site, provide an equivalent means of achieving the intent of these lighting standards and are in keeping with the purpose statement of the Development Standards. A letter of request detailing the reason for the variation and changes requested is required to be submitted to the Director. (Development Standards, Division 1.3.5.11)

Roof-Mounted Equipment - Carson City Development Standards, Division 1

50. Roof-mounted equipment (HVAC, etc.) must be screened from view from a public right-of-way or adjacent property through the use of architectural means such as parapet walls and equipment wells. The use of a picket fence or chain link slatted screening is prohibited. Show all roof-mounted equipment on the elevation plan. (Development Standards, Division 1.1.7)

Trash Storage - Carson City Development Standards, Division 1

54. Provide detail of proposed trash collection storage. Outdoor areas used for the storage of trash or refuse must be completely enclosed by a solid gate and a six foot masonry block wall and be designed to integrate with the building and site design, including colors and materials. Enclosures shall be screened with appropriate plant materials wherever possible. Include the trash storage location on the site plan submitted with the Special Use Permit, and provide trash enclosure construction details with the final building permit plans. (Development Standards, Division 1.2.6)

55. Trash enclosures shall be designed to meet or exceed minimum size requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash, refuse or recycled material shall be stored in containers within its walled enclosure. (Development Standards, Division 1.2.6)

Residential Development Standards in Non-Residential Districts – Carson City Development Standards, Division 1.18

The following standards are intended to establish minimum standards and Special Use Permit review criteria for residential development within the Neighborhood Business (NB), Retail Commercial (RC), General Commercial (GC), Residential Office (RO) and General Office (GO) zoning districts. Please address how your project meets these standards as part of the Special Use Permit application.

56. Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts. (Development Standards, Division 1.18.1)
57. Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of this chapter. (Development Standards, Division 1.18.2)
58. Maximum building height shall be the maximum height established by the zoning district in which the project is located. (Development Standards, Division 1.18.3)
59. Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:
- a. In the NB, RC, GC and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district. (Development Standards, Division 1.18.4)
 - b. A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area. (Development Standards, Division 1.18.4)
60. Required parking: Two spaces per dwelling unit; and in compliance with the Development Standards Division 2, Parking and Loading. (Development Standards Division 1.18.5)
61. Open Space (Development Standards, Division 1.18.6):
- a. A minimum of 150 square feet per dwelling unit of common open space must be provided.
 - b. A minimum of 100 square feet of additional open space must be provided for each unit either as private open space or included in the common open space area.
 - c. Front and street side yard setback areas may not be included toward meeting the open space requirements.

On the site plan submitted with the Special Use Permit, please clearly delineate the areas utilized as open space, including the area of each space.

63. Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping. (Development Standards, Division 1.17.8)
64. Special Use Permit review standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code.
- a. The development is not situated on a primary commercial arterial street frontage.
 - b. The development is integrated into a mixed-use development that includes commercial development.
 - c. The applicant has provided evidence that the site is not a viable location for commercial uses.
 - d. The site is designated Mixed-Use Commercial, Mixed-Use Residential or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable mixed-use criteria and standards.

The application for a Special Use Permit must specifically address these findings as well as the findings identified in 18.02.080 of the CCMC.

Growth Management - CCMC 18.12

- Growth Management applies to all residential, commercial and industrial property that is required to be served by city water and/or sewer service within the consolidated municipality of Carson City.
- A Growth Management application is required for all commercial and industrial developments that exceed an average daily water usage of 15,000 gallons per day and may be obtained from the Planning Division. Growth Management applications are reviewed by the Planning Commission acting as the Growth Management Commission.

Conclusion

Due to changing conditions of business and requirements for zoning, master plan and development codes of Carson City, this MPR information will expire and will need to be updated with a new MPR if the developer has not applied for a building permit within one year of the date of the MPR meeting.

When applying for a building permit in relation to the proposed project in addition to the required plans, please submit the following:

- Copy of this MPR letter packet.
- Copy of Notice of Decision of an approved Special Use Permit.
- Exterior light fixture details must be submitted with a building permit application for review and approval by the Planning Division prior to installation.
- Color palette for all proposed exterior colors of the buildings.

BUILDING DIVISION

Contact Shawn Keating, Chief Building Official

1. All projects and improvements must be performed in accordance with Nevada State Revised Statute (NRS) 623 & 624 and Carson City Municipal Code (CCMC) 15.05.020.
2. Improvements, Repairs, Replacement, and Alterations must comply with 2012 International Building Codes, 2012 Uniform Plumbing Code, Uniform Mechanical Code or 2012 International Mechanical code, 2012 Fuel Gas Code, 2011 Electrical Code, Adopted International Energy Conservation Code, and 2012 Northern Nevada Amendments.
3. All designs submitted after July 2016 will reference 2012 International Energy Conservation Code. The codes are locked in on the date the application is submitted.
4. Provide (2) two original sign copies geotechnical, specification book, and structural information when submitting the application.
5. Submit all information possible on original submission. For example, lighting fixtures specification sheets, truss calculation. Any items to be deferred submitted noted on your coverage page.
6. All sign application will be on a separate permit.
7. All improvements would have to comply with current Accessible Standards.
8. One (1) Type B accessibility unit must be installed per 2012 International Building Code section 1107.6.
9. All Contractors are required to carry state and local license.

ENGINEERING AND UTILITIES

Contact Rory Hogen, Assistant Project Manager

1. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
2. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
3. Fresh water must be used for Dust control. Contact Gregg Ruiz at Public Works at 283-7382 for more information.
4. A wet stamped main analysis must be submitted in accordance with CCDS 15.3.1(a) to show that adequate pressure will be delivered to the meter and fire flows meet the minimum requirements of the Carson City Fire Department. Please contact Tom Grundy, P.E. at (775) 283-7081 for fire flow test data.
5. A wet stamped sewer analysis must be submitted that includes addressing the effect of flows on the existing City system. See section 15.3.2 of CCDS.
6. If a commercial fire line is required, the system must be designed by an engineer. The double check assembly must be above ground in a hot box, and located as close to the

- property line (on the private side) as possible. Please see Chapter 445A of Nevada Administrative Code.
7. A private testing agreement will be necessary for the compaction and material testing in the street right of way. The form can be obtained through Carson City Permit Engineering.
 8. The domestic water service line will need a reduced pressure backflow preventer as shown in Chapter 445A of the Nevada Administrative Code.
 9. The irrigation service will need a reduced pressure backflow preventer if a vacuum breaker system cannot be designed to operate properly.
 10. An erosion control plan meeting section 13 of CCDS will be required in the plan set.
 11. Please show all existing water and sewer utilities, including mains in the street.
 12. Any existing water and sewer services not being used must be abandoned at the main.
 13. New electrical service must be underground.
 14. Please show gas and electric connections for this project.
 15. Any work performed in the street right of way will require a traffic control plan and a time line type schedule to be submitted before the work can begin. A minimum of one week notice must be given before any work can begin in the street right of way.
 16. A Technical Drainage Study meeting the requirements of section 14 of the Carson City Development Standards and addressing 5 year and 100 year flows must be submitted with the permit and plans. This study will hopefully tell us whether curb and gutter is needed.
 17. All 20 feet of Nichols Lane must be brought to City standards and paved along the property frontage.
 18. Location of the FDC and PIV and accompanying hydrant will be addressed by the Fire Department.
 19. Street lights must be placed as shown in Section 12 of CCDS. Parking lot lights may be able to do an adequate job of lighting the street.
 20. Curb stops will be required for all parking spaces next to the concrete walkway fronting the building.
 21. Drive aisle must be 26 feet wide and parking spaces 18.5 feet long.
 22. A traffic study must be provided as part of the construction permit submittal.
 23. The driveway approach must meet City standards.
 24. The two parking spaces shown along the west property line will likely not be acceptable.

FIRE DEPARTMENT

Contact Dave Ruben, Fire Prevention Captain

1. Project must comply with the 2012 IFC and Northern Nevada Fire Code Amendments.
2. Road must be improved to permanent all weather surface (paved) from the end of existing paving to the north property line on Nichols Lane.
3. Minimum road width is 20'.

4. Project will require fire sprinklers. Sprinklers must be electronically monitored.
5. A fire alarm system may be required depending on the final design.
6. A fire flow test will be required for the hydrant on Nichols just north of the project. Tom Grundy tgrundy@carson.org is the contact at Public Works for water flow info.
7. An additional hydrant may be required if the existing hydrant is too far from the fire sprinkler FDC.

PUBLIC WORKS-TRANSPORTATION

Contact Patrick Pittenger, Transportation Manager

1. The construction must include construction of the full width of the road adjacent to the property (within the limits of the right-of-way).
2. The need/justification for curbing will need to be determined in consideration of the required drainage study.
3. Should the proposed development be implemented, the City will consider converting the road to a one-way northbound road from the south property line of the subject property.

The aforementioned comments are based on the Major Project Review Committee's review. If you have any questions, please feel free to contact the following members of staff, Monday through Friday 8:00 AM to 4:00 PM.

Planning Division –

Hope Sullivan, Planning Manager
(775) 283-7922
Email: hsullivan@carson.org

Engineering Division –

Rory Hogen, Assistant Project Manager
(775) 887-2300
Email: rhogen@carson.org

Building Division –

Shawn Keating, Chief Building Official
(775) 887-2310
Email: skeating@carson.org

Fire Prevention –

Dave Ruben, Fire Prevention Captain
(775) 283-7153
Email: druben@carson.org

Transportation –

Patrick Pittenger Transportation Manager
(775) 283-9396
Email: ppittenger@carson.org

Sincerely,
Community Development Department, Planning Division

Hope Sullivan
Planning Manager

cc: Major Project Review Committee
MPR-16-026

Carson City Planning Division
 108 E. Proctor Street • Carson City NV 89701
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02

MAY 27 2016

FILE # SUP - 16 -

SUP - 16 - 052

SPECIAL USE PERMIT

FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)
+ noticing fee

APPLICANT **Dane Purcell** PHONE # **(530) 208-6212**

MAILING ADDRESS, CITY, STATE, ZIP
1890 Indigo way SLT CA 96150

EMAIL ADDRESS
hakoaparadiseconst@yahoo.com

PROPERTY OWNER **SAME** PHONE #

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE **SAME** PHONE #

MAILING ADDRESS, CITY STATE, ZIP

EMAIL ADDRESS

SUBMITTAL PACKET

- 8 Completed Application Packets (1 Original + 7 Copies) including:
- Application Form
- Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Proposal Questionnaire With Both Questions and Answers Given
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering) (4 copies)
- CD containing application digital data (to be submitted once the application is deemed complete by staff)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

Project's Assessor Parcel Number(s): 008-161-11	Street Address 1770 Nichols Lane	ZIP Code 89701
---	--	--------------------------

Project's Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)
-----------------------------------	--------------------------	-------------------------------

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:
8 unit Apartment complex

PROPERTY OWNER'S AFFIDAVIT

I, Dane Purcell, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature Dane Purcell Address 1890 Indigo way SLT CA 96150 Date 5-18-16

Use additional page(s) if necessary for other names.

STATE OF NEVADA)
 COUNTY)

On _____, 20____, _____, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public _____

NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant

5-18-16
Date



[Treasurer Home](#)
 [Assessor Data Inquiry](#)
 [Back to Last Page](#)

SUP - 16 - 052

Secured Tax Inquiry Detail for Parcel # 008-161-11

Property Location: 1770 NICHOLS LN Billed to: REYNOLDS, MICHAEL L 4 WINDTREE CIR CARSON CITY, NV 89701-0000	Tax Year: 2015-16 Roll #: 014354 District: 2.4 Tax Service: Land Use Code: 280	Code Table
Current Owner: MC CRAW, DAN & LOWE, J & ET AL 124 E JOHN ST CARSON CITY, NV 89701-0000		

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
Current Year					
08/17/15	76.90		76.90	76.90	.00
10/05/15	76.00		76.00	76.00	.00
01/04/16	76.00		76.00	76.00	.00
03/07/16	76.00		76.00	76.00	.00
Totals:	304.90	.00	304.90	304.90	

[Payment Cart](#) [History](#)

RECEIVED
MAY 27 2016
CARSON CITY
TREASURER'S DIVISION

Additional Information					
	2015-16	2014-15	2013-14	2012-13	2011-12
Tax Rate	3.5200	3.5400	3.5600	3.5600	3.0872
Tax Cap Percent	3.2	3.0	4.2	6.4	4.8
Abatement Amount	27.35				



CARSON CITY
Capital of Nevada

Treasurer Home

Back to Last Page

Secured Tax Billing & Payment History

Parcel Number: 008-161-11 Current Owner: MC CRAW, DAN & LOWE, J & ET AL
Property Location: 1770 NICHOLS LN

Set to Tax Year: where 2014 means 2013-14

Type	Tax Rate & Cap or Pmt Method	Billed to / Payer Name / Remark	Date	Amount	Balance
Interest		Monthly Interest	05/02/14	1.07	667.53
Interest		Monthly Interest	06/02/14	4.48	672.01
Payment	Check	STEWART TITLE ESCROW	06/20/14	672.01-	.00
2014-15 Bill	3.5400 3.0%	REYNOLDS, MICHAEL L	07/09/14	295.42	295.42
Payment	Check	REYNOLDS, MICHAEL L	08/29/14	76.42-	219.00
Payment	Check	REYNOLDS, MICHAEL L	10/03/14	73.00-	146.00
Penalty		Instmnt 3 Penalty for 2014-15	01/16/15	2.92	148.92
Payment	Check	REYNOLDS, MICHAEL L	02/09/15	73.00-	75.92
Penalty		Instmnt 4 Penalty for 2014-15	03/13/15	3.79	79.71
Penalty		Delinquent Notification Costs	03/18/15	2.00	81.71
Payment	Check	REYNOLDS, MICHAEL L	04/03/15	81.71-	.00
2015-16 Bill	3.5200 3.2%	REYNOLDS, MICHAEL L	07/07/15	304.90	304.90
Payment	Check	REYNOLDS, MICHAEL L	08/21/15	76.90-	228.00
Payment	Check	REYNOLDS, MICHAEL L	10/14/15	76.00-	152.00
Payment	Check	REYNOLDS, MICHAEL L	01/08/16	76.00-	76.00
Payment	Check	FIRST CENTENNIAL-REYNOLDS/MCCR	03/08/16	76.00-	.00

Bottom

Page Up

Page Down

Master Plan Policy Checklist

Special Use Permit, Major Project Review & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Nichols lane Apartments

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?
- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1 a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1 b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1 c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1 a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1 b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1 d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1 a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Question 1

How will the proposed development further and be in keeping with and not contrary to the goals of the Master plan Elements?

The proposed development meets the provisions of Growth Management Ordinance (1.1d Municipal Code 18i12) and uses sustainable building materials AND construction techniques to promote water and energy conservation. The development also meets adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts, as well as provides for levels of service such as water, sewer, road improvements, sidewalks ect. consistent with the land use designation and adequate for the proposed development, (Land use table descriptions)

The development does not provide equitable distribution of recreational opportunities.

The development does encourage a citywide housing mix consistent with the labor force and non-labor force populations.

The development will use durable long lasting building materials.

The development does maintain and enhance roadway connections and networks consistent with the transportation master plan.

Question 2

Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

The proposed development will not be detrimental to the area, in fact it will improve the area. The lot to the south on Hwy 50 is a convalescent hospital, the lot to the west is a commercial lot with Hwy 50 access, the lots to the north are residential, and the lots to the east are residential.

The development is similar to existing development, because everything behind the Hwy 50 frontage is currently residential. It will improve property values because it is a new residential development in an area that needs to be updated with modern development instead of trailers. It will not cause problems with noise, dust, odors, vibration, fumes, glare, or physical activity for neighboring property owners. It will not involve any exterior uses, All uses will be within the building. Construction generated dust will be kept down with water or sprinklers. To my knowledge no other properties in that area have obtained approval for similar requests. This project will differ from some of the surrounding buildings in that the existing homes are single family dwellings and trailers and this will be an apartment complex.

This project will not be detrimental to the surrounding properties because it will better the entire area in that it is modern construction that includes improvements to local utilities and is aesthetically pleasing.

There are currently a variety of traffic challenges in the area, I have spoken to Patrick Pittenger in regards to this and was informed that it will be the cities responsibility to address this. However we are required to re-pave the road in front of the development.

Both short and long range benefits for Carson city residents should our project be approved, include, Modern Aesthetically pleasing construction raising equity in the area, much needed new sign, and improvements to public utilities and roads.

Question 3

Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

The project may minimally effect the schools but should not impact the sheriffs office. We are in the process of having a drainage report done and have done some preliminary calcs on the existing site plan. The current water flow is insufficient for the project and it will need to be upgraded per Thomas Grundy's report. The sewer is also inadequate for the project and will also need to be upgraded per Darren Anderson's report. The road in front of the project will need to be re-paved per Patrick Pittenger. I obtained my findings from the Transportation + Public works departments.

There will be pathway + wall sconce lighting @ the building yet to be determined. The landscaping will include a park strip, common area and the arterial landscaping and have been noted on the site plan.

The parking lot plan has been detailed on the site plan and per Rory Hogen will be sufficient for the project.

Section 1.18

The project meets all requirements for common open space, landscaping, zoning, parking and arterial landscaping requirements, see site plan.

From: Rory Hogen RHogen@carson.org
Subject: FW: 1770 Nichols Lane APN 008-161-11
Date: Yesterday at 2:24 PM
To: Dane Purcell tahoeparadiseconst@yahoo.com
Cc: Stephen Pottey SPottey@carson.org

Dane – I have just received the word from Public Works that the sewer in Nicholls lane must be upgraded to 8" sewer from your north property line to the main in Hwy 50. I'm sorry this took so long, but it took some time to get a definitive answer. Rory

From: Rory Hogen
Sent: Thursday, May 12, 2016 2:31 PM
To: Dane Purcell (tahoeparadiseconst@yahoo.com)
Subject: FW: 1770 Nichols Lane APN 008-161-11

Dane – please look at these comments carefully, because you could be looking at a substantial cost here. I'm sorry we didn't have this information at the MPR. Rory

From: Tom Grundy
Sent: Wednesday, October 07, 2015 2:25 PM
To: 'rob.lauder@rl-engr.com'
Cc: Darren Anderson; Stephen Pottey; Rory Hogen; Daniel Rotter
Subject: RE: 1770 Nichols Lane APN 008-161-11

Hi Rob,

1. Not much in the way of record drawings for the south end of Nichols Ln. I attached what I have. I also attached the appropriate combined run book sheets.
2. There are 20 homes upstream from 1770 Nichols Lane. There are 2 homes, and a senior living center that are connected downstream on Nichols.
3. Pressures in that area tend to vary between 80 and 100 psi, and average about 90 psi.
4. On the water side, it's a 6" PVC main in Nichols, fed from a 12" steel main in Highway 50. The main in Nichols stops about 160' short of the main in Carmine. We don't have any fire flow results for that street, but the water model indicates fire flows may be marginal depending on the proposed use. Looping the main through to Carmine may be required. I'd suggest getting a fire flow test. One will be required at some point, and it might prevent surprises.
Regarding sewer, the existing 6" ACP sewer main in Nichols Lane is in bad condition and may need to be replaced with the project.

For future reference, not that we mind a bit sending you record drawings, essentially all the record drawings we have are now available at www.ccftp.com/constructiondrawings

Thomas B. Grundy P.E.
Senior Project Manager
Carson City Public Works Department - Capital Projects
3505 Butti Way
Carson City, NV 89701
Phone: (775) 283-7081
Fax: (775) 887-2164
Email: tgrundy@carson.org

From: rob.lauder@rl-engr.com [mailto:rob.lauder@rl-engr.com]

Sent: Thursday, October 01, 2015 11:04 AM

To: Tom Grundy

Subject: 1770 Nichols Lane APN 008-161-11

Tom,

I am preparing engineering reports for a special use permit application for the subject property. I was hoping you could send me:

1. pdf's of the water and sewer plan and profile sheets for the utilities adjacent to this parcel.
2. An estimate of the existing load on the sewer (either in mgd or # of living units served by it).
3. Data on existing water system pressure (average, high, low) in this neighborhood.
4. Information if the city is aware of any problems or deficiencies present in the existing water and sewer systems that might create a limitation on development.

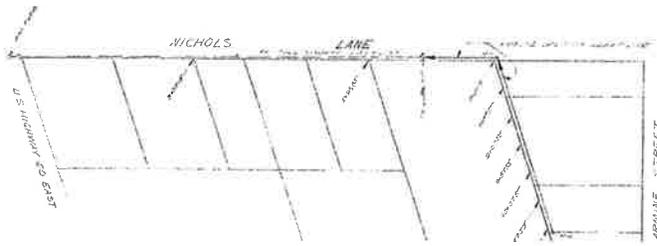
Thank you.

Robert F. Lauder, P. E.
RL Engineering
Civil and Structural Design
675 Fairview Drive #205

Carson City, NV 89701
Phone (775)884-3205

Fax (775)884-3265

DRAWING NUMBER
09506.002
PLAN VIEW - CONSTRUCTION - 10/20/09





Carson City Public Works Utility Run Book

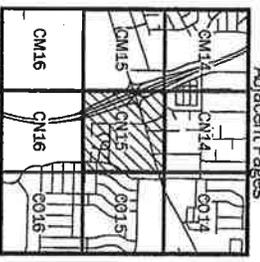
1 inch = 200 feet



- Legend**
- Detail Boundary
- ▭ Proposed Freeway
- ▭ Carson City Boundary
- Water Features**
- Fire Hydrant
- ▲ Fire Service
- ▲ Pressure Reducing Valve
- ▲ Flush Out
- ▭ Intake
- ▭ Reducer
- ▭ Single Check Valve
- ▭ Treatment Plant
- ▭ Fire Hydrant Valve
- Water Zone Valve
- Closed Valve
- Gate Valve
- Butterfly Valve
- Booster
- ▭ Back Flow Device
- ▭ Air Release Valve
- Well
- Water Tank
- Water Pipe
- Water Pipe Ownership
- Private
- Public
- State
- Sewer Features**
- Cleanout
- ▭ Lift Station
- Drop Manhole
- Sewer Manhole
- Sewer Valve
- ▭ Forc'd Main
- ▭ Gravily Main
- ▭ Gravily Main (Private)
- Storm Drain Features**
- ▭ Out Fall
- ▭ Out Fall End
- ▭ V-Ditch
- ▭ Channel Crest
- Manhole
- ▭ Catch Basin
- ▭ Storm Pipe
- Weather Station
- ▭ RC Boxed Culvert (State)
- ▭ Hydrology Channel
- ▭ Basin
- Reclaimed Features**
- Valved Outlet
- ▭ Vent
- Valve
- ▭ Reducer
- ▭ Inlet
- Manhole
- ① Drain
- ▭ Drop Inlet
- ▭ Blow off Assembly
- ▭ Cutoff Wall
- ▭ Cardleg Joint
- ▭ C/Air Release Valve
- ▭ Butterfly Valve
- ▭ Air Release Valve
- ▭ Air Vacuum Valve Assembly
- ▭ Elec Pull Box
- ▭ Pig Launching Station
- ▭ Cathodic Test Station
- ▭ Flange
- ▭ Cathodic Wire
- ▭ Telemetry
- ▭ Reclaim Pipe
- ▭ Reclaim Pipe Encased

Douglas County
GIS Department
P.O. Box 218
1615 8th Street
Minden, NV 89423
(775) 782-9894
Photos Flown: 2013

9/17/2014
Adjacent Pages



The data contained herein has been compiled by Douglas County GIS Department from the data of Carson City Public Works. The data does not represent the actual location of any utility lines. It is the responsibility of the user to verify the location of any utility lines. The data is provided as a reference only. No liability is assumed by Douglas County for the use of the data.

Page: CN15



Carson City Public Works Utility Run Book

1 inch = 200 feet



- | | | |
|---|--|---|
| <p>Legend</p> <ul style="list-style-type: none"> □ Detail Boundary --- Proposed Freeway ○ Carson City Boundary <p>Water Features</p> <ul style="list-style-type: none"> + Fire Hydrant ▲ Fire Service ▲ Pressure Reducing Valve ▲ Flush Out ■ Inlet ▼ Reducer □ Single Check Valve ■ Treatment Plant ■ Fire Hydrant Valve ● Water Zone Valve ● Closed Valve ● Gate Valve ● Butterfly Valve ● Booster ■ Back Flow Device ■ Air Release Valve ● Well ● Water Tank ○ Water Pipe <p>Ownership</p> <ul style="list-style-type: none"> — Public — Private — State | <p>Sewer Features</p> <ul style="list-style-type: none"> ● Cleanout ■ Lift Station ● Drop Manhole ● Sewer Manhole ● Sewer Valve — Forced Main — Gravelly Main (Private) <p>Storm Drain Features</p> <ul style="list-style-type: none">) Out Fall ↑ Out Fall End — V-Ditch — Channel Creet ● Manhole ■ Catch Basin → Storm Pipe ● Weather Station ■ RC Boxed Culvert (State) □ Hydrology Channel □ Basin | <p>Reclaimed Features</p> <ul style="list-style-type: none"> ● Valved Outlet ∩ Vent ● Valve ▼ Reducer □ Inlet ● Manhole ○ Drain ■ Drop Inlet ■ Blow off Assembly ∩ Cutoff Mail ■ Cardegle Joint ■ C/Air Release Valve ■ Butterfly Valve ■ Air Release Valve ■ Air Vacuum Valve Assembly ■ Elect Pull Box ■ Pig Launching Station ■ Cathodic Test Station ■ Flange — Cathodic Wire ▲ Teleretry — Reclaim Pipe — Reclaim Pipe Encased |
|---|--|---|

Douglas County
GIS Department
P.O. Box 218
1615 8th Street
Minden, NV 89423
(775) 782-9894

Photos Flown: 2013

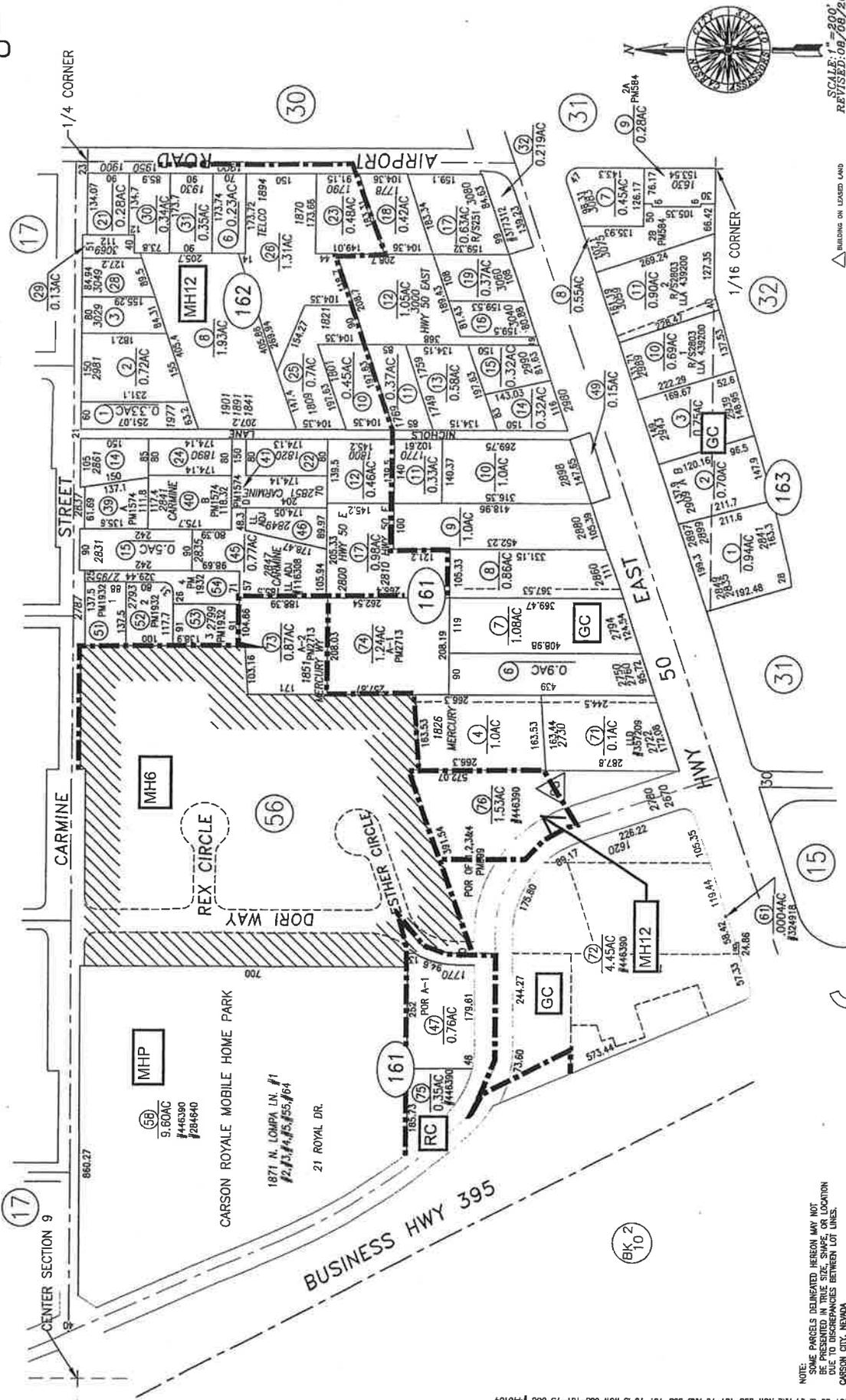


9/17/2014
Adjacent Pages



N1/2 SE1/4 SECTION 9, T.15 N., R.20 E., M.D.B. & M.

8-16



SCALE: 1" = 200'
REVISED: 08/09/2014

REVISED
9:14 am, Oct 24, 2014

NOTE:
SOME PARCELS DELINEATED HEREON MAY NOT BE PRESENTED IN TRUE SHAPE OR LOCATION DUE TO DISCREPANCIES BETWEEN LOT LINES. CARSON CITY, NEVADA
THIS MAP IS PREPARED FOR THE USE OF THE CARSON CITY ASSESSOR FOR ASSESSMENT AND TAXATION PURPOSES ONLY. IT DOES NOT REPRESENT A SURVEY. NO LIABILITY IS ASSUMED AS TO THE SUFFICIENCY OR ACCURACY OF THE DATA DELINEATED HEREON. YOU CAN VIEW AND PRINT OUR MAPS AT NO CHARGE FROM OUR WEBSITE AT: <http://ccmap.org/public/>

PARCELS 008-161-29 & 64 ARE NOW 008-161-78 AND 008-151-70 IS NOW 008-161-75 OCC #44616



Fire Flow Test Data Sheet

SUP - 16 - 052

Location of Test (Street and Cross Street): Nichols and Carmine

Address Nearest Residual Hydrant: 1977 Nichols Lane

Test Date: 5/25/2016 Test Time: 900

Testing Personnel: MT, CB, NT

Pressure Zone: 4880 Main Size: 6"

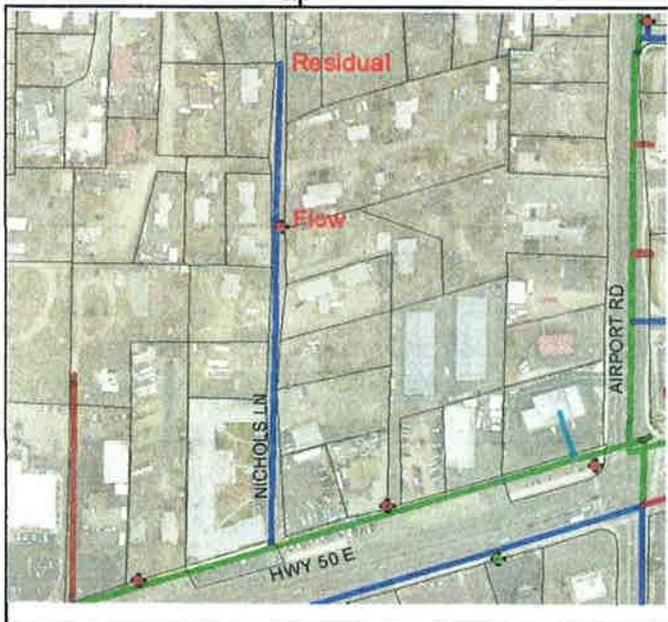
Comments: _____



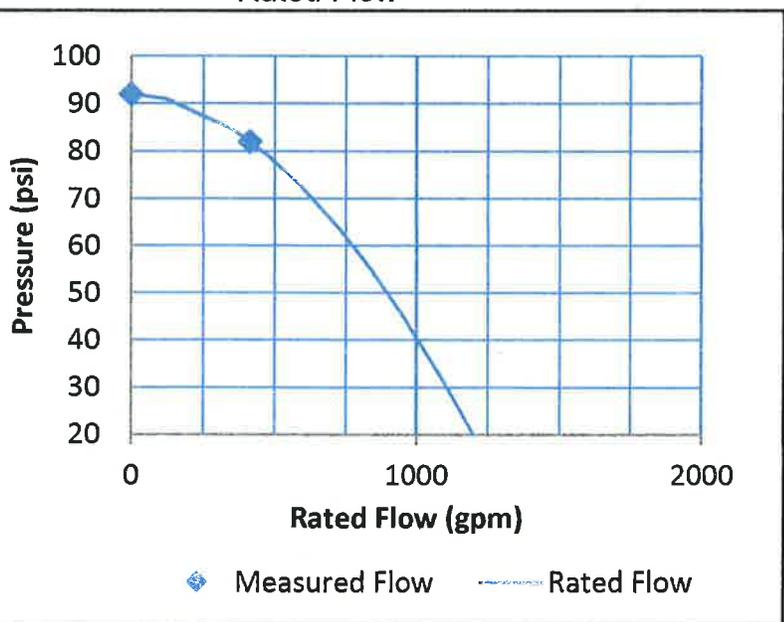
Test Results:

Residual Hydrant		Flow Hydrant(s)						
Static:	92 psi		Hydrant Tester	Pitot Pressure (psi)	Discharge Diameter (in)	Outlet Coeff. (c)	Pitot Flow (gpm)	
Residual:	82 psi							
Pressure Drop:	10 psi	Flow 1	HM1	7	2	1.307	413	
	11 %	Flow 2						
		Flow 3						
							Total	413

Area Map



Rated Flow



Rated Pressure (for Rated Capacity Calculation) 20 psi

Rated Capacity at 20 psi residual pressure. 1,200 gpm

Based on NFPA 291 - 2016 Edition and APWA Manual 17 - Fourth Edition
 Pursuant to NFPA 291, fire flow test data over five years old should not be used.

Hydrant OBJECTID: 507

Data Sheet File Name: Nichols-50.pdf

FD Runbook Page: 247X00



NICHOLAS LANE APARTMENTS
1770 NICHOLAS LANE
CARSON CITY, NEVADA

SECTION 1.18 FINDINGS
Residential Development Standards in Non-Residential Districts

1. Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts.

Finding the Applicant proposes to construct an 8 unit residential apartment complex, and that the Project is located within the General Commercial Zoning district, a Special Use Permit is required.

2. Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of this chapter.

Finding that the Project proposes 8 multi-family residential units on 0.35 acre, and that the project meets requirements for height, setback, parking and open space; project conforms to maximum permitted density requirement (no maximum density specified).

3. Maximum building height shall be the maximum height established by the zoning district in which the project is located.

Finding that the maximum height for the proposed 2-story building is 27'5", the Project does conform to the maximum height established by the zoning district; which is 45ft for the General Commercial zoning district.

4. Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:

a. In the NB, RC, GC and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district.

b. A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area.

Finding that the required East Side setback is 0 ft and that a 5 feet setback has been provided; and, that the required West Side setback is 0 ft and that a 3.5 ft setback has been provided; and, that the required North Side setback is 30 ft and that 60 ft has been provided; and that the South Side setback is 0 ft and that a 10ft setback has been provide; the Project does meet the Setback requirement.

5. Required parking: Two spaces per dwelling unit; and in compliance with the Development Standards, Division 2, Parking and Loading.

Finding that 20 parking spaces have been provided, which includes 2 per unit (8 units each being provided with two parking spaces, including one ADA compliant parking space) and providing an additional 4 guest parking spaces, the Project does conform to the parking requirement.

6. Open Space.

a. A minimum of 150 square feet per dwelling unit of common open space must be provided. For projects of 10 or more units, areas of common open space may only include contiguous landscaped areas with no minimum dimension less than 15 feet, and a minimum of 100 square feet per unit of the common open space area must be designated for recreation, which may include but not be limited to picnic areas, sports courts, a soft-scape surface covered with turf, sand or similar materials acceptable for use by young children, including play equipment and trees, with no dimension less than 25 feet.

b. A minimum of 100 square feet of additional open space must be provided for each unit either as private open space or common open space.

c. Front and street side yard setback areas may not be included toward meeting the open space requirements.

Finding that a.) the project includes 8 proposed living units, and that 150 square feet of common open space per unit has been provided for the project (8units X 150sf= 1200sf minimum required), 1243sf of common open space has been provided at the front of the 8-plex building; and,

Also finding that b.) for each of the 8 units, a deck measuring 25ft wide and 4 feet deep (100sf per unit) has been provided for the Project,

And also finding that c.) front and street side yard setback areas have not been included toward meeting the open space requirements, i.e. the 6ft front arterial setback has not been included in the Common Space area calculation, and the side setback on the side of the property where the decks are placed has a zero setback limit prescribed;

The project does meet the requirements for open space on the Project.

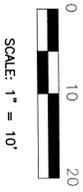
7. Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping.

Landscaping Plan will comply with the Carson City Development Standards, Division 3, Landscaping. Landscape Plans will be provided at time of Building Department Plan Check.

8. Special Use Permit Review Standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code.

- a. The development is not situated on a primary commercial arterial street frontage.
- b. The development is integrated into a mixed-use development that includes commercial development.
- c. The applicant has provided evidence that the site is not a viable location for commercial uses.
- d. The site is designated Mixed-Use Commercial, Mixed-Use Residential, or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable mixed –use criteria and standards.

Finding that, a.) the development is not situated on a primary commercial arterial street frontage; i.e. Nicholes Lane is a private lane; and finding that c.) the applicant has provided evidence that the site is not a viable location for commercial uses; i.e. the applicant has produced the site plan showing Nicholes Lane is a private lane only 20ft wide and as such is not suitable for commercial uses; a residential use is acceptable as a conditional use within the given zoning district.



LEGEND

- 104 — PROPERTY LINE
- 104 — CONTOUR LINE (NEW GRADING)
- 104 — CONTOUR LINE (EXISTING)
- SETBACK LINE
- EASEMENT
- FLOW LINE
- SAFETY (ORANGE) FENCE
- LIMITS OF SITE DISTURBANCE ALLOWED
- CENTERLINE
- EDGE OF BUILDING (EXISTING)
- EDGE OF BUILDING (PROPOSED)
- PARKING STRIPE
- UTILITY POLE
- TREE (12" LODGEPOLE PINE)
- WATER VALVE
- SANITARY SEWER CLEAN OUT
- PROPERTY CORNER

ABBREVIATIONS

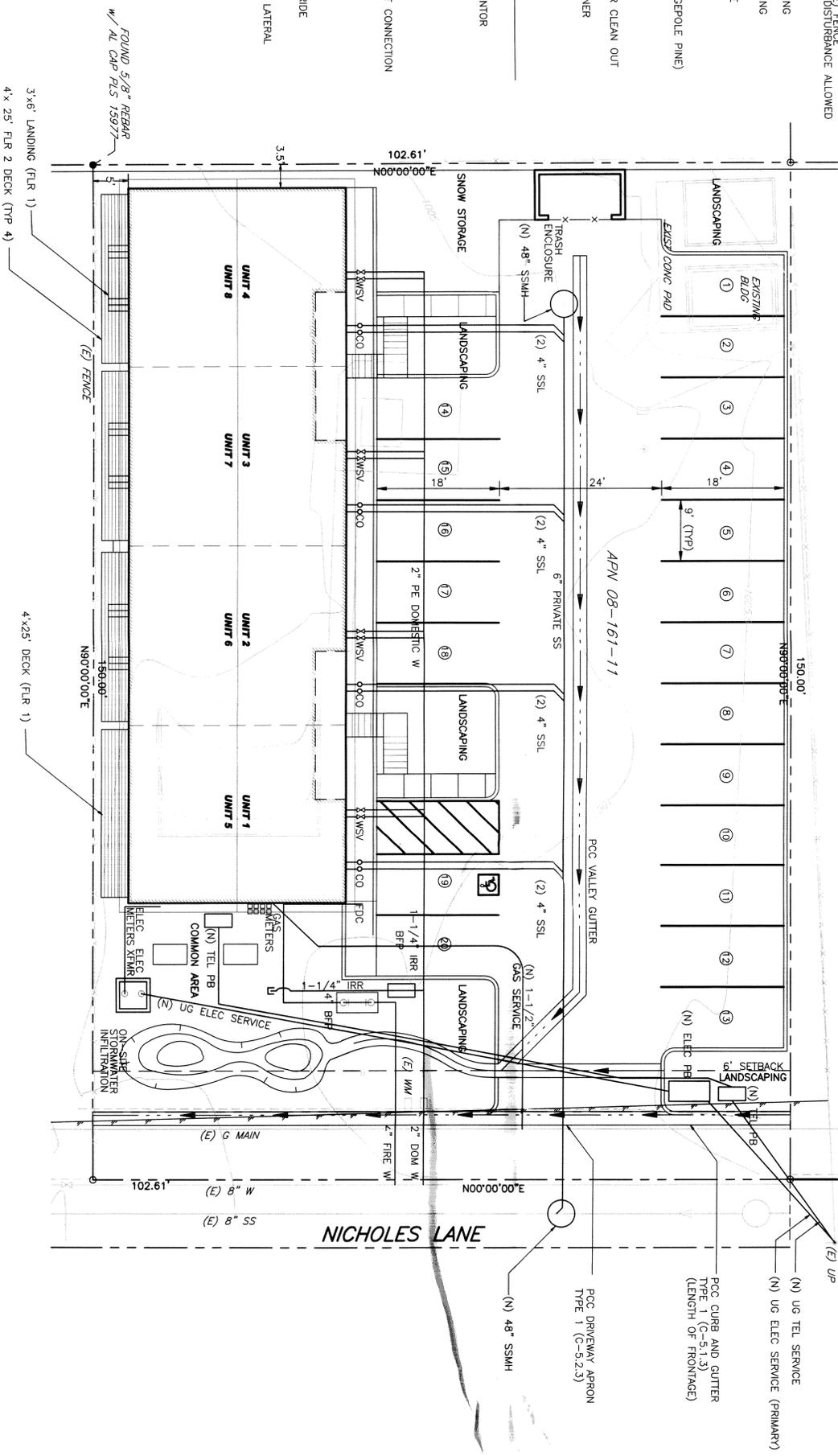
- AL ALUMINUM
- BFP BACKFLOW PREVENTOR
- CO CLEAN OUT
- DOM DOMESTIC
- (E) EXISTING
- ELEC ELECTRIC
- EXST EXISTING
- FLR FLOOR
- FDC FIRE DEPARTMENT CONNECTION
- G NATURAL GAS
- IRR IRRIGATION
- (N) NEW
- PE POLYETHYLENE
- PVC POLYVINYL CHLORIDE
- S SOLID
- SSL SANITARY SEWER LATERAL
- TEL TELEPHONE
- UG UNDERGROUND
- WEST WATER
- VALVE WATER VALVE
- TRANSFORMER TRANSFORMER
- CROSSING CROSSING
- W WATER
- WAR WATER
- XING CROSSING

NICHOLE'S LANE APARTMENTS 8-PLEX APARTMENT BUILDING

1770 NICHOLE'S LANE
CARSON CITY, NEVADA

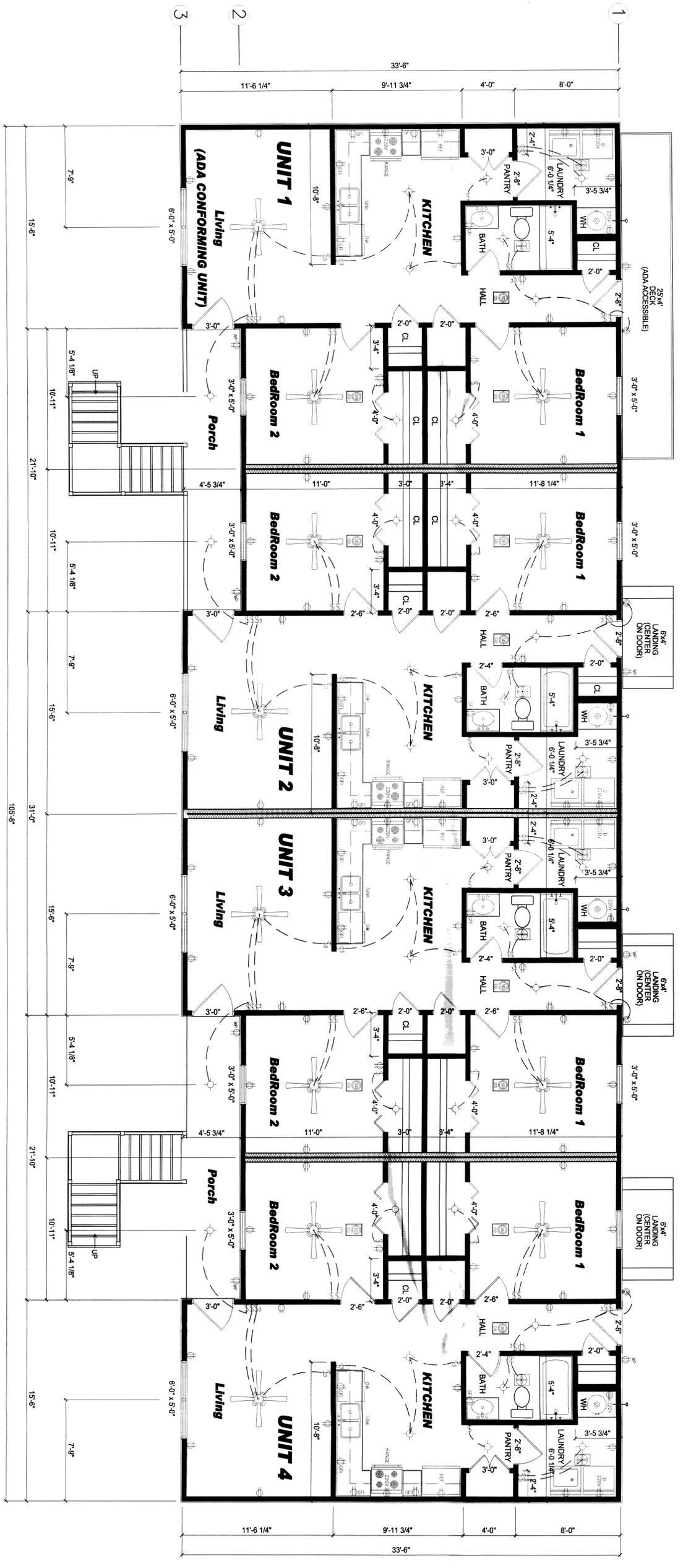
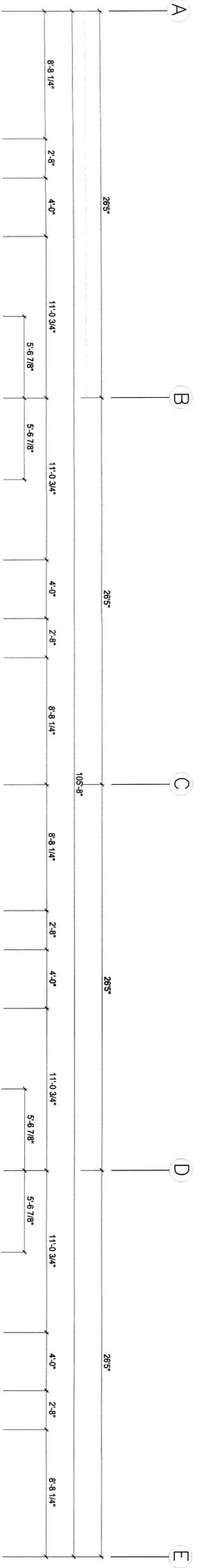
APN 08-161-11

SITE PLAN - PROPOSED



W : WA1 N16001-Preceding APR 27, 2016

NICHOLE'S LANE APARTMENTS 1770 NICHOLE'S LANE CARSON CITY, NEVADA APN 08-161-11 SITE PLAN	BLAISE A. D'ANGELO, P.E. CIVIL ENGINEERING DRAFTING 1300 APACHE AVE. SOUTH LAKE TAHOE, CA 96151 530-307-0222 PHONE blaisedangelo@sbcglobal.net	DESIGNED BY: BD	REV. DATE DESCRIPTION 4/26/16 PRELIMINARY SITE PLAN REVIEW 5/12/16 ISSUE FOR PLANNING REVIEW	Owner: Dana Purcell 1840 Indigo Way SCT CA 96150 (530) 208-6212
		DRAWN BY: JAH	CHECKED BY: BD	
DRAWING NO. C1.1	PROJECT NO. N16001	1 OF 5 SHEETS 5/12/16	6-052	

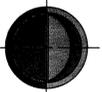


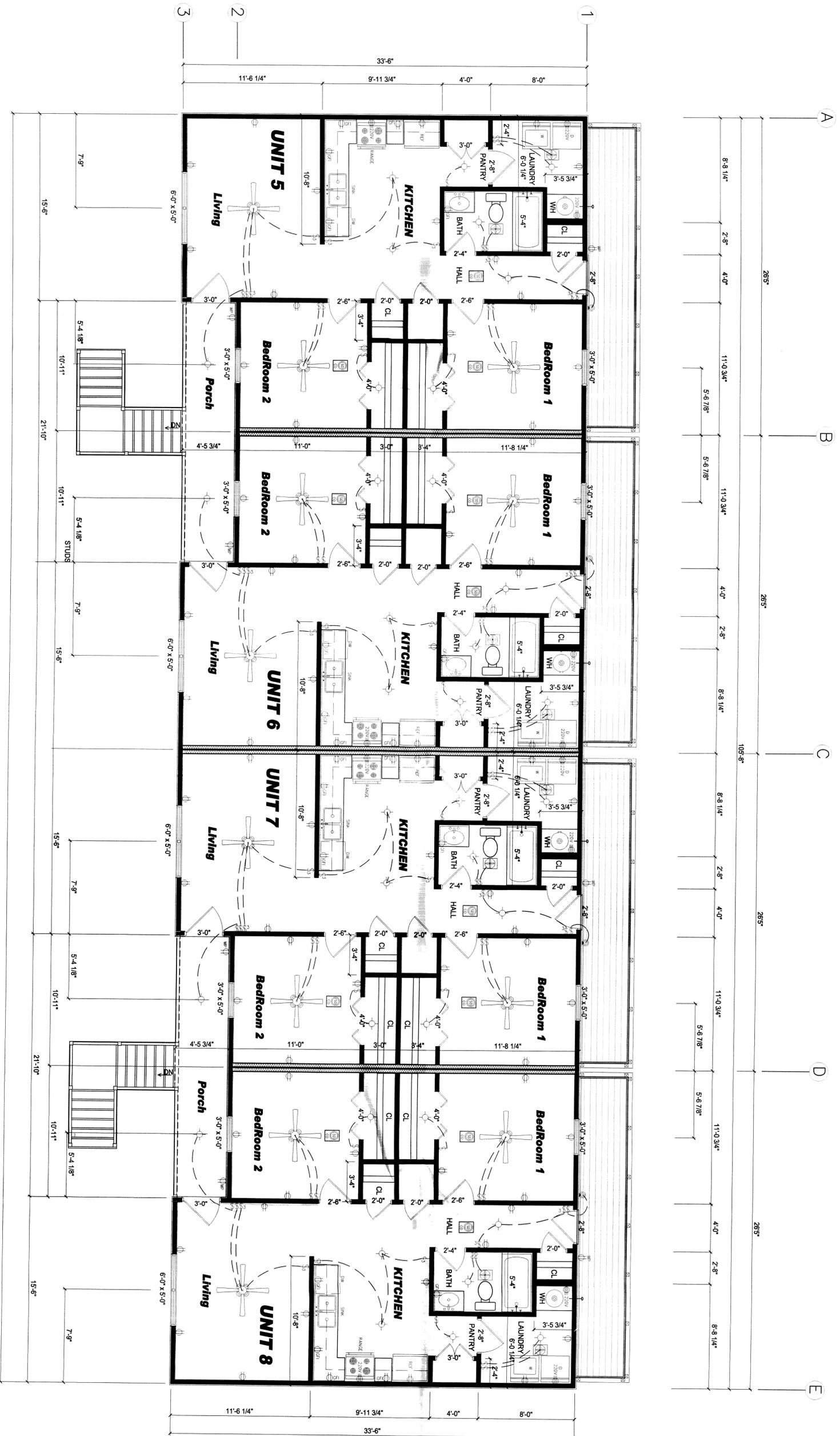
FLOOR 1 PLAN

SCALE: 1/4" = 1'-0"

NOTE: AREAS SHOWN AT RIGHT ARE TOTAL FULL BUILDING AREAS PER UNIT ARE AS FOLLOWS:
 OTHER: 100 SQ. FT.
 TOTAL: 874 SQ. FT.

WV : WA1 N18001-Prelim.dwg APR 27, 2016

DRAWING NO. A1.1 1 OF 16 SHEETS 1/11/16 PROJECT NO. N16001	NICHOLS LANE APARTMENTS 1770 NICHOLS LANE CARSON CITY, NEVADA APN 08-161-11 FLOOR 1 PLAN	 BLAISE A. D'ANGELO, P.E. CIVIL ENGINEER 1300 APACHE AVE. SOUTH LAKE TAHOE, CA 96151 530-577-3300 PHONE 530-577-3400 FAX	DESIGNED BY: BD	REV. DATE DESCRIPTION 5/8/16 ISSUE FOR PLANNING REVIEW	AS SHOWN
			DRAWN BY: JAH	CHECKED BY: BD	



FLOOR 2 PLAN

SCALE: 1/4" = 1'0"

ROOF COVERINGS:
Asphal shingles installed over a roof deck complying with Section 1609.5.1 are permitted to be designed using UL 2384 to determine appropriate uplift and force coefficients applied to the shingles.
V. J. W. A.1 N16001-Planning APR 27, 2016

NICHOLE'S LANE APARTMENTS
1770 NICHOLE'S LANE
CARSON CITY, NEVADA
APN 08-161-11

FLOOR 2 PLAN

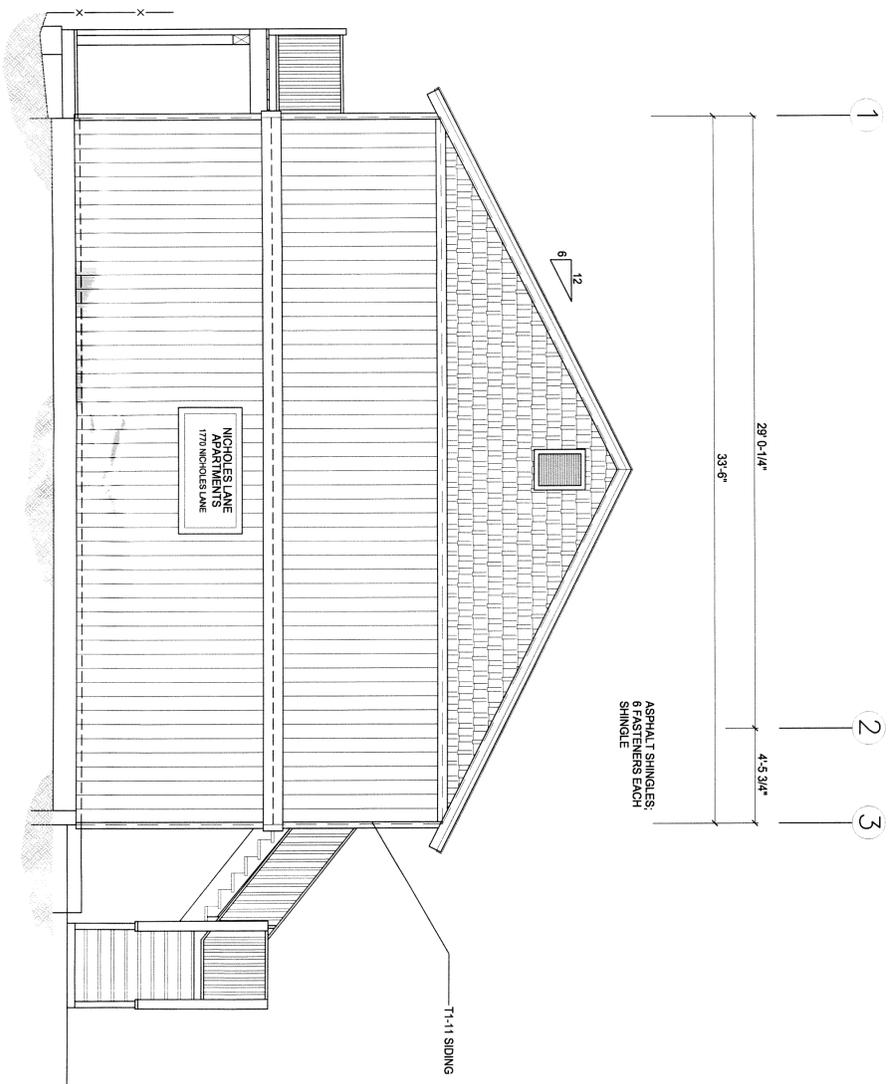


BLAISE A. D'ANGELO, P.E.
CIVIL ENGINEER
1300 APACHE AVE.
SOUTH LAKE TAHOE, CA 96151
530-577-3300 PHONE
530-577-3400 FAX

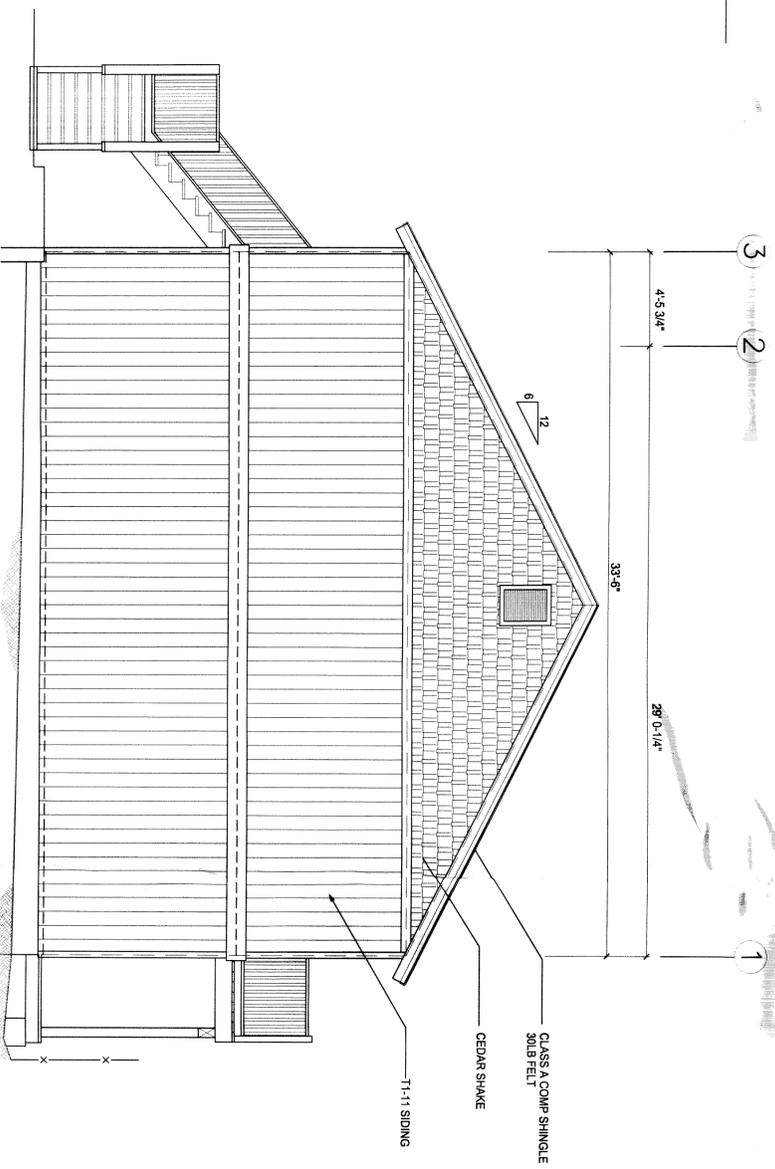
DESIGNED BY: BD
DRAWN BY: JAH
CHECKED BY: BD
SCALE: AS SHOWN

REV.	DATE	DESCRIPTION
1	5/8/16	RELEASED FOR PLANNING REVIEW

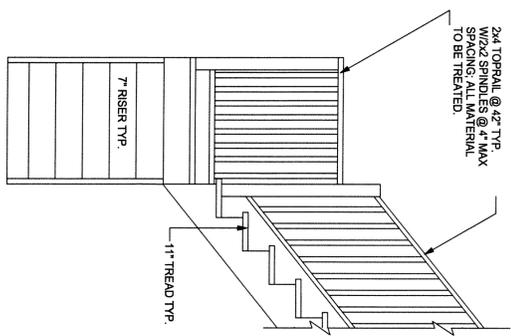
DRAWING NO. **A1.2**
1 OF 16 SHEETS
1/11/16
PROJECT NO. N16001



FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'0"

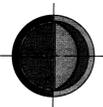


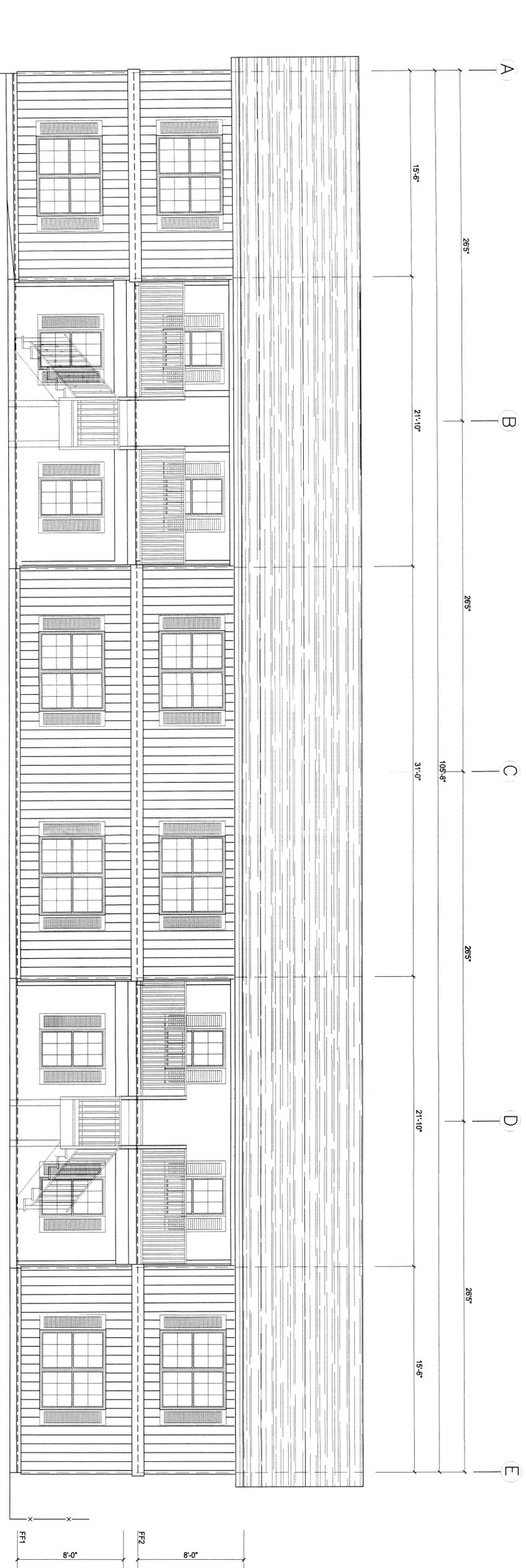
REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'0"



TYP STAIR DETAIL
NOTE: ACTUAL STAIR DESIGN TO BE DONE BY BUILDER ON-SITE.

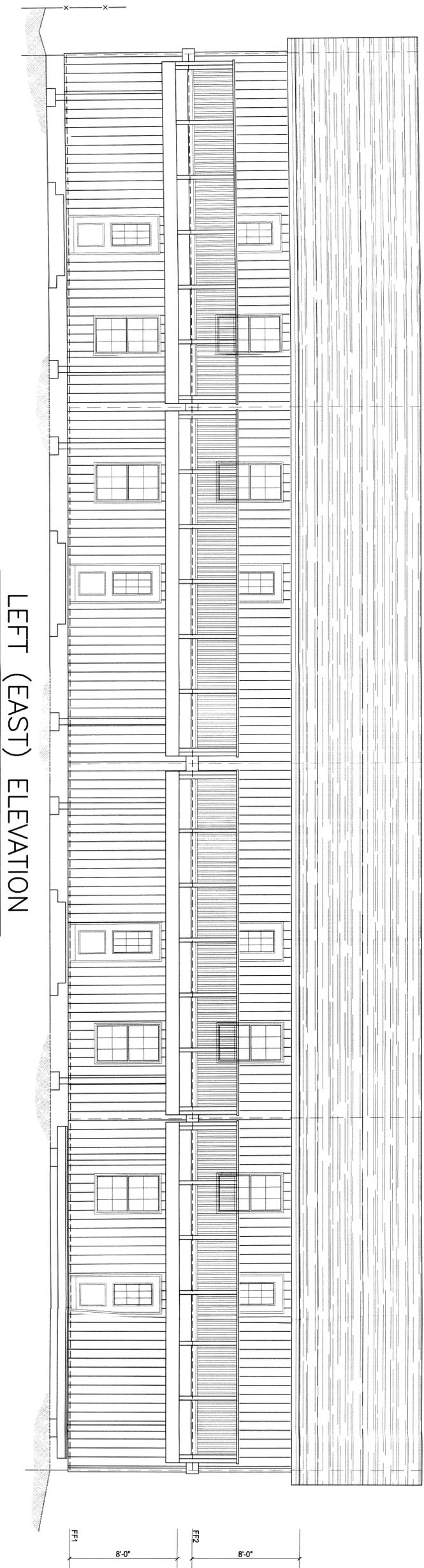
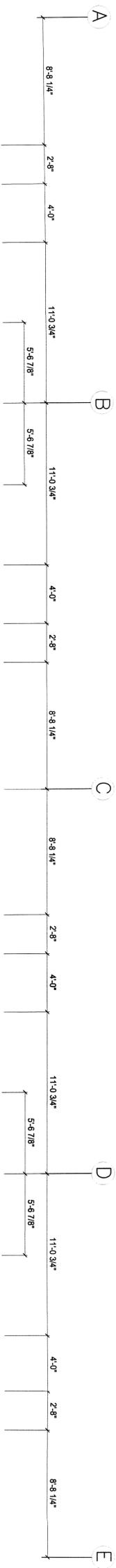
WV : WAT N16001-Purcell.dwg APR 27, 2016

DRAWING NO. A2.1 1 OF 16 SHEETS	NICHOLAS LANE APARTMENTS 1770 NICHOLAS LANE CARSON CITY, NEVADA APN 08-161-11 ELEVATIONS- FRONT& REAR	 BLAISE A. D'ANGELO, P.E. CIVIL ENGINEERING DRAFTING 1300 APACHE AVE. SOUTH LAKE TAHOE, CA 96151 530-307-0222 PHONE blaisedangelo@sbcglobal.net	DESIGNED BY: BD	REV. DATE 5/09/16	DESCRIPTION RELEASED FOR PLANNING REVIEW
			DRAWN BY: JAH		
			CHECKED BY: BD		
			SCALE: AS SHOWN		



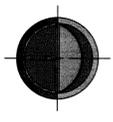
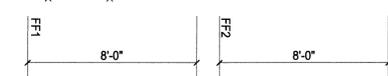
RIGHT (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



LEFT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



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 SOUTH LAKE TAHOE, CA 96151
 530-307-0222 PHONE
 blaisedangelo@sbcglobal.net

DESIGNED BY:	REV.	DATE	DESCRIPTION
BD			
DRAWN BY:		5/09/16	RELEASED FOR PLANNING REVIEW
JAH			
CHECKED BY:			
BD			
SCALE:			
AS SHOWN			

NICHOLS LANE APARTMENTS
 1770 NICHOLS LANE
 CARSON CITY, NEVADA
 APN 08-161-11
ELEVATIONS-LEFT& RIGHT

DRAWING NO.
A2.2
 1 OF 16 SHEETS
 1/11/16
 PROJECT NO.
 N16001