

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF SEPTEMBER 29, 2016

FILE NO: MPA-16-091 & TPUD-16-092

AGENDA ITEM: F-4 & F-5

STAFF AUTHOR: Hope Sullivan, AICP, Planning Manager

REQUESTS:

To adopt a resolution recommending to the Board of Supervisors approval of a Master Plan Amendment from Lumos & Associates (property owner Andersen Family Associates) to allow a change in the Master Plan Land Use Designation of a 5.6 acre area from Medium Density Residential (MDR) to Mixed Use Residential (MUR), located at North Ormsby Blvd. and 1450 Mountain St., APNs 007-573-06, and 08.

To consider a request from Lumos & Associates (property owner Andersen Family Associates) for a Tentative Planned Unit Development (TPUD) on 78.2 acres for the proposed Vintage at Kings Canyon development. The TPUD is requested for (1) Tentative Map approval to create 212 single family residential lots ranging in size from 1,690 square feet to 17,000 square feet; (2) a Zoning Map Amendment to rezone 5.6 acres of land from Single Family 6,000 (SF6) and Single Family 12,000 (SF12) to Neighborhood Business (NB) zoning; and (3) a Special Use Permit for Congregate Care Housing in the Neighborhood Business (NB) zoning district. The subject property is located at North Ormsby Blvd, 1450 Mountain St and 1800 Kings Canyon Rd, APNs 007-573-06, 07, 08 and 009-012-02.

APPLICANT: Lumos & Associates

OWNER: Andersen Family Associates

LOCATION: 1450 Mountain Street, and property west of Ormsby Blvd and north of Kings Canyon Road.

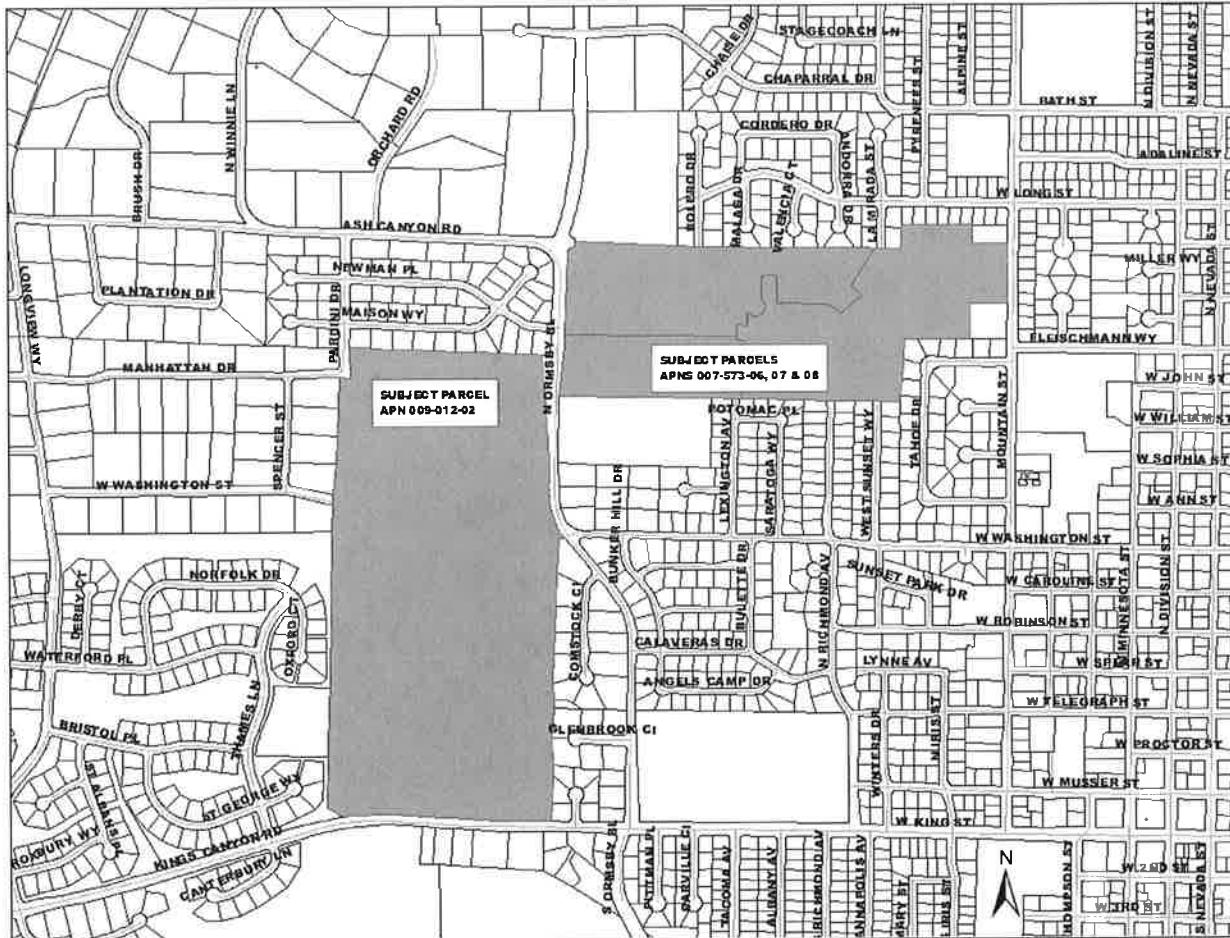
APN(s): 007-573-06, 07, 08 and 009-12-02

RECOMMENDED MOTIONS:

"I move to adopt Resolution No. 2016-PC-R-3 recommending to the Board of Supervisors approval of MPA-16-091, a Master Plan Amendment from Lumos & Associates (property owners: Andersen Family Associates) to amend the Land Use Map so as to re-designate 5.6 acres as depicted in Figure 3 of the application for a Master Plan Amendment: Vintage at Kings Canyon, dated August 18, 2016, a copy of which is attached to this resolution, from Medium Density Residential to Mixed Use Residential, on property located at 1450 Mountain Street, APNs 007-573-06 and -08, based on the findings contained in the staff report."

"I move to recommend approval of TPUD-16-092, a Tentative Planned Unit Development for 212 single family residential lots with a clubhouse and a pool, a 96 unit congregate care facility with associated ancillary uses, a park, and a trail system, including a zoning map amendment to rezone 5.6 acres of land as shown in Figure 8 of the application for a Tentative Planned Unit Development: Vintage at Kings Canyon dated August 18, 2016 from Single Family 6,000 (SF6) and Single Family 12,000 (SF12) to Neighborhood Business (NB), and including approval of a Special Use Permit to allow a 96 Congregate Care Facility with associated ancillary uses, a reduction in the side setbacks in the SF6 zoning district, the use of a modified parking standard, and the use of a modified street design for property located at 1450 Mountain Street and property located west of Ormsby

Boulevard and north of Kings Canyon Road, APN 007-573-06, -07, - 08, and 009-012-02 based on the findings and subject to the recommended conditions of approval in the staff report.”



RECOMMENDED CONDITIONS OF APPROVAL: MPA-16-091

1. The Master Plan amendment shall not become effective until the effective date of the Planned Unit Development being contemplated as part of TPUD-16-092.

RECOMMENDED CONDITIONS OF APPROVAL: TPUD-16-092

The following are conditions of approval required per CCMC 18.02:

1. All development shall be substantially in accordance with TPUD plans and application materials reviewed by the Board of Supervisors at its meeting of (date), all on file with the Carson City Planning Division.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The Congregate Care Use shall commence within twelve (12) months of the date of final PUD approval. A single, one (1) year extension must be requested in writing to the

Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.

4. The applicant must sign and return the Notice of Decision within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. All parcel maps or preferably final maps shall be in substantial accord with the approved tentative map.
6. Prior to submittal of any parcel map or preferably final map, the Development Engineering Department shall approve all on-site and off-site improvements. The applicant shall provide construction plans to the Development Engineering Department for all required on-site and off-site improvements, prior to any submittals for approval of a final map. The plan must adhere to the recommendations contained in the project soils and geotechnical report.
7. Lots not planned for immediate development shall be left undisturbed and mass grading and clearing of natural vegetation shall not be allowed. Any and all grading shall comply with City standards. A grading permit from the Nevada Division of Environmental Protection shall be obtained prior to any grading. Noncompliance with this provision shall cause a cease and desist order to halt all grading work.
8. All lot areas and lot widths shall meet the zoning requirements approved as part of this tentative map with the submittal of any parcel map or preferably final map.
9. With the submittal of any parcel map or preferably final maps, the applicant shall provide evidence to the Planning and Community Development Department from the Health and Fire Departments indicating the agencies' concerns or requirements have been satisfied. Said correspondence shall be included in the submittal package for any parcel map or preferably final maps and shall include approval by the Fire Department of all hydrant locations.
10. The following note shall be placed on all parcel maps or preferably final maps stating:

"These parcels are subject to Carson City's Growth Management Ordinance and all property owners shall comply with provisions of said ordinance."
11. All other departments' conditions of approval, which are attached, shall be incorporated as conditions of this report.
12. Placement of all utilities, including AT&T Cablevision, shall be underground within the subdivision. Any existing overhead facilities shall be relocated prior to the submittal of a parcel map or preferably final maps.
13. Hours of construction will be limited to 7:00 a.m. to 7:00 p.m., Monday through Friday, and 7:00 a.m. to 5:00 p.m. on Saturday and Sunday. If the hours of construction are not adhered to, the Carson City Building Department will issue a warning for the first violation, and upon a second violation, will have the ability to cause work at the site to cease immediately.

14. The applicant shall adhere to all City standards and requirements for water and sewer systems, grading and drainage, and street improvements.
15. The applicant shall obtain a dust control permit from the Nevada Division of Environmental Protection. The site grading must incorporate proper dust control and erosion control measures.
16. A detailed storm drainage analysis, water system analysis, and sewer system analysis shall be submitted to the Development Engineering Department prior to approval of a final map.
17. Prior to the recordation of the final map for any phase of the project, the improvements associated with the project must either be constructed and approved by Carson City, or the specific performance of said work secured, by providing the City with a proper surety in the amount of one hundred fifty percent (150%) of the engineer's estimate. In either case, upon acceptance of the improvements by the City, the developer shall provide the City with a proper surety in the amount of ten percent (10%) of the engineer's estimate to secure the developer's obligation to repair defects in workmanship and materials which appear in the work within one (1) year of acceptance by the City.
18. A "will serve" letter from the water and wastewater utilities shall be provided to the Nevada Health Division prior to approval of a final map.
19. The District Attorney shall approve any CC&R's prior to recordation of the first final map.
20. All lot areas and lot widths shall meet the zoning requirements approved as part of this planned unit development with the submittal of any parcel map or preferably final map.
21. The applicant shall preserve as many trees as practicable within the common open space areas. Mature trees damaged by fire and others in poor health shall be removed only after approval of the Planning and Community Development Department.
22. The homeowner's association shall maintain all common open space areas including the area devoted to the guest parking.

The following are conditions that must be met prior to review of the TPUD by the Board of Supervisors.

23. The plans must be modified to show all existing easements, and demonstrate that the proposed plan is not in conflict with the function of any easements. The document number for each easement must be identified.
24. The proposed handbook must be modified to include the following.
 - a. A legible map of the site showing area street names and area lot lines.
 - b. A legible map depicting the interior lots and streets with the zoning superimposed.
 - c. A lot layout identifying what model home is proposed on each lot.
 - d. Dimensional requirements for each lot including required setbacks and building height.
 - e. Tentatively approved building elevations with materials called out.
 - f. Tentatively approved floor plans.
 - g. As uses have been identified, remove references to Special Use Permits (1.4.1.e)

- h. Remove reference to a Specific Plan (1.4.1.f)
- i. Remove reference to average lot size as that will not be part of the dimensional criteria (1.4.2.a)
- j. Include the Phasing Plan with the improvements associated with each phase clearly articulated.
- k. Remove the reference to wetlands are there are none. (2.1.2.a)
- l. Clarify limitations on signage on Mountain Street and Orsmbay Boulevard. (2.1.6.d)
- m. Clarify if wood can be used for a trash enclosure (2.1.8.c)
- n. Incorporate text that vehicular gates will be open from 7:00 AM – 7:00 PM.
- o. Remove reference to attached residential units. (2.2.2.)
- p. Clarify if lots will be identified by number or letter (2.2.2.f)
- q. Include the open space diagram so as to ensure that no improvements in conflict with the open spaces are pursued.
- r. Remove references to walls along collector roadways (2.2.6.a)
- s. Call out that buffer areas are as shown on the TPUD. To the extent there is conflict between the handbook and the TPUD plan, the plan prevails. (2.3.b)
- t. Bollard lighting will not be included on the public trail system. (2.3.d)
- u. Modify the Residential Architectural Elements (2.4.2) to better describe the proposed elevations.
- v. Incorporate operations and maintenance information, agreed to by the Parks and Recreation Director and City Engineer, regarding operations and maintenance of common areas, drainage areas, the park, trails, and other areas subject to maintenance by the HOA. To the extent there are outstanding details, provide a reference as a place holder.
- w. Clarify that the park and trail maintenance will be the responsibility of the HOA. (3.1.4.a)
- x. Modify references to traffic impact reports to recognize additional reports will be required when there are changes that effect traffic counts or flow patterns. If there are no changes that effect traffic counts or flow patterns, a sealed memo will be submitted with the construction permit application stating that the traffic impact study for the tentative map applies to the proposed improvements. (3.7)
- y. References to Fire Protection and Police Protection to be modified to recognize the scope of development is included in the TPUD, and there is no future project that may require conditions. (3.8 and 3.9)

The following are general conditions of approval.

- 25. An updated water main analysis must be provided addressing the system capacity and the water and fire flow demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).
- 26. Plans must be revised to show an isolation valve where the water main for the PUD connects to the water main in N Ormsby Blvd, labeled as "Normally Closed". This valve is required for pressure zone separation.
- 27. Plans must be revised to show an additional water main connection at Lexington Avenue.
- 28. Plans must be revised to show a 20 foot wide public utility easement (PUE) along the north side of Ash Canyon Creek from N Ormsby Blvd to the west boundary of the project. This PUE must also cross the creek on the west side of the project. This PUE must be labeled "proposed public utility easement, to be created with Final Map." This easement will be required per Section 17.01.015.4 of the Carson City Municipal Code for a future water transmission line per the Carson City Water Master Plan.

29. Plans must be updated to show water on the south side of Merlot Dr, per Carson City Standard Detail C-1.2.4
30. Approval of new water mains must be obtained from NDEP after Carson City plan review is complete. A sample station will be required, location to be determined.
31. An updated sewer main analysis must be provided, addressing the system capacity and the sanitary sewer demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).
32. An updated traffic impact study must be provided if there are any changes that effect traffic counts or flow patterns. If there are no changes that effect traffic counts or flow patterns, a sealed memo must be submitted with the construction permit application stating that the traffic impact study for the tentative map applies to the proposed improvements. This shall apply to improvement phasing also.
33. Ormsby Blvd. is identified as a Collector and shall meet the standard cross section per Carson City Standard Details along the project frontage. The pedestrian connections on each side of Ormsby to the North and South must be made by sidewalk or concrete multi use path. Include striping for a cross walk at Washington St. and ADA ramps. Final improvements to be reviewed and approved by the City Engineer.
34. Plans must be updated to show the new public trail outside of the boundary fence.
35. Plans must be updated to show access for maintenance vehicles to detention/retention basins. Ormsby Blvd and Mountain St may not be the only access adjacent to any basins. Any paved walkways along said access must have appropriate thickness to allow for vehicles.
36. Plans must be updated to indicate that common space drainage, storm drains and basins are to be privately maintained by the HOA. The Handbook and the CC&Rs shall reflect this.
37. Plans must be updated to give building pads a minimum of 2 feet of flood freeboard.
38. Several lots have back lot line elevations that are significantly higher than the existing grade. Plans must be updated to clarify how this will work.
39. There is a discrepancy between the drainage report and the plans, calling the basins both detention and retention basins. Please clarify the function of these basins. Retention basins will require additional information about infiltration rates in the Technical Drainage Study.
40. Provide a full Technical Drainage Study per Division 14.9 of the CCDS. This technical drainage study must address the following:
 - a. There is a culvert that exits the southeast corner of the property by the park at Mountain Street. This culvert is known to overtop during 5 year storm events. The inlet to this facility, and storm drain in Mountain Street, must be analyzed to determine what remediation is necessary to accommodate additional flows, if any, from the project.
 - b. There are existing culverts that cross Ormsby Blvd for site runoff and for Ash Canyon Creek. The ability of the subject property to store flood waters may potentially aid in the ability of these structures to handle storm flows. Structural

fill for the development may reduce this storage capacity for storm events. The ability of these structures to handle storm events after development must be analyzed.

- c. The report must address the propagation of irrigation flows to any downstream water rights holders.
- d. A drainage plan must be provided that shows the flood volume 1:1 balance and shows a clear, free draining, 100 year flow path. Account for on and off site flows on this plan.
- e. Update the report to account for offsite flow coming from the area between Vicee and Ash Canyon, namely areas VC03, AC10, and AC09, and offsite flow from upstream subdivisions such as Long Ranch Estates and Wellington Crescent.
- f. The offsite flow table shows 12cfs for 10%, 2%, and 1% chance events. There is little to no fluctuation between these values, also these values seem low considering the flows reported for the areas between Vicee and Ash Canyon in the WCR Freeway Analysis. Please address this.
- g. The pre and post development flow seems low. Please address this.
- h. The drainage report must state that a CLOMR will be required for the development.
- i. Show sizing of the culvert crossings at Bolero and at Lexington streets. These culverts must be designed to handle the 100 year storm flows.

41. Plans must show that vertical and horizontal data are tied to the Carson City control network and use the network for all floodplain base flood and structure elevations.

42. The plans and the drainage study must demonstrate adherence to Flood Protection ordinance 12.09 and erosion and sediment control ordinance 12.12.

43. The project must get approval of a CLOMR from FEMA and give Carson City funds to process a LOMR once the project is completed.

44. A stormwater pollution prevention permit, and a dust control permit must be obtained from the Nevada Division of Environmental Protection (NDEP).

45. Plans must be updated to address street lighting requirements per Division 12.14 of the CCDS.

46. Plans must be updated to show that trees do not hinder minimum sight distance per Division 12.11 of the CCDS, and to show that trees are not within 10 feet of water or sewer mains.

47. Plans must be updated to give instructions for identification and removal of on-site perennial pepperweed.

48. As part of the Final Map, plans must be updated to show a Public Utility Easement per the above requirements.

49. All roadway gates must provide a minimum of 20' clear width when open.

50. All roadway gates with electric operators must have a Knox key switch for emergency vehicle access.

51. All roadway gates that have manual locks must have an approved Knox box or other CCFD approved method of providing a way to unlock the gate.

52. Once more than 30 building permits for dwelling units are applied for there must be a second approved access to the subdivision.
53. Project must comply with the 2012 International Fire Code (IFC) and Northern Nevada Fire Code amendments. Hydrants don't comply with 2012 IFC Appendix C spacing requirements.
54. The assisted living complex needs to provide turn-arounds due to the length of the fire access road to the rear of the parking lot, or provide a connected loop route.
55. Additional hydrants will be required for the assisted living complex.
56. Provide more detail of the assisted living area. Some type of covered patient loading area is preferred.
57. The proposed independent and assisted living buildings will require fire sprinklers and fire alarms. The other proposed commercial buildings may require fire alarms and fire sprinklers depending on the final design.
58. All Building plans need to be submitted to Carson City Building Department for Health and Human Services review.
59. The Assisted Living facilities will need approval from Nevada Division and Public and Behavioral Health Bureau of Health Care Quality and Compliance prior to construction.
60. This project must meet all applicable codes as found in 40 CFR 408, CCMC 12.06., CCMC 12.12, and 2012 UPC.
61. Any commercial facility will be required to install a properly sized grease interceptor if that facility will be engaged in preparing food for the public or its residences i.e.: club house, assisted living facility, deli, and or extended care facilities. Per CCMC 12.06.245, and 2012 UPC.
62. Any new facility that will be engaged in food preparation will also need to connect trash enclosure to a grease interceptor. Per CCMC Appendix 18 Division 15.5.
63. Dependent on the type of facility, amounts and types of chemicals used, commercial facilities may also be required to provide 100% secondary containment for chemicals stored and used at facility. Per CCMC 12.06.248
64. Garbage disposals not allowed in commercial facilities or institutions per CCMC 12.06.226.
65. Please note any facility with a wash pad or the potential to discharge petroleum products or excessive suspended solids shall install an approved sand and oil interceptor in accordance with the Uniform Plumbing Code. Per CCMC 12.06.246.
66. A private Home Owner's Association (HOA) will be formed to provide maintenance for all the following areas in perpetuity: Common area landscape and open space areas, buffer areas between the development and neighborhoods, common area path system, landscape medians, street corridors, non-public recreation facilities/amenities (i.e. club house/pool) in perpetuity. The HOA will also be responsible for snow removal on private streets and snow storage. The maintenance and funding shall be addressed in the

development's CC&R's to the satisfaction of the Carson City District Attorney. Common area maintenance shall include at a minimum, but not limited to the following:

- Debris, weed, and litter removal
- Noxious weed management
- Care and replacement of plant material
- Plant material irrigation and irrigation system repair

67. The HOA will provide 100% funding and maintenance for all public park and recreation amenities (i.e. neighborhood park, linear park, multi-use path system, park and exercise equipment etc.). The maintenance and funding shall be addressed in the development's CC&R's as well as in the Handbook to the satisfaction of the Carson City District Attorney. A separate development agreement regarding maintenance of these facilities shall be entered into between the HOA and the City, and the development agreement shall be referenced in the Handbook. A recorded covenant or deed restriction is recommended on all properties within the proposed development to ensure maintenance of these amenities is funded in perpetuity. The restrictions will provide that should the HOA ever cease to exist, an assessment will then be implemented by the City to form a Landscape Maintenance District (LMD), per CCMC to provide for the maintenance and upkeep of the public parks and recreation amenities and linear park/multi-use path.

68. The multi-use path will be designed to conform to the standards and policies of the Carson City Unified Pathways Master Plan adopted April 6, 2006 (as revised March 15, 2007).

69. The neighborhood park will be designed to conform to the Parks and Recreation Master Plan as adopted by Carson City on April 6, 2006 (as revised March 15, 2007).

70. Paths and sidewalks shall conform to the standards as outlined in the Carson City Unified Pathways Master Plan.

71. Sidewalk connections to the neighborhood park and linear park/multi-use path will provide convenient and logical access to these facilities and the overall sidewalk network within the development.

72. As part of the Phase 1 improvement plan, the applicant will construct and dedicate to the City the neighborhood park and linear park/multi-use path, as well as implement the improvements at the Mountain Street trailhead. This shall be coordinated through and agreed upon by the Carson City Parks, Recreation & Open Space Department.

73. The developer shall be required to use best management practices during construction to prevent the spread of noxious weeds and will incorporate language in construction documents to ensure contractors and subcontractors comply. The Parks, Recreation and Open Space Department will assist the applicant with this condition.

74. As phases of the Planned Unit Development are implemented, the plans shall be submitted for review by the City. The applicant shall be required to demonstrate connectivity between the neighborhood park, linear park/multi-use path, and sidewalks. This shall be done to the satisfaction of the Parks, Recreation & Open Space Department.

75. All drainage facilities (channels, ditches, and detention basins) within the development will be the responsibility of the HOA and shall be maintained to City Standards.

76. The developer, at their expense, will construct and dedicate the land and all agreed upon improvements for the neighborhood park and linear park/multi-use path to the City upon successful completion, and final project acceptance of said work by the City, through its Parks, Recreation & Open Space Department. As a result, the Residential Construction Tax (RCT) described in CCMC 15.60 - Residential Construction Tax et. seq. will not be collected by Carson City at the time building permits are issued for residential dwelling units in the project area. A development agreement, or similar instrument, between the applicant and the City regarding RCT, park and trail construction will be required for consideration of the Carson City Board of Supervisors and to the satisfaction of the Carson City District Attorney at the time of Final Map.
77. The applicant will design and construct a 1.2 acre neighborhood park.
78. The park design will be coordinated with the Parks, Recreation, and Open Space Department for review and approval, including construction inspections. The design will be consistent with the department's guidelines and development standards, including water conservation design elements.
79. The park design will incorporate universally accessible components and be compliant with the Americans with Disability Act.
80. The park will be designed to allow for City maintenance vehicles and emergency services to access the site.
81. The proposed project's perimeter fencing will be located on the outside of the park property to ensure public access. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the park will be allowed at locations approved by the Parks, Recreation and Open Space Department.
82. Vineyards will not be incorporated into the design for the neighborhood park.
83. The park's design shall incorporate the existing Mountain Street Trailhead. The applicant shall design and construct, at their expense any design modifications to the trailhead, including but not limited to a restroom facility (including utility connection fees associated with a permanent flush toilet facility), parking lot infrastructure preservation/maintenance (crack sealing, slurry seal, restriping, curb cut for access etc.) and a 10' wide concrete path with an adjacent 3' wide decomposed granite path connecting to the trailhead. It is expected the that park design shall be seamless with the existing trailhead and the identified trailhead improvements shall be constructed during Phase I and at the same time as the neighborhood park.
84. The applicant will design and construct a multi-use path (off street/paved/shared) at a 10' wide (minimum) AASHTO standard concrete path with an adjacent 3' wide decomposed granite path. It will be constructed from the City's Mountain Street Trailhead to the City's Long Ranch Estates Open Space trail system and have an at grade pedestrian crossing with flashing lights on North Ormsby Boulevard.
85. The applicant will design and construct a 1.82 acre (approximate size) linear park/multi-use path that will have various site amenities. They will include but are not limited to universally accessible outdoor exercise components/stations, interpretive signage related to the Anderson Ranch history, park benches/seating areas (per 1000 lineal feet of trail along the path), pet waste stations/trash cans, signage depicting direction and

trail distance, and landscaping. The linear park should offer universally accessible outdoor exercise equipment that incorporates a well-rounded fitness program (aerobic, muscle, core, balance, strength and flexibility) for the benefit of Vintage at Kings Canyon residents and the general public.

86. The linear park/multi-use path shall be located outside the proposed project's perimeter fence for ease of access by the general public. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the path will be allowed at locations approved by the Parks, Recreation and Open Space Department.
87. The linear park/multi-use path will include landscaping with a variety of trees (either evergreen or deciduous) that will be planted at a rate of 1 tree per 50 lineal feet (tree groupings are acceptable) with a minimum of 6 shrubs per tree. Also, there will be no vineyards incorporated into the landscape design concept for the linear park/multi-use path.
88. The applicant shall design and construct a 10 foot (minimum) wide AASHTO standard concrete multi-use path with an adjacent 3 foot wide decomposed granite path along Kings Canyon Road from the pedestrian facilities at the corner of North Ormsby Boulevard to the Long Ranch Estates Subdivision's pedestrian facilities. This path connection will improve bicycle and pedestrian safety along Kings Canyon Road. While this path is not located within the proposed development area it is located on property identified within the applicant's project application.
89. The Vintage at Kings Canyon's Conceptual Planned Unit Development plan is located on property currently owned by Andersen Ranch LLC. This property is identified in the Open Space Plan as a high priority area for protection due to its irrigated agricultural lands. The current owners have not initiated discussions with the City regarding acquisition. Therefore, additional acquisition outside of the neighborhood park and linear park/multi-use path will not be required at this time.
90. Revise the Master Plan Amendment and the Tentative Planned Unit Development documents to state that all open space references refer to the private common areas required by the City's development standards and not the City's Open Space Program.
91. The Unified Pathways Master Plan (UPMP) identifies bicycle lanes along the street frontage of the proposed project on North Ormsby Boulevard (Exhibit B). This UPMP requirement on North Ormsby Boulevard needs to be coordinated with City Engineering's requirements for the development's half street improvements.

LEGAL REQUIREMENTS: CCMC 18.02.070 (Master Plan), NRS Chapter 278A (Planned Development), CCMC Section 17.07 (Findings), CCMC Section 17.09 (Planned Unit Development), CCMC Section 18.02.080 (Special Use Permits), CCMC Section 18.04.120 (Neighborhood Business)

MASTER PLAN DESIGNATION: Medium Density Residential (MDR)

ZONING DISTRICT: Single Family 6000 (SF6), Single Family 12,000 (SF12), and Single Family One Acre (SF1A)

KEY ISSUES: Does the request meet the findings required for a Master Plan Amendment? Does the proposal meet the Planned Unit Development requirements and other applicable requirements?

SURROUNDING MASTER PLAN:

NORTH: Medium Density Residential
SOUTH: Medium Density Residential
WEST: Low Density Residential & Parks and Recreation
EAST: Medium Density Residential

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Single Family 12,000 / Single Family Residential & Vacant
SOUTH Single Family 12,000 & Single Family 6000/ Single Family
WEST: Single Family One Acre & Single Family 21,000 / Single Family Residential
EAST: Public Community and Single Family 6000 / Single Family & Parking Lot

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: AO & AE (100 year flood plain), X shaded (between 100 – 500 year flood plain)
SLOPE/DRAINAGE: Generally flat
SEISMIC ZONE: Zone I (Severe)
FAULT: Within 500 feet

SITE DEVELOPMENT INFORMATION:

SUBJECT SITE AREA: 78.2 acres
EXISTING LAND USE: Vacant land
DWELLING UNITS PROPOSED: 212
CONGREGATE CARE UNITS: 96

SITE HISTORY:

March 2, 2016: CPUD-16-009: Conceptual Review of Vintage at Kings Canyon Planned Unit Development consisting of 214 residential lots, an assisted living facility, an extended care facility, and neighborhood commercial services.

June 21, 2016: CPUD-16-059: Conceptual Review of Vintage at Kings Canyon Planned Unit Development consisting of 212 residential lots, congregate care, and neighborhood business uses.

BACKGROUND:

On March 2, 2016, the applicant participated with City staff in a Conceptual Planned Unit Development review (CPUD-16-009) for the proposed development per the Planned Unit Development process outlined in Section 17.09 of the Carson City Municipal Code (CCMC). The purpose of the Conceptual Planned Unit Development review is for City staff to provide comments to the applicant regarding City requirements for the proposed project.

Due to the changes in the design, staff requested a second Conceptual Planned Unit Development review (CPUD-16-059) so as to be able to identify any changes in the staff comments based on re-design.

As part of both conceptual plan review processes, staff advised the applicant that a Master Plan Amendment and a Tentative Planned Unit Development (PUD) review would be procedurally necessary.

PUBLIC COMMENTS:

Public notices were mailed to 645 property owners within 900 feet of the subject site on September 9, 2016. As of the writing of this report, one letter in support and 59 letters in opposition of the request have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting, depending on the date of submission of the comments to the Planning Division.

A summary of the comments is as follows:

- Developer responsive to community concerns.
- No appropriate for open space.
- It's an upscale development.
- Allow general public to use services inside the development.
- May be too pricey for the target market.
- Inadequate diversity of the housing styles.
- Lots too small.
- No handicapped parking shown.
- Not similar to surrounding housing choices in neighborhood.
- Object to re-zoning area.
- Keep it as it is, as open space.
- Object to commercial uses in a residential setting and possible expansion of these uses in the future.
- Not compatible with surroundings.
- Housing does not provide adequate size.
- Should seek diversity of age of residents.
- Need to address snow removal.
- Open space is in yards, not true open space.
- Object to on-street parking, inadequate parking proposed.
- Traffic study is inadequate.
- Not enough time spent looking at the traffic patterns, specifically during school drop off/pick up times.
- Stating over 55 aged people do not drive is inaccurate.
- Additional traffic on streets will also impact students walking to/from schools.
- Senior housing may not be the best target for new housing in Carson City.
- Project needs additional review prior to a decision.
- The application does not follow/conform to all text of the Master Plan goals and policies.
- Not adequate sewer, water to support this expansion of housing.
- Inadequate open space.
- Lot sizes are too small.
- Provide height limitations on the homes.
- Provide detail of fencing.
- Increase width of trails, especially on exterior.
- How is the HOA maintained? Will it be self-sufficient? Will other CC residents end up paying to maintain this project?
- Are there adequate numbers of physicians available in CC to provide services to this targeted influx of seniors?
- Will residents be safe if behind a gate which is locked at night?
- No diversity of population. A wider age range meets the needs of a vibrant community.
- What landscaping is proposed?
- How will 55+ be enforced? What about emergency situations where a young person needs care and needs to stay here?
- What disaster evacuation plans for elderly? Fire/flood ingress/egress for CCH

- Overhead power lines are shown on the plan and are not allowed with new development.
- Light pollution with new development of commercial.
- Only benefit of project is to developer.
- Mirror the Long Ranch/Kings Canyon project with large open spaces, trails, etc.
- Open or extend the existing dead-end or closed streets to allow traffic to travel freely through the proposed development.
- Traffic is proposed on streets which are too narrow to support it.
- Flood plain. Flooding in past. Additional development will impact surrounding properties with run-off, who may need flood insurance as a result.
- Housing creates a need for additional public services.
- Green spaces need to be available to the public, not behind a locked gate or posted for residents only. Provide details of gates and fencing.
- Explain height of buildings. Restrict to one story to maintain views.
- Restrict to avoid transitional housing/homeless housing.
- Kitchen in CCH is too small to provide meals to residents.

MASTER PLAN AMENDMENT

The applicant is seeking a Master Plan map amendment to re-designate 5.6 acres currently designated as Medium Density Residential to Mixed Use Residential as shown on the map below.



DISCUSSION:

The Carson City Master Plan was adopted on April 6, 2006. As stated in Chapter 1 of the Master Plan:

"This Master Plan is an officially adopted advisory document that outlines Carson City's vision and goals for the future and provides guidance for elected and appointed officials in making choices regarding the long-range needs of the community. The written goals and guiding principles, policies, and recommended actions, in combination with the Land Use Map, provide guidance for decisions affecting growth, the use and development of land, preservation of open space and the expansion of public facilities and services. The Master Plan consists of both written policy recommendations and maps, which should be used together when making decisions. It is also recognized that this document should be reviewed annually at a public hearing and revised as needed to reflect the availability of new implementation tools, changes in State and Federal law, changes in funding sources, the results of monitoring the effectiveness of existing policies and the impact of past decisions, as well to reflect changes in the community's vision for the future."

In general, the Master Plan has goals and policies that encourage compact growth and infill development where infrastructure is available, and discourages sprawl development that would compromise the open space surrounding the City.

The applicant is seeking to re-designate a 5.6 acre area currently designated as Medium Density Residential (MDR) on the Land Use Map of the Master Plan to a Mixed Use Residential (MUR) designation. The applicant has a concurrent application for a Tentative Planned Unit Development (TPUD) that includes a re-zoning of the 5.6 acre area to Neighborhood Business (NB). As part of the TPUD, the applicant is seeking to develop the 5.6 acre area as congregate care with ancillary uses. Given the specificity of the request, staff is recommending that the effective date of the Master Plan amendment be the effective date of the Planned Unit Development.

Section 18.02.070 of the CCMC identifies the process for amending the Master Plan. A property owner may initiate a Master Plan amendment. The Board of Supervisors has the authority to approve an amendment to the Master Plan. The Planning Commission reviews requests for amendments to the Master Plan and, upon making the four required findings identified in 18.02.070.10 of the CCMC, may adopt a resolution recommending approval of the amendment. A recommendation for approval requires a 2/3s vote the Commission membership.

FINDINGS: MASTER PLAN AMENDMENT

Consistent with CCMC Section 18.02.070.10, when forwarding its decision to the Board for adoption of the amendment, the Commission shall, at a minimum, make the following findings of fact.

a. Consistency with Master Plan

The number one theme of the Master Plan is to have a Balanced Land Use Pattern. There are three associated guiding principles.

Guiding Principle 1: A Compact and Efficient Pattern of Growth

Carson City will have a compact pattern that makes efficient use of the limited land area and water resources it has available for urban growth, that fosters the provision of infrastructure and services in a cost-effective manner, and that balances development with conservation of the natural environment – particularly where public lands abut the urban interface.

Guiding Principle 2: Balanced Land Use Mix

The City will work to broaden and diversify its mix of land uses in targeted areas as well as citywide. Particular emphasis will be placed on expanded housing, retail, and service options to better serve both existing residents and the City's large non-resident workforce – achieving a better balance as a place to live as well as work.

Guiding Principle 3: Stewardship of the Natural Environment

The City will identify and strive to conserve its natural, scenic, and environmentally sensitive areas including important wildlife habitat, the floodplains of the Carson River and other significant watercourses, and visually sensitive areas, such as prominent hillsides surrounding the community. In addition, the City will plan for future development to minimize the impacts of potential natural disaster events, such as wildfire and flooding, on the community.

The subject property is an infill site. It is surrounded by property currently served by water and sewer and appropriate infrastructure, thus is consistent with a compact and efficient pattern of growth. Additionally, the proposed amendment will allow for a diversified mix of land uses in that it will allow for an age in place community that not only includes dwellings of various size lots with private amenities, but also includes a congregate care facility where residents can live when they can no longer take care of themselves. This will allow residents to stay in their community even when they are not able to stay in their home any longer.

The third component of achieving a balanced land use pattern is land protection. The City's Open Space Plan recognizes that irrigated agricultural lands within the community are valuable. However, when the land is no longer irrigated and utilized for agricultural purposes, it becomes vacant land that is no longer a scenic resource. Staff would describe the subject property as this. In fact, the Fire Department has received complaints from residents concerned about the dry vegetation creating a hazardous condition. In the case of private land, the City will pursue protection of land as open space if it can be acquired from a willing seller, or by other mutually agreeable methods (CCMC 13.06.060.) There is not a willing seller. Therefore, staff finds the proposed amendment to be consistent with the City's policies regarding open space.

Staff finds the request is also consistent with Guiding Principal #9.

Guiding Principal 9: Stable, cohesive neighborhoods offering a mix of housing types.

Carson City will encourage the development of new neighborhoods that contain a mix of land uses and housing options that meet the varying functional and financial needs of its residents, including single family, attached homes (duplexes, townhomes), multi-family dwellings, accessory dwellings, and housing included as part of mixed-use developments. The City will also work to maintain the quality and character of established neighborhoods and ensure that infill and redevelopment is designed in a manner that minimizes impacts on existing neighborhoods, including rural neighborhoods located within the City's urbanizing areas.

The proposal will allow for housing that meets various functional needs. Absent the Master Plan amendment and associated zoning map amendment, a congregate care facility cannot be located on the subject property. The location proposed for a Master Plan amendment is interior to the site with residential development surrounding the congregate care facility.

Staff finds the request to be consistent with the following goals of the Master Plan.

1.1b Urban Service Area

Discourage growth in locations not currently served by urban services or not planned to be served by the city's water and wastewater infrastructure by prohibiting the rezoning of lands for urban development intensities in locations not served or planned to be served by urban services, as identified in the City's Water and Wastewater Master Plan.

2.1.d Land Use Friction Zones

Discourage rezoning of properties that create "friction zones" between land uses – for example, placing incompatible land uses such as industrial and residential adjacent to one another. Enforce standards for transitions between residential and commercial uses and develop standards for mixed-use development to address compatibility issues.

2.2.a. Variety of Housing Types

Encourage a mix of housing models and densities for projects within the urbanized area based upon their size, location, surrounding neighborhood context, and applicable land use policies, as contained in Chapter 3. In general, larger neighborhoods should incorporate the largest variety while a smaller site surrounded by existing housing may be more limited by required transitions.

9.3b Compatibility of Infill and Redevelopment

Ensure that infill and redevelopment is designed in a manner that minimizes impacts on and is compatible with existing neighborhoods through the use of appropriate height and density transitions, similar setbacks and lot coverage, garage and loading area location and configuration, the development of park and recreational facilities, connectivity to existing neighborhoods by a pathways system, and other neighborhood specific design considerations.

b. Compatible Land Use

Per the Master Plan, the Mixed Use Residential neighborhoods are intended to be largely self-supporting and to be comprised predominantly of medium to high-density housing (with a mix of types and intensities) as well as a range of retail, office or live-work units or in close proximity to such services. In this particular case, the requested Master Plan Map amendment is for a 5.6 acre area located in the interior of a 78.2 acre property. The 5.6 acre portion is intended to be utilized for a congregate care facility with ancillary uses. The balance of the land will be utilized for residential uses, a park, and trails. By making the effective date of the Master Plan amendment tied to the effective date of the Planned Unit Development, there can be certainty in the compatibility of land uses.

c. Response to Change Conditions

Historically, nursing homes (now called congregate care, assisted living, independent living) have been treated as institutional uses, much like a hospital, and not been permitted in residential areas. More recently, the concept of "aging in place" communities have become popular. These over 55 year old communities allow activities for seniors, but also have various housing types within the community to allow the resident to remain in the community, but to have housing that corresponds to their abilities. Active, healthy adults may have a home with a yard that they care for, and then move on to a zero lot line home where they can take care of themselves in the home but don't have a yard to care for, and then move on to an independent living unit where someone else handles the cleaning and meal preparations. The existing residential land use designations and the residential zoning districts do not allow for congregate care in a residential zoning district, thus a "aging in place" community cannot be realized given existing Master Plan land use designations and associated zoning designations.

d. Desired Pattern of Growth

The subject property is surrounded by development, and is consistent with the City's goal of infill development, and targeting development to areas with adequate infrastructure, including water, sewer and roads.

TENTATIVE PLANNED UNIT DEVELOPMENT

DISCUSSION:

Per Section 17.09.005 of the CCMC, the purpose of the Planned Unit Development (PUD) is to encourage more efficient use of the land and of public and private services in Carson City; to reflect the changes in technology of land development so the resulting economies benefit Carson City, and to preserve or provide open space, protect natural, cultural and scenic resources, minimize road building and encourage stable, cohesive neighborhoods offering a mix of housing types. The PUD allows for flexibility of land development regulations, while controlling development in the best interests of the ecology, economy, public health, safety, morals, and general welfare of the citizens.

In general, a Planned Unit Development (PUD) is similar to an overlay zone. The allowable uses are limited to those uses allowed in the underlying zoning district, and may be further limited. The allowable density is limited to the density allowed in the underlying zoning per the provisions of CCMC Section 17.09.025. The dimensional criteria, including lots sizes and setback, can be modified in a PUD to something less restrictive than the underlying zoning would require. The general concept is that the balance of the land can be used as open space and recreational amenities. Per the provisions of CCMC Section 17.09.100, 30 percent of the gross area of the site must be set aside for open space. The "zoning ordinance" for the PUD is housed in the PUD Development Standards Handbook.

The handbook submitted for the Vintage at Kings Canyon PUD was modeled after the Lompa Ranch handbook. As Lompa Ranch was a Master Plan Amendment with a Specific Plan, the scope and level of specificity in the handbook is different than that which would be required in a PUD. Given this, staff recommends that prior to review of the TPUD by the Board of Supervisors, the applicant modify the proposed handbook as noted below and throughout the report, as well as incorporating any changes recommended by the Planning Commission. This will allow for a administratively functioning handbook to be adopted with the TPUD.

Modifications to the handbook prior to consideration of the TPUD by the Board of Supervisors shall include the following:

1. A legible map of the site showing area street names and area lot lines.
2. A legible map depicting the interior lots and streets with the zoning superimposed.
3. A lot layout identifying what model home is proposed on each lot.
4. Dimensional requirements for each lot including required setbacks and building height.
5. Tentatively approved building elevations with materials called out.
6. Tentatively approved floor plans.
7. As uses have been identified, remove references to Special Use Permits (1.4.1.e)
8. Remove reference to a Specific Plan (1.4.1.f)
9. Remove reference to average lot size as that will not be part of the dimensional criteria (1.4.2.a)
10. Include the Phasing Plan with the improvements associated with each phase clearly articulated.
11. Remove the reference to wetlands are there are none. (2.1.2.a)
12. Clarify limitations on signage on Mountain Street and Orsmy Boulevard. (2.1.6.d)

13. Clarify if wood can be used for a trash enclosure (2.1.8.c)
14. Incorporate that vehicular gates will be open from 7:00 AM – 7:00 PM.
15. Remove reference to attached residential units. (2.2.2.)
16. Clarify if lots will be identified by number or letter (2.2.2.f)
17. Include the open space diagram so as to ensure that no improvements in conflict with the open spaces are pursued.
18. Remove references to walls along collector roadways (2.2.6.a)
19. Call out that buffer areas are as shown on the TPUD. To the extent there is conflict between the handbook and the TPUD plan, the plan prevails. (2.3.b)
20. Bollard lighting will not be included on the public trail system. (2.3.d)
21. Modify the Residential Architectural Elements (2.4.2) to better describe the proposed elevations.
22. Incorporate operations and maintenance information, agreed to by the Parks and Recreation Director, regarding operations and maintenance of common areas, the park, and trails. To the extent there are outstanding details, provide a reference as a place holder.
23. Clarify that the park and trail maintenance will be the responsibility of the HOA. (3.1.4.a)
24. Modify references to traffic impact reports to recognize additional reports will be required when there are changes that effect traffic counts or flow patterns. If there are not changes that effect traffic counts or flow patterns, a sealed memo will be submitted with the construction permit application stating that the traffic impact study for the tentative map applies to the proposed improvements. (3.7)
25. References to Fire Protection and Police Protection to be modified to recognize the scope of development is included in the TPUD, and there is no future project that may require conditions. (3.8 and 3.9)

The Vintage at Kings Canyon PUD is an infill residential development consisting of 212 single-family residential lots with a clubhouse and pool, a 96 unit congregate care facility with associated ancillary uses, park, and a trail system on 78.2 acres. The applicant proposes an over 55 year old community that will accommodate aging in place. Additionally, the applicant proposes a road network, a trail system, open space areas, and a park. The development is proposed to be fenced and gated, with gates open from 7:00 AM to 7:00 PM.

In terms of land use, the applicant proposes to limit the allowable uses beyond those that are allowed in the underlying zoning district as noted in the table below.

Proposed Table of Permitted Uses

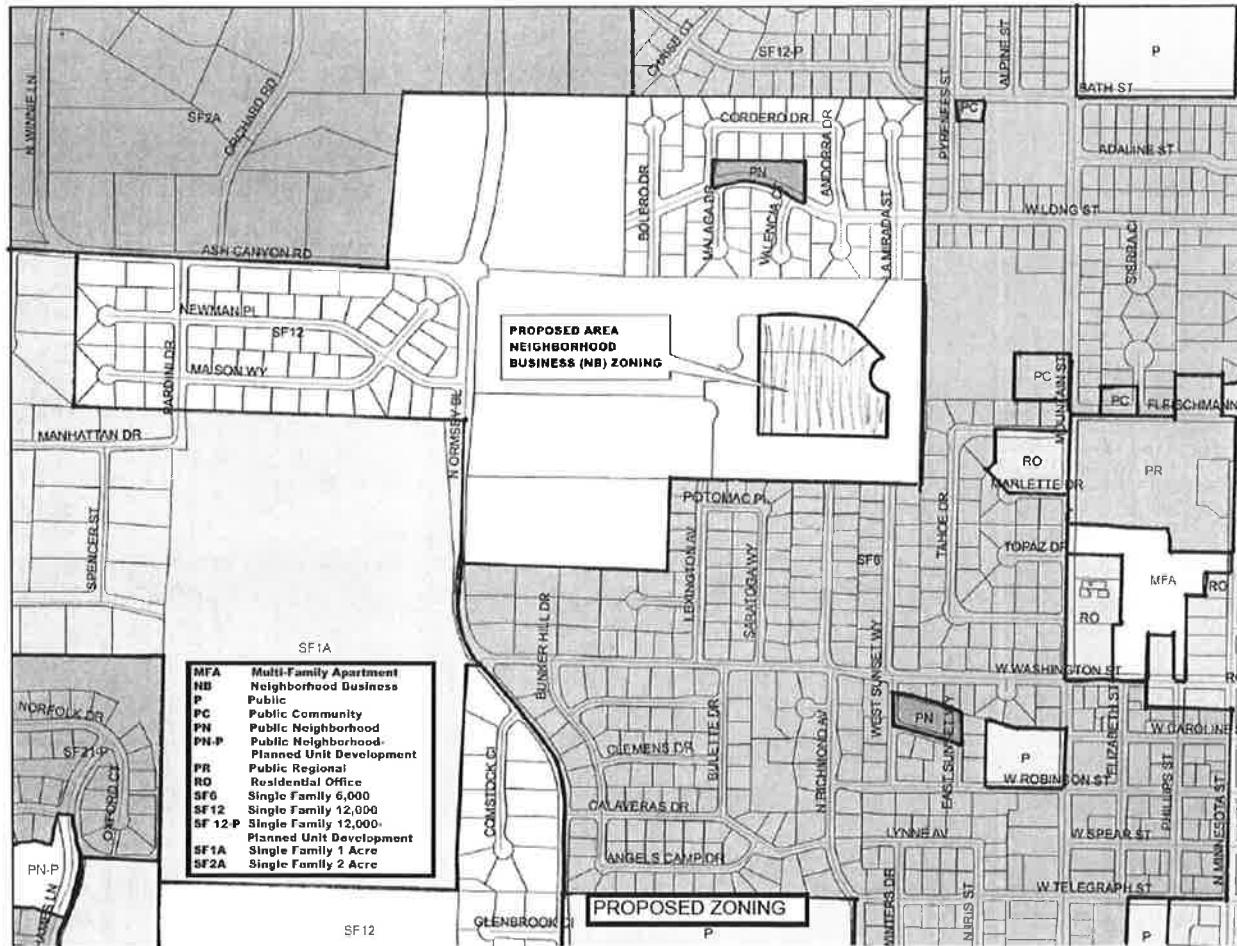
Zone	Permitted Uses	Notes
SF12	Single Family Residential	Ancillary uses per CCMC
SF6	Single Family Residential	Ancillary uses per CCMC
SF6	Sales Center	Hours of Operation 9:00 AM – 6:00 PM
NB	Congregate Care	Building shall not exceed one story
NB	Assisted Living Center	Building shall not exceed one story
NB	Independent Living Center	Building shall not exceed one story
NB	Personal Services (art galleries, libraries, café's, resident food service, salons, barber shops, dry cleaners, similar)	Limited to use by residents and guests only. Commercial uses open to general public are prohibited.
NB	Gym / fitness center	Limited to use by residents and guests only. Commercial uses open to general public are prohibited.
NB	Medical Office	Ancillary to assisted / independent living and

		congregate care residents only.
NB	General Office	Limited to Vintage at Kings Canyon Administrative Offices only.
NB	Sales Center	Hours of operation shall be between 9:00 AM – 6:00 PM.

In terms of dimensional criteria, the applicant is seeking the following modifications:

- Lot sizes that are smaller than the required zoning, as depicted on the site plan;
- To utilize a zero lot line product as shown on the site plan;
- To utilize an alternative parking standard for the personal services use as the use is not available to the public;
- To utilize a rolled curb, and parking on one side of the street.

As part of the TPUD, the applicant is seeking to rezone a 5.6 acre area from Single Family 6,000 (SF6) and Single Family 12,000 (SF12) to Neighborhood Business (NB), as shown on the map below.



In accordance with CCMC Section 17.09.030, the tentative subdivision map, the zoning map amendment, and the special use permit that would otherwise be required are included as part of the request for a TPUD, and are not subject to a separate and distinct review process.

Per the provisions of CCMC Section 17.09.045, the Planning Commission reviews requests for TPUDs, and makes a recommendation to the Board of Supervisors based on the ability to make the findings of fact identified in CCMC Section 17.07 in the affirmative.

Development Requirements of a Planned Unit Development (PUD)

Timing of Development (CCMC 17.09.020)

The applicant is proposing to develop the site in five phases. Per the provisions of CCMC Section 17.09.020, the construction and development of all approved amenities, including open space and support facilities shall occur no later than the construction or development of 25 percent of the dwelling units. Twenty five percent is 53 dwelling units. The 53rd dwelling unit will be constructed in phase II of the project. Recognizing this, as the neighborhood park and associated linear park/multi-use path are located within phase 1, staff would recommend that those improvements be included as part of the improvement plans in phase 1. Furthermore, to accommodate improved pedestrian access, particularly to area schools, staff recommends that the public trail from the existing trail head on Mountain Street to Orsby Boulevard be completed in phase 1. The balance of the amenities would need to be included in the phase 2 improvement plans.

Staff also recommends that the phasing plan be included in the PUD Handbook with the required improvements associated with each phase clearly articulated.

Density of Land (CCMC 17.09.025)

CCMC 17.09.025 identifies the maximum density allowed based on the underlying zoning classification. Utilizing the applicable formula, the PUD can have a total of 235 residential lots. The applicant proposes 212 residential lots, thus is in compliance with the allowable density. Note that the 5.6 acres proposed for the congregate living facility is not included in this calculation.

Specific Design Standards (CCMC 17.09.095)

The minimum site area for a PUD may not be less than five acres. The subject property is 78.2 acres.

The minimum number of units in the PUD shall not be less than five dwelling units. The applicant proposes 212 dwelling units.

The minimum lot area in the SF1A zoning district may be reduced to no less than 33 percent of the minimum lot size allowed by the applicable zoning district. No lots in the SF1A are proposed to be less than 33 percent of the minimum lot size. The other applicable zoning districts do not have a minimum required lot area in a PUD.

In the SF1A zoning district, where the resultant lot will be less than one acre, the following dimensional requirements shall apply.

	<u>Required</u>	<u>Proposed</u>
Minimum Lot Width:	80 feet	80 feet
Minimum Front Setback:	20 feet	25 feet
Minimum Side Setback:	10 feet	15 feet
Minimum Street Side Setback:	15 feet	20 feet
Minimum Rear Setback	20 feet	30 feet

The lot dimensions, particularly lot width, depicted on the proposed plans comply with this requirement. Additionally, the setbacks articulated in the proposed handbook Section 2.2.2.h demonstrate compliance with these provisions.

There is no internal setback requirement provided that a minimum of ten feet between structures is maintained. The proposed plans demonstrate compliance with this requirement. Staff recommends inclusion of this requirement in the handbook.

Except fences, no structure may be located within 20 feet of the periphery boundary of the PUD. The plans demonstrate compliance with this requirement.

The height of buildings in a PUD is as allowed in the underlying zoning district. The applicant has volunteered that all building associated with the congregate living facility will be a single story. As this facility will be in the middle of a residential area, and to help create compatibility, staff would recommend a condition of approval that the buildings that are associated with the congregate care facility be limited to a single story, with a building height to not exceed 26 feet. Single story homes are proposed in the SF6 and SF12 zoned areas, and on the perimeter lots of the SF1A lots. Interior lots in the SF1A zoned areas are proposed to include an optional second floor. Staff would recommend a condition of approval that reflects the intent of the building height, with additional wording that would limit single story homes to a height of 15 feet, and two story homes to a height of 20 feet. Of note, building height is defined as from average grade to the midpoint of the highest roof surface. Staff would further recommend that these limitations be clearly articulated in the handbook.

Parking standards are required as articulated in Division 2 of the Development Standards. Each home is required to provide two on-site parking spaces. The Garden Villa model includes a one car garage. All other residences include a two car garage. Consistent with Division 2, staff recommends that the Garden Villa model be modified to accommodate two on-site parking spaces, or, consistent with 2.2.F of the Development Standards, the applicant submit accredited documentation to the Director justifying a modification to the parking requirements. Staff recommends that this requirement be included in both the Conditions of Approval as well as the handbook.

The congregate care facility will require one space for each five beds plus one space per three employees. Compliance with this condition will be subject to final determination at the time of construction plan review when the design of the facility is known. Staff finds that the ancillary uses that are part of the congregate care facility are not a separate and distinct use. Therefore, no additional parking is required to accommodate those uses.

Storage areas may be provided in the plan. The applicant has shown a maintenance building on the site, which may be used to store maintenance equipment.

Sidewalks are required on all public and private streets. The streets are proposed to be private. Sidewalks are proposed on both sides of the street. The HOA will be responsible for maintaining the streets and sidewalks, including snow removal.

Underground utilities (water, sewer, gas, electricity, telephone, cable television) shall be required in all PUDs, prior to any street paving. Staff recommends that this be made a condition of approval and be incorporated into the handbook. This requirement will be enforced as part of the improvement plan review.

Landscaping is required to meet the City's standards. A preliminary landscaping plan has been submitted. A detailed landscape plan demonstrating compliance with the provisions of Division

3 of the Development Standards and CCMC 17.09 shall be required a part of the improvement plans.

Bike paths consistent with the Unified Pathways Plan are required. The applicant has proposed a multi-use pathway from the trail head on Mountain Street along the southern property line, across Orsmy Boulevard, along the eastern property line, and then along the southern edge of the irrigation ditch consistent with the Unified Pathways Plan.

Drainage on the internal private and public streets shall be as required by the Development Engineering Department. The Engineering Department has recommended a condition of approval requiring a full technical drainage study. Engineering has also recommended a condition of approval that all common space drainage, storm drains and basins are to be privately maintained by the Homeowner's Association. This requirement should appear in the handbook.

Fire hydrants shall be provided and installed as required by the Fire Department. As proposed, the hydrants do not comply with the 2012 International Fire Code Appendix C spacing requirements. Additional hydrants will be required for the assisted living complex. Staff has recommended conditions of approval requiring compliance with the hydrant spacing requirements.

Open Space (CCMC 17.09.100)

All PUDs shall set aside a minimum of 30 percent of the gross area of the site for open space. Therefore, 23.46 acres must be retained as open space. Open space in residential PUDs shall not include sidewalks adjacent to streets, or areas in front or side setbacks with a dimension of less than 20 feet. Open space may include clubhouses and pools. No more than 25 percent of the open space may be private, meaning used exclusively for the use of the occupants such as a backyard or a patio. The applicant has provided an exhibit demonstrating 19.2 acres of common open space, and 5.8 acres of private open space, thus complying with the open space requirements.

If dedication of open space is not accepted, the developer shall provide for and establish an organization for ownership and maintenance for any and all common open space and other common property consistent with the requirements of CCMC 17.09.105.

FINDINGS: TPUD

Per CCMC Section 17.07.005 (Findings) and Section 17.09.050 (Approval or Denial of Application), the approval or denial of a PUD shall be based on the specific findings outlined below. Staff will first address the findings outlined in Section 17.07.005, followed by the findings outlined in Section 17.09.050.

Section 17.07.005 (Findings):

1. *Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or public sewage disposal and, where applicable, individual systems for sewage disposal.*

The PUD will be required to connect to the City water and sewer system. The proposed PUD will be required to obtain a dust control and stormwater pollution prevention permit from the Nevada Division of Environmental Protection (NDEP), and the site grading must incorporate proper dust control and erosion control measures.

2. *The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision.*

The City Engineer finds there is sufficient capacity in the water system for the use. However, the Engineer has recommended a condition of approval that an updated water main analysis be provided addressing the system capacity and the water and fire flow demands for the development. Staff has recommended this requirement in the conditions of approval. Sufficient water resources are addressed through the Growth Management building permit allocation system and other ongoing water management efforts.

3. *The availability and accessibility of utilities.*

The project is an infill project located in a portion of the City where utilities are available. The City Engineer has advised that there is sufficient capacity.

4. *The availability and accessibility of public services such as schools, police protection, transportation, recreation and parks.*

The PUD is an infill project in an area that is served by existing schools, sheriff protection, and transportation facilities. The proposed development will not overburden these services. The Parks and Recreation Master Plan finds that there is a need for a neighborhood park in this area, and the implementing strategy state “If the property (Andersen Ranch) develops, ensure that a neighborhood park is provided.” The applicant has allocated land in the plans for a neighborhood park consistent with the Parks and Recreation Master Plan, and has agreed to improve the park. Staff would recommend that the inclusion of a condition of approval that in Phase 1, the applicant improve and dedicate the neighborhood park and associated linear park/multi-use path from the trailhead on Mountain Street to Orsmbay Boulevard. Staff is also recommending that the park and recreation amenities be fully funded by the Homeowner’s Association, and this should be memorialized in the handbook, the CC&Rs, and in a development agreement or a similar instrument.

5. *Access to public lands. Any proposed subdivision that is adjacent to public lands shall incorporate public access to those lands or provide an acceptable alternative.*

The proposed PUD is not adjacent to public lands. However, the site does have frontage on Kings Canyon Road, and offers an opportunity to significantly improve pedestrian facilities at the corner of North Ormsby Blvd to Long Ranch Estates pedestrian facilities. This connection was discussed at the Parks and Recreation Commission meeting, and the Commission approved the following motion *“I move that (since) the Andersen Family has agreed to contribute land for a multiuse path on their Northern Heritage Property along the northern edge of King’s Canyon road, and the developer of the Vintage at King’s Canyon has agreed to develop that path, that we strongly encourage the Planning Commission and the Board of Supervisors to take advantage of this opportunity.”* Consistent with this, staff is recommending that the applicant design and construct a ten foot (minimum) wide AASHTO standard concrete multiuse path with an adjacent three foot wide decomposed granite path along Kings Canyon Road from the pedestrian facilities at the corner of North Ormsby Boulevard to the Long Ranch Estates Subdivision’s pedestrian facilities. This path connection will improve bicycle and pedestrian safety along Kings Canyon Road, and will ultimately lead to trails and bike lanes that access public lands on the west side of the City.

6. *Conformity with the zoning ordinance and land use element of the City's Master Plan.*

Conformity with the zoning ordinance and the Master Plan rely on the amendment to the Master Plan. If the Master Plan is re-designated as requested, the requested zoning map amendment will be consistent with the Master Plan, and the proposed PUD will be consistent with both the zoning map amendment and the Master Plan. If the findings for a Master Plan amendment cannot be met, then this finding cannot be met.

ZONING MAP AMENDMENT FINDINGS: CCMC Section 18.02.075.5 (Zoning Map Amendment Findings) identifies the findings that must be met in the affirmative for the Planning Commission to recommend Board approval of the Zoning Map Amendment. These findings are identified below.

1. *That the proposed amendment is in substantial compliance with and supports the goals and policies of the Master Plan.*

This zoning map amendment is part of an application for a PUD. Concurrent with the PUD application is an application for a Master Plan Map amendment. If the Master Plan Map amendment is approved, the requested zoning map amendment will be consistent with the Master Plan. If the Master Plan amendment is not approved, then this finding cannot be made in the affirmative.

2. *That the proposed amendment will provide for land uses compatible with existing adjacent land uses and will not have detrimental impacts to other properties in the vicinity.*

The zoning map amendment is part of an application for a PUD. The applicant is seeking Neighborhood Business zoning, but by tying the zoning map amendment to the PUD, has limited the allowable uses to ensure compatibility. Additionally, the 5.6 acre area that is subject to the zoning map amendment request will, as part of the PUD application, be surrounded by single family homes. Given that the uses are restricted and the placement is surrounded by residential uses that will be adjacent to other residential uses, and that a traffic impact analysis has found no impact, staff can make this finding in the affirmative.

3. *That the proposed amendment will not negatively impact existing or planned public services or facilities and will not adversely impact the public health, safety and welfare.*

The zoning map amendment is part of an application for a PUD. The City Engineer has reviewed the proposed project and found there to be sufficient capacity for the project as shown. The Sheriff's office has reviewed the proposed project, and advised it does not have any concerns.

SPECIAL USE PERMIT FINDINGS: CCMC Section 18.02.080.5 (Special Use Permits Findings) identifies the findings that must be met in the affirmative for the Planning Commission to approve a Special Use Permit. These findings are identified below.

1. *Will be consistent with the master plan elements.*

This finding can be met only if the findings for the requested Master Plan Amendment can be met. The requested Master Plan designation is Mixed Use Residential. This

designation is intended to promote self-supporting neighborhoods which contain medium to high-density housing, but also includes retail, offices or live-work units. This designation further is appropriate adjacent to designated activity centers and along major corridors where infill and redevelopment is encouraged, as well as on larger vacant parcels within the urbanized area where larger scale planning is possible. The congregate care facility with ancillary uses is necessary to allow for the diversification of functional housing to allow for aging in place.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of the adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

As conditioned, the staff believes this finding can be met. The congregate care facility will be located on the interior of the parcel, surrounded by homes. Lighting at the congregate care facility will be limited to 12 feet high, and will utilize shielded fixtures to prevent spillover. Trash enclosures have also been sited in the interior of the site so as to avoid off-site impacts. Parking areas are also interior to the site, with single family homes located between the parking area and the perimeter property line. In general, congregate care facilities do not generate objectionable noise, vibrations, fumes, odors, dust, or physical activity. Glare will not be a concern due to the height of the lights and the shields.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The project proposes six access points – three on Osmby Boulevard, one on Mountain Street, one on Lexington Avenue, and one on Bolero Drive. The applicant has prepared a Traffic Impact Study that analyzes the potential traffic impacts of the project. The traffic engineer concluded that there are no identified impacts requiring mitigation, and that all roadways in the study area, including Lexington Avenue and Bolero Drive, will adequately accommodate the added project traffic without significant impacts.

The traffic study recognizes that the proposed project will be fenced and gated, and the analysis is performed under an assumption that the gates will be in an open position from 7:00 AM to 7:00 PM. Given this assumption, staff recommends a condition of approval that the gates are required to remain open at all vehicular access points from 7:00 AM to 7:00 PM, and that this requirement shall be incorporated into the handbook.

Staff finds that the proposed project, due to the inclusion of the pathways, will improve pedestrian traffic by creating a safe pedestrian path from Osmby Boulevard to Mountain Street, and from Osmby Boulevard to Long Ranch Estates. These paths are consistent with the City's pathways plan. However, to ensure public access to these paths, staff recommends that the perimeter fence be located on the interior of the pathway system so as to provide privacy and security for residents of Vintage at Kings Canyon, while allowing the public unimpeded access to the trail.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The sheriff's office and the Fire Department have reviewed the project, and their comments have been incorporated into the staff report and the conditions of approval. The City Engineer has concluded that new city water, sewer, storm drain, and access services will be needed for this project, and there is sufficient capacity for the project as shown.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

Congregate care is a conditional use in the Neighborhood Business zoning district. Concurrent with the request for a PUD, the applicant is seeking a Master Plan amendment to re-designate the subject property from Medium Density Residential to Mixed Use Residential. As part of the PUD request, the applicant is seeking to amend the zoning map to rezone the 5.6 acre area from SF6 and SF12 to NB. If the Master Plan amendment findings can be met, then the zoning map amendment findings can be met. With the property Master Plan and Zoning Map designations, the use will meet the definition and specific standards of the CCMC. If the Master Plan finding for amendment cannot be met, this finding cannot be met.

6. Will not be detrimental to the public health, safety, convenience and welfare.

As conditioned, the proposed development will not be detrimental to public health, safety, convenience and welfare. The project is an infill project that will provide housing to seniors who can no longer live in their own homes. The proposed development will be surrounded by residences.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

As conditioned, the proposed project will not result in material damage to other property in the vicinity.

(continuation of 17.07.005: PUD Findings)

7. General conformity with the City's Master plan for streets and highways.

The City's functional classification map identifies Orsmbay Boulevard as a Collector. Staff recommends that the east side of Orsmbay Boulevard be improved to meet the standard cross section per the Carson City Standard Details along the frontage as part of Phase 2 of the project. The west side of Orsmbay Boulevard shall be improved to meet the standard cross section per the Carson City Standard Details along the frontage as part of Phase 4 of the project

8. The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision.

The proposed subdivision will have six points of access: three on Orsmbay Boulevard, one on Mountain Street, one on Lexington Avenue, and one on Bolero Drive. The road system interior to the project is proposed to be private. To ensure adequate access, staff recommends that the interior road system connect to Lexington Avenue as part of Phase 1, and that the interior road system connect to Orsmbay Boulevard as part of Phase 2.

Per the traffic impact analysis, the existing public streets surrounding this infill site are adequate to accommodate the traffic generated by the proposed subdivision, and service levels on existing streets will be minimally impacted. Based on the traffic study submitted and general street capacity standards, the Engineering Division has determined that the additional trips can be accommodated without impacting the level of service at nearby intersections.

9. *The physical characteristics of the land such as flood plains, earthquake faults, slope and soil.*

The subject property is in areas designated as being in the 100 year flood plan. The City Engineer has recommended a condition that a full technical drainage study per Division 14.9 of the Design Standards be completed. As part of this study, the City Engineer would require that a drainage plan be provided that shows no change to flood levels and shows a clear, free draining, 100 year flow path.

The subject property is in Zone I, which means a severe earthquake potential. There is a fault zone within 500 feet. The applicant has submitted a geotechnical analysis that finds the site to be suitable for the proposed improvements subject to recommendations. In order to ensure recommendations are incorporated, staff recommends a condition of approval that all construction drawings must be reviewed by the geotechnical engineer and a letter from the geotechnical engineer shall be submitted with all construction drawings verifying that he has reviewed the construction drawings and finds that they incorporate the construction techniques per his design recommendations. This requirement should also be included in the handbook.

10. *The recommendations and comments of those entities reviewing the subdivision request pursuant to NRS 278.330 thru 278.348, inclusive.*

The recommendations of reviewing departments and other entities have been incorporated into the conditions of approval for the proposed subdivision, as applicable.

11. *The availability and accessibility of fire protection including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires including fires in wild lands.*

The project is in an infill area. The Fire Department has reviewed the proposed PUD, and the recommended conditions of the Fire Department have been incorporated into the recommended conditions of approval. The City Engineer is recommending an updated water main analysis to address fire flow, but has opined that there is sufficient capacity for the project as shown.

12. *Recreation and trail easements.*

The Parks and Recreation Commission and the Parks and Recreation staff have reviewed the requested PUD. The applicant is proposing to construct a 1.2 acre neighborhood park consistent with the Parks and Recreation Master Plan, and a multi-use (off street/paved/shared) path from the City's Mountain Street trailhead to the existing trails in Longview. The Parks and Recreation Commission, at its meeting of September 6, 2016, voted:

"to recommend to the Planning Commission and the Board of Supervisors approve the park and path facilities as proposed by the Vintage at King's Canyon applicant, based on its compliance with the City's Parks and Recreation Master Plan and Unified Pathways Master Plan as updated by the handout today, and including a restroom, signed access points, Mountain Street will be open without the fencing, we do 100 percent funded Landscape Maintenance District with the operations and maintenance plan coming to Parks and Recreation for development, a public access easement trail in Linear Park to be recorded on the maps, and that a north-south trail connection be integrated into the plan."

The Commission also encouraged the Planning Commission to pursue a trail on the north side of King's Canyon Road, as previously discussed in this report.

The Parks and Recreation Department staff have provided comprehensive comments regarding ownership and maintenance of the park and trails, design and construction coordination, and the placement of the perimeter fence vis-à-vis these improvements.

Staff is recommending that the Homeowner's Association (HOA) accept responsibility for maintaining the common area landscaping and open space areas, buffer areas between the development and other neighborhoods, the common area path system, landscape medians, street corridors, and non-public recreation facilities/amenities in perpetuity. Staff further recommends that the HOA also provide 100 percent funding and maintenance for all public park and recreation amenities (i.e. neighborhood park, linear park, multi-use path system, park and exercise equipment), to be memorialized in a recorded development agreement or through a similar instrument.

With regard to the perimeter fencing, staff recognizes the applicant's desire to secure the site with a perimeter fence and gates. However, staff finds that the multi-use pathway should be on the outside of the fence so all users can have easy access. Staff has recommended a condition that the perimeter fencing be located on the interior of the trail.

Of note, the Unified Pathways Master Plan identifies bicycle lanes along the street frontage of North Ormsby Boulevard. This improvement will be realized with the improvements to the right-of-way as part of phases 2 and 4.

Section 17.09.050 (Approval or Denial of PUD Application) identifies the findings that must be made with regard to approval of a PUD application, including in what respects the plan would or would not be in the public interest with consideration of the following:

1. *In what respects the plan is or is not consistent with the statement of objectives of the Planned Unit Development ordinance.*

The proposed plan is consistent with the statement of objectives of the Planned Unit Development ordinance. The proposed Vintage at Kings Canyon project has been designed to meet all requirements of the Planned Unit Development Ordinance, and will provide beneficial recreational amenities and transportation linkages, while being designed to be sensitive to neighboring uses.

2. *The extent to which the plan departs from zoning and Planned Unit Development regulations otherwise applicable to the property, including but not limited to density, size and use, and the reasons such departures are or are not deemed to be in the public interest.*

The proposed plan does not depart from the PUD regulations. Within the parameters of the PUD regulations, the applicant is proposing to utilize a lot size and setbacks that are smaller than that required in the underlying zoning district. The result is in excess of 30 percent open space with both private and public recreational amenities. The departure from the base zoning regulations is in the public interest.

3. *The purpose, location and amount of the open space in the Planned Unit Development, the reliability of the proposals for maintenance and conservation of the open space and the adequacy or inadequacy of the amount and purpose of the open space as related to the proposed density and type of residential development.*

The purpose, location and amount of open space in the PUD is appropriate for the project, and consistent with the requirements. The staff recommends that the maintenance responsibility be assigned to a HOA with a maintenance scope of work identified in a development agreement or a similar instrument.

4. *A physical design of the plan and in the manner in which such design does or does not make adequate provision for public services, provide adequate control over vehicular traffic, parking requirements, and further the amenities of light and air, recreation and visual enjoyment.*

As detailed in the Engineering Division comments, the physical design of the plan does make adequate provisions for public services and does provide adequate control over vehicular traffic. Adequate on-site parking will be provided.

5. *The relationship, beneficial or adverse, of the proposed Planned Unit Development to the neighborhood in which it is proposed to be established.*

The proposed PUD is an infill project that will allow for an age in place community. The PUD will provide pathways and a neighborhood park that will be beneficial to the neighborhood.

6. *In the case of a plan which proposes a development over a period of years, the sufficiency of the terms and conditions intended to protect the interest of the public and the residents of the Planned Unit Development in the integrity of the plan.*

The applicant has provided a phasing plan indicating five phases. To ensure the benefit of the recreational amenity and the improved pedestrian bike/walking path can be enjoyed by the community, staff recommends that these improvements be completed in Phase 1. Additionally, staff recommends that the roadway connection to Lexington Avenue occur as part of Phase 1 so as to provide two vehicular access points, and that roadway access to Orsmby Boulevard from the east side occur in Phase 2. All amenities will need to be improved in Phase 2 when 25 percent of the dwellings are constructed. With incorporation of these comments into the phasing plan, staff finds that the proposed phasing plan protects the interest of the public and the residents of the Planned Unit Development.

Based on the ability to make the required findings subject to the proposed conditions of approval, staff recommends that the Planning Commission approve application TPUD-16-092 based on the required findings as noted above.

OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS: Comments were received from various city departments and are outlined below. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Engineering Division:

RECOMMENDATION:

The Engineering Division has no preference or objection to the TPUD.

CONDITIONS OF APPROVAL:

1. An updated water main analysis must be provided addressing the system capacity and the water and fire flow demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).
2. Plans must be revised to show an isolation valve where the water main for the PUD connects to the water main in N Ormsby Blvd, labeled as "Normally Closed". This valve is required for pressure zone separation.
3. Plans must be revised to show an additional water main connection at Lexington Avenue.
4. Plans must be revised to show a 20 foot wide public utility easement (PUE) along the north side of Ash Canyon Creek from N Ormsby Blvd to the west boundary of the project. This PUE must also cross the creek on the west side of the project. This PUE must be labeled "proposed public utility easement, to be created with Final Map." This easement will be required per Section 17.01.015.4 of the Carson City Municipal Code for a future water transmission line per the Carson City Water Master Plan.
5. Plans must be updated to show water on the south side of Merlot Dr, per Carson City Standard Detail C-1.2.4
6. Approval of new water mains must be obtained from NDEP after Carson City plan review is complete. A sample station will be required, location to be determined.
7. An updated sewer main analysis must be provided, addressing the system capacity and the sanitary sewer demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).
8. An updated traffic impact study must be provided if there are any changes that effect traffic counts or flow patterns. If there are no changes that effect traffic counts or flow patterns, a sealed memo must be submitted with the construction permit application stating that the traffic impact study for the tentative map applies to the proposed improvements. This shall apply to improvement phasing also.
9. Ormsby Blvd. is identified as a Collector and shall meet the standard cross section per Carson City Standard Details along the project frontage. The pedestrian connections on each side of Ormsby to the North and South must be made by sidewalk or concrete multi use path. Include striping for a cross walk at Washington St. and ADA ramps. Final improvements to be reviewed and approved by the City Engineer.
10. Plans must be updated to show the new public trail outside of the boundary fence.

11. Plans must be updated to show access for maintenance vehicles to detention/retention basins. Ormsby Blvd and Mountain St may not be the only access adjacent to any basins. Any paved walkways along said access must have appropriate thickness to allow for vehicles.
12. Plans must be updated to indicate that common space drainage, storm drains and basins are to be privately maintained by the HOA. The Handbook and the CC&Rs shall reflect this.
13. Plans must be updated to give building pads a minimum of 2 feet of flood freeboard.
14. Several lots have back lot line elevations that are significantly higher than the existing grade. Plans must be updated to clarify how this will work.
15. There is a discrepancy between the drainage report and the plans, calling the basins both detention and retention basins. Please clarify the function of these basins. Retention basins will require additional information about infiltration rates in the Technical Drainage Study.
16. Provide a full Technical Drainage Study per Division 14.9 of the CCDS. This technical drainage study must address the following:
 - a. There is a culvert that exits the southeast corner of the property by the park at Mountain Street. This culvert is known to overtop during 5 year storm events. The inlet to this facility, and storm drain in Mountain Street, must be analyzed to determine what remediation is necessary to accommodate additional flows, if any, from the project.
 - b. There are existing culverts that cross Ormsby Blvd for site runoff and for Ash Canyon Creek. The ability of the subject property to store flood waters may potentially aide in the ability of these structures to handle storm flows. Structural fill for the development may reduce this storage capacity for storm events. The ability of these structures to handle storm events after development must be analyzed.
 - c. The report must address the propagation of irrigation flows to any downstream water rights holders.
 - d. A drainage plan must be provided that shows the flood volume 1:1 balance and shows a clear, free draining, 100 year flow path. Account for on and off site flows on this plan.
 - e. Update the report to account for offsite flow coming from the area between Vicee and Ash Canyon, namely areas VC03, AC10, and AC09, and offsite flow from upstream subdivisions such as Long Ranch Estates and Wellington Crescent.
 - f. The offsite flow table shows 12cfs for 10%, 2%, and 1% chance events. There is little to no fluctuation between these values, also these values seem low considering the flows reported for the areas between Vicee and Ash Canyon in the WCR Freeway Analysis. Please address this.
 - g. The pre and post development flow seems low. Please address this.
 - h. The drainage report must state that a CLOMR will be required for the development.
 - i. Show sizing of the culvert crossings at Bolero and at Lexington. These culverts must be designed to handle the 100 year storm flows.
17. Plans must show that vertical and horizontal data are tied to the Carson City control network and use the network for all floodplain base flood and structure elevations.

18. The plans and the drainage study must demonstrate adherence to Flood Protection ordinance 12.09 and erosion and sediment control ordinance 12.12.
19. The project must get approval of a CLOMR from FEMA and give Carson City funds to process a LOMR once the project is completed.
20. A stormwater pollution prevention permit, and a dust control permit must be obtained from the Nevada Division of Environmental Protection (NDEP).
21. Plans must be updated to address street lighting requirements per Division 12.14 of the CCDS.
22. Plans must be updated to show that trees do not hinder minimum sight distance per Division 12.11 of the CCDS, and to show that trees are not within 10 feet of water or sewer mains.
23. Plans must be updated to give instructions for identification and removal of on-site perennial pepperweed.
24. As part of the Final Map, plans must be updated to show a Public Utility Easement per the above requirements.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans, provided that the above conditions are met.

CCMC 18.02.080 (5b) – Impact to Surrounding Property

Development Engineering does not foresee any detriment to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood as long as the above conditions are met.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The request is not in conflict with pedestrian or traffic movements.

CCMC 18.02.080 (5d) - Public Services

New City water, sewer, storm drain and access services will be needed for this project. Those that are shown in the plans may need to be modified per the conditions of approval above. These modifications, however, are minor and there is sufficient capacity for the project as shown. Note that any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details. Also, all construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details. Also, during construction fresh water must be used for dust control.

CCMC 18.02.080 (5f) – Public Health, Safety, Convenience, and Welfare

Development Engineering does not foresee any negative impact to public health, safety, convenience, and welfare as long as the above conditions of approval are met.

CCMC 18.02.080 (5g) – Damage or Prejudice to Other Property in Vicinity

Development Engineering does not foresee any damage or prejudice to other property in vicinity as long as the above conditions of approval are met.

CCMC 18.02.080 (5h) – Adequate Information and Plans

The information and plans provided were adequate for this review. Additional information will be required prior to issuing a construction permit per the conditions of approval.

Building Division:

No comments

Fire Department:

1. All roadway gates must provide a minimum of 20' clear width when open.
2. All roadway gates with electric operators must have a Knox key switch for emergency vehicle access.
3. All roadway gates that have manual locks must have an approved Knox box or other CCFD approved method of providing a way to unlock the gate.
4. Once more than 30 dwelling units there must be a second approved access to the subdivision.
5. Project must comply with the 2012 International Fire Code (IFC) and Northern Nevada Fire Code amendments. Hydrants don't comply with 2012 IFC Appendix C spacing requirements.
6. The assisted living complex needs to provide turn-arounds due to the length of the fire access road to the rear of the parking lot, or provide a connected loop route.
7. Additional hydrants will be required for the assisted living complex.
8. Provide more detail of the assisted living area. Some type of covered patient loading area is preferred.
9. The proposed independent and assisted living buildings will require fire sprinklers and fire alarms. The other proposed commercial buildings may require fire alarms and fire sprinklers depending on the final design.

Parks and Recreation Department:

On September 6, 2016 the Parks and Recreation Commission held a special meeting to consider the Vintage at Kings Canyon proposed development as it relates to compliance to the City's Parks and Recreation Master Plan, Unified Pathways Master Plan, and provide other related comments on the project's proposed neighborhood park and linear park/multi-use path. As a result, please find below the references to the City's adopted plans as it pertains to the proposed project, the Parks Commission's motions, and the Parks and Recreation Department's comments. Attachments are also provided for your consideration.

Carson City Parks and Recreation Master Plan:

1. The proposed development is located within Neighborhood #5 (Exhibit A/Page A-13 of Park Master Plan). Implementation Strategies #3, the Master Plan states, “*If the property (Anderson Ranch) develops, ensure that a neighborhood park is provided.*”

Carson City Unified Pathways Master Plan:

1. The applicant will construct a multi-use (off street/paved/shared) path from the City’s Mountain Street Trailhead to the City’s Long Ranch Estates Open Space trail system (Exhibit B).

Parks and Recreation Commission action:

Motion #1:

“I move to recommend the Planning Commission and the Board of Supervisors approve the park and path facilities as proposed by the Vintage at King’s Canyon applicant, based on its compliance with the City’s Parks and Recreation Master Plan and Unified Pathways Master Plan as updated by the handout today, September 6, 2016, (Exhibit C) and including a restroom, signed access points, Mountain Street will be open without the fencing, we do 100 percent funded Landscape Maintenance District with the operations and maintenance plan coming to Parks and Recreation for development, a public access easement trail in Linear Park be recorded on the maps, and that a north-south trail connection be integrated into the plan.” (Motion Approved 7-0-0)

Motion #2:

“I move that [since] the Anderson Family has agreed to contribute land for a multi-use path on their Northern Heritage Property along the northern edge of King’s Canyon Road, and the developer of the Vintage at King’s Canyon has agreed to develop that path, that we strongly encourage the Planning Commission and the Board of Supervisors to take advantage of this opportunity.” (Motion Approved 7-0-0).

Parks and Recreation Department Comments:

General Comments

- a. A private Home Owner’s Association (HOA) will be formed to provide maintenance for all the following areas in perpetuity: Common area landscape and open space areas, buffer areas between the development and neighborhoods, common area path system, landscape medians, street corridors, non-public recreation facilities/amenities (i.e. club house/pool) in perpetuity. The maintenance and funding shall be addressed in the development’s CC&R’s to the satisfaction of the Carson City District Attorney. Common area maintenance shall include at a minimum, but not limited to the following:
 - Debris, weed, and litter removal
 - Noxious weed management
 - Care and replacement of plant material
 - Plant material irrigation and irrigation system repair
- b. The HOA will provide 100% funding and maintenance for all public park and recreation amenities (i.e. neighborhood park, linear park, multi-use path system, park and exercise

equipment etc.). The maintenance and funding shall be addressed in the development's CC&R's to the satisfaction of the Carson City District Attorney. A separate development agreement regarding maintenance of these facilities shall be entered into between the HOA and the City. A covenant or deed restriction is recommended on all properties within the proposed development to ensure maintenance of these amenities is funded in perpetuity. The restrictions will provide that should the HOA ever cease to exist, an assessment will then be implemented by the City to form a Landscape Maintenance District (LMD), per CCMC to provide for the maintenance and upkeep of the public parks and recreation amenities and linear park/multi-use path.

- c. The multi-use path will be designed to conform to the standards and policies of the Carson City Unified Pathways Master Plan adopted April 6, 2006 (as revised March 15, 2007).
- d. The neighborhood park will be designed to conform to the Parks and Recreation Master Plan as adopted by Carson City on April 6, 2006 (as revised March 15, 2007).
- e. Paths and sidewalks shall conform to the standards as outlined in the Carson City Unified Pathways Master Plan.
- f. Sidewalk connections to the neighborhood park and linear park/multi-use path will provide convenient and logical access to these facilities and the overall sidewalk network within the development.
- g. Prior to the issuance of the certificate of occupancy for the 53rd residential unit in Phase 1, the applicant will construct and dedicate to the City the neighborhood park and linear park/multi-use path. This shall be coordinated through and agreed upon by the Carson City Parks, Recreation & Open Space Department.
- h. The developer shall be required to use best management practices during construction to prevent the spread of noxious weeds and will incorporate language in construction documents to ensure contractors and subcontractors comply. The Parks, Recreation and Open Space Department will assist the applicant with this condition.
- i. As phases of the Planned Unit Development are implemented, the plans shall be submitted for review by the City. The applicant shall be required to demonstrate connectivity between the neighborhood park, linear park/multi-use path, and sidewalks. This shall be done to the satisfaction of the Parks, Recreation & Open Space Department.
- j. All drainage facilities (channels, ditches, and detention basins) within the development will be the responsibility of the HOA and shall be maintained to City Standards.
- k. The developer, at their expense, will construct and dedicate the land and all agreed upon improvements for the neighborhood park and linear park/multi-use path to the City upon successful completion, and final project acceptance of said work by the City, through its Parks, Recreation & Open Space Department. As a result, the Residential Construction Tax (RCT) described in CCMC 15.60 - Residential Construction Tax et. seq. will not be collected by Carson City at the time building permits are issued for residential dwelling units in the project area. A development agreement between the applicant and the City regarding RCT, park and trail construction will be required for future consideration of the Carson City Board of Supervisors and to the satisfaction of the Carson City District Attorney.

Neighborhood Park Comments

- a. The applicant will design and construct a 1.2 acre neighborhood park.
- b. The park design will be coordinated with the Parks, Recreation, and Open Space Department for review and approval, including construction inspections. The design will be consistent with the department's guidelines and development standards, including water conservation design elements.
- c. The park design will incorporate universally accessible components and be compliant with the Americans with Disability Act.
- d. The park will be designed to allow for City maintenance vehicles and emergency services to access the site.
- e. The proposed project's perimeter fencing will be located on the outside of the park property to ensure public access. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the park will be allowed at locations approved by the Parks, Recreation and Open Space Department.
- f. Vineyards will not be incorporated into the design for the neighborhood park.
- g. The park's design shall incorporate the existing Mountain Street Trailhead. The applicant shall design, construct, at their expense any design modifications to the trailhead, including but not limited to a restroom facility (including utility connection fees associated with a permanent flush toilet facility), parking lot infrastructure preservation/maintenance (crack sealing, slurry seal, restriping, curb cut for access etc.) and a 10' wide concrete path with an adjacent 3' wide decomposed granite path connecting to the trailhead. It is expected the park design shall be seamless with the existing trailhead and the identified trailhead improvements shall be constructed during Phase I and at the same time as the neighborhood park.

Linear Park / Multi-use Path Comments

- a. The applicant will design and construct a multi-use path (off street/paved/shared) at a 10' wide (minimum) AASHTO standard concrete path with an adjacent 3' wide decomposed granite path. It will be constructed from the City's Mountain Street Trailhead to the City's Long Ranch Estates Open Space trail system and have an at grade pedestrian crossing with flashing lights on North Ormsby Boulevard.
- b. The applicant will design and construct a 1.82 acre (approximate size) linear park/multi-use path that will have various site amenities. They will include but are not limited to universally accessible outdoor exercise components/stations, interpretive signage related to the Anderson Ranch history, park benches/seating areas (per 1000 lineal feet of trail along the path), pet waste stations/trash cans, signage depicting direction and trail distance, and landscaping. The linear park should offer universally accessible outdoor exercise equipment that incorporates a well-rounded fitness program (aerobic, muscle, core, balance, strength and flexibility) for the benefit of Vintage at Kings Canyon residents and the general public.

- c. The linear park/multi-use path shall be located outside the proposed projects perimeter fence for ease of access by the general public. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the path will be allowed at locations approved by the Parks, Recreation and Open Space Department.
- d. The linear park/multi-use path will include landscaping with a variety of trees (either evergreen or deciduous) that will be planted at a rate of 1 tree per 50 lineal feet (tree groupings are acceptable) with a minimum of 5 shrubs per tree. Also, there will be no vineyards incorporated into the landscape design concept for the linear park/multi-use path.
- e. The applicant shall design and construct a 10' (minimum) wide AASHTO standard concrete multi-use path with an adjacent 3' wide decomposed granite path along Kings Canyon Road from the pedestrian facilities at the corner of North Ormsby Boulevard to the Long Ranch Estates Subdivision's pedestrian facilities. This path connection will improve bicycle and pedestrian safety along Kings Canyon Road. While this path is not located within the proposed development area it is located on property identified within the applicant's project application.

Open Space Comments

- a. The Vintage at Kings Canyon's Conceptual Planned Unit Development plan is located on property currently owned by Andersen Ranch LLC. This property is identified in the Open Space Plan as a high priority area for protection due to its irrigated agricultural lands. The current owners have not initiated discussions with the City regarding acquisition. Therefore, additional acquisition outside of the neighborhood park and linear park/multi-use path will not be required at this time.
- b. Please revised the Master Plan Amendment and the Tentative Planned Unit Development documents that all open space references refer to the private common areas required by the City's development standards and not the City's Open Space Program.

Neighborhood Connectivity to Linear Park / Multi-use Path Comments

- a. The Unified Pathways Master Plan (UPMP) identifies bicycle lanes along the street frontage of the proposed project on North Ormsby Boulevard (Exhibit B). This UPMP requirement on North Ormsby Boulevard needs to be coordinated with City Engineering's requirements for the development's half street improvements.

School District:

No comments received.

Environmental Control Division:

1. This project must meet all applicable codes as found in 40 CFR 408, CCMC 12.06., CCMC 12.12, and 2012 UPC.
2. Any commercial facility will be required to install a properly sized grease interceptor if that facility will be engaged in preparing food for the public or its residences i.e....club house, assisted living facility, deli, and or extended care facilities. Per CCMC 12.06.245, and 2012 UPC.

3. Any new facility that will be engaged in food preparation will also need to connect trash enclosure to a grease interceptor. Per CCMC Appendix 18 Division 15.5.
4. Dependent on the type of facility, amounts and types of chemicals used, commercial facilities may also be required to provide 100% secondary containment for chemicals stored and used at facility. Per CCMC 12.06.248
5. Garbage disposals not allowed in commercial facilities or institutions per CCMC 12.06.226.
6. Please note any facility with a wash pad or the potential to discharge petroleum products or excessive suspended solids shall install an approved sand and oil interceptor in accordance with the Uniform Plumbing Code. Per CCMC 12.06.246.

Health and Human Services:

1. All Building plans need to be submitted to Carson City Building Department for Health and Human Services review.
2. The Assisted Living facilities will need approval from Nevada Division and Public and Behavioral Health Bureau of Health Care Quality and Compliance prior to construction

Attachments

Engineering Comments
Fire Department Comments
Health Department Comments
Environmental Control Agency Comments
Parks and Recreation Comments
Public Comments
Application for MPA-16-091
Application for TPUD-16-092

**Engineering Division
Planning Commission Report
File Number TPUD 16-092**

TO: Hope Sullivan, Planning
FROM: Rory Hogen & Stephen Pottéy P.E., Development Engineering
DATE: September 9, 2016 **MEETING DATE:** September 29, 2016

SUBJECT TITLE:

Request to allow creation of a Planned Unit Development with 212 SFR units, Vintage at Kings Canyon, to allow a change from Single Family 6,000 (SF6) and Single Family 12,000 (SF12) to Neighborhood Business (NB) zoning, and to allow congregate care housing proposed in conjunction with approval of the requested PUD, ZMA and MPA changes, and approval of change to Neighborhood Business (NB) zoning.

Title 17.09, 18.02.075 and 18.04.120

RECOMMENDATION:

The Engineering Division has no preference or objection to the TPUD.

CONDITIONS OF APPROVAL:

The Engineering Division recommends the following conditions of approval, to be completed prior to issuing a construction permit:

1. An updated water main analysis must be provided addressing the system capacity and the water and fire flow demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).
2. Plans must be revised to show an isolation valve where the water main for the PUD connects to the water main in N Ormsby Blvd, labeled as "Normally Closed". This valve is required for pressure zone separation.
3. Plans must be revised to show an additional water main connection at Lexington Avenue.
4. Plans must be revised to show a 20 foot wide public utility easement (PUE) along the north side of Ash Canyon Creek from N Ormsby Blvd to the west boundary of the project. This PUE must also cross the creek on the west side of the project. This PUE must be labeled "proposed public utility easement, to be created with Final Map." This easement will be required per Section 17.01.015.4 of the Carson City Municipal Code for a future water transmission line per the Carson City Water Master Plan.
5. Plans must be updated to show water on the south side of Merlot Dr, per Carson City Standard Detail C-1.2.4
6. Approval of new water mains must be obtained from NDEP after Carson City plan review is complete. A sample station will be required, location to be determined.
7. An updated sewer main analysis must be provided, addressing the system capacity and

the sanitary sewer demands for the development per Division 15.3 of the Carson City Development Standards (CCDS).

8. An updated traffic impact study must be provided if there are any changes that effect traffic counts or flow patterns. If there are no changes that effect traffic counts or flow patterns, a sealed memo must be submitted with the construction permit application stating that the traffic impact study for the tentative map applies to the proposed improvements. This shall apply to improvement phasing also. Final PUD shall include a phasing plan for public access and pedestrian/trail improvements to be reviewed and approved by Carson City staff.
9. Ormsby Blvd. is identified as a Collector and shall meet the standard cross section per Carson City Standard Details along the project frontage. The pedestrian connections on each side of Ormsby to the North and South must be made by sidewalk or concrete multi use path. Include striping for a cross walk at Washington St. and ADA ramps. Final improvements to be reviewed and approved by the City Engineer.
10. Plans must be updated to show the new trail outside of the boundary fence.
11. Plans must be updated to show access for maintenance vehicles to detention/retention basins. Ormsby Blvd and Mountain St may not be the only access adjacent to any basins. Any paved walkways along said access must have appropriate thickness to allow for vehicles.
12. Plans must be updated to indicate that common space drainage, storm drains and basins are to be privately maintained by the HOA. CC&Rs shall reflect this.
13. Plans must be updated to give building pads a minimum of 2 feet of flood freeboard.
14. Several lots have back lot line elevations that are significantly higher than the existing grade. Plans must be updated to clarify how this will work.
15. There is a discrepancy between the drainage report and the plans, calling the basins both detention and retention basins. Please clarify the function of these basins. Retention basins will require additional information about infiltration rates in the Technical Drainage Study.
16. Provide a full Technical Drainage Study per Division 14.9 of the CCDS. This technical drainage study must address the following:
 - a. There is a culvert that exits the southeast corner of the property by the park at Mountain Street. This culvert is known to overtop during 5 year storm events. The inlet to this facility, and storm drain in Mountain Street, must be analyzed to determine what remediation is necessary to accommodate additional flows, if any, from the project.
 - b. There are existing culverts that cross Ormsby Blvd for site runoff and for Ash Canyon Creek. The ability of the subject property to store flood waters may potentially aide in the ability of these structures to handle storm flows. Structural fill for the development may reduce this storage capacity for storm events. The ability of these structures to handle storm events after development must be analyzed.
 - c. The report must address the propagation of irrigation flows to any downstream water rights holders.
 - d. A drainage plan must be provided that shows the flood volume 1:1 balance and shows a clear, free draining, 100 year flow path. Account for on and off site flows on this plan.
 - e. Update the report to account for offsite flow coming from the area between Vicee and Ash Canyon, namely areas VC03, AC10, and AC09, and offsite flow from upstream subdivisions such as Long Ranch Estates and Wellington Crescent.
 - f. The offsite flow table shows 12cfs for 10%, 2%, and 1% chance events. There is little to no fluctuation between these values, also these values seem low considering the flows reported for the areas between Vicee and Ash Canyon in

- the WCR Freeway Analysis. Please address this.
- g. The pre and post development flow seems low. Please address this.
- h. The drainage report must state that a CLOMR will be required for the development.
- i. Show sizing of the culvert crossings at Bolero and at Lexington. These culverts must be designed to handle the 100 year storm flows.

17. Plans must show that vertical and horizontal data are tied to the Carson City control network and use the network for all floodplain base flood and structure elevations.
18. The plans and the drainage study must demonstrate adherence to Flood Protection ordinance 12.09 and erosion and sediment control ordinance 12.12.
19. The project must get approval of a CLOMR from FEMA and give Carson City funds to process a LOMR once the project is completed.
20. A stormwater pollution prevention permit, and a dust control permit must be obtained from the Nevada Division of Environmental Protection (NDEP).
21. Plans must be updated to address street lighting requirements per Division 12.14 of the CCDS.
22. Plans must be updated to show that trees do not hinder minimum sight distance per Division 12.11 of the CCDS, and to show that trees are not within 10 feet of water or sewer mains.
23. Plans must be updated to give instructions for identification and removal of on-site perennial pepperweed.
24. Plans must be updated to indicate that all new electrical services must be underground.

The Engineering Division recommends the following conditions of approval, to be completed prior to recording of final map:

25. Plans must be updated to show a Public Utility Easement per the above requirements.

DISCUSSION:

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

CCMC 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans, provided that the above conditions are met.

CCMC 18.02.080 (5b) – Impact to Surrounding Property

Development Engineering does not foresee any detriment to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood as long as the above conditions are met.

CCMC 18.02.080 (5c) - Traffic/Pedestrians

The request is not in conflict with pedestrian or traffic movements.

CCMC 18.02.080 (5d) - Public Services

New City water, sewer, storm drain and access services will be needed for this project. Those that are shown in the plans may need to be modified per the conditions of approval above. These modifications, however, are minor and there is sufficient capacity for the project as shown. Note that any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details. Also, all construction work must be to Carson City Development Standards

(CCDS) and meet the requirements of the Carson City Standard Details. Also, during construction fresh water must be used for dust control.

CCMC 18.02.080 (5f) – Public Health, Safety, Convenience, and Welfare

Development Engineering does not foresee any negative impact to public health, safety, convenience, and welfare as long as the above conditions of approval are met.

CCMC 18.02.080 (5g) – Damage or Prejudice to Other Property in Vicinity

Development Engineering does not foresee any damage or prejudice to other property in vicinity as long as the above conditions of approval are met.

CCMC 18.02.080 (5h) – Adequate Information and Plans

The information and plans provided were adequate for this review. Additional information will be required prior to issuing a construction permit per the conditions of approval.

September 13, 2016

TPUD-16-092

Fire Department additional comments

TPUD 16-092:

1. All roadway gates must provide a minimum of 20' clear width when open.
2. All roadway gates with electric operators must have a Knox key switch for emergency vehicle access.
3. All roadway gates that have manual locks must have an approved Knox box or other CCFD approved method of providing a way to unlock the gate.
4. Once more than 30 building permits are applied for there must be a second approved access to the subdivision.

Aug 28, 2016

Comments for TPUD 16-092:

1. Project must comply with the 2012 IFC and Northern Nevada Fire Code amendments.
2. Hydrants don't comply with 2012 IFC Appendix C spacing requirements.
3. The assisted living complex needs to provide turn-arounds due to the length of the fire access road to the rear of the parking lot, or provide a connected loop route.
4. Additional hydrants will be required for the assisted living complex.
5. Provide more detail of the assisted living area. Some type of covered patient loading area is preferred.
6. The proposed independent and assisted living buildings will require fire sprinklers and fire alarms. The other proposed commercial buildings may require fire alarms and fire sprinklers depending on the final design.

Dave Ruben
Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701

Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209

RECEIVED

SEP 12 2016

CARSON CITY
PLANNING DIVISION

September 12, 2016

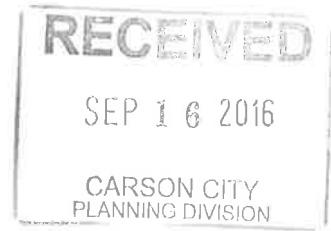
Health Department

MPA-16-091 and TPUD-16-092

All Building plans need to be submitted to Carson City Building Department for Health and Human Services review.

The Assisted Living facilities will need approval from Nevada Division and Public and Behavioral Health Bureau of Health Care Quality and Compliance prior to construction.

Dustin Boothe
Health Department



09/16/2016

TPUD 16-092

Environmental Control

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the TPUD 16-092 project:

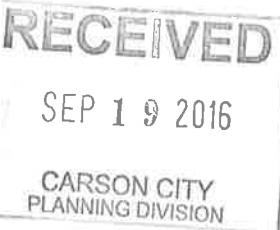
1. This project must meet all applicable codes as found in 40 CFR 408, CCMC 12.06., CCMC 12.12, and 2012 UPC.
2. Any commercial facility will be required to install a properly sized grease interceptor if that facility will be engaged in preparing food for the public or its residences i.e.... club house, assisted living facility, deli, and or extended care facilities. Per CCMC 12.06.245, and 2012 UPC.
3. Any new facility that will be engaged in food preparation will also need to connect trash enclosure to a grease interceptor. Per CCMC Appendix 18 Division 15.5.
4. Dependent on the type of facility, amounts and types of chemicals used, commercial facilities may also be required to provide 100% secondary containment for chemicals stored and used at facility. Per CCMC 12.06.248
5. Garbage disposals not allowed in commercial facilities or institutions per CCMC 12.06.226
6. Please note any facility with a wash pad or the potential to discharge petroleum products or excessive suspended solids shall install an approved sand and oil interceptor in accordance with the Uniform Plumbing Code. Per CCMC 12.06.246.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor



September 17, 2016

Ms. Hope Sullivan
Carson City Community Development
108 E. Proctor Street
Carson City, Nevada 89701

Re: Vintage at Kings Canyon – Parks, Recreation & Open Space Department Comments to Planning Commission on the Master Plan Amendment and Tentative Planned Unit Development

Dear Ms. Sullivan,

On September 6, 2016 the Parks and Recreation Commission held a special meeting to consider the Vintage at Kings Canyon proposed development as it relates to compliance to the City's Parks and Recreation Master Plan, Unified Pathways Master Plan, and provide other related comments on the project's proposed neighborhood park and linear park/multi-use path. As a result, please find below the references to the City's adopted plans as it pertains to the proposed project, the Parks Commission's motions, and the Parks and Recreation Department's comments. Attachments are also provided for your consideration.

Carson City Parks and Recreation Master Plan:

1. The proposed development is located within Neighborhood #5 (Exhibit A/Page A-13 of Park Master Plan). Implementation Strategies #3, the Master Plan states, "*If the property (Anderson Ranch) develops, ensure that a neighborhood park is provided.*"

Carson City Unified Pathways Master Plan:

1. The applicant will construct a multi-use (off street/paved/shared) path from the City's Mountain Street Trailhead to the City's Long Ranch Estates Open Space trail system (Exhibit B).

Parks and Recreation Commission action:

Motion #1:

"I move to recommend the Planning Commission and the Board of Supervisors approve the park and path facilities as proposed by the Vintage at King's Canyon applicant, based on its compliance with the City's Parks and Recreation Master Plan and Unified Pathways Master Plan as updated by the handout today, September 6, 2016, (Exhibit C) and including a restroom, signed access points, Mountain Street will be open without the fencing, we do 100 percent funded Landscape Maintenance District with the operations and maintenance plan coming to Parks and Recreation for development, a public access easement trail in Linear Park be recorded on the maps, and that a north-south trail connection be integrated into the plan." (Motion Approved 7-0-0)

Motion #2:

"I move that [since] the Anderson Family has agreed to contribute land for a multi-use path on their Northern Heritage Property along the northern edge of King's Canyon Road, and the developer of the Vintage at King's Canyon has agreed to

develop that path, that we strongly encourage the Planning Commission and the Board of Supervisors to take advantage of this opportunity." (Motion Approved 7-0-0).

Parks and Recreation Department Comments:

General Comments

- a. A private Home Owner's Association (HOA) will be formed to provide maintenance for all the following areas in perpetuity: Common area landscape and open space areas, buffer areas between the development and neighborhoods, common area path system, landscape medians, street corridors, non-public recreation facilities/amenities (i.e. club house/pool) in perpetuity. The maintenance and funding shall be addressed in the development's CC&R's to the satisfaction of the Carson City District Attorney. Common area maintenance shall include at a minimum, but not limited to the following:
 - Debris, weed, and litter removal
 - Noxious weed management
 - Care and replacement of plant material
 - Plant material irrigation and irrigation system repair
- b. The HOA will provide 100% funding and maintenance for all public park and recreation amenities (i.e. neighborhood park, linear park, multi-use path system, park and exercise equipment etc.). The maintenance and funding shall be addressed in the development's CC&R's to the satisfaction of the Carson City District Attorney. A separate development agreement regarding maintenance of these facilities shall be entered into between the HOA and the City. A covenant or deed restriction is recommended on all properties within the proposed development to ensure maintenance of these amenities is funded in perpetuity. The restrictions will provide that should the HOA ever cease to exist, an assessment will then be implemented by the City to form a Landscape Maintenance District (LMD), per CCMC to provide for the maintenance and upkeep of the public parks and recreation amenities and linear park/multi-use path.
- c. The multi-use path will be designed to conform to the standards and policies of the Carson City Unified Pathways Master Plan adopted April 6, 2006 (as revised March 15, 2007).
- d. The neighborhood park will be designed to conform to the Parks and Recreation Master Plan as adopted by Carson City on April 6, 2006 (as revised March 15, 2007).
- e. Paths and sidewalks shall conform to the standards as outlined in the Carson City Unified Pathways Master Plan.
- f. Sidewalk connections to the neighborhood park and linear park/multi-use path will provide convenient and logical access to these facilities and the overall sidewalk network within the development.
- g. Prior to the issuance of the certificate of occupancy for the 53rd residential unit in Phase 1, the applicant will construct and dedicate to the City the neighborhood park and linear park/multi-use path. This shall be coordinated through and agreed upon by the Carson City Parks, Recreation & Open Space Department.
- h. The developer shall be required to use best management practices during construction to prevent the spread of noxious weeds and will incorporate language in construction documents to ensure

contractors and subcontractors comply. The Parks, Recreation and Open Space Department will assist the applicant with this condition.

- i. As phases of the Planned Unit Development are implemented, the plans shall be submitted for review by the City. The applicant shall be required to demonstrate connectivity between the neighborhood park, linear park/multi-use path, and sidewalks. This shall be done to the satisfaction of the Parks, Recreation & Open Space Department.
- j. All drainage facilities (channels, ditches, and detention basins) within the development will be the responsibility of the HOA and shall be maintained to City Standards.
- k. The developer, at their expense, will construct and dedicate the land and all agreed upon improvements for the neighborhood park and linear park/multi-use path to the City upon successful completion, and final project acceptance of said work by the City, through its Parks, Recreation & Open Space Department. As a result, the Residential Construction Tax (RCT) described in CCMC 15.60 - Residential Construction Tax et. seq. will not be collected by Carson City at the time building permits are issued for residential dwelling units in the project area. A development agreement between the applicant and the City regarding RCT, park and trail construction will be required for future consideration of the Carson City Board of Supervisors and to the satisfaction of the Carson City District Attorney.

Neighborhood Park Comments

- a. The applicant will design and construct a 1.2 acre neighborhood park.
- b. The park design will be coordinated with the Parks, Recreation, and Open Space Department for review and approval, including construction inspections. The design will be consistent with the department's guidelines and development standards, including water conservation design elements.
- c. The park design will incorporate universally accessible components and be compliant with the Americans with Disability Act.
- d. The park will be designed to allow for City maintenance vehicles and emergency services to access the site.
- e. The proposed project's perimeter fencing will be located on the outside of the park property to ensure public access. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the park will be allowed at locations approved by the Parks, Recreation and Open Space Department.
- f. Vineyards will not be incorporated into the design for the neighborhood park.
- g. The park's design shall incorporate the existing Mountain Street Trailhead. The applicant shall design, construct, at their expense any design modifications to the trailhead, including but not limited to a restroom facility (including utility connection fees associated with a permanent flush toilet facility), parking lot infrastructure preservation/maintenance (crack sealing, slurry seal, restriping, curb cut for access etc.) and a 10' wide concrete path with an adjacent 3' wide decomposed granite path connecting to the trailhead. It is expected the park design shall be seamless with the existing trailhead and the identified trailhead improvements shall be constructed during Phase I and at the same time as the neighborhood park.

Linear Park / Multi-use Path Comments

- a. The applicant will design and construct a multi-use path (off street/paved/shared) at a 10' wide (minimum) AASHTO standard concrete path with an adjacent 3' wide decomposed granite path. It will be constructed from the City's Mountain Street Trailhead to the City's Long Ranch Estates Open Space trail system and have an at grade pedestrian crossing with flashing lights on North Ormsby Boulevard.
- b. The applicant will design and construct a 1.82 acre (approximate size) linear park/multi-use path that will have various site amenities. They will include but are not limited to universally accessible outdoor exercise components/stations, interpretive signage related to the Anderson Ranch history, park benches/seating areas (per 1000 lineal feet of trail along the path), pet waste stations/trash cans, signage depicting direction and trail distance, and landscaping. The linear park should offer universally accessible outdoor exercise equipment that incorporates a well-rounded fitness program (aerobic, muscle, core, balance, strength and flexibility) for the benefit of Vintage at Kings Canyon residents and the general public.
- c. The linear park/multi-use path shall be located outside the proposed projects perimeter fence for ease of access by the general public. Gate(s) providing pedestrian/ADA access for Vintage at Kings Canyon residents to the path will be allowed at locations approved by the Parks, Recreation and Open Space Department.
- d. The linear park/multi-use path will include landscaping with a variety of trees (either evergreen or deciduous) that will be planted at a rate of 1 tree per 50 lineal feet (tree groupings are acceptable) with a minimum of 5 shrubs per tree. Also, there will be no vineyards incorporated into the landscape design concept for the linear park/multi-use path.
- e. The applicant shall design and construct a 10' (minimum) wide AASHTO standard concrete multi-use path with an adjacent 3' wide decomposed granite path along Kings Canyon Road from the pedestrian facilities at the corner of North Ormsby Boulevard to the Long Ranch Estates Subdivision's pedestrian facilities. This path connection will improve bicycle and pedestrian safety along Kings Canyon Road. While this path is not located within the proposed development area it is located on property identified within the applicant's project application.

Open Space Comments

- a. The Vintage at Kings Canyon's Conceptual Planned Unit Development plan is located on property currently owned by Andersen Ranch LLC. This property is identified in the Open Space Plan as a high priority area for protection due to its irrigated agricultural lands. The current owners have not initiated discussions with the City regarding acquisition. Therefore, additional acquisition outside of the neighborhood park and linear park/multi-use path will not be required at this time.
- b. Please revised the Master Plan Amendment and the Tentative Planned Unit Development documents that all open space references refer to the private common areas required by the City's development standards and not the City's Open Space Program.

Neighborhood Connectivity to Linear Park / Multi-use Path Comments

- a. The Unified Pathways Master Plan (UPMP) identifies bicycle lanes along the street frontage of the proposed project on North Ormsby Boulevard (Exhibit B). This UPMP requirement on

North Ormsby Boulevard needs to be coordinated with City Engineering's requirements for the development's half street improvements.

Thank you for your time and consideration. If you have any questions or need additional information, please let me know.

Sincerely,

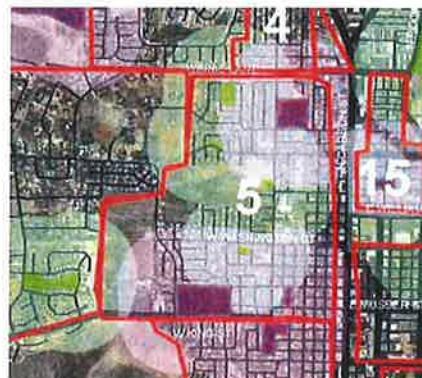
Jennifer Budge

Jennifer Budge, CPRP
Parks, Recreation and Open Space Director

Exhibit A

5

PARK:	Carriage Square (3.5 ac), Monte Vista (.75 ac) and Sunset Park (.75 acre)
TYPE:	Traditional
SIZE:	Carriage Square (3.5 ac), Monte Vista (.75 ac) and Sunset Park (.75 acre)
NOTES:	71% of population within walking distance of Park
SCHOOL:	Fritch Elementary School / Carson Middle School 70% of population within walking distance of School



OBSERVATIONS:	This neighborhood has three small parks that provide general coverage, augmented by two schools that provide open areas and some recreation facilities.
SURVEY:	Q19: There is moderately strong support (47%) for adding a new Neighborhood park, suggesting that the schools are not meeting local needs completely. Q17: 53% of respondents supported the general need to add Neighborhood parks, with 61% supporting the general need to add Natural parks.
IMPLEMENTATION STRATEGIES:	<ol style="list-style-type: none"> 1. Investigate further the neighborhood perceptions of school grounds as parks. If appropriate, explore ways to improve access and usability of school grounds as neighborhood parks. 2. Continue to explore acquisition of some or all of the Anderson property as open space. Whether or not development occurs, pursue a natural trail through the property for local use as well as part of the city-wide trail system. 3. If the property develops, ensure that a neighborhood park is provided.

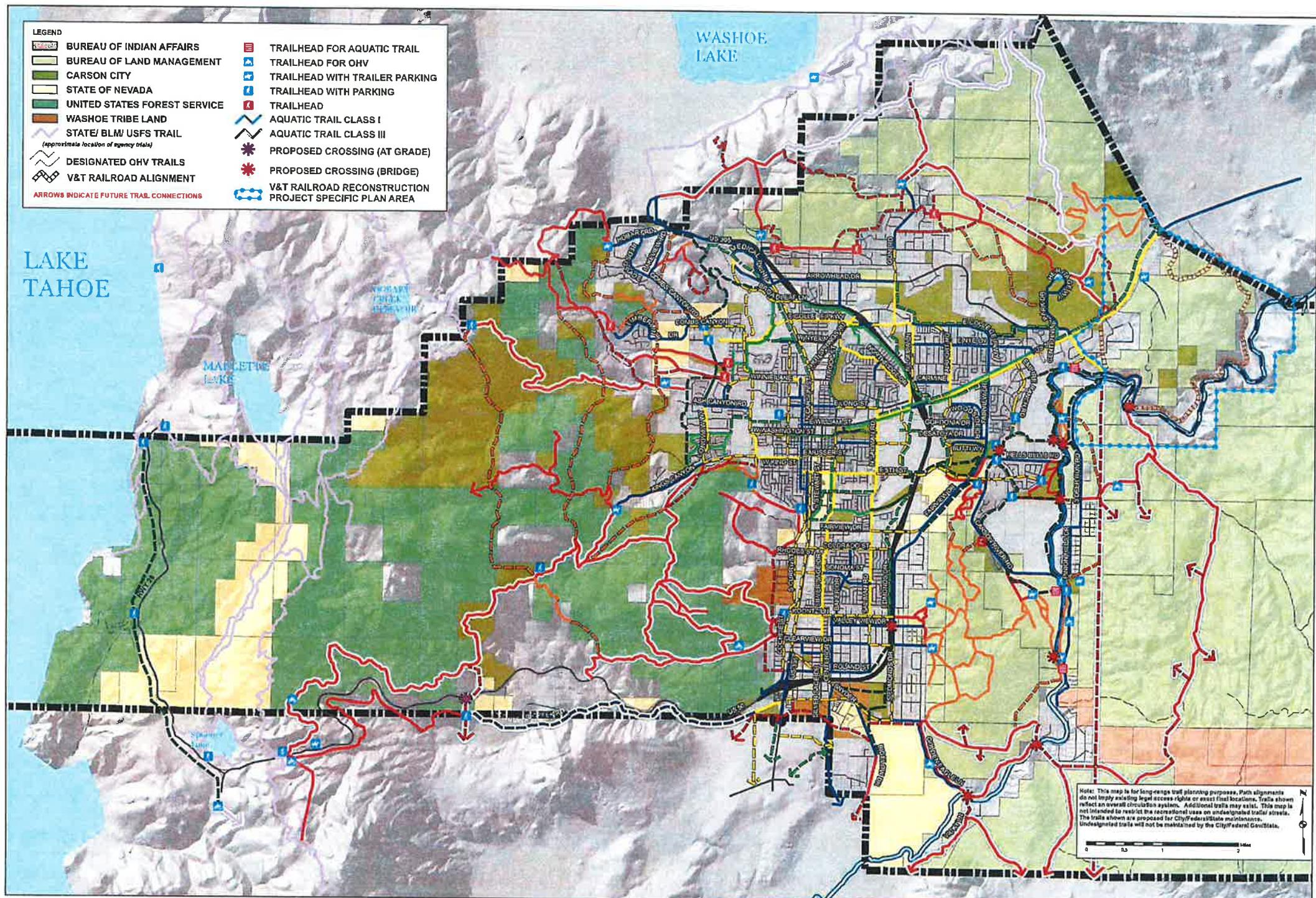
6

PARK:	Long Ranch Park
TYPE:	Natural
SIZE:	7 acres
NOTES:	26% of population within walking distance of Park
SCHOOL:	None



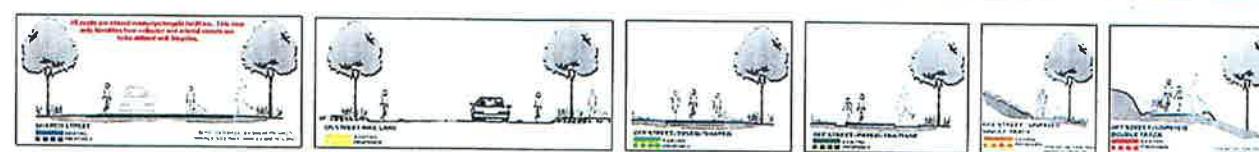
OBSERVATIONS:	A relatively small portion of this low-density neighborhood is within $\frac{1}{4}$ mile of Long Ranch Park but a larger portion is served by the Long Ranch open space and trails that wind through the subdivision.
SURVEY:	Q17: A very low level of support (17%) for additional park facilities in this neighborhood. Q19: Only 28% felt it was important generally to add Neighborhood parks, and the same level (28%) supported generally adding Natural Parks.
IMPLEMENTATION STRATEGIES:	No action is proposed

Exhibit B



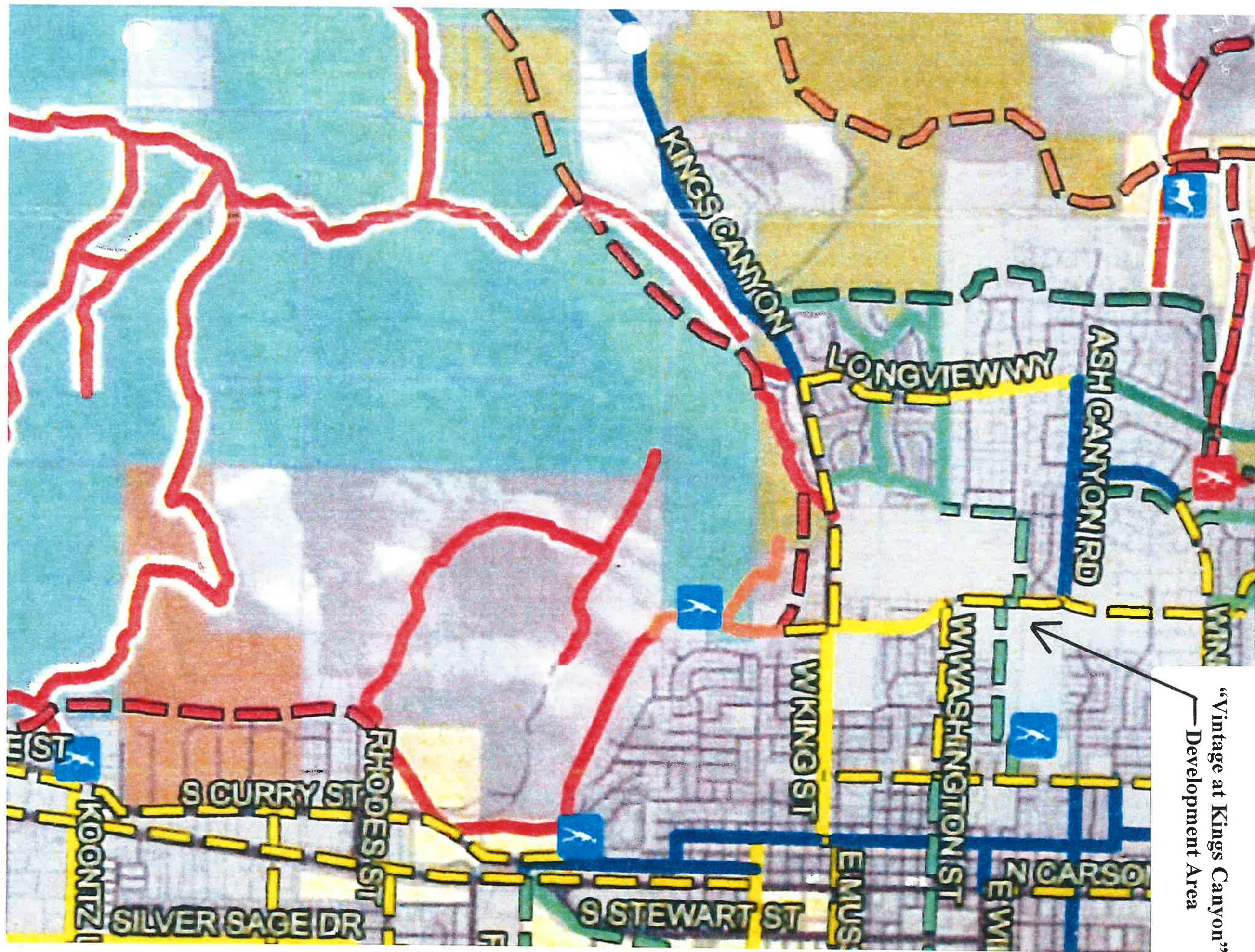
UNIFIED PATHWAYS MASTER PLAN

CARSON CITY,
NEVADA



WINSTON
W
ASSOCIATES

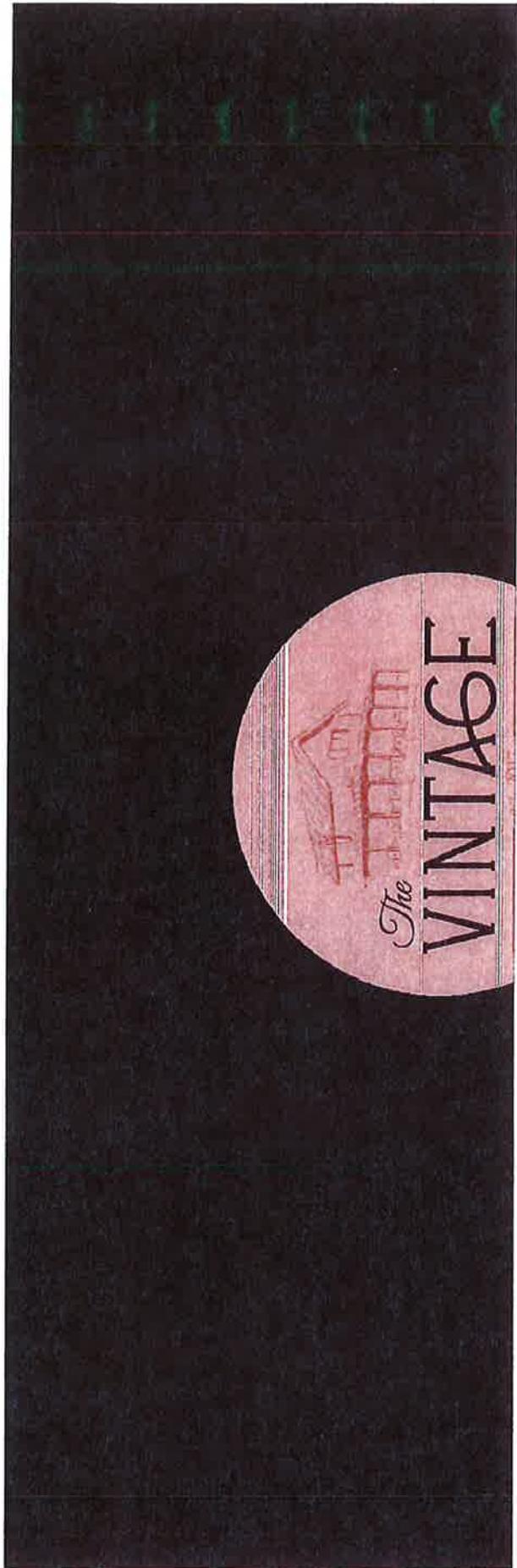
ENVISION
CARSON CITY



"Vintage at Kings Canyon"
Development Area

Exhibit C

Agenda Item 3B
Developer's Power
Point Presentation
9/6/16



THE VINTAGE TEAM





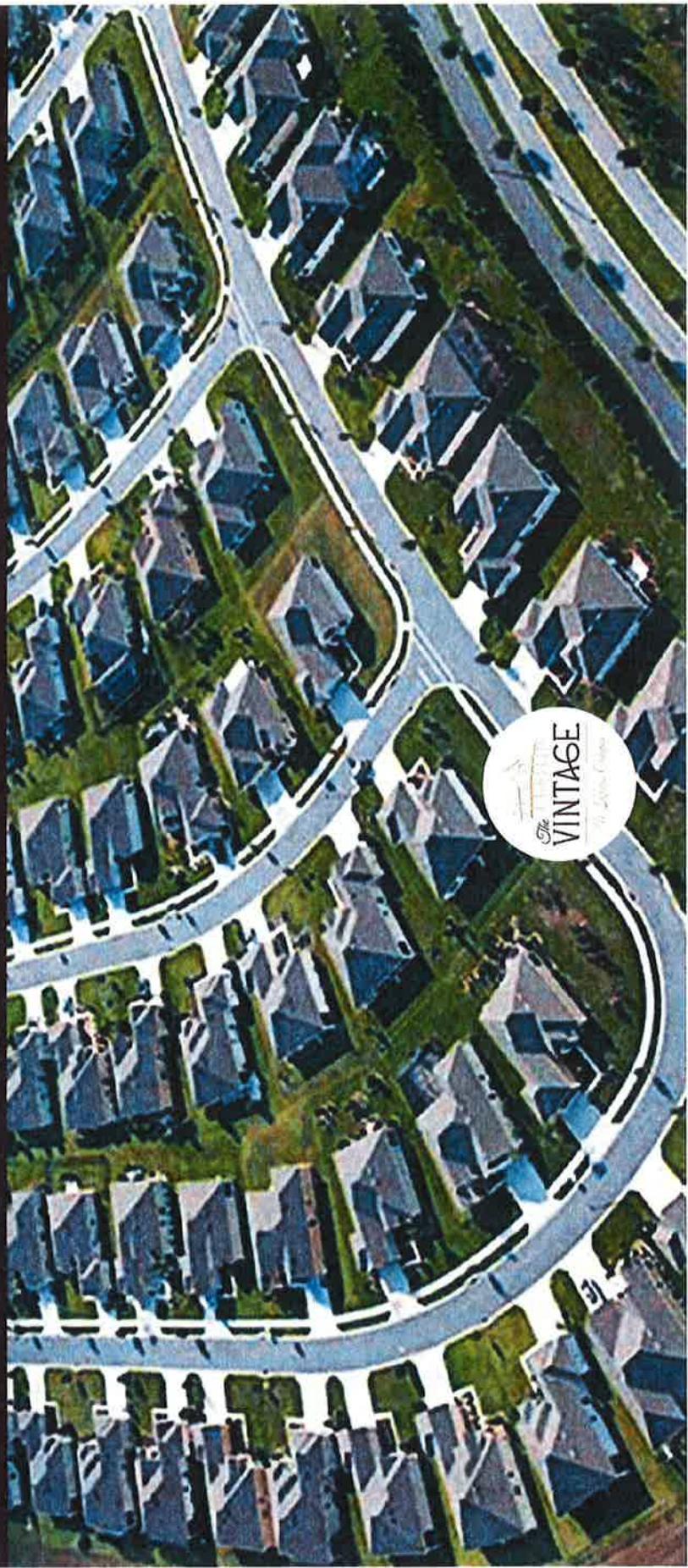
**IT WOULD BE MUCH EASIER TO PUT IN
A HIGHER DENSITY PLAN WE
WOULDN'T NEED:**

- Any variances
- A zone change
- PUD overlay

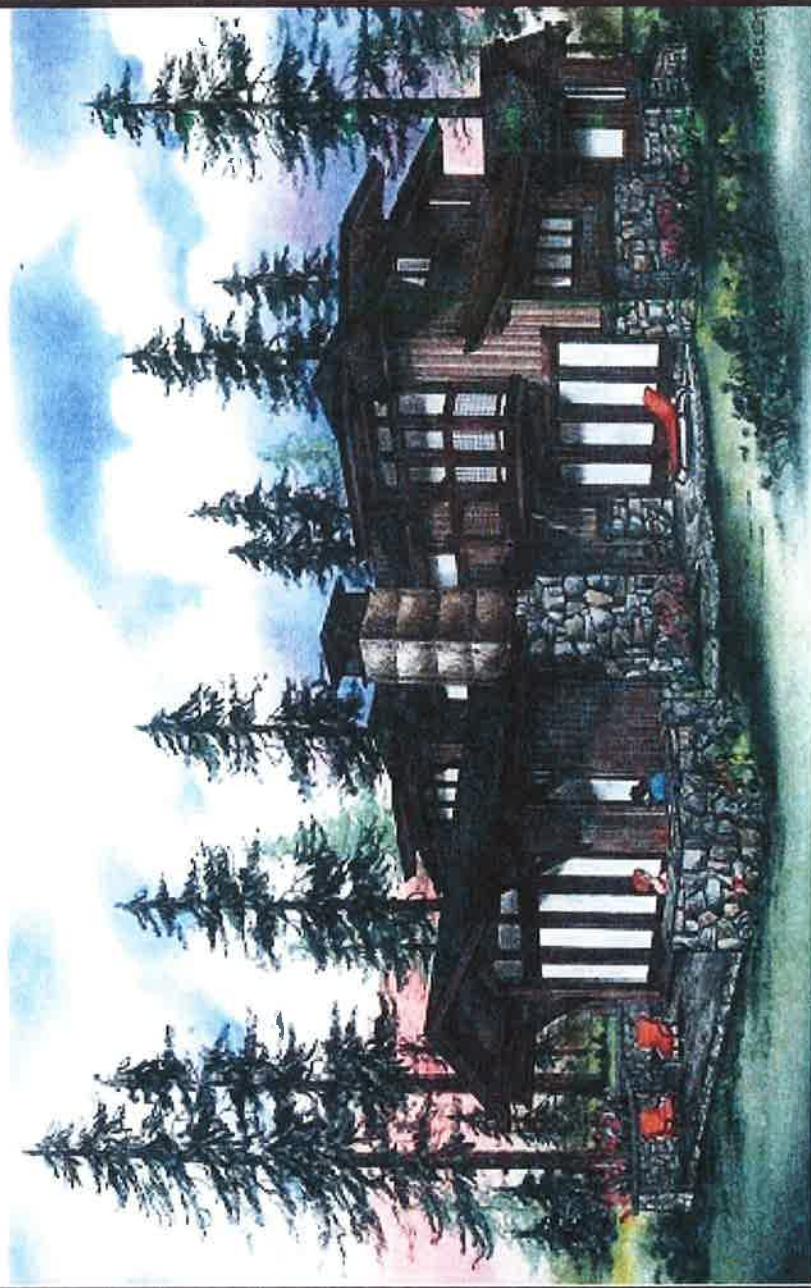
**IN ADDITION, IT WOULD NEGATIVELY
IMPACT THE AREA IN REGARDS TO:**

Schools	More internal fencing
Higher Traffic	More water and sewer impacts
View Corridors	Less open space
More cross streets	Strain on emergency services
Multiple access points	Less parks, recreation and trails for the community

WHAT THE DEVELOPMENT COULD BE



GOING GREEN

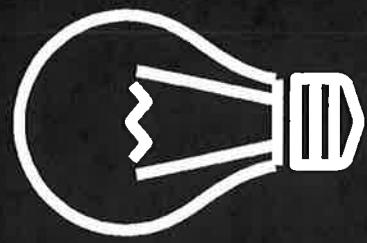


Scott Companies has developed some of Tahoe's most premier building and land-use projects. Our reputation in the region and relationships with Tahoe's influencers are key to moving development projects forward.

We are dedicated to sustainable living and building and are certified in Green Building as a CGBP – Certified Green Building Professional.

THE VISION

“An All Inclusive Active Senior Community”



Our vision for this park is one of the key facets of our community that can seamlessly integrate our development into the surrounding neighborhoods. The amenities that we chose for the park we felt were the most diverse for all age ranges and function best for many different activities. Trailhead for hiking, biking, walking and running up Kings Canyon. The par course for those who wish to integrate a moderate workout in-between walking or running. A gazebo accommodating 30-50 people provides a gathering space with shade and a place to eat lunch or picnic. The Vintage will dedicate the park back to the City/Park and Recreation upon completion.

THE VISION

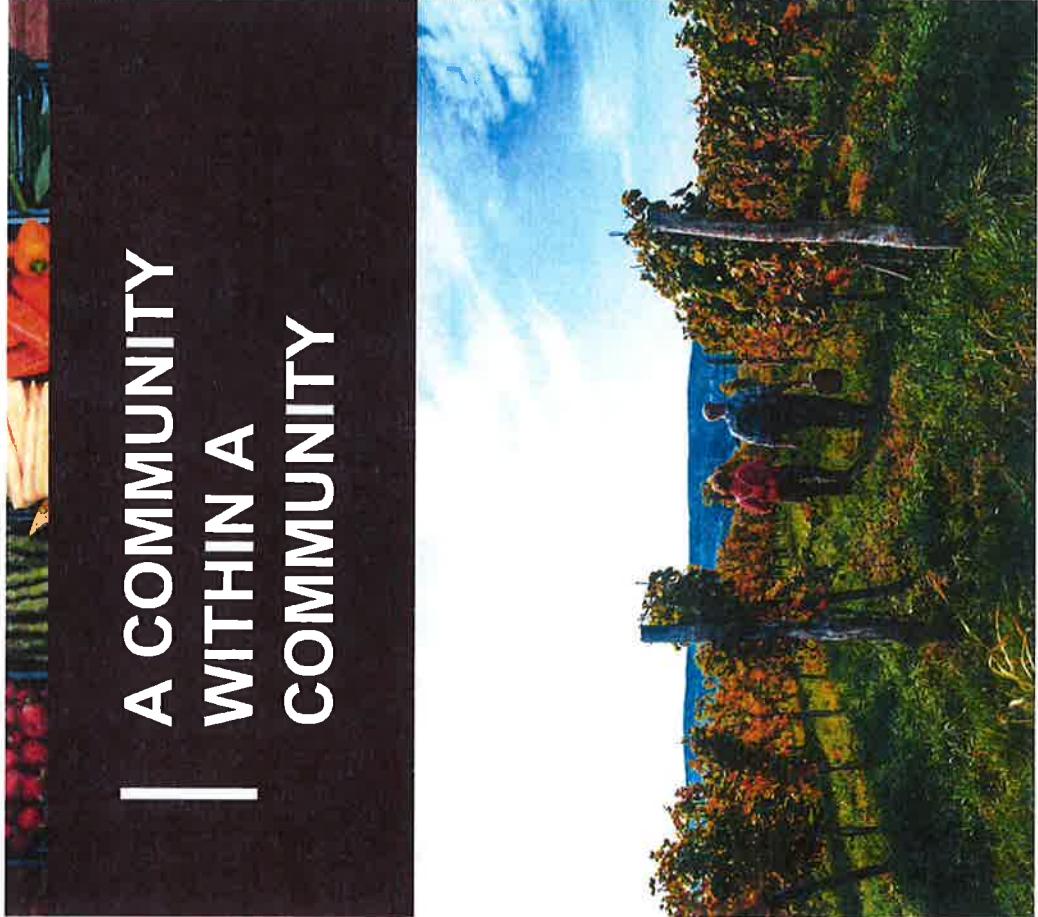
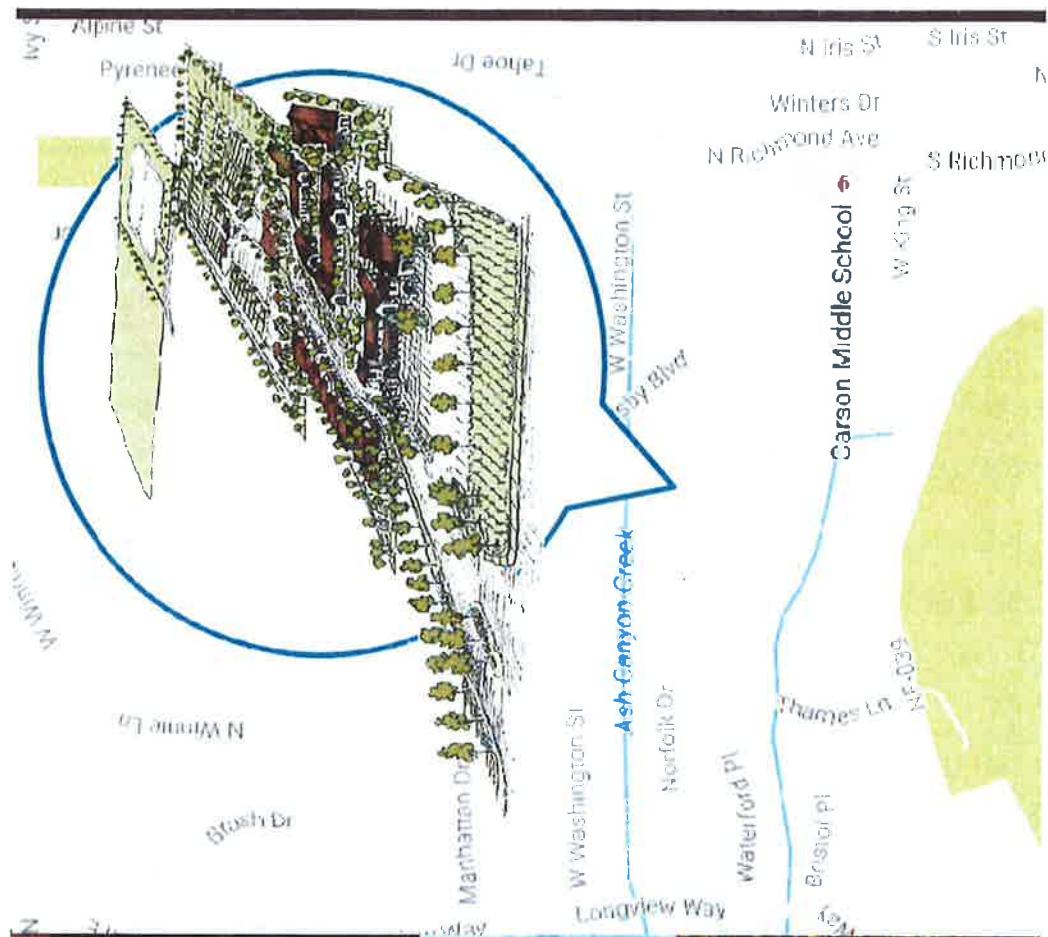
Our goal is to support a healthy, energetic senior lifestyle that can seamlessly transition from active living into independent care, assisted all in one place with full service amenities and attention available for every level of care needed.

We plan to **work with the Community** every step of the way to ensure the integrity of this prestigious land is upheld and the vision is one that will be embraced by all.

THE VINTAGE IS PROPOSED TO INCLUDE:

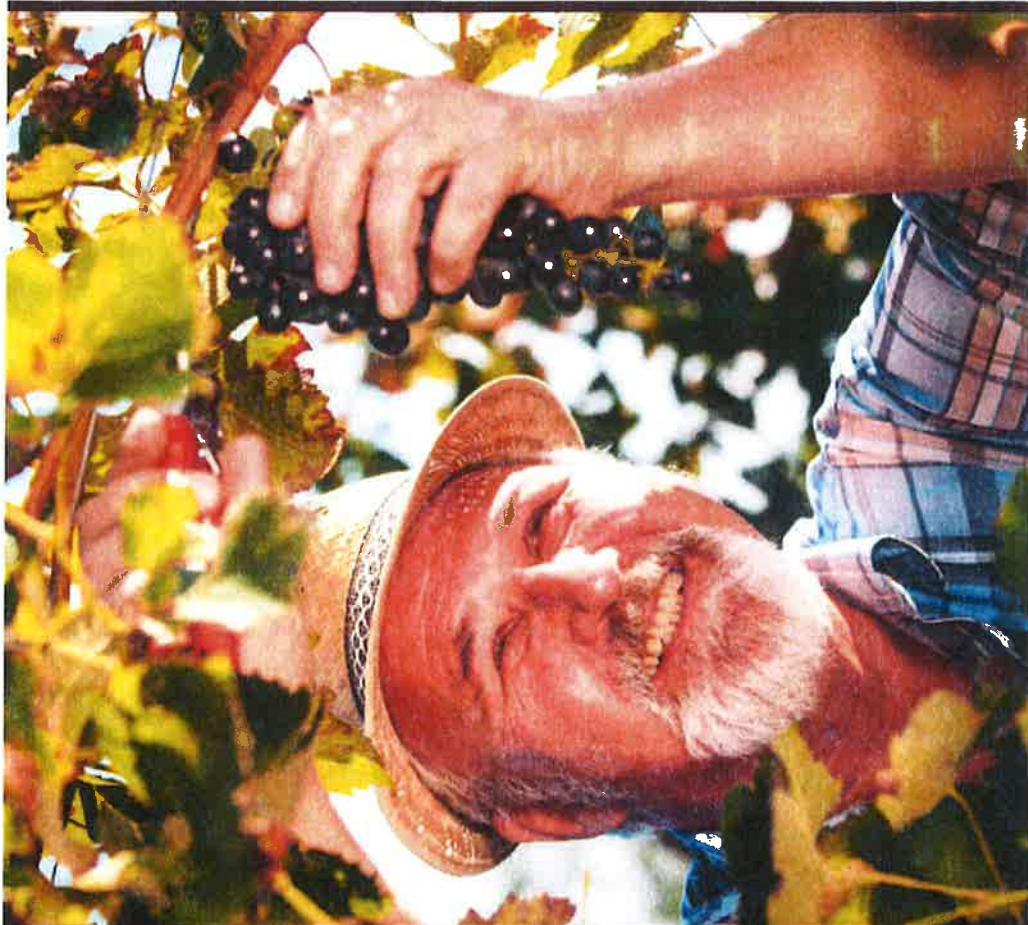
- ❖ 175 homes ranging from 1,300 sf to 2,600 sf
- ❖ One and two car garages, small yards and 4 different floor plans
- ❖ Lot sizes: Range from 1,690 sf to 17,000 sf
- ❖ 39 Leased cottages
- ❖ 64 Assisted Living Units
- ❖ 32 Independent Living Units

NOTE: CC&R's can regulate all specifics of development concerns



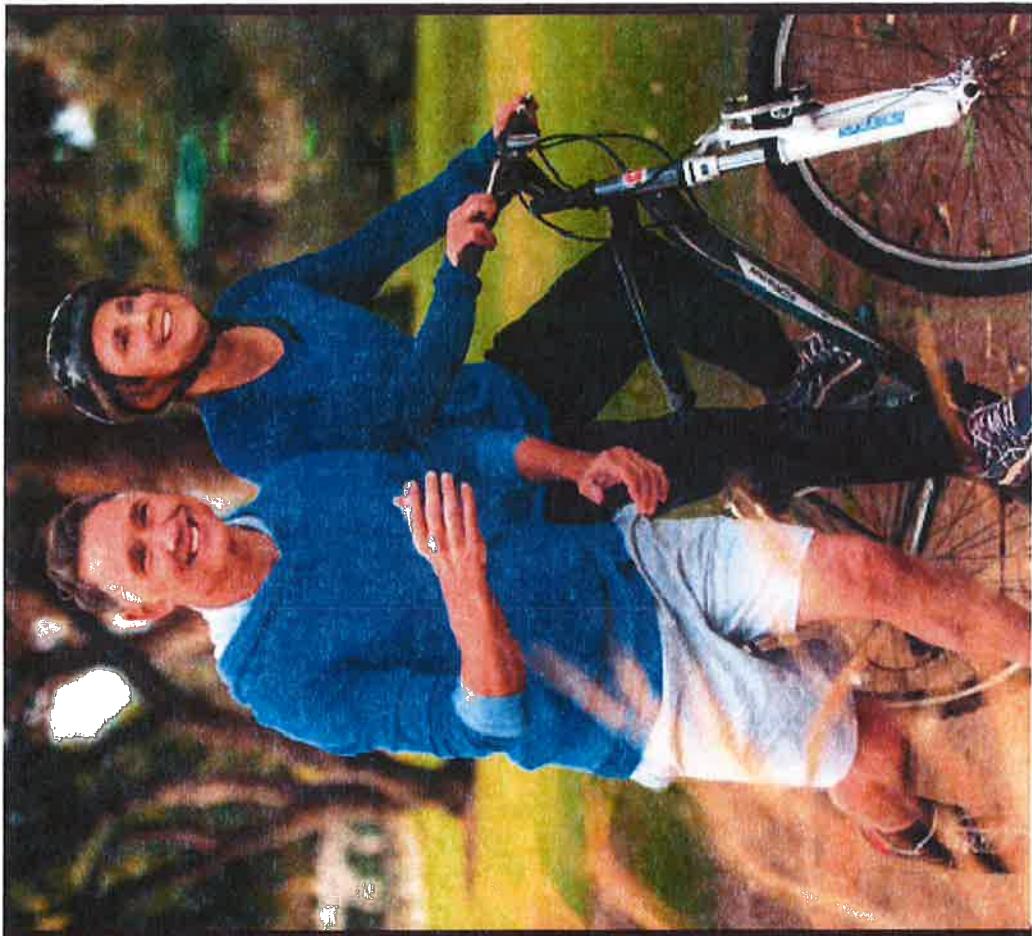
COMMUNITY BENEFITS

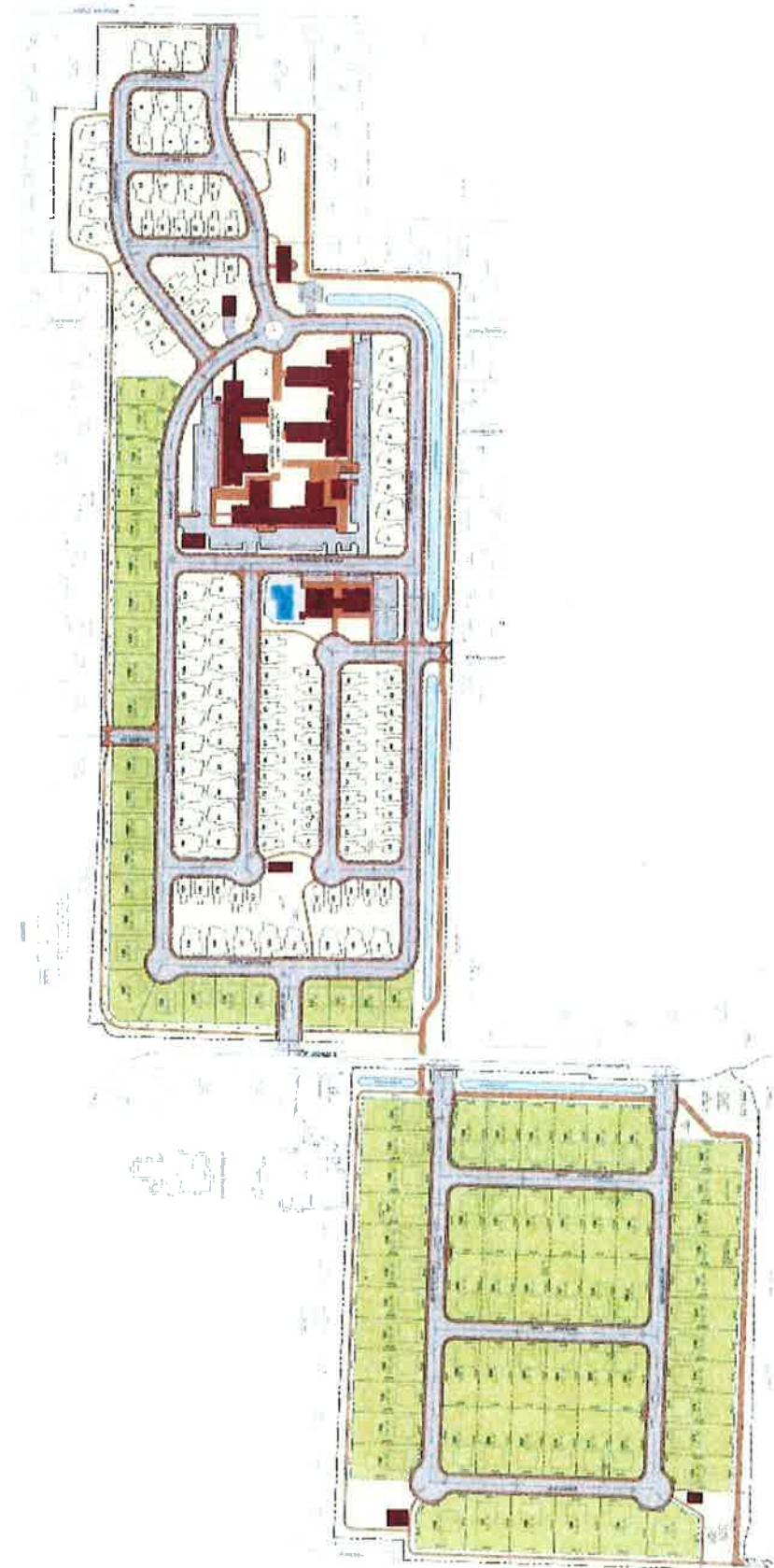
- Energy efficient
Responsible
environmental
impacts
- Convenience of on-
site services
- Dining options
- Volunteer programs
- Nightly and weekend
entertainment
- Amenities for
physical activities
- Community gardens
- Walkability, bikeability
- Reduced traffic
- Social Connections,
community activity
- Smart technology
homes with innovative
wall batteries



COMMUNITY SERVICES

- ❖ Meal plans offered
- ❖ Housekeeping
- ❖ On-site bistro
- ❖ Hair/nail salon
- ❖ Public laundry rooms
- ❖ Chiropractor's office
- ❖ On-site financial planning
- ❖ Clubhouse/pool
- ❖ Putting green
- ❖ Pickle ball room
- ❖ Activities room
- ❖ Activities room
- ❖ Movie theater
- ❖ Golfing packages
- ❖ Companion programs





PROPOSED PARK:

- ❖ The park will be designed to Parks and Recreation Department design standards like all other parks within Carson City.
- ❖ The park will be closed, like the other neighborhood parks, from dawn to dusk.
- ❖ The 1.2 acre park will be adjacent to the Mountain Street Trailhead with ADA access from the trailhead to the park.
- ❖ The park and trails will be dog friendly. Mutt-mitt stations will be provided along with trash cans.



PROPOSED PARK:

The park is to be constructed with Phase 1 of the development and will be dedicated to the City at the completion of Phase 1.

Park elements include:

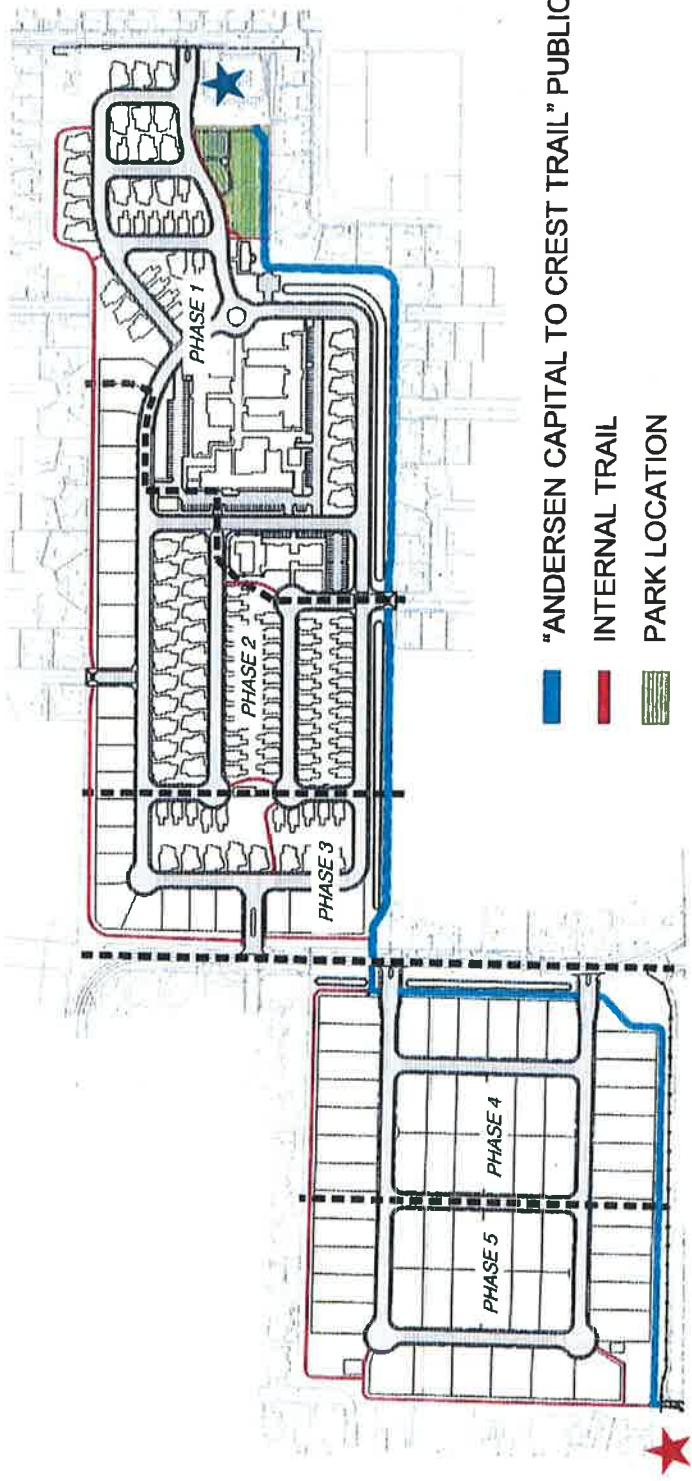
- ❖ Grass area
- ❖ Large gazebo with seating for 35-50 people
- ❖ Pickleball and Bocce Ball courts
- ❖ ADA compliant connections to the existing Mountain Street Trailhead Parking Lot

ANDERSEN CAPITAL TO CREST TRAIL PROPOSED PUBLIC TRAIL EXTENSION

- ❖ From Existing Mountain Street Trailhead Parking lot to the existing trails in Longview
- ❖ Constructed in 2 phases
- ❖ Trails to be maintained by the HOA
- ❖ 16-20' wide Access Easement to be granted to the City to allow public pedestrian access. (Total Easement Area=1.82 ac)
- ❖ At grade crossing across N. Ormsby Blvd w/ flashing warning system.
- ❖ Constructed to Carson City Development Standards
- ❖ Open to Public from Dawn to Dusk

TRAILS:

- ★ EXISTING TRAILHEAD
PARKING LOT
- ★ EXISTING TRAILS IN LONGVIEW
ESTATES



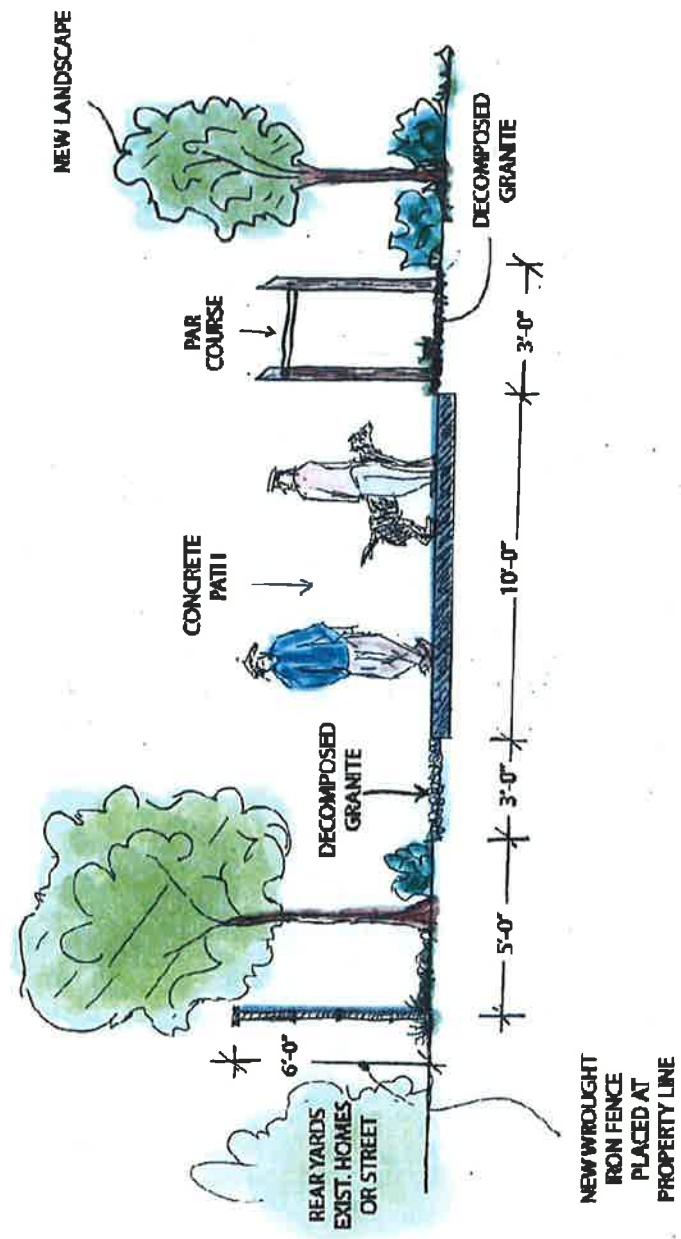
PROPOSED PHASE 1 - 13' WIDE TRAIL WITH PAR COURSE

(to be constructed with Phase 1 of the development):

Begins at the existing trailhead and runs along southern project boundary to North Ormsby Blvd. Approximately 2,700 LF
Trail elements include:

- ❖ 10' wide concrete trail
- ❖ 3' wide decomposed granite adjacent to concrete
- ❖ Par course areas along the trail. This linear park will offer outdoor modern day workout equipment perfect for a well-rounded fitness program: aerobic, muscle, core, balance and flexibility
- ❖ 20' wide access easement to include par course elements

TRAIL CROSS SECTION



PROPOSED PHASE 2 - 13' WIDE TRAIL

(to be constructed with Phase 4 of the development):

Begins at North Ormsby and runs south to the southern PUD boundary then west to connect to the existing Long Ranch trails.
Approximately 2,100 LF

Trail elements include:

- ❖ 10' wide concrete trail
- ❖ 3' wide decomposed granite adjacent to concrete
- ❖ 16' wide access easement
- ❖ Mutt-Mitt Stations w/ Trash Cans located at various locations

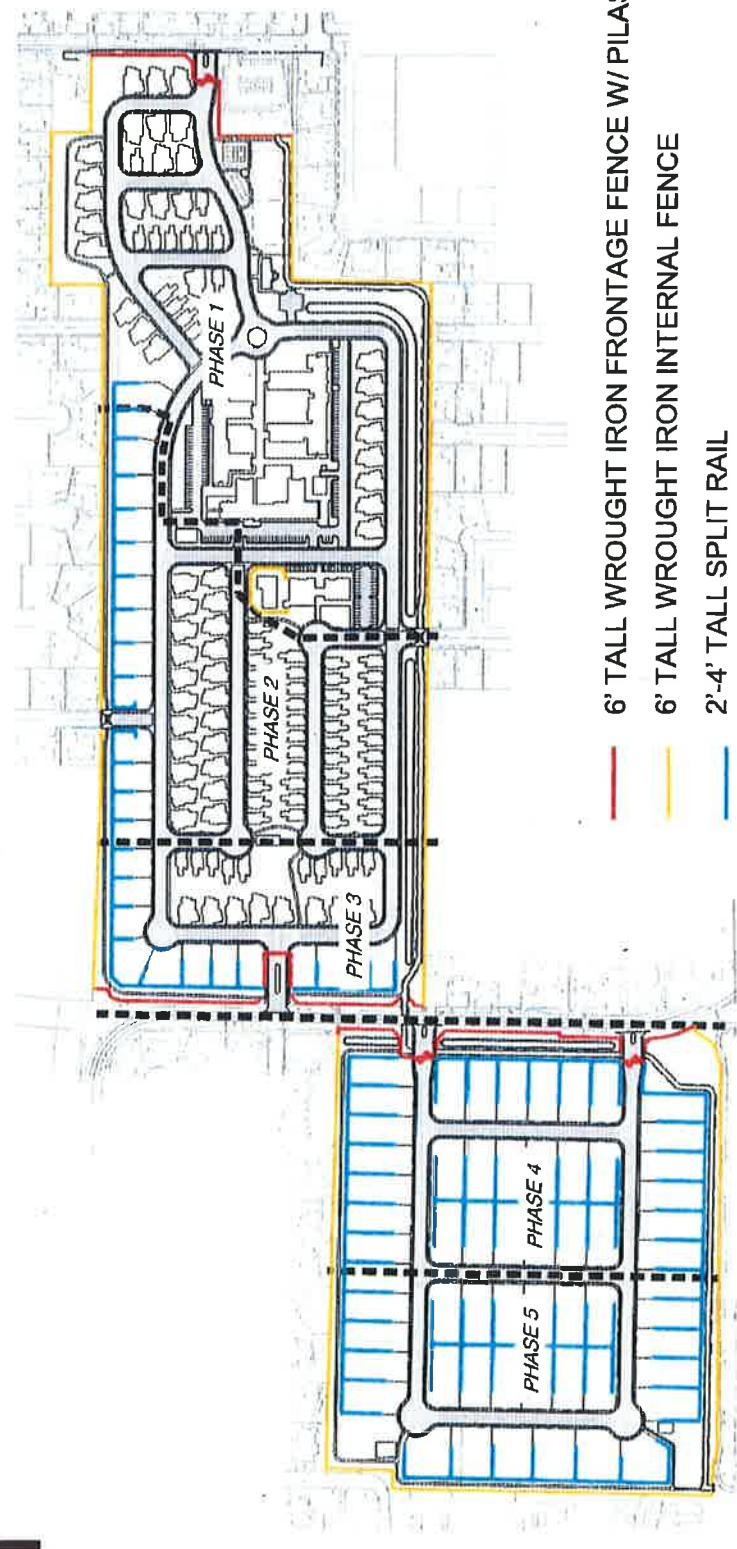
PROPOSED PRIVATE TRAIL

- ❖ 6' wide concrete trail located throughout development
- ❖ Constructed in phases with development
- ❖ Along with all open space in development, the private trails will be maintained by the HOA
- ❖ Constructed to Carson City Development Standards
- ❖ Open to Public from Dawn to Dusk

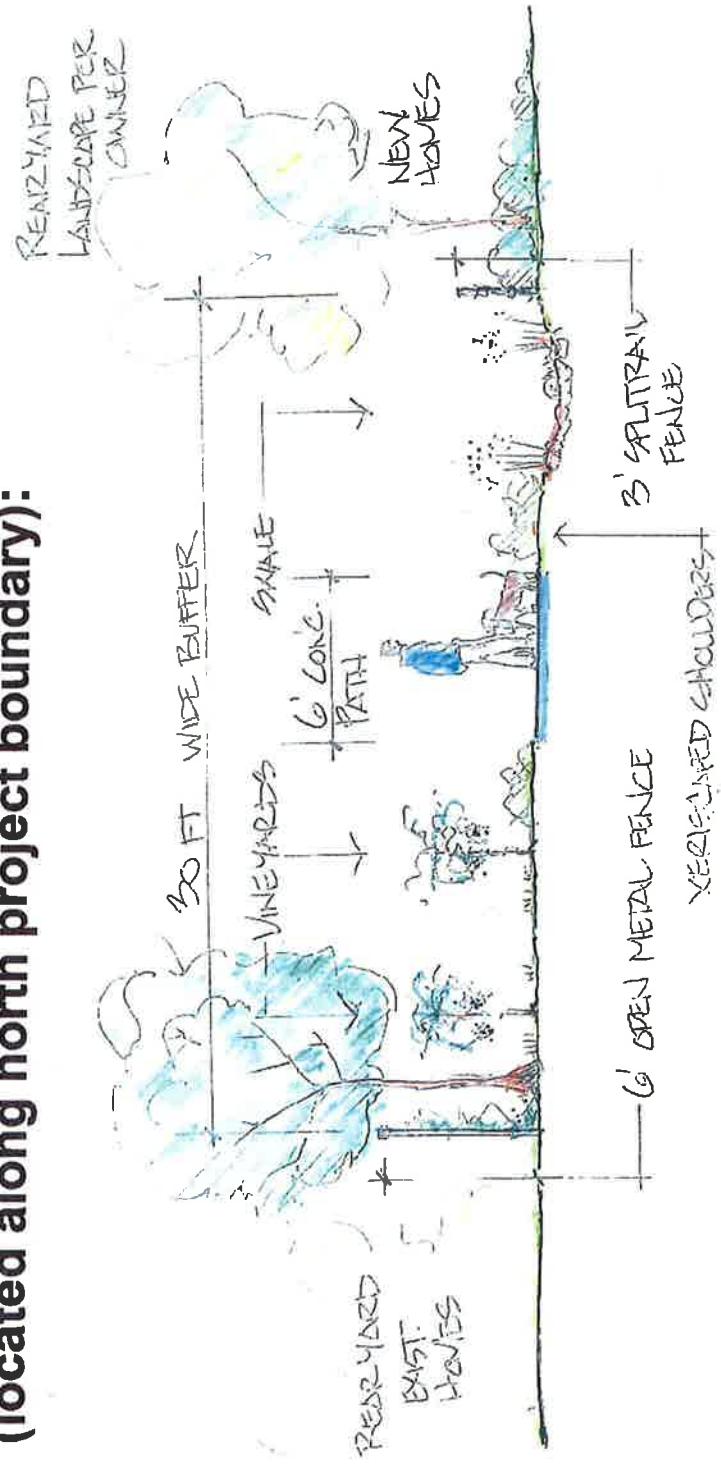
PROJECT FENCING

- ❖ 6' tall wrought iron fencing with stone or similar pilasters along project frontages on Mountain Street and N. Ormsby Blvd
- ❖ 6' tall wrought iron or metal fencing along other project boundaries
- ❖ Split rail fencing along property lines
- ❖ Entire development to be fenced. The trails and park will have gates open to the public from dawn to dusk. The HOA is responsible for opening and closing of these gates.

FENCING:



30' WIDE BUFFER AREA (located along north project boundary):



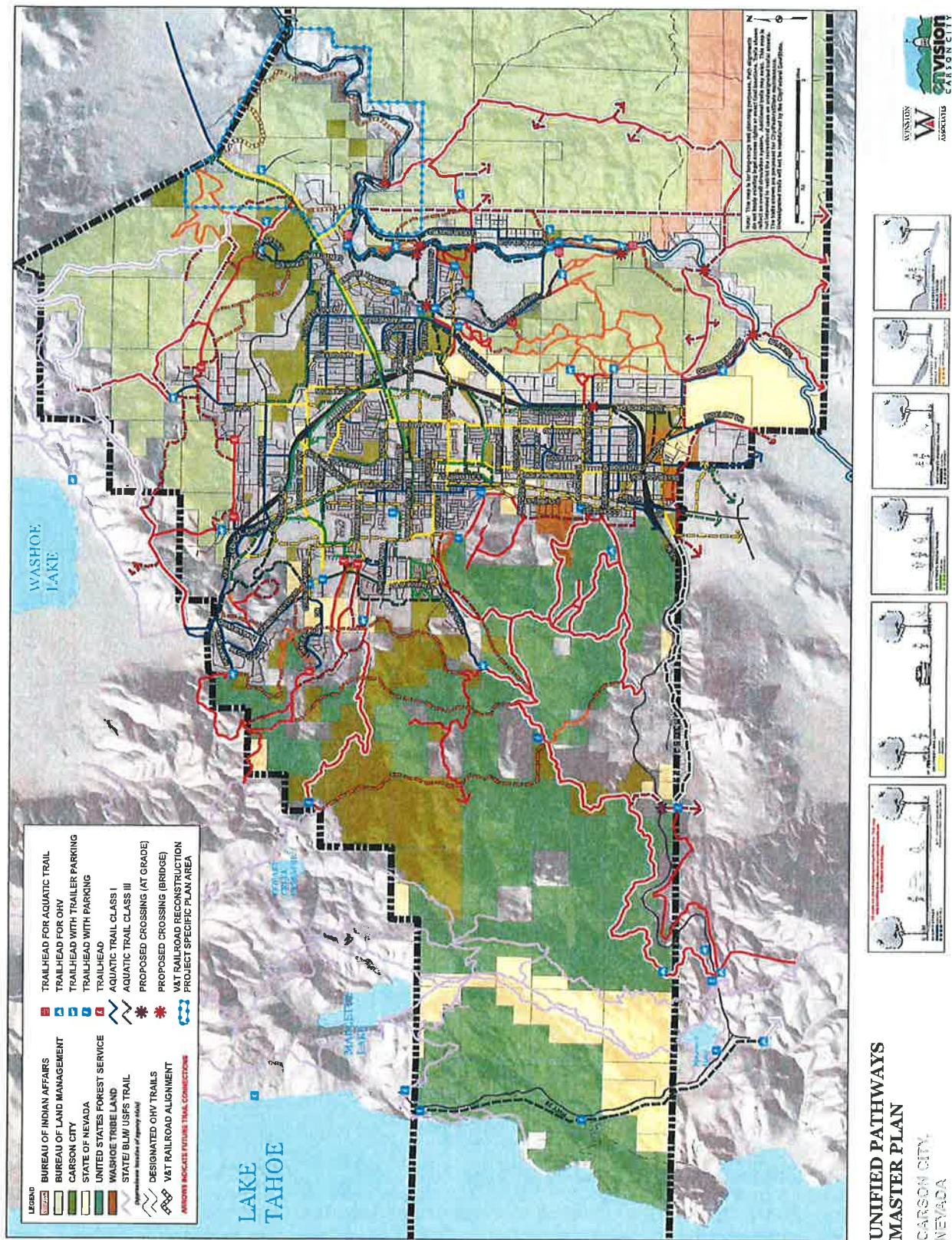


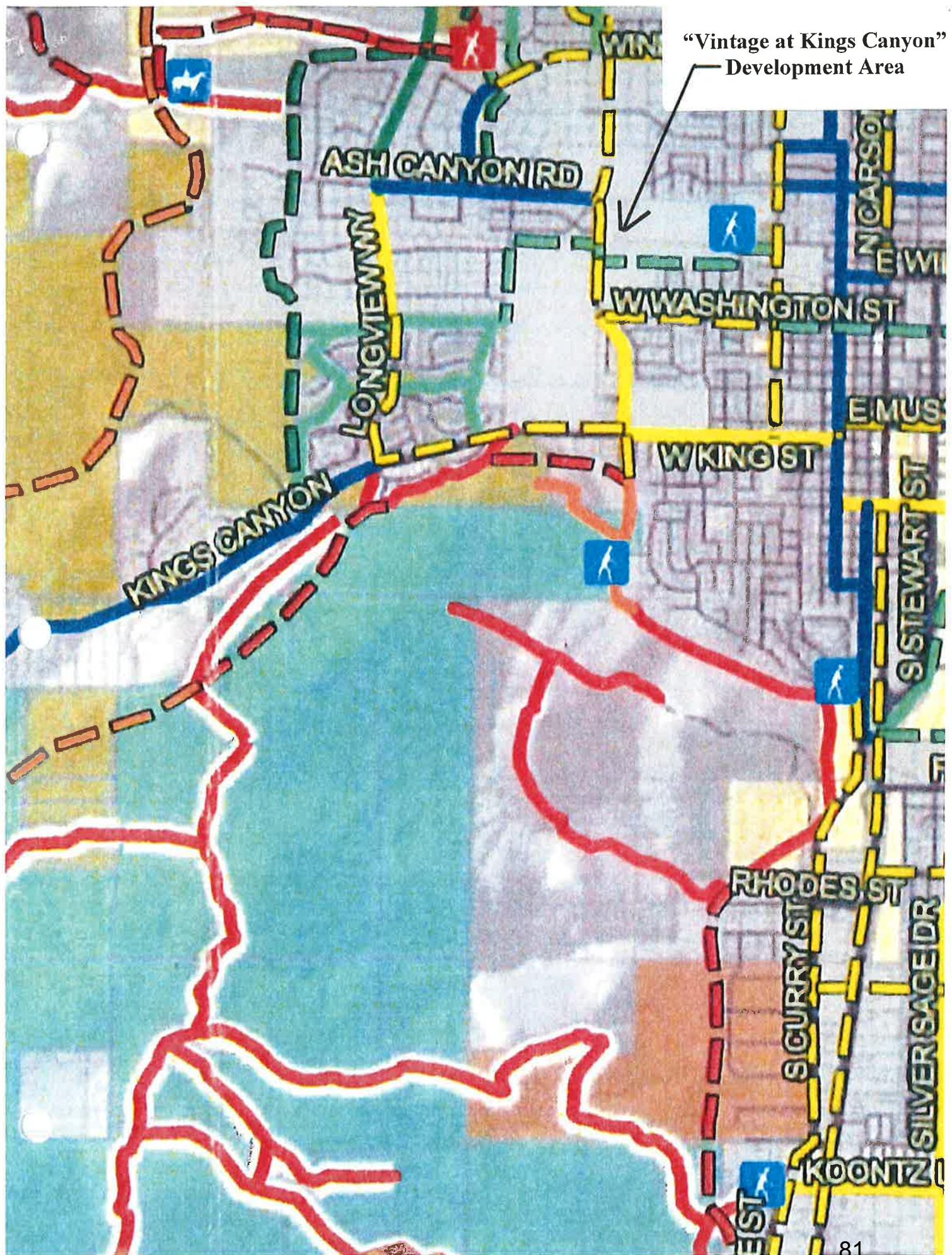
Home Owners Association (HOA) maintenance responsibilities:

- Upkeep and care of all common open space areas
- Detention basins
- Vineyards and gardens
- Community buffer areas and including multi-use path
- Exercise equipment
- Opening and closing gates at dusk and dawn
- Maintain mutt-mitt stations and trash cans
- Maintain all fencing on the property



Exhibit B





Vintage at Kings Canyon

PUD Tentative Map and Entitlement Report



T PUD - 16-092

RECEIVED

AUG 26 2016

CARSON CITY
PLANNING DIVISION

Prepared by:



Dale Cox
Architects

Architecture • Planning • Construction Management



August 18, 2016

Vintage at Kings Canyon

PUD Tentative Map and Entitlement Report

Prepared for:

Vintage at Kings Canyon, LP

Prepared by:

Rubicon Design Group, LLC

100 California Avenue, Suite 202

Reno, Nevada 89509

(775) 425-4800

August 18, 2016

Carson City Planning Division 108 E. Proctor Street • Carson City NV 89701 Phone: (775) 887-2180 • E-mail: planning@carson.org	
FILE # TPUD – 16 -	
APPLICANT	PHONE #
Vintage at Kings Canyon, LLP	775-240-0241
MAILING ADDRESS, CITY, STATE, ZIP	
9130 Double Diamond Pkwy. Reno, NV 89521	
ENGINEER	PHONE #
Lumos & Associates, Inc.	775-883-7077
MAILING ADDRESS, CITY, STATE, ZIP	
800 E. College Pkwy. Carson City, NV 89706	
EMAIL ADDRESS	
rbernier@lumosinc.com	
PROPERTY ADDRESS, CITY, STATE, ZIP	
1450 Mountain Street Carson City, NV 89703	
PRESENT ZONING	APN(S)
SF-6, SF-12, SF-1A 007-573-06, 07, 08 & 009-012-02	

FOR OFFICE USE ONLY:

TENTATIVE MAP FOR A PUD



STATE FEES: See checklist. Submit the two state checks at the time of initial application submittal.

FEE: \$3,450.00 + noticing fee + CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

See checklist (fill out checklist and return to staff with the application packet)

Application Reviewed and Received By:

REQUEST: In accordance with the provisions of Title 17 of the Carson City Municipal Code, application is hereby made for a Planned Unit Development on property situated at:

The required modifications to Carson City's Land Use Regulations are as follows:

Please see following sheet

ACKNOWLEDGMENT OF APPLICANT: (a) I certify that the foregoing statement are true and correct to the best of my knowledge and belief; (b) I agree to fulfill all conditions established by the Board of Supervisors.

Applicant's Signature

8/17/2016
Date

PROPERTY OWNER'S AFFIDAVIT

I, Meagen Kalley, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

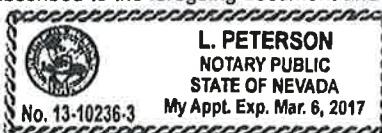
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY Carson City }

On August 17th, 2016, personally appeared before me, a notary public, Meagen Kalley, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

L. Peterson
Notary Public



NOTE: In order to avoid unnecessary time delays in processing your develop project, it is important that it be as complete as possible when submitted. A checklist is available to assist you and your engineer. If you have further questions regarding your application, please call the Planning Division at 775-887-2180.

To be included on the Tentative Map for a PUD application page:

The required modifications to Carson City's land use regulations are as follows –

Side setbacks on small lots – Carson City Municipal Section 18.04.190

For small lots in Vintage at Kings Canyon, the allowed side setback is 0'. This is a reduction from the SF6 standard of a minimum of 5'.

Parking for Non-residential uses – Carson City Municipal Code Division 2 Section 2.2

Code requires parking at a rate of 1 space per 100 square feet of gross building area for personal service-type uses (i.e. nail salons, barber, etc.) While there is significant parking at the site, it has not been specifically assigned to the personal service uses. This is because these uses are not open to the public and do not serve people from outside the development. Therefore, dedicated parking is not required for these uses.

Street Design/Street Section - Carson City Municipal Code Division 12 Section 12.12.6

Code requires local streets to include standard ("L" curbs). Proposed streets in vintage at Kings Canyon may include a rolled curb where appropriate and parking on one side of the street.

Carson City Planning Division
108 E. Proctor Street· Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # ZMA – 16 -

APPLICANT	PHONE #
Vintage at Kings Canyon, LLP	775-240-0241
MAILING ADDRESS, CITY, STATE, ZIP	
9130 Double Diamond Pkwy. Reno, NV 89521	
EMAIL ADDRESS	
vince@scottdevelopment.net	
PROPERTY OWNER	PHONE #
Andersen Family Assoc.	775-721-3712
MAILING ADDRESS, CITY, STATE, ZIP	
PO Box 1746 Carson City, NV 89702	
EMAIL ADDRESS	
megkalley@pacbell.net	
APPLICANT AGENT/REPRESENTATIVE	PHONE #
Rebecca Bernier/Lumos & Assoc. Inc	775-883-7077
MAILING ADDRESS, CITY, STATE, ZIP	
800 E. College Pkwy. Carson City, NV 89706	
EMAIL ADDRESS	
rbernier@lumosinc.com	

FOR OFFICE USE ONLY:

ZONING MAP AMENDMENT

FEE: \$2,450.00 + noticing fee

SUBMITTAL PACKET

- Application Form
- Written Project Description
- Site Plan
- Proposal Questionnaire With Both Questions and Answers Given, Supporting Documentation
- Applicant's Acknowledgment Statement
- 6 Completed Application Packets (1 Original + 5 Copies)
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering-4 copies)
- CD containing application data (all to be submitted once application is deemed complete by staff)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

Project's Assessor Parcel Number(s)	Street Address	ZIP Code
007-573-06 & 08	1450 Mountain Street Carson City, NV 89703	
Project's Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)
Medium Density Residential	SF-6 and SF-12	Mountain St. @ W. Long St./Ormsby Blvd. @ W. Washington St.

Briefly describe the components of the proposed project: in accordance with Carson City Municipal Code (CCMC), Section 18.02.075. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal.

This is a zone change request to amend a 5.6 acre site from a mix of SF-6 and SF-12 to NB

in order to establish assisted and independent living uses within the Vintage at Kings Canyon PUD.

Refer to attached report for highly detailed specifics and analysis.

PROPERTY OWNER'S AFFIDAVIT

I, Meagen Kalley, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

720 Ocean

Address

8/17/14

Date

Use additional page(s) if necessary for other names.

On August 17th, 2014, Meagen Kalley, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

L. Peterson

Notary Public

State of Nevada
Carson City



L. PETERSON
NOTARY PUBLIC
STATE OF NEVADA

My Appl. Exp. Mar. 6, 2017

No. 13-10236-3

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # SUP - 16 -

APPLICANT	PHONE #
Vintage at Kings Canyon, LLP	775-240-0241
MAILING ADDRESS, CITY, STATE, ZIP	
9130 Double Diamond Pkwy. Reno, NV 89521	
EMAIL ADDRESS	
vince@scottdevelopment.net	
PROPERTY OWNER	PHONE #
Andersen Family Assoc.	775-721-3712
MAILING ADDRESS, CITY, STATE, ZIP	
PO Box 1746 Carson City, NV 89702	
EMAIL ADDRESS	
megkalley@pacbell.net	
APPLICANT AGENT/REPRESENTATIVE	PHONE #
Rebecca Bernier/Lumos & Assoc.	775-883-7077
MAILING ADDRESS, CITY STATE, ZIP	
800 E. College Pkwy. Carson City, NV 89706	
EMAIL ADDRESS	
rbernier@lumosinc.com	

FOR OFFICE USE ONLY:

CCMC 18.02

SPECIAL USE PERMIT

**FEE: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential
zoning districts)**
+ noticing fee

SUBMITTAL PACKET

- 8 Completed Application Packets (1 Original + 7 Copies) including:
- Application Form
- Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Proposal Questionnaire With Both Questions and Answers Given
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering) (4 copies)
- CD containing application digital data (to be submitted once the application is deemed complete by staff)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

Project's Assessor Parcel Number(s):	Street Address	ZIP Code
007-573-06 & 08	1450 Mountain Street Carson City, NV 89703	
Project's Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)
Mixed Use Commercial (proposed)	SF-6 and SF-12 (NB proposed)	Mountain St. @ W. Long St./Ormsby Blvd. @ W. Washington St.

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: _____, or Development Standards, Division _____, Section _____, a request to allow as a conditional use is as follows:

This is a SUP request to establish assisted and independent living uses within a proposed 5.6 acre NB zone to be included in the Vintage at Kings Canyon PUD.

PROPERTY OWNER'S AFFIDAVIT

I, Meagen Kalley, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

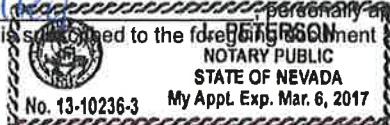
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA
COUNTY Carson City

On August 17th, 2016, Meagen Kalley, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 009-012-02

Property Location: 1800 KINGS CANYON RD
 Billed to: ANDERSEN FAMILY ASSOCIATES
 P O BOX 1746
 CARSON CITY, NV 89702-0000

Tax Year: 2016-17
 Roll #: 000408
 District: 2.4
 Tax Service:
 Land Use Code: 692
[Code Table](#)
 Includes Personal Propert

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

No Prior Year Taxes**Current Year**

08/15/16	602.10		602.10	602.10	.00
10/03/16	599.00		599.00	.00	599.00
01/02/17	599.00		599.00	.00	1,198.00
03/06/17	599.00		599.00	.00	1,797.00
Totals:	2,399.10	.00	2,399.10	602.10	

[Payment Cart](#)[History](#)**Additional Information**

	2016-17	2015-16	2014-15	2013-14	2012-13
Tax Rate	3.5200	3.5200	3.5400	3.5600	3.5600
Tax Cap Percent	.2	3.1	3.0	3.5	4.5
Abatement Amount	947.16	1,062.52	359.72	412.54	417.00



CARSON CITY

Capital of Nevada

[Treasurer Home](#)

[Assessor Data Inquiry](#)

[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 007-573-06

Property Location: N ORMSBY BLVD
 Billed to: ANDERSEN FAMILY ASSOCIATES
 P O BOX 1746
 CARSON CITY, NV 89702-0000

Tax Year: 2016-17

Roll #: 000405

District: 2.4

Tax Service:

Land Use Code: 600

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
No Prior Year Taxes					
Current Year					
08/15/16	88.87		88.87	.00	88.87
10/03/16	9.00		9.00	.00	97.87
01/02/17	9.00		9.00	.00	106.87
03/06/17	9.00		9.00	.00	115.87
Totals:	115.87	.00	115.87	.00	

[Payment Cart](#)

[History](#)

Additional Information

	2016-17	2015-16	2014-15	2013-14	2012-13
Tax Rate	3.5200	3.5200	3.5400	3.5600	3.5600
Tax Cap Percent	.2	3.2	3.0	4.2	6.4
Abatement Amount	15.90	28.24	22.82	15.92	2.89



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 007-573-07

Property Location: N ORMSBY BLVD
Billed to: ANDERSEN FAMILY ASSOCIATES
P O BOX 1746
CARSON CITY, NV 89702-0000

Tax Year: 2016-17

Roll #: 000406

District: 2.4

Tax Service:

Land Use Code: 600

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

No Prior Year Taxes

Current Year

08/15/16	26.67		26.67	.00	26.67
10/03/16					
01/02/17					
03/06/17					

[Payment Cart](#)[History](#)

Additional Information

	2016-17	2015-16	2014-15	2013-14	2012-13
Tax Rate	3.5200	3.5200	3.5400	3.5600	3.5600
Tax Cap Percent	.2	3.2	3.0	4.2	6.4
Abatement Amount	.02	18.92	15.28	10.68	1.94



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 007-573-08

Property Location: 1450 MOUNTAIN ST
Billed to: ANDERSEN FAMILY ASSOCIATES
P O BOX 1746
CARSON CITY, NV 89702-0000

Tax Year: 2016-17

Roll #: 000407

District: 1.0

Tax Service:

Land Use Code: 695

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

No Prior Year Taxes

Current Year

08/15/16	13.59		13.59	.00	13.59
10/03/16					
01/02/17					
03/06/17					

[Payment Cart](#)[History](#)

Additional Information

	2016-17	2015-16	2014-15	2013-14	2012-13
Tax Rate	3.5200	3.5200	3.5400	3.5600	3.5600
Tax Cap Percent	.2	3.2	3.0	4.2	6.4
Abatement Amount	89.37	44.24	43.16	5.22	.97

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

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VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Attachments:

Carson City Application Forms and Affidavits
Applicant Acknowledgement Form
Property Tax Certificate
Electronic Files
Vintage at Kings Canyon PUD Handbook
Drainage Report
Traffic Report
Preliminary Civil Plans
Preliminary Landscape Plans
Preliminary Floor Plans and Elevations

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Introduction

This application includes the following requests:

- A **Planned Unit Development (PUD) Tentative Map Application** to allow for the creation of 212 single family units.
- A **Zoning Map Amendment** to redesignate $5.6\pm$ acres from a mix of SF-6 and SF-12 to Neighborhood Business (NB).
- A **Special Use Permit** to allow the development of an assisted living/congregate care facility in the Neighborhood Business (NB) zone.

Project Location

Vintage at Kings Canyon includes $78.2\pm$ acres (APN #'s 007-573-06, 07, 08 and a portion of 009-01-202). This includes $48.21\pm$ acres located west of Mountain Street and east of Ormsby Boulevard along with $30\pm$ acres west of Ormsby Road at the current terminus of West Washington Street. Figure 1 (below) depicts the project location.



Figure 1 – Vicinity Map

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Existing Conditions

Currently, the site is vacant and includes a mix of SF-6, SF-12 and SF-1A zoning. The parcels located east of Ormsby Boulevard are designated SF-16 and SF-12 while the $30\pm$ acres west of Ormsby is designated SF-1A. Surrounding uses are primarily single family homes. However, there are non-residential uses near the eastern property boundary, including a medical center, limited supporting retail, and medical office space.

The site is well served by the area road network. It is $1,675\pm$ feet (straight line distance) west of North Carson Street and can be accessed on its east side via Bath Street, Long Street, Fleischman Way, and Washington Street, which all connect to Mountain Street. The western edge of the property can be accessed via Winnie Lane and Ormsby Boulevard.

This site can be developed without altering major traffic patterns in the surrounding neighborhoods. Primary access is located on Mountain Street and Ormsby Boulevard. Traffic will therefore be directed to the existing collector streets (e.g. Mountain, Ormsby, Winnie, Long, Washington) and not into the surrounding neighborhoods.

There are existing buildings on parcel 009-012-02 including one house, a barn, and ancillary farm/agricultural buildings. This application only includes the northern portion of this parcel; generally north of the terminus of West Washington Street. As part of this application, parcel 009-012-02 will be split. The northern $30\pm$ acres will be included in the Vintage at Kings Canyon PUD and the remaining $50.6\pm$ acres will remain as-is with the existing improvements.

The parcels that make up Vintage at Kings Canyon have remained vacant or in agricultural use over the last several decades. However, the existing zoning and Master Plan designations have been in place for 10+ years and match those of the surrounding neighborhoods.

Figure 2 (following page) depicts the existing onsite conditions at the Vintage at Kings Canyon site.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

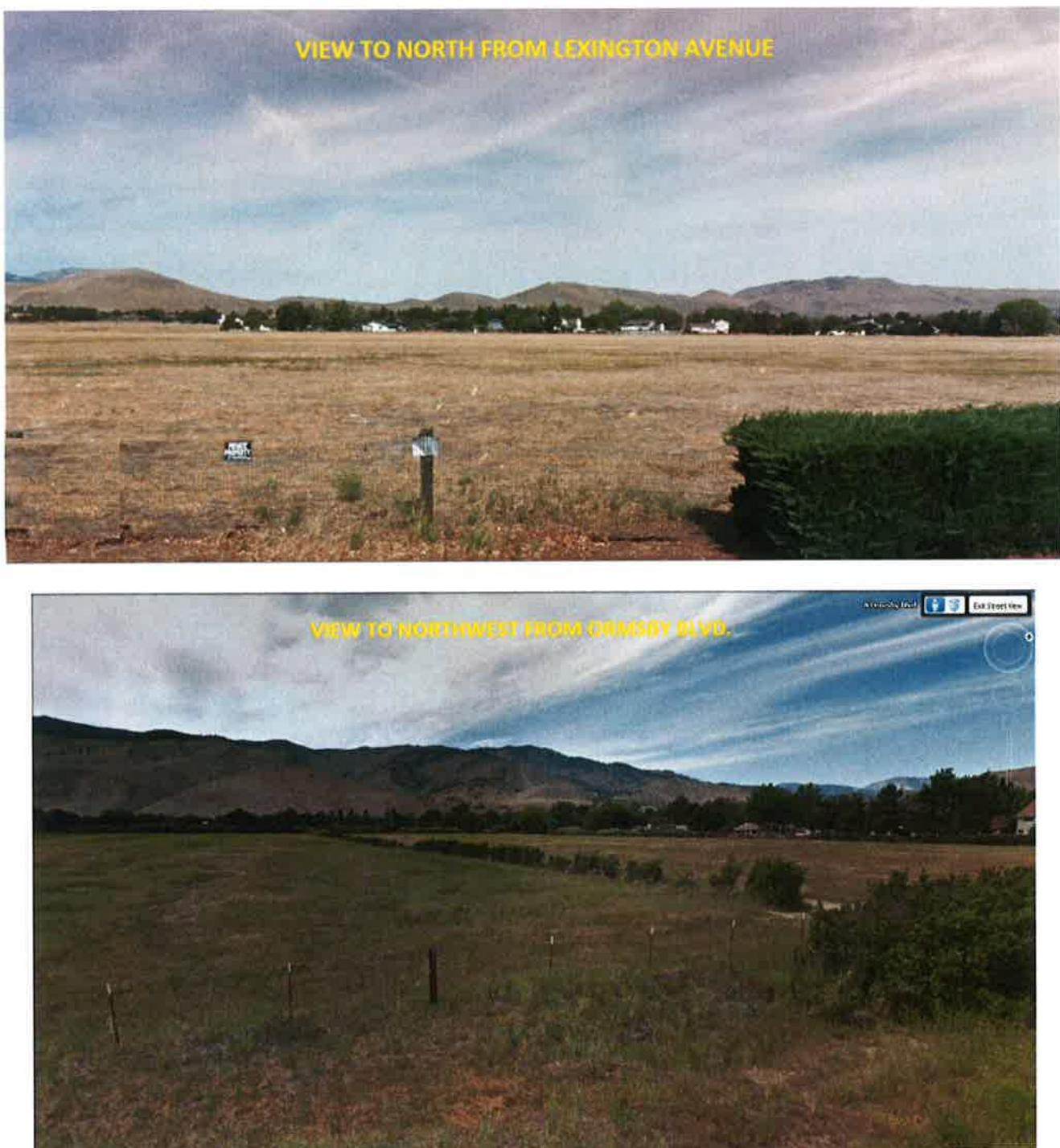


Figure 2 – Existing Conditions

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Project Overview

Vintage at Kings Canyon is envisioned to be an upscale/luxurious active adult community. In order to carry forth the community vision, a Planned Unit Development (PUD) approach will be implemented. The PUD allows for a mix of housing types, preservation of open space, enhanced buffering, unique community amenities, clustering of units, strict architectural and landscaping standards, and methods for developing a comprehensive theme and design that ensures the project properly relates to the existing built environment.

The community will be unified through a common design theme and amenities. This includes consistent upscale architecture, community paths, open space, vineyards/gradens, park, etc. along with exclusive amenities such as a clubhouse/recreation center, pool, and dining and personal service options within the assisted and independent living facilities (for exclusive use by residents and their guests).

In order to develop a community that allows for a full range of housing options that appeal to seniors, the Vintage at Kings Canyon has been designed to include a mix of residential densities and housing types. This includes five distinct single family products along with assisted and independent living facilities. Single family offerings will range from larger estate lots to small zero lot line dwellings which allow seniors to maintain their independence while eliminating the need for maintenance responsibilities, etc.

Larger lots (14,400 square feet minimum) are located on the western portion of the project site, west of Ormsby Boulevard. These home sites will include larger single family residences and include lot sizes up to 17,140± square feet. A total of 59 single family units are proposed on the western 30± acres of the Vintage at Kings Canyon. This, coupled with a large perimeter buffer ensure a proper transition between new homes within Vintage at Kings Canyon and those that exist to the north and west.

The “central” portion of the Vintage at Kings Canyon includes the 48.21± acres located between Mountain Street and Ormsby Boulevard. Single family offerings in this area can be broken down into four distinct products. A total of 11 lots at a minimum of 10,000 square feet will be located along the northern project perimeter. The western edge of the central site (east side of Ormsby Boulevard) is envisioned for 15 single family home sites at a minimum of 8,500 square feet. More internal to the site will be smaller single family home sites including two distinct zero-lot-line products. This includes a total of 58 units on 3,365± square foot lots and 69 units on 1,690± square foot lots. These homes will provide single family detached housing options for seniors that allow them to maintain their independence while eliminating the burden of yard maintenance, etc. In fact, all exterior home and landscape maintenance will be provided by the Vintage at Kings Canyon Homeowners Association (HOA) or an approved Landscape Maintenance Association (LMA).

The final residential component will be assisted and independent living units. Based on public input, these units are clustered central to the overall project site and will include three single story buildings and a total of 96 units. This includes two 24,000± square foot assisted living buildings and one 21,000± square foot independent living building. The assisted and independent living components will provide individual apartment type units and suites that include additional amenities such as onsite medical staff, dining options, recreational amenities, theater room, library, and personal services such as a salon, barber shop, workout classes, etc. These amenities will be for the exclusive use of Vintage at Kings Canyon residents and their guests and will not be open to the public.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Figure 3 (below) depicts the site plan developed for the Vintage at Kings Canyon.

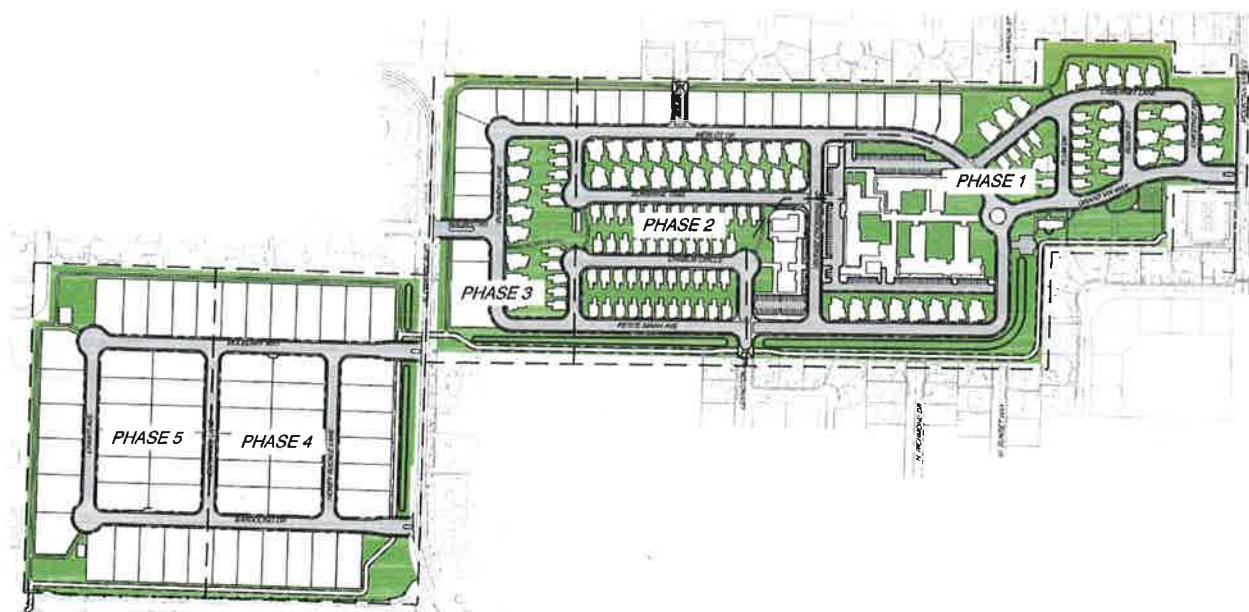


Figure 3 – Site Plan

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

As noted previously, the community will be unified through a common architectural theme, landscape improvements, and amenities. Planned amenities include a 10,000± square foot clubhouse/recreation center with community swimming pool, a neighborhood park and walking trails (also open to the general public), a 1,500± greenhouse, community gardens and vineyards. In order to support these amenities, ancillary maintenance buildings will be constructed to house equipment and supplies. It is also planned to construct a 4,000± square foot community office and sales center at the eastern portion of the site. This will serve to house Vintage at Kings Canyon offices and sales operations. Once the community is built out/complete, the office will remain for support staff and services. There are no plans for general office uses (other than those in support of the project) included in the project plan.

The Vintage at Kings Canyon community will also include extensive landscaping and buffering and design measures to ensure a proper relationship with the existing built environment. After significant public input, a key change was made to relocate the assisted and independent living units to the central portion of the site, away from existing homes. Also, the existing trail head along Mountain Street which currently connects to nothing will now connect to a new trail system that provides access along the southern boundary of the project connecting to points west. Increased buffering and landscaping is now proposed along the project perimeters as are larger lots west of Ormsby Boulevard. The northern perimeter now includes larger home sites and there is a significant open space buffer on the southern side of the project.

The assisted living and extended care operations will have some impact on the area but are far more "self-contained" than a single family residential development. This is primarily true for impacts such as traffic generation, landscape water use, etc. These impacts are greatly reduced or non-existent for this element of the project.

It is envisioned that the project will be developed in 5 phases. Phasing will occur from east to west. The assisted/independent living component of the project along with single family homes will be included in the first phase. The remaining phases will be entirely single family. It is proposed to construct the passive park and trail along the southern boundary (east of Ormsby) with the first phase. The trail along the existing Ash Canyon Creek will be completed in phase 4 while interior trails will be constructed phase by phase.

As an age-restricted community, overall impacts are much less than a comparable "standard" subdivision. For example, Vintage at Kings Canyon will generate no impacts to schools. Additionally, smaller lot sizes result in the need for less water consumption. Age-restricted communities also tend to generate less noise than standard subdivisions as there are typically no children at play, less nighttime activity, etc.

In terms of traffic impacts, age-restricted communities generate 40-60% less traffic on average than typical subdivisions. This is largely in part to the fact that many of the residents will utilize onsite shuttle services or do not drive. It is also important to note that standard subdivisions often include more than 2 drivers per household (i.e. teen drivers and multiple residents per unit). Vintage at Kings Canyon will include covenants, conditions, and restrictions (CC&R's) which limit permanent occupancy to 2 people per dwelling. For those that do drive, residents typically generate far less peak hour trips as a significant portion of the residents are retired and will not be travelling during typical commute hours.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

As noted previously, primary access to the site is from Mountain and Ormsby Streets. This ensures that traffic patterns within the existing neighborhoods will be far less impacted. Secondary access is provided via connections with Bolero Drive and Lexington Avenue. However, it is anticipated that these roadways will get little use as they do not provide direct connections to the arterial street system and are less convenient in terms of reaching everyday services and common destinations. A full traffic impact analysis is attached along with the tentative map and PUD applications.

Attached to this report is a comprehensive development standards handbook that will be adopted as part of the PUD. This handbook solidifies the project plan and sets strict guidelines for architecture, landscaping, buffering, lighting, fencing, etc. Once adopted, this handbook essentially becomes the zoning for the project site. This ensures that no significant deviation from the commitments made during the public review process can occur. Furthermore, it also ensures that the allowed uses and densities presented in this plan cannot deviate. This directly addresses concerns raised by neighbors that commercial uses not listed in the PUD may occur. This could not happen and would require a full amendment to the PUD, including a lengthy public review process.

Development Summary and Calculations

Vintage at Kings Canyon will be a diverse senior community unlike anything that currently exists in Carson City. The project will serve to fill a long-standing and growing need for quality senior housing that allows seniors flexibility in terms of housing options and required levels of care. This serves to promote a much higher quality of life for our aging population(s).

The following table provides an overall development summary for the Vintage at Kings Canyon:

Vintage at Kings Canyon Development Summary		
Unit Type ¹	Description	Total Units
A	Single Family – 10,000± sq.ft. lot size	11 units
B	Single Family – 8,500± sq.ft. lot size	15 units
C	Single Family – 3,365± sq. ft. lot size (zero lot line)	58 units
D	Single Family – 1,690± sq.ft. lot size (zero lot line)	69 units
E	Single Family Estates – 14,440± sq.ft. min. lot size	59 units
Assisted Living	Assisted Living Single Story Building	64 units
Independent Living	Independent Living Single Story Building	29 units
TOTAL		305 units

1 – Refer to Figure 3 that indicates unit types.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

A total of 212 single family units are proposed within Vintage at Kings Canyon. This total density is permitted under the existing SF-6, SF-12 and SF-1A zoning that exists across the site. The proposed PUD will allow for the clustering of the units which allows for the preservation of open space and amenities. Also, clustering will provide for lot sizes that are more manageable for elderly residents. Yard maintenance will be provided by the community's homeowners association (HOA). It is important to note that the existing density associated with the 5.6± acres proposed for rezoning has been excluded.

The following table provides a summary of how the density for the project is calculated.

Vintage at Kings Canyon Density Summary				
Parcel Number	Area	Zoning	Max. DU/AC	Unit Yield
007-573-06	7.83± acres	SF6	7.26	56
007-573-07	18.73± acres ¹	SF12	3.63	67
007-573-08	16± acres	SF12	3.63	58
009-012-02	30± acres ²	SF1A	1.1	33
Project Total	72.56± acres			213

1 – Excludes 5.6± acres to be rezoned.

2 – Reflects adjusted parcel area.

As the table above demonstrates, density to support 213 units exists under the existing conditions. In addition to the 212 single family units, 64 assisted living units are proposed along with 32 independent living units for a total of 308 units. The assisted/independent living units are considered a non-residential use under the Carson City Municipal Code and are therefore not counted in terms of the allowed density calculations.

Lastly, the following table provides an overall summary of the various components included with the Vintage at Kings Canyon PUD:

Project Component	Area
Single Family Lot Area	32.74± acres
Right-of-Way Area	15.94± acres
Building Area (non-single family homes)	2.0± acres
Parking Area	1.75± acres
Park and Open Space Area	25.8± acres
Project Total	78.2± acres

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Planned Unit Development

As previously noted, it is planned to develop Vintage at Kings Canyon as a Planned Unit Development (PUD). Therefore, concurrent with the Master Plan Amendment, Zone Change, and Tentative Map applications, a comprehensive design standards handbook is attached. This handbook provides specific standards related to allowed uses, maximum density, maximum building heights, lighting, landscaping, architecture, open space, project amenities, operating requirements (i.e. delivery times for assisted living), buffering, maintenance of common areas/amenities, etc.

By incorporating the PUD approach, the City and surrounding neighbors are given assurances as to what will be developed at the site. Unlike a standard zoning approach, the handbook will limit uses. Thus, if the project ever were to be sold or undeveloped, commercial uses (other than assisted/independent living) would be prohibited within the project area. Additionally, the PUD is recorded against the property and “runs with the land.” Thus, any change in ownership would result in zero change as to what can be developed. Any change in use would require a full public approval process.

Project Theme

The project is inspired by an upscale farmhouse wine-country theme. As such, the project incorporates vineyard areas, community gardens, barns, etc. Also, architecture and entry monumentation will be reflective of this theme as well. The attached PUD handbook provides specific details and standards to ensure that the project theme is adopted and maintained, providing a consistent look to the final project.

Figures 4 through 7 (following pages) provide architectural concepts that will be incorporated into the PUD.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report



ASSISTED LIVING FRONT ELEVATION



ASSISTED LIVING SIDE ELEVATION



CLUBHOUSE/ POOL

VINTAGE AT KING'S CANYON

Dale Cox

Architects

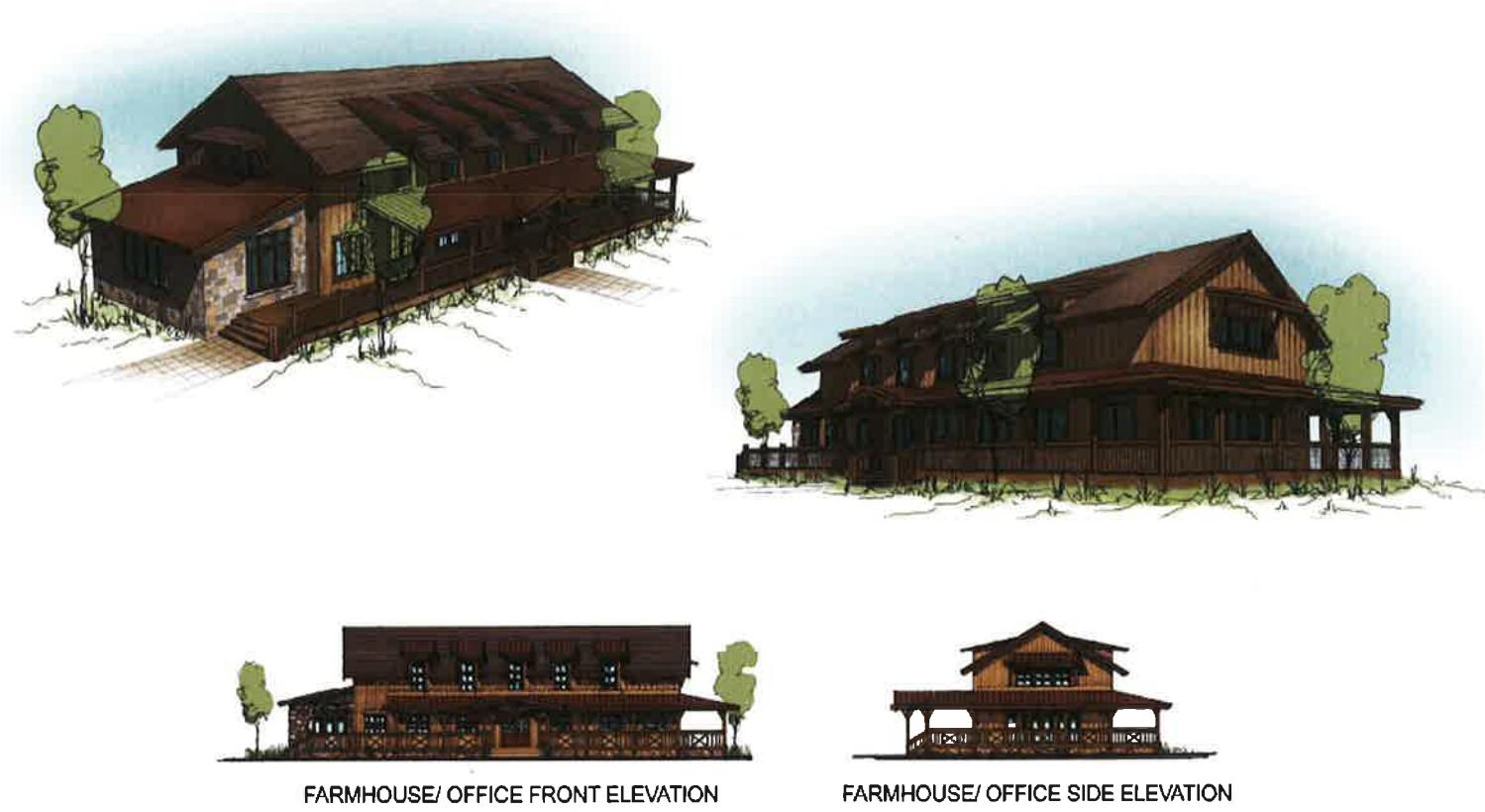
Architecture Planning Construction Management

6/3/16

Refer to attached PUD handbook for additional details and standards.

Figure 4 – Conceptual Architecture

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report



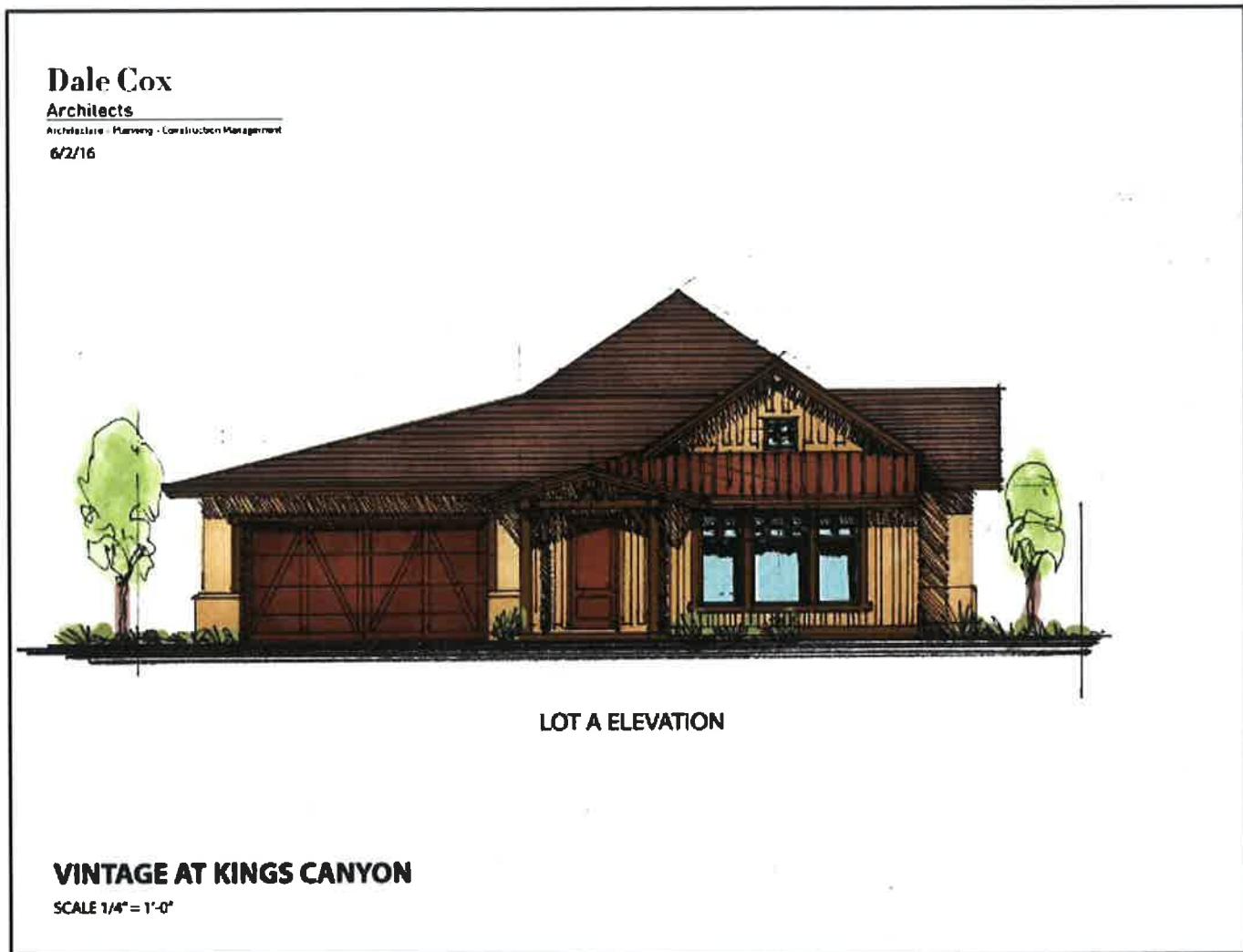
VINTAGE AT KING'S CANYON

Dale Cox
Architects
Architecture Planning Construction Management
6/2/16

Refer to attached PUD handbook for additional details and standards.

Figure 5 – Conceptual Architecture

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report



Refer to attached PUD handbook for additional details and standards.

Figure 6 – Conceptual Architecture

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Dale Cox

Architects

Architecture - Planning - Construction Management

6/2/16



LOT D ELEVATION

VINTAGE AT KINGS CANYON

SCALE 1/4" = 1'-0"

Refer to attached PUD handbook for additional details and standards.

Figure 7 – Conceptual Architecture

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Stormwater Management and Drainage

The site includes a mix of FEMA Flood Zone classifications, making the site suitable for development provided that proper stormwater management is included in the design. The eastern three parcels of the site are primarily classified as Zone X – Shaded, which is out of the flood zone. A portion of this area is classified as zone AO. The western-most parcel is primarily classified as zone AE, with a small amount of both AO and Zone X - Shaded. The AO and AE zones will require proper design and grading modifications to manage any stormwater impacts. Fortunately, the developed areas surrounding the site exhibit stormwater management design that effectively handles runoff. This is evidenced by the GIS and FEMA data showing that surrounding development is primarily classified as Zone X – Shaded, suggesting that effective stormwater management is feasible in the area.

Ash Canyon Creek runs from the west to the east across 009-012-02 that will remain in place. This creek remains outside of the PUD boundary.

Currently flood waters run across Ormsby and collect on the southern edge of the project boundary and then dissipate onto the neighboring streets according to the existing FEMA mapping. Although the site will be improved in this area, overall flow patterns will be maintained in conformance with City code.

In general, drainage from the site moves from west to east. However, different sections of the site can be designed to perform somewhat independently. For example, the western-most parcel has ample room to detain runoff, which can then move in a controlled fashion to the east, as needed. There is a large-capacity drainage pipe already installed on Mountain Street and this will serve to ultimately remove runoff from the site. Attached to this submittal is a conceptual level drainage study. A technical drainage study will be required/provided at the improvement plan stage of the project.

Neighborhood Input

As eluded to previously, the Vintage at Kings Canyon project has had extensive scrutiny by community residents. After listening to resident concerns, significant changes have been incorporated into the project plan. These changes will be further detailed in the forthcoming entitlement requests. However, the bullet points below highlight some of the key amendments to the plan submitted previously for conceptual review:

- Commercial is limited to assisted/independent living only. Any ancillary commercial use (i.e. salon, barber, etc. will be located internal to the buildings for exclusive resident use only.
- Open space areas have been increased.
- Significant buffering has been included on the south side of the project with additional buffering throughout the site.
- The office component of the project (excluding a sales/information office) has been removed.
- Perimeter lot sizes have increased.
- Assisted/independent living units have been relocated central to the site so that they do not adjoin any existing residences.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

It is also noteworthy that the Vintage project is anticipated to increase overall property values in the area. The project will be developed utilizing high end finishes, innovative green technologies and materials, and will offer unprecedented amenities within the marketplace. As a result, on a per-square foot basis, Vintage at Kings Canyon will likely be one of the highest priced projects in Carson City. This will have a positive spill-over effect to surrounding neighborhoods.

Requested Entitlements

In order to implement the Vintage at Kings Canyon as envisioned, the following entitlements must be granted by Carson City:

- Master Plan Amendment
- Zoning Map Amendment
- Planned Unit Development Tentative Map
- Special Use Permit

Each of these entitlement requests are detailed within this section.

• Master Plan Amendment

Assisted living and independent living facilities are classified as a congregate care use within the Carson City Municipal Code. Therefore, these uses, although residential in nature, are classified as a commercial use type. Thus, the existing Medium Density Residential (MDR) Master Plan designation does not permit an underlying zoning district that allows for “commercial” use. As such, a Master Plan Amendment effecting the 5.6± acres proposed for assisted/independent living is proposed with the Vintage at Kings Canyon.

The Master Plan Amendment component of the project requests that the 5.6± acres of the existing MDR area be redesignated to Mixed Use Residential (MUR). This will establish the underlying designation needed for Neighborhood Business (NB) zoning which allows for the proposed assisted/independent living components.

At the request of Carson City staff, the Master Plan Amendment request has been isolated from the remaining entitlements and included as a separate application submittal. It is included as an attachment to this report, as is the PUD development standards handbook. The attached Master Plan Amendment document provides highly specific details on the Master Plan Amendment component of the project including rationale and analysis of applicable City policies and findings.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

• Zoning Map Amendment

In order to establish the assisted/independent living facilities, an underlying commercial zoning designation is required. Therefore, it is requested to rezone the $5.6\pm$ acres occupied by the assisted/independent living component to Neighborhood Business (NB). NB is a low intensity commercial designation and the commercial uses proposed consist solely of the assisted/independent living facilities which are residential in nature. These uses will include support personal services such as dining rooms, a salon, barbershop, workout facilities, etc. These uses are located within the buildings and are for the exclusive use of Vintage at Kings Canyon residents and their guests. No public commercial uses are proposed. This is further reinforced through use restrictions imposed in the PUD handbook (attached).

Figure 8 (below) depicts the existing and proposed zoning associated with the project.

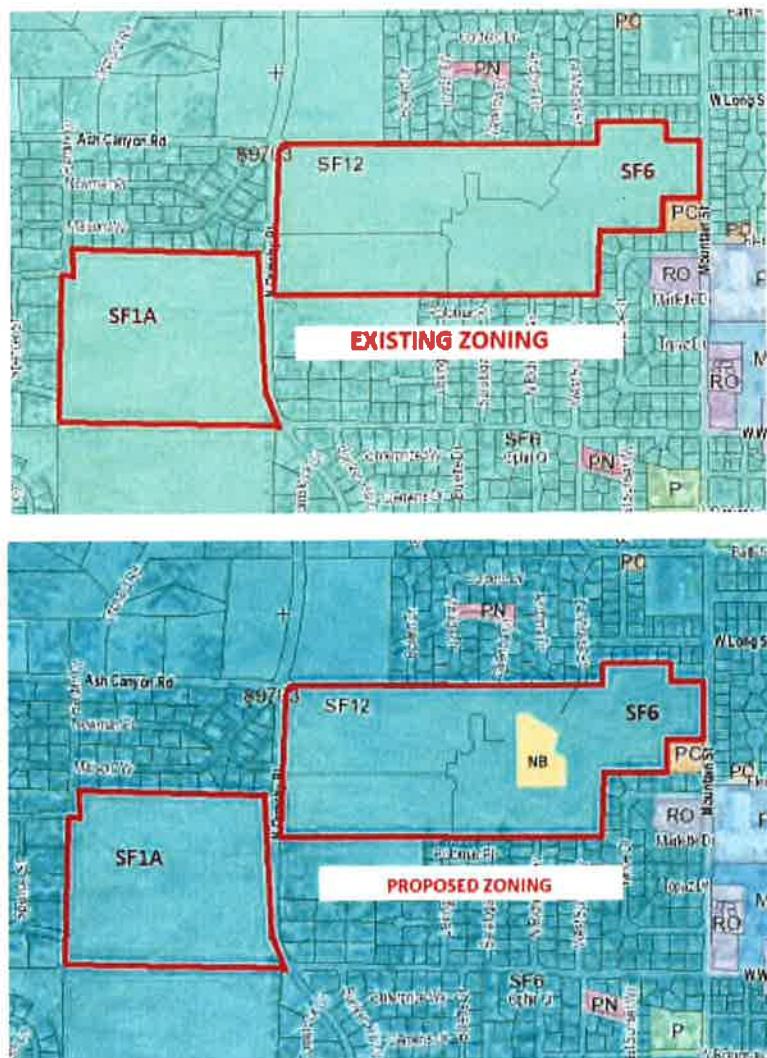


Figure 8 – Existing/Proposed Zoning

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

• Planned Unit Development Tentative Map

A tentative map request to allow for the creation of 212 single family lot (as previously described) is included with this overall request. Coupled with the tentative map is a Planned Unit Development (PUD) development standards handbook. The PUD handbook provides specific design guidelines, regulations, and requirements for the Vintage at Kings Canyon project. This handbook is included as a separate document and is an attachment to this report.

The PUD approach is ideal for the Vintage at Kings Canyon project. First, the PUD allows for the varied lot sizes and for minor deviations that reflect the unique needs of seniors. For example, reduced lot sizes mean less stress and maintenance for aging residents. Also, the PUD provides a mechanism for the provision and maintenance of community amenities such as the planned clubhouse, vineyards, walking paths, greenhouse, etc.

Just as important, the PUD provides for highly specific standards and regulations to address surrounding land use relationships. For example, the PUD strictly prohibits commercial uses other than the assisted and independent living uses. It goes a step further by requiring that personal service uses encompassed within those buildings (i.e. salon, barber shop, etc.) are for the exclusive use of community residents and that no public commercial uses are allowed. This was added based on concerns raised by the community. Additionally, the PUD provides the mechanism to achieve enhanced/increased buffering and architectural standards that ensure the privacy of existing homes are maintained and that the quality of the final project is of the highest standard.

The PUD will be recorded against the property and essentially becomes a custom zoning code for the project. Therefore, both neighbors as well as Carson City is given assurances as to how and what can develop at the site. Any change from the plan(s) presented with this application would require a full amendment of the PUD triggering public review. This includes public hearings before the Carson City Planning Commission and Board of Supervisors.

• Special Use Permit

With the proposed establishment of NB zoning, a Special Use Permit (SUP) is required to allow for the assisted/independent living component as a congregate care use. At the request of the community, these facilities have been located internal to the project site and will remain single story. This essentially shifts any impact created by these uses on to other uses within Vintage at Kings Canyon and not to surrounding parcels.

It is very important to note that in terms of impacts, assisted/independent living is an extremely low intensity use that has a low traffic generation, little to no noise impact, etc. This, coupled with the use restrictions outlined in the PUD development standards, ensures that the SUP for the requested use is appropriate. This low impact is further reinforced in the attached traffic study prepared by Traffic Works.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Planning Policy Analysis and Findings

This section addresses policies outlined in the Carson City Master Plan along with policies and requirements listed in the various application checklists published by Carson City. Applicable findings related to the requested entitlements are also addressed herein. Please note that policies and findings specific to the Master Plan Amendment request are included in the attached Master Plan Amendment application which was included as a separate cover at the request of Carson City staff.

Applicable checklists, questionnaires and findings are addressed in **bold face** type.

• Zoning Map Amendment

Consistent with Carson City Tentative Subdivision Map application requirements, this section is taken directly from Carson City documents and forms part of the **Master Plan Amendment and Zone Change** application process.

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to Master Plan Map Amendments and Zoning Map Amendments. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: **Vintage at Kings Canyon**

Reviewed By:

Date of Review:

CHAPTER 3: A BALANCED LAND USE PATTERN

The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed amendment:

- ✓ Discourage growth outside areas planned to be served by community water and wastewater facilities as identified in the Water and Wastewater Master Plans (1.1b)?

This application seeks to promote development on an infill site that is already served by infrastructure and so this application directly promotes this Master Plan policy.

Promote infill and redevelopment in an identified priority area (1.2a)?

The project promotes infill development. However, it is not located in a priority area.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

At adjacent county boundaries, minimize potential land use conflicts with adjacent properties (1.5a)?

Not applicable. The site is not adjacent to a county boundary so there is no potential for conflict.

Adjacent to State or Federal lands, ensure compatibility with planned adjacent uses and access (1.5b)

Not applicable.

- ✓ Located to be adequately served by city services including fire and sheriff services, and coordinated with the School District to ensure the adequate provision of schools (1.5d)?

The site is surrounded by existing development and is therefore already served by City services. Access to the site is safe, convenient, and logical given the fully functional street network and easy access to Mountain Street and Ormsby Boulevard. Although the neighborhood is served by existing schools, it is not a relevant consideration with this project as it will not generate any impact upon schools.

The site is 3 miles from Fire Station #2 and is served by City law enforcement.

- ✓ Promote a citywide range of mixed-use, residential, commercial and employment uses at a variety of scales and intensities (2.1a)?

This project seeks to promote an increased mix of housing choices for seniors by pursuing development of an infill site that is close to downtown.

In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1 b, 2.2b, 2.3b, Land Use Districts)?

The site is not within an identified mixed-use area, however, it does provide for an increased range of housing choices.

- ✓ Discourage rezoning of properties that create “friction zones” between adjacent land uses, particularly industrial and residential uses (2.1d)?

The proposed development that will follow this zoning map amendment is specifically designed to be compatible both internally to the project and with the surrounding area. The area subject to this zone change is only a small part of larger parcels. The amended area is therefore internal to the eventual project. Any potential impacts can therefore be managed through proper design and layout of project uses as outlined in the attached PUD.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Encourage development outside the primary floodplain and away from geologic hazard areas (3.3d, e)?

The site is located away from known geologic hazards. Based on Carson City GIS data, the site is outside the 100-year flood zone and is therefore not a high risk area.

- ✓ Provide for zoning consistent with the Land Use designation (Land Use table descriptions)?

A zoning map amendment and master plan amendment are being pursued for this site simultaneously. The proposed zone will be consistent with the requested Master Plan designation. The planned use of the site, an assisted living facility, is compatible with surrounding residential uses as it is low impact and provides quality, residential-scale architecture

- ✓ Meet the location criteria for the applicable Land Use designation (Land Use descriptions)?

The intended use meets the locational criteria.

If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

The site is not within a Specific Plan Area.

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES

The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods. Is or does the proposed amendment:

- ✓ Provide opportunities to expand parks and recreation opportunities (4.2a)?

The actual Zoning Map Amendment area is very limited in size (5.6 acres) and will have no impact on parks and recreation facilities. However, the overall project will expand parks and recreation opportunities by including public park space and trail connections.

- ✓ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

This zone change is consistent with the Open Space Master Plan in that the overall project includes important trail connections between the neighborhood and open space areas to the west. The project was designed with input from the Carson City Parks, Recreation, and Open Space Department.

CHAPTER 5: ECONOMIC VITALITY

The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Is or does the proposed amendment:

- ✓ Help maintain and enhance the primary job base (5.1)?

This zone change will allow for a diverse neighborhood, close to existing job centers. The proposed medical assistance component of the assisted/independent living facilities will require professional staff and will therefore add quality jobs close to the downtown core.

- ✓ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)

This zone change directly addresses this policy by providing an enhanced mix of housing options.

Encourage the development of regional retail centers (5.2a)

The proposed project does not include regional retail space, only a small amount of personal service/boutique retail space to serve project residents only.

- ✓ Encourage reuse or redevelopment of underused retail spaces (5.2b)?

As an infill site, close to downtown, this project could have a positive impact on underused commercial space in the area. As downtown sites intensify, there is more need for retail and other services.

Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?

The project will add residents to an area that is a walkable distance to the State Capitol and so may have a favorable impact on activity in the area.

- ✓ Promote revitalization of the Downtown core (5.6a)?

The project is a short distance from North Carson Street and is therefore ideally suited to have a favorable impact on the downtown revitalization. The proposed amendment, and subsequent project, will bring new residents and a new mix of housing options close to downtown.

- ✓ Encourage the incorporation of additional housing in and around the Downtown (5.6c)?

This zone change, and the subsequent project, will allow for additional housing near downtown. Similar to the previous answer, the project is ideally positioned to have a favorable impact on downtown.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS

The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown. Is or does the proposed amendment:

- ✓ Promote compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

The houses being proposed for the site are comparable to what is in the neighborhood now in terms of quality and pricing. The assisted living facility is an attempt to provide needed services, and housing options, to the area. The project area is adjacent to suburban development and so does not impact rural areas.

This zone change, intended to accommodate an assisted/independent living facility, is specifically designed to be compatible with the surrounding area by locating it internal to the project area. In other words, the zone change area is fully contained within the project site and is therefore separated from existing development.

If located in an identified Mixed-Use Activity Center or area, provide for the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

The site is not in a Mixed-Use Activity Center however it does provide for a mix of housing types and residential medical care.

- ✓ Encourage an appropriate mix of housing models and densities based upon the location, size and surrounding neighborhood context (9.1a)?

As noted, the project includes a mix of housing types and lot sizes. Attention has been given to compatibility by locating larger lots at the project boundaries with smaller lots, and the assisted living facility, internal to the project.

The proposed assisted living facility would not be the only medical related use (assisted/independent living have onsite medical staff) in the neighborhood. Across Mountain Street to the southwest is a 7-acre medical complex with 157,000 square feet of building space.

- ✓ Discourage “spot” rezoning of parcels within established rural neighborhoods that have not been identified as higher density on the Land Use Map or that are not contiguous with lots zoned for a comparable density (9.4b)?

As an infill site, this project does not impact rural neighborhoods. Housing density of the proposed project conforms to existing zoning. This zone change is solely to accommodate an assisted living facility and incorporation of the uses into the PUD eliminates any spot zoning conditions.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

CHAPTER 7: A CONNECTED CITY

The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed amendment:

- ✓ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

The project site is on a JAC bus line. It is also close to North Carson Street. Development at this site is therefore strongly supportive of transit-oriented development.

- ✓ Promote enhanced roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

Development of the project site will complete the road network in the immediate neighborhood. Project design has been developed using input from Carson City Engineering and Public Works staff.

- ✓ Provide for appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan and the proposed use and density (12.1a, c)?

Project design was developed using input from Carson City Parks, Recreation, and Open Space Department. The project includes park space and trail connections. There is a network of trails internal to the project as well as a connection between the new park space and open space to the west of the site.

The Carson City Municipal Code establishes that the following conditions and standards must be met when considering a zoning map amendment. Each is addressed in **bold face** type.

1. That the proposed amendment is in substantial compliance with and supports the goals and policies of the Master Plan.
 - A. In reviewing the attached Carson City Master Plan Policy Checklist, determine which Policies are applicable to the proposal. Explain what features of the proposed project support your selection of Goals and Policies concerning land use and related policies for the neighborhood where the subject project is located.

The proposed amendment supports multiple goals and policies including: compatibility with surrounding development; enhancing the mix of housing choices; encouraging infill development; locating development within the existing City service area; and locating development near existing transportation routes.

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Both the Zoning Map Amendment Findings and the Master Plan Policy Checklist are included with this application.

2. That the proposed amendment will provide for land uses compatible with existing adjacent land uses and will not have detrimental impacts to other properties in the vicinity.

A. Describe the land uses and zoning adjoining your property (for example: North: two houses, Single-Family One Acre zoning; East: restaurant, Retail Commercial zoning, etc.), and how your zoning will be compatible with those uses and not cause detrimental impacts.

By incorporating the NB uses into the planned PUD, restrictions and limitations will be implemented to ensure that the only commercial uses are the proposed assisted/independent living facilities. This will ensure that new commercial and office uses do not occur. The “commercial” uses being proposed under the NB zoning are residential in nature. Furthermore, the PUD provides for buffering, screening, and operational requirements that ensure consistency with adjoining properties as well as height limitations, etc.

As a senior age-restricted community, impacts associated with the project are far less than a conventional subdivision. This is true in terms of traffic, noise, building heights, etc.

B. Describe land use and zoning changes in the general vicinity which have occurred in the previous five-year period.

A key consideration in addressing this finding is the fact that Carson City has an identified lack of quality senior housing. Vintage at Kings Canyon will serve to provide the only comprehensive active adult community in the City and will offer a variety of housing options depending on resident needs and limitations. Therefore, this project serves to address a demographic change in the area as the over 55 population is growing rapidly.

Also, it is important to note that the density proposed with Vintage at Kings Canyon is permitted under the current mix of zoning. The NB zoning serves to allow for assisted/independent living which is a residential use by nature, not commercial.

3. That the proposed amendment will not negatively impact existing or planned public services or facilities and will not adversely impact the public health, safety and welfare.

As an infill project, all necessary services and infrastructure needed to serve the project are in place. Also, as a senior community, traffic impacts are greatly reduced and school impacts are zero. Provision of smaller lot sizes not only benefit seniors in terms of reduced maintenance, but they also greatly reduce water usage. All impacts associated with the project will be properly mitigated. This includes solidifying mitigation measures (i.e. use restrictions, buffering, etc.) within the PUD handbook.

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4. That sufficient consideration has been exercised by the applicant in adapting the project to existing improvements in the area. Be sure to indicate the source of the information that you are providing (private engineer, development engineering, title report, or other sources). Describe how your proposed Zoning Map Amendment will not adversely impact drainage, sewer, water, traffic, schools, emergency services, roadways and other city services.
 - A. Is drainage adequate in the area to support the density that may occur with the rezoning? How will drainage be accommodated? How have you arrived at this conclusion?

Included with this submittal package are detailed engineering plans and reports that address grading, sewer, water, drainage, traffic, and geotechnical considerations. All of the reports identify mitigation measures (as needed) to ensure that the project does not generate negative impacts. In terms of emergency services, the project is in an infill development located in an area that is currently being served. As a senior community, impacts to schools will be zero.

- B. Are the water supplies in the area of your project adequate to meet your needs without degrading supply and quality to others? Is there adequate water pressure? Are the lines in need of replacement? Talk to the Utilities Department for the required information.

All new development will be required to meet the provisions of the Carson City Municipal Code, including review of water supply and system design. Discussions with Carson City Utilities Department indicates there are no service delivery issues to the site and the parcel is capable of connection to existing installations.

- C. Are roadways sufficient in the area to serve the density that may occur from the rezoning? How have you arrived at this conclusion?

There is adequate roadway capacity to accommodate Vintage at Kings Canyon. As an active adult community, traffic impacts are 40-60% less than a comparable "standard" subdivision. It is important to note that the same number of single family units could be developed under the existing designations without age restrictions. This would generate a significantly greater impact in terms of traffic. These traffic findings are further supported and documented in the attached traffic impact analysis prepared by Traffic Works.

- D. Will the school district be able to serve the student population that may occur from the rezoning? How have you arrived at this conclusion?

As a senior community, school impacts will not occur.

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E. Are adequate means of access available for emergency vehicles to serve the site? What is the approximate response time for emergency vehicles? If your application is approved to rezone the property, will additional means of access be required for increased density? Or will existing access ways be adequate? How have you arrived at this conclusion?

The project has safe and efficient access via Mountain Street and Ormsby Boulevard. Secondary access for emergency vehicles can also occur from Lexington Avenue and Bolero Drive. Emergency services exist in the area and are currently serving the adjoining neighborhoods. This project will therefore have a far less impact than a project located within an outlying area as no “sprawl” is proposed.

Zoning Map Amendment Findings

Per CCMC 18.02.075, the commission, in forwarding a recommendation to the board for approval of a zoning map amendment or zoning code amendment shall make the following findings of fact:

(1) That the proposed amendment is in substantial compliance with and supports the goals and policies of the master plan.

A Master Plan Amendment is being submitted concurrently with this request. It is important to note that the commercial uses proposed are residential in nature and are further limited in the accompanying PUD handbook in order to further ensure that policies of the Carson City Master Plan are implemented. This request will allow for a key element of a fully balanced senior community, thus supporting goals of the Master Plan related to housing diversity, infill development, efficient use of infrastructure, etc.

(2) That the proposed amendment will provide for land uses compatible with existing adjacent land uses and will not have detrimental impacts to other properties in the vicinity,

The proposed zoning will allow for assisted/independent living facilities that are residential in nature. Furthermore, these uses are located central to the Vintage at Kings Canyon site to ensure that compatibility issues with established neighborhoods do not occur. Also, the planned PUD approach provides for requirements and restrictions above and beyond code minimums to ensure overall compatibility with the area.

(3) That the proposed amendment will not negatively impact existing or planned public services or facilities and will not adversely impact the public health, safety and welfare.

This amendment is not detrimental to public health or safety. It will not result in any significant change to existing or planned public services. This amendment will allow for assisted/independent living facilities to be included within Vintage at Kings Canyon, providing a true comprehensive upscale senior community that provides 55 and over residents with housing options currently not offered in the area.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- **Planned Unit Development Tentative Map**

Master Plan Policy Checklist: Tentative PUD Map

Consistent with Carson City Tentative Subdivision Map application requirements, this section is taken directly from Carson City documents and forms part of the **Tentative PUD Map** application process. Responses to the checklist questions are included in this section and are printed in **bold** type.

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to Master Plan Map Amendments and Zoning Map Amendments. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name:

Reviewed By:

Date of Review:

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed Master Plan or Zoning Map Amendment can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed amendment meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN

The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed amendment:

- ✓ Consistent with the Master Plan Land Use Map in location and density?

The Vintage at Kings Canyon project is consistent with the Master Plan Land Use map in that it does not exceed the residential density allowed under the current master plan and zoning designations. The proposed density conforms to other housing in the area and will not change the overall development style of the neighborhood. The master plan amendment and zone change described in this application are to allow the small amount of supporting personal service and professional space that serves the assisted living space. This area will be for the exclusive use of residents and guests only, not the general public.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?

This project meets the provisions of the Growth Management Ordinance by locating housing in an area that is adjacent to existing roadways and services. The project is an infill development and serves to better maximize the use of Carson City's infrastructure. Infill residential is encouraged within the Master Plan. The project has convenient access to all community services and is appealing to a wide range of potential residents.

- ✓ Encourage the use of sustainable building materials and construction techniques to promote water and energy conservation (1.1e and f)?

The project designers are currently exploring sustainable energy usage techniques and practices. This includes passive and active solar installations, geothermal energy collection, and electric vehicle charging stations. Buildings will utilize current building materials with high energy efficiency ratings. Landscaping will be designed to reduce water use. These details are further defined in the accompanying PUD handbook.

Located in a priority infill development area (1.2a)?

The project site is not in a priority infill area but it is an infill project.

- ✓ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

The project will maintain the existing path that currently crosses the site east-west and connects to the end of Washington Street. This pathway will continue to serve as an amenity to the area. Furthermore, the existing trailhead at the western side of the project will now connect to a comprehensive network.

- ✓ Encourage cluster development techniques, particularly at the urban interface with surrounding public lands, as appropriate, and protect distinctive site features (1.4b and c, 3.2a)?

The project clusters development at the eastern end of the site and retains significant open space at the southwestern end. This open space then serves as an access point to trails and undeveloped areas to the west.

At adjacent county boundaries, coordinated with adjacent existing or planned development with regards to compatibility, access, and amenities (1.5a)?

The site is not located along a county boundary.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Located to be adequately served by City services including fire and sheriff services, and coordinated with the School District to ensure the adequate provision of schools (1.5d)?

As an infill parcel, the site is almost entirely surrounded by existing development and is within existing service boundaries. City and area services are already occurring within the area and can be provided to this site as well. The project will have no impact to schools.

In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?

The site is not within an identified mixed-use area. However, Mountain Street adjacent to the project includes medical/office space, limited retail space, and residential uses.

- ✓ Provide a variety of housing models and densities within the urbanized area appropriate to the development size, location and surrounding neighborhood context (2.2a, 9.1a)?

The project will provide additional housing choices, including medium and small lot single family residential, and assisted living/extended care units. This increased variety of housing will allow for aging residents to remain in their current neighborhood.

Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?

There are no environmentally sensitive areas on the site.

If at the urban interface, provide multiple access points, maintain defensible space (for fires) and are constructed of fire resistant materials 3.3b)?

The site is not within an urban/wildlife interface area.

Site outside the primary floodplain and away from geologic hazard areas or follow the required setbacks or other mitigation measures (3.3d, e)?

Carson City GIS data indicates portions of the site are classified as FEMA zones AO and AE. These areas will be engineered to function in a way that properly manages storm water. Surrounding development appears to be likewise engineered, suggesting the feasibility of such treatment for this site.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?

The project proposes to provide levels of service consistent with what is seen in the area now. As an infill site, it is possible to coordinate the project design with development that adjoins the site. Roads, sidewalks, and utilities will therefore be commensurate with what the neighborhood enjoys now. Trail connections and open space will be improved.

If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

The site is not within a Specific Plan Area.

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES

The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed amendment:

- ✓ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?

The project will provide substantial park/open space area that will benefit the neighborhood. This includes providing a long-needed connection to the already constructed trailhead at the west side of the property.

- ✓ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

This project advances the goals of the Open Space Master Plan through its use of an infill site and through the provision of park/open space area. The project does not extend development into wildland areas.

CHAPTER 5: ECONOMIC VITALITY

The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed amendment:

- ✓ Incorporating public facilities and amenities that will improve residents' quality of life (5.5e)?

As detailed above, the project will provide public amenities in the form of park space and enhanced trails.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Promote revitalization of the Downtown core (5.6a)?

The site is outside the downtown core but is only 2,000' walking distance from N. Carson Street. The project will therefore provide housing opportunities within walking distance to downtown businesses.

Incorporate additional housing in and around the Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

The project will provide additional housing, located roughly ½ mile from the downtown core.

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS

The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed amendment:

- ✓ Provide variety and visual interest through the incorporation of varied lot sizes, building styles and colors, garage orientation and other features (6.1b)?

The project is intended to be appealing to discriminating buyers who have options in selecting their housing. The architecture will therefore be attractive, provide differentiation in streetscapes, and exhibit a range of materials and colors.

- ✓ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?

Building styles will be varied and will present an appealing streetscape through the use of front porches and architectural detail. Pedestrian pathways and entrances will be obvious and well marked.

- ✓ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

The project will be complementary to surrounding development in terms of height, setbacks, and use and will therefore be directly compatible.

If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

The project is not in a mixed-use activity center.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

If located Downtown:

- o Integrate an appropriate mix and density of uses (8.1a, e)?

Although the project is not within the identified “Downtown Core,” it is on the periphery and serves to expand housing options in the area. Proposed density is comparable to other uses in the area.

- o Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?

The project is not located downtown.

- o Incorporate appropriate public spaces, plazas and other amenities (8.1d)?

The project is not located downtown however it does include public spaces.

CHAPTER 7: A CONNECTED CITY

The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed amendment:

- ✓ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

The project is located along existing streets and is close to North Carson Street. The site is therefore suitable for accessing public transit and for walking to downtown destinations.

- ✓ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

The project is accessed by the existing roadway network. It will also fill some existing gaps in the roadway network by providing additional connections.

- ✓ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan and the proposed use and density (12.1a, c)?

The project will enhance the existing trail that crosses the site and provides access to open space to the west.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Tentative PUD Map Findings

Section 17.07.005 of the Carson City Municipal Code establishes findings that the Planning Commission and/or Board of Supervisors must make in approving a conceptual PUD map. These findings are listed below and are addressed in **bold face** type.

In considering parcel maps, planned unit developments and tentative subdivision maps the director shall consider the following:

1. Environmental and health laws and regulations concerning water and air pollution, the disposal of solid waste, facilities to supply water, community or public sewage disposal and, where applicable, individual systems for sewage disposal.

The project is an infill site within an established neighborhood. All necessary infrastructure and municipal services necessary to serve the project are in place or can easily be extended (at the expense of the developer). The project will be served by municipal water and sewer, solid waste disposal, NV Energy, Southwest Gas, cable television, etc. in accordance with Carson City and State of Nevada standards.

2. The availability of water which meets applicable health standards and is sufficient in quantity for the reasonably foreseeable needs of the subdivision.

The project will be served by the existing municipal water system and it will be demonstrated by the project applicant that sufficient water rights have been dedicated/acquired to serve the project.

3. The availability and accessibility of utilities.

As an infill development, all necessary utilities are in place or can be easily extended to serve the project.

4. The availability and accessibility of public services such as schools, police protection, transportation, recreation and parks.

All City services and infrastructure already serve the area around the site. The project will be occupied by retirement-age people and will therefore generate no impacts on schools and reduced impacts to road networks and park facilities.

5. Access to public lands. Any proposed subdivision that is adjacent to public lands shall incorporate public access to those lands or provide an acceptable alternative.

The project will improve access to public land through a connection to the existing Mountain Street trailhead that currently connects to nothing.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

6. Conformity with the zoning ordinance and land use element of the city's master plan.

The project is in direct compliance with the existing Master Plan and zoning housing density limits. The project promotes the Master Plan policies of providing an enhanced housing mix and of locating new development and mixed uses close to existing development and the downtown core.

7. General conformity with the city's master plan for streets and highways.

The project uses existing streets for overall access. It also will generate reduced traffic impacts due to the retirement-age component of the project.

8. The effect of the proposed subdivision on existing public streets and the need for new streets or highways to serve the subdivision.

No new offsite streets or highways are needed to serve the project. Streets internal to the site will provide additional connections for the neighborhood. Traffic leaving the site can easily access collector streets without travelling through neighborhoods.

9. The physical characteristics of the land such as flood plains, earthquake faults, slope and soil.

The site has a moderate downward slope from west to east. There are no known faults or soil issues. The site is partially classified as FEMA zones AE and AO, requiring design and engineering to manage stormwater flow across the site. Developed property in the area exhibits similar conditions and appears to be manageable through proper design and grading. In the after condition, the project will result in an improvement to an existing drainage channel (flowing east, adjacent to the site).

10. The recommendations and comments of those entities reviewing the subdivision request pursuant to NRS 278.330 thru 278.348, inclusive.

Any applications related to the project will be sent to reviewing agencies per the requirements of the Carson City Municipal Code and Nevada Revised Statutes. Once comments are received, they can be incorporated into the final design of the project or included as conditions of approval.

11. The availability and accessibility of fire protection including, but not limited to, the availability and accessibility of water and services for the prevention and containment of fires including fires in wild lands.

Fire protection is in place around the site and similar measures will be included in the design of this site. All development will occur in conjunction with review by the Carson City Fire and Engineering Departments.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

12. Recreation and trail easements.

The project includes substantial open space. If necessary, a public access easement can be established where applicable.

Approval or Denial of Application

Carson City Municipal Code section 17.09.050 - *Approval or denial of application*, includes the following items that must be considered in approving a conceptual PUD map. Responses are provided in **bold** type.

1. In what respects the plan is or is not consistent with the statement of objectives of the planned unit development ordinance;

The plan is consistent with the PUD ordinance in that it provides coordinated development, conforms to the housing density standards of the existing Master Plan and zoning, and provides for public amenities such as open space and trails.

2. The extent to which the plan departs from zoning and planned unit development regulations otherwise applicable to the property, including but not limited to density, size and use, and the reasons such departures are or are not deemed to be in the public interest;

Deviations are appropriate in order to address increased buffering and to address the specific needs of seniors that will be living in the community (i.e. reduced yard area to maintain, etc.).

3. The purpose, location and amount of the open space in the planned unit development, the reliability of the proposals for maintenance and conservation of the open space and the adequacy or inadequacy of the amount and purpose of the open space as related to the proposed density and type of residential development;

As noted in the application, the project includes substantial open space. This space will be maintained by the project, either through a landscape maintenance agreement or through an HOA.

4. A physical design of the plan and in the manner in which such design does or does not make adequate provision for public services, provide adequate control over vehicular traffic, parking requirements, and further the amenities of light and air, recreation and visual enjoyment;

The plan is designed to replicate the look and density of the surrounding area by providing comparable lot sizes, significant buffering or both at the project perimeter. Street design and parking conform to City standards. Public services are already provided to the area and can easily be extended to the site.

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5. The relationship, beneficial or adverse, of the proposed planned unit development to the neighborhood in which it is proposed to be established;

The proposed project will integrate into the existing neighborhood without conflict. Residential design and overall density is comparable to what exists in the area now. The open space and trail connections provided by the project will serve as amenities for the area.

6. In the case of a plan which proposes a development over a period of years, the sufficiency of the terms and conditions intended to protect the interest of the public and the residents of the planned unit development in the integrity of the plan.

The project will post any required bonds with the City, for example, to ensure restoration of any disturbed areas that may be left undeveloped. In general, the project will perform the same as any housing development or PUD that is completed over time in that it will establish maintenance agreements and will adhere to state and local development regulations.

- Special Use Permit

Master Plan Policy Checklist - Special Use Permit Application

Consistent with Carson City Special Use Permit application requirements, this section is taken directly from Carson City documents and forms part of the application process. Responses to the checklist questions are included in this section and are printed in **bold type**.

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to Special Use Permits. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. A check mark indicates that the proposed amendment meets the applicable Master Plan policy.

CHAPTER 3: A BALANCED LAND USE PATTERN

The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?

This project meets the provisions of the Growth Management Ordinance by locating housing in an area that is adjacent to existing roadways and services. The project is an infill development and serves to better maximize the use of Carson City's infrastructure. Infill residential is encouraged within the Master Plan. The project has convenient access to all community services and major roadways.

- ✓ Encourage the use of sustainable building materials and construction techniques to promote water and energy conservation (1.1e and f)?

Final building design is still in process, however, one of the developer's goals is to include sustainable building materials and practices such as bamboo flooring, energy efficient fixtures, and walkable neighborhood design. These details will be defined in greater depth as further applications are submitted to Carson City.

Located in a priority infill development area (1.2a)?

The project site is not in a priority infill area but it is an infill project.

- ✓ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

The project provides trail connections, both within the project and to external sites such as open space areas. The project includes a public park. Site design includes input from the Carson City Parks Dept.

- ✓ Protect existing site features including mature trees and other character-defining features (1.4c)?

The site maintains existing trail connections that cross the site and maintains open space areas that allow the public to access the site, enhancing the existing access to the area. There are few mature trees on the site so new landscaping will be a substantial addition to the area. The overall goal is to integrate into the existing neighborhood by seamlessly connecting to existing trails and streets and by matching the general intensity of existing development. In this sense, the character-defining features of the area are maintained.

At adjacent county boundaries, coordinated with adjacent existing or planned development with regards to compatibility, access, and amenities (1.5a)?

The site is not located along a county boundary.

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In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?

The site is not within an identified mixed-use area. However, the project adds residents close to existing retail and professional development.

- ✓ Meet adopted standards for transitions between non-residential and residential zoning districts (2.1d)?

The project includes a zone change. The area of the zone change is limited and is internal to the project. The PUD process allows for the entire project to be designed as a cohesive whole, allowing for effective transitions between the zone-change area (assisted living area) and the surrounding residential area. Additionally, the project includes larger residential lots at perimeter areas, ensuring compatibility with the existing neighborhood.

- ✓ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?

While there are no environmentally sensitive areas on the project site, the site has been designed to ensure proper stormwater drainage and erosion control. Open space areas have been included.

- ✓ Site outside the primary floodplain and away from geologic hazard areas or follow the required setbacks or other mitigation measures (3.3d, e)?

The area subject to this SUP request (the assisted living facility) is outside the primary floodplain. Carson City GIS data identifies the assisted living area as being in the 500-year flood area, well outside the primary floodplain. Please note that other areas of the site have higher flood risk and are subject to enhanced engineering requirements in order to properly manage floodwater. The site includes open space, drainage channels, and detention areas sufficient to comply with City engineering requirements.

- ✓ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?

The site is already served by all utilities and city services. No decrease in service is to be expected.

If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

The site is not within a Specific Plan Area.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES

The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed amendment:

- ✓ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?

The project will upgrade and enhance the existing outdoor space and recreational amenities on the site. This includes trails as well as a public park. This plan was designed in coordination with Parks Department staff.

- ✓ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

As stated above, the project includes recreational and open space amenities. The site plan was designed in coordination with Parks Department staff.

CHAPTER 5: ECONOMIC VITALITY

The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed amendment:

- ✓ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)

This project directly promotes this policy by adding additional housing close to existing employment centers.

Encourage the development of regional retail centers (5.2a)

This project does not explicitly address regional retail issues, but it does support existing retail operations by locating potential customers close to businesses.

Encourage reuse or redevelopment of underused retail spaces (5.2b)?

By adding potential customers close to downtown, this project could be seen as encouraging local retail.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?

There is little ability for this application to either negatively or positively affect heritage tourism activities.

- ✓ Promote revitalization of the Downtown core (5.6a)?

This project seeks to add residents and employees close to Downtown. By adding potential customers close to downtown, this project directly promotes revitalization of downtown business sites.

- ✓ Incorporate additional housing in and around the Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

This project seeks to add additional housing close to downtown.

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS

The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed amendment:

- ✓ Use durable, long-lasting building materials (6.1a)?

The developer is committed to building an environmentally friendly project that uses sustainable, long-lasting materials. This includes low-impact materials such as bamboo, and energy efficient fixtures.

- ✓ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?

As seen in the included architectural renderings, proposed buildings include a variety of materials, contemporary colors, and generous articulation of facades.

- ✓ Promote variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?

The included elevation exhibits show that the proposed buildings are articulated and provide visual appeal. Pedestrian pathways and entrances will be obvious and well-marked. Overall site landscaping is designed to be appealing and also to provide separation between uses.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

- ✓ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

The project will be complementary to surrounding development in terms of height, setbacks, and use and will therefore be directly compatible. Please see the included architectural exhibits.

If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

The project is not in a mixed-use activity center.

If located Downtown:

- o Integrate an appropriate mix and density of uses (8.1a, e)?

The project is not within the identified Downtown Core.

- o Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?

The project is not located downtown.

- o Incorporate appropriate public spaces, plazas and other amenities (8.1d)?

The project is not located downtown however it does include public spaces.

- ✓ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

Strictly speaking, this SUP does not apply to the housing portion of the project. However, the overall site design includes a mix of housing types, designed to complement the neighborhood. Lot sizes were designed specifically to provide consistency with bordering development.

CHAPTER 7: A CONNECTED CITY

The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Is or does the proposed amendment:

- ✓ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

The site is on a JAC bus route. The project is located along existing streets and is close to major arterials.

- ✓ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

The project is accessed by the existing roadway network, improves connectivity within the neighborhood, and provides development close to major arterial roadways.

- ✓ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan and the proposed use and density (12.1a, c)?

The project includes trails and pathways, both internal and external to the site. The project area is fully walkable and there are connections to nearby streets and open space areas.

Special Use Permit Application Questionnaire (Findings)

The following questions form a portion of the SUP application and are considered the legal findings for approving a Special Use Permit. These questions replicate, and in some cases expand on, the findings listed in Carson City Municipal Code Section 18.02.080 Special Use Permit Findings. Responses to these questions are addressed in **bold** face type:

Question 1. How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

This project directly supports the Master Plan by providing additional housing options for the area, by adding housing close to existing commercial development and roadways, and by being an infill project.

Question 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?

The project will not be a detriment to the area as it matches surrounding development in terms of residential density and in terms of overall impacts. The proposed assisted living use does not generate excessive traffic or noise. It is contained within a site and buildings that are residential in scale and design. The assisted living area is fully enclosed within the larger residential project that is specifically designed to integrate into the existing neighborhood.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

A. Describe the general types of land uses and zoning designations adjoining your property: **zoning on all sides of the project area is residential, primarily SF6 and SF12. There are areas of Public Community (park) and Public Regional to the east.**

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems: **The proposed assisted living facility will be low impact. Traffic generation and noise will be below what would result from single family residential development. The project primarily functions as a residential-type use in that the residents live there full-time. The appearance of the site is therefore residential. Site intensity and building design are intentionally residential in character.**

C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood. **The assisted living facility is internal to the overall Vintage site. It is not adjacent to any existing development. It will therefore not have a noticeable impact on surrounding development. Adjacent housing lots are being designed in conjunction with the assisted living facility. When considering the project as a whole, residential density relies on existing zoning, lot sizes are designed to be compatible with the surrounding neighborhood, and outdoor amenities (including a public park) will enhance the area.**

D. Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have when it is successfully operating? Will vehicles be making left turns? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? What will be the emergency vehicle response time? State how you have arrived at your conclusions. What City department have you contacted in researching your proposal? Explain the effect of your project with the existing traffic in the area. **Street design for the overall project has been developed in coordination with Carson City staff, including Planning, Public Works, Transportation, and Engineering. Road connections are therefore based on the City's preferred build-out of the neighborhood. A traffic report has been completed as part of this review process. Any recommendations for proper traffic management that result from project review will be included in the final project design. The site is already served by City services, including emergency vehicles. It is therefore already part of planned response times. Emergency services provision does not present any unusual problems.**

E. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved. **The primary benefits from the project will be additional housing options for the area and an efficient use of infrastructure through infill development. By adding housing options, including the assisted living facility, existing residents will be able to remain in the area as they choose to downsize or as they require additional care.**

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

Question 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?

In general, the project is entirely adapted to existing improvements in that it utilizes existing roadways and infrastructure. Service can be provided to the site without extending infrastructure into outlying areas. Building design is highly residential in character, both in scale, materials, and shape.

A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?

The project will generate a below-average impact on schools, due to the retirement-age demographic likely to occupy the site. Likewise, the project is not likely to generate significant impacts on the Sheriff's Dept.

B. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Project design has been developed through discussion with City Engineering staff. Drainage, and all other engineering issues, are being addressed by licensed civil engineers who are familiar with the specific needs of the area and site. The design includes drainage channels and detention areas for stormwater.

C. Are the water supplies serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? The site is served by the public water system and there are no known service delivery problems in the area. The project team met with City staff, through the Conceptual PUD review process, and no service delivery problems were identified.

D. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? The site will be connected to the area sewage system. Similar to water service, the project team met with City staff to discuss sewer needs. No obstacles to service were identified.

E. What kind of road improvements are proposed or needed to accommodate your project? Have you spoken to Public Works or Regional Transportation regarding road improvements? Required road improvements are addressed through the traffic report and through consultation with City staff. This project will complete the road network for the area and allow vehicle trips to disperse along existing collector streets. Access to arterials is good, including to North Carson Street. Any required road improvements will be included in the project final design.

F. Indicate the source of the information that you are providing to support your conclusions and statements made in this packet. The project team includes: licensed civil engineers; architects; traffic engineer; and land planners. Input has been provided by City staff including Planning, Public Works, Parks, and Engineering.

VINTAGE at KINGS CANYON- PUD Tentative Map and Entitlement Report

G. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided. **Lighting from the assisted living portion of the project is located internal to the Vintage project and will not be adjacent to existing houses. Overall, lighting will be the minimum required to provide site security. In no case will lights be allowed to shine directly onto adjoining property. Modern cut-off light fixtures will be utilized for all outdoor installations.**

H. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscaping shown on the plan which complies with City ordinance requirements. **Decorative landscaping, outdoor recreation areas, and open space are all part of this project. Please refer to the site plan for a depiction of all landscape areas. Attractive outdoor spaces are an important element of overall site design and will help determine the success of the project.**

I. Provide a parking plan for your project. **Parking for the proposed uses will be contained on the site. Parking areas are detailed on the included site plan. For the residential lots, parking is designed consistent with residential standards for garages, driveways, and on-street parking.**

SINGLE FAMILY HOMES

ELEVATIONS AND FLOOR PLANS

PLANTATION
10,000+ SF LOTS

COUNTRYSIDE
8,400+ SF LOTS
(NO ELEVATION PROVIDED, SIMILAR TO PLANTATION)

MEADOWS
3,365 SF LOTS (ZERO LOT LINE)
(NO ELEVATION PROVIDED, SIMILAR TO GARDEN VILLA)

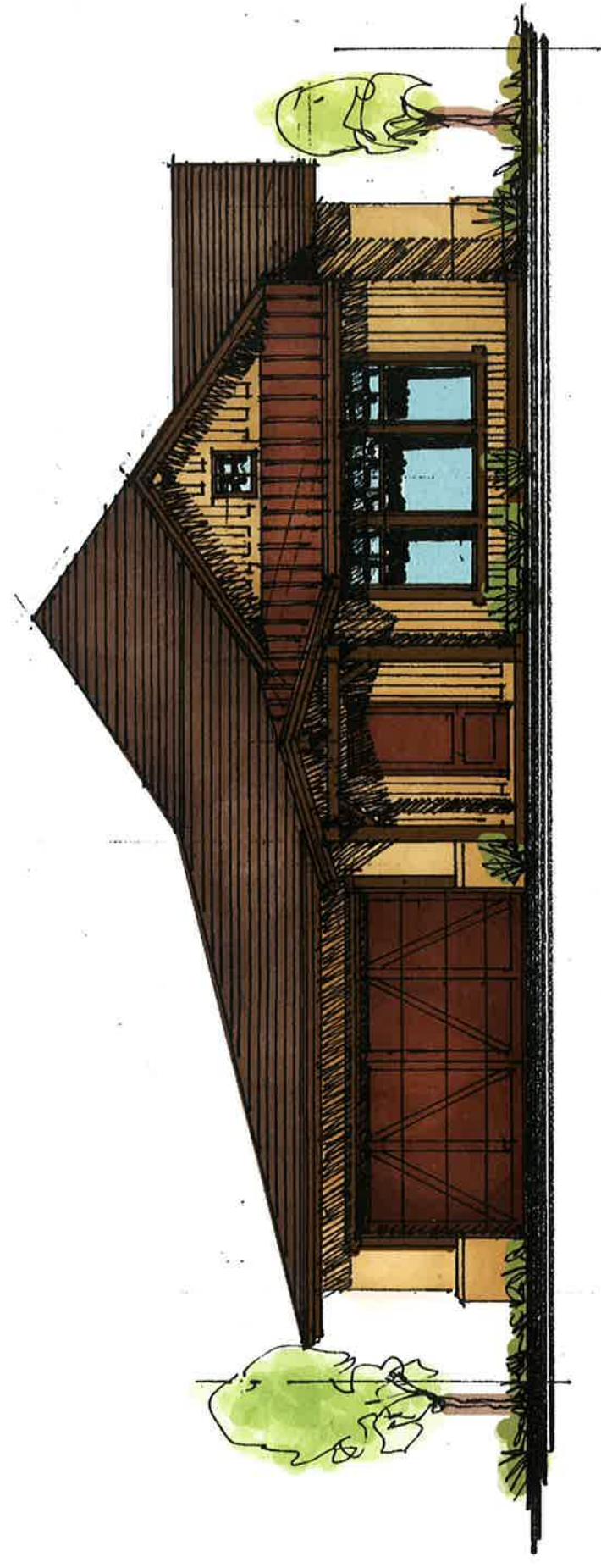
GARDEN VILLA
1,690 SF LOTS (ZERO LOT LINE)

THE ESTATE
14,400+ SF LOTS
(OPTIONAL 2ND STORY SHOWN FOR INTERIOR LOTS 183-212 ONLY)

Dale Cox
Architects

Architecture - Planning - Construction Management

8/18/16



PLANTATION ELEVATION

VINTAGE AT KINGS CANYON

SCALE 1/4" = 1'-0"

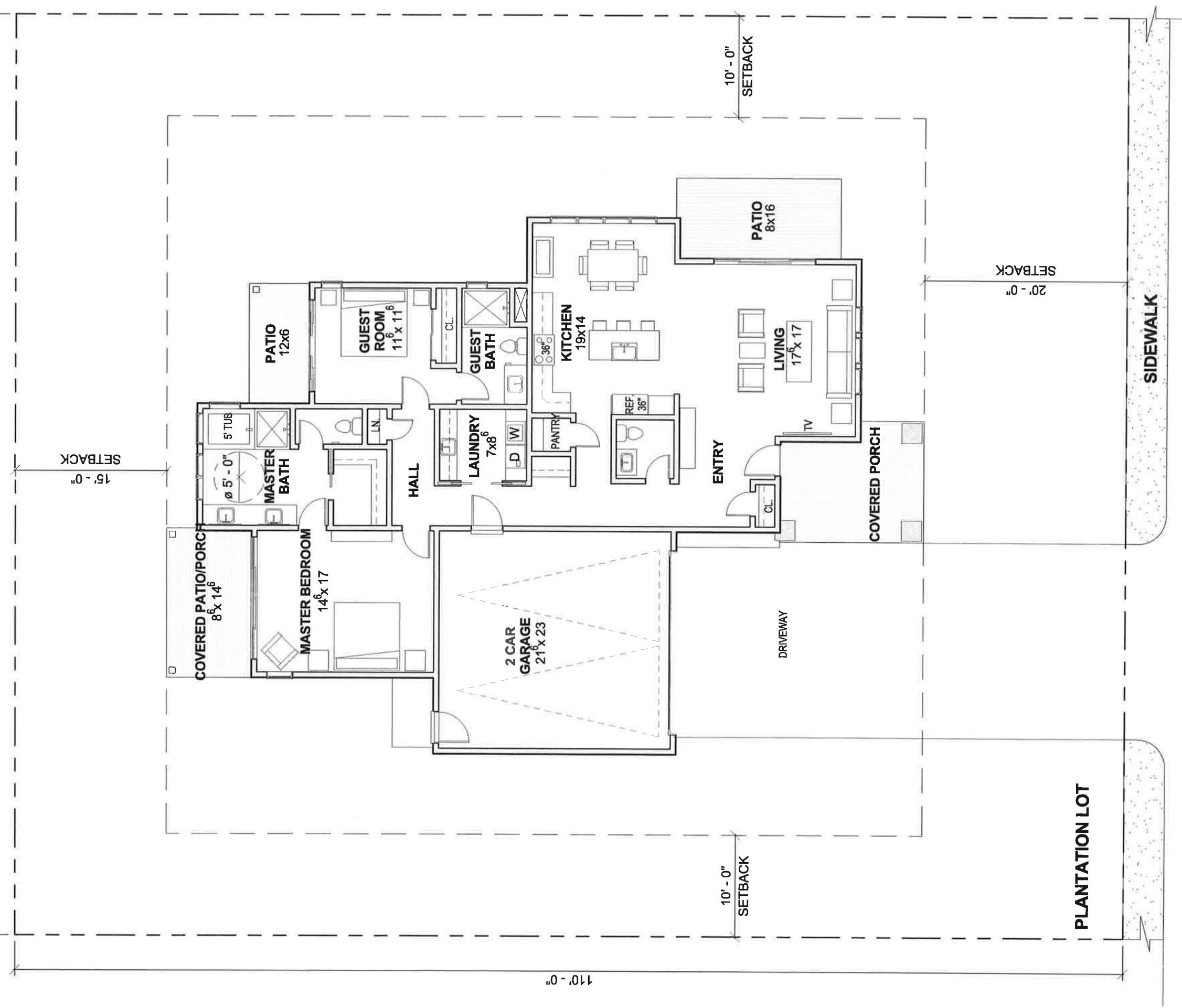
VINTAGE AT KINGS CANYON

PLANTATION FLOOR PLAN

SCALE 1" = 10'-0"

SCALE 1" = 10'-0"
PROJECT DATE 8/18/16

LOT SIZE:	10,010 S.F.
RESIDENCE:	1,814 S.F.
GARAGE:	521 S.F.
OUTDOOR LIVING	542 S.F.
FRONT COVERED PORCH	165 S.F.
REAR COVERED PATIO	175 S.F.
SIDE PATIO	130 S.F.
REAR PATIO	72 S.F.



Dale Cox
ARCHITECTS
P.O. Box 105

PO Box 459
Truckee, CA 96160
tel (530) 550-9144
fax (530) 550-9455

A1.1

VINTAGE AT KINGS CANYON

COUNTRYSIDE

SCALE 1" = 10'-0"

PROJECT DATE 8/18/16

Dale Cox

ARCHITECTS

PO Box 459

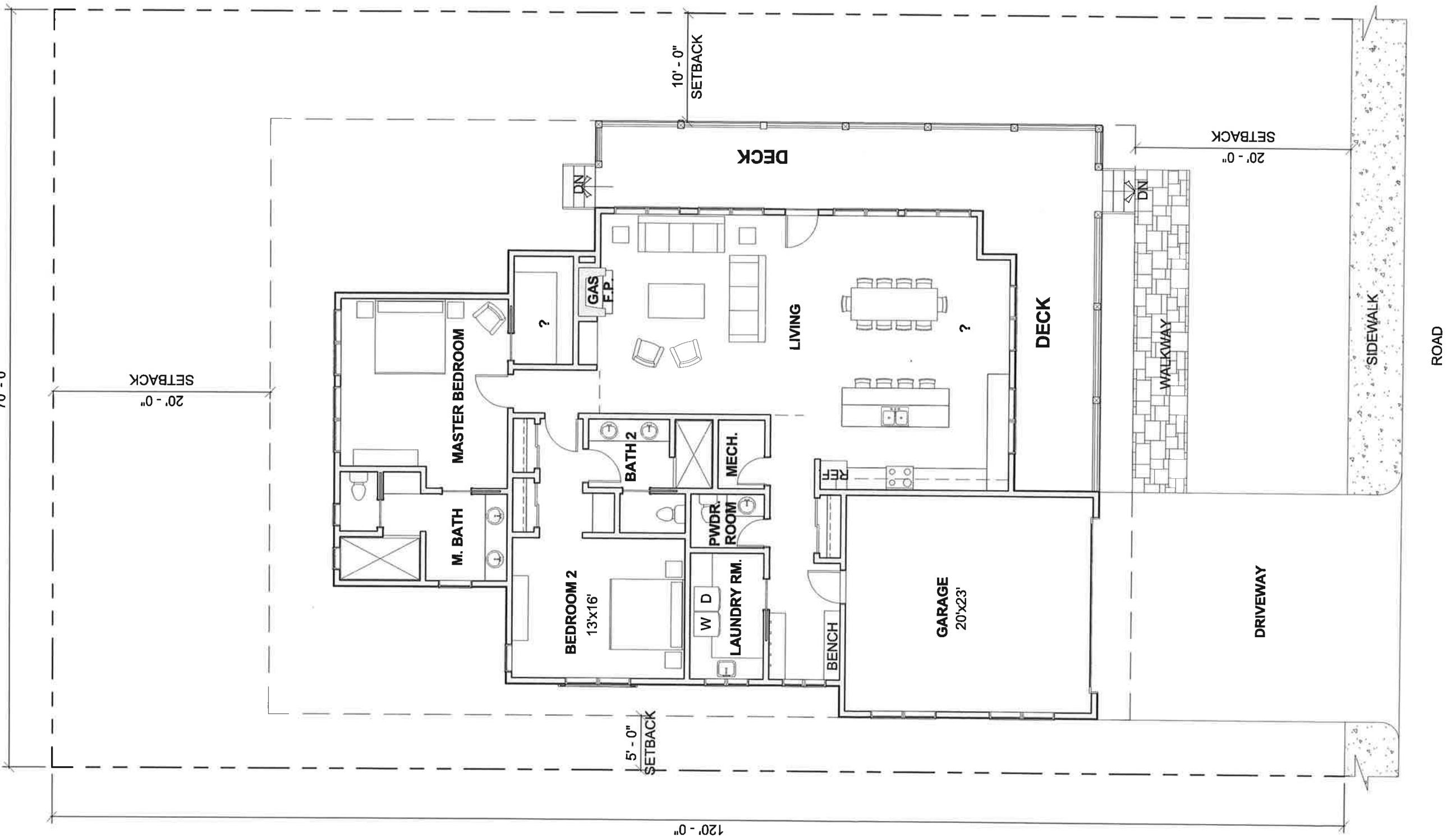
Truckee, CA 96160

tel (530) 550-9144

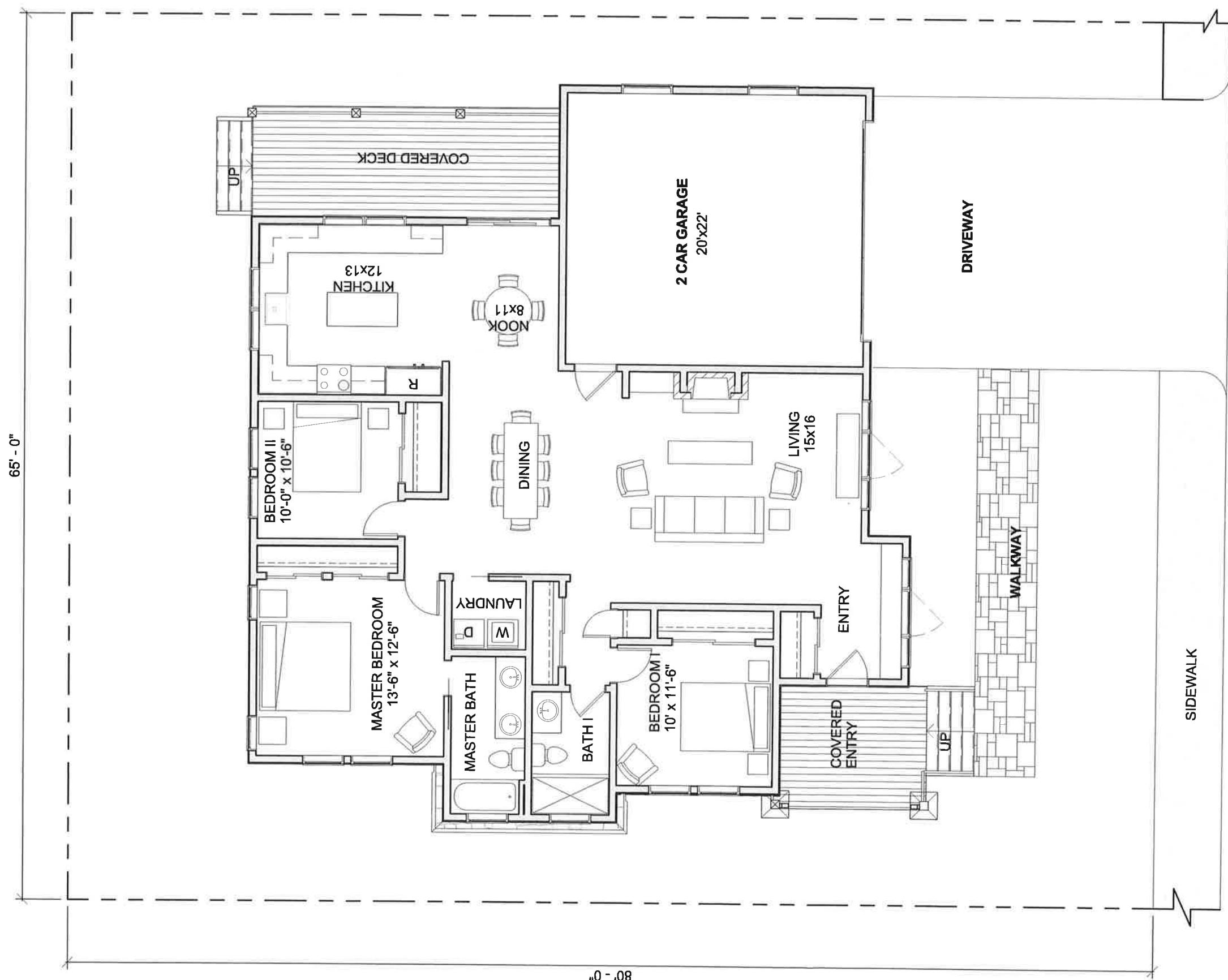
fax (530) 550-9455

www.dalecoxarchitects.com

A1.1



LOT SIZE: 8,400 S.F.
COVERAGE: 44.5%
RESIDENCE: 2,687 S.F.
GARAGE: 480 S.F.
OUTDOOR LIVING 600 S.F.



LOT SIZE: 3,365 S.F. (zero lot line)
 COVERAGE: 39.5%
 RESIDENCE: 1,615 S.F.
 GARAGE: 440 S.F.
 OUTDOOR LIVING 285 S.F.

VINTAGE AT KINGS CANYON

MEADOWS

SCALE 1/8" = 1'-0"

PROJECT DATE 8/18/16

Dale Cox

ARCHITECTS

PO Box 659

Truckee, CA 96160

tel (530) 550-9144

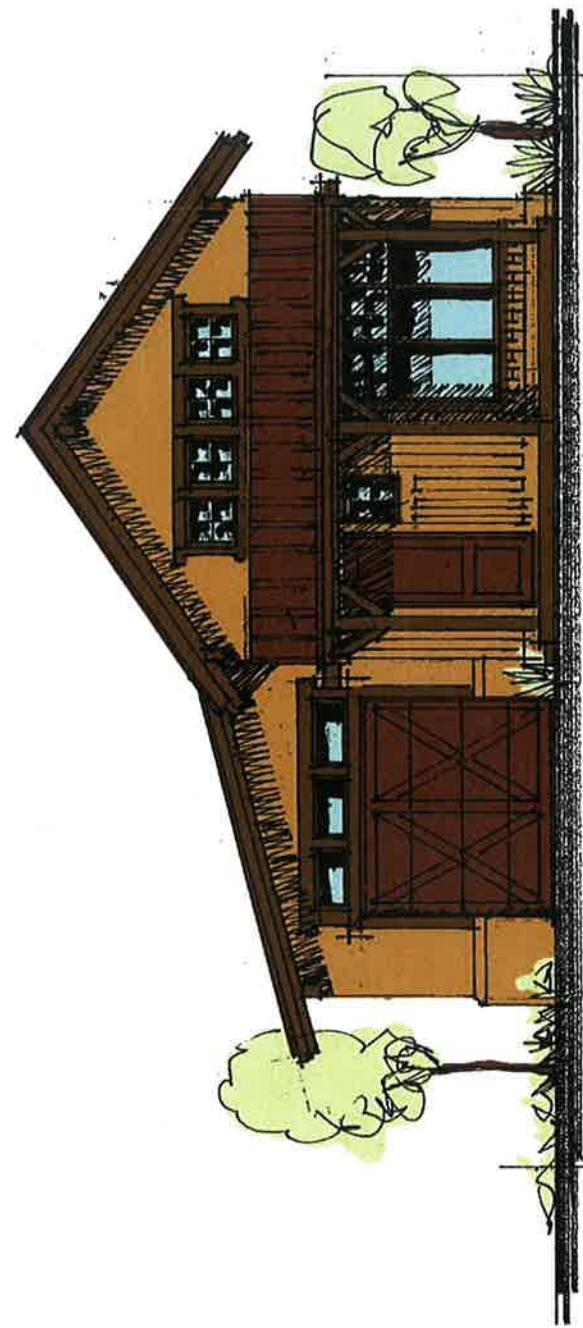
fax (530) 550-9455

A1.1

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Architects

Architecture - Planning - Construction Management

8/18/16



GARDEN VILLA ELEVATION

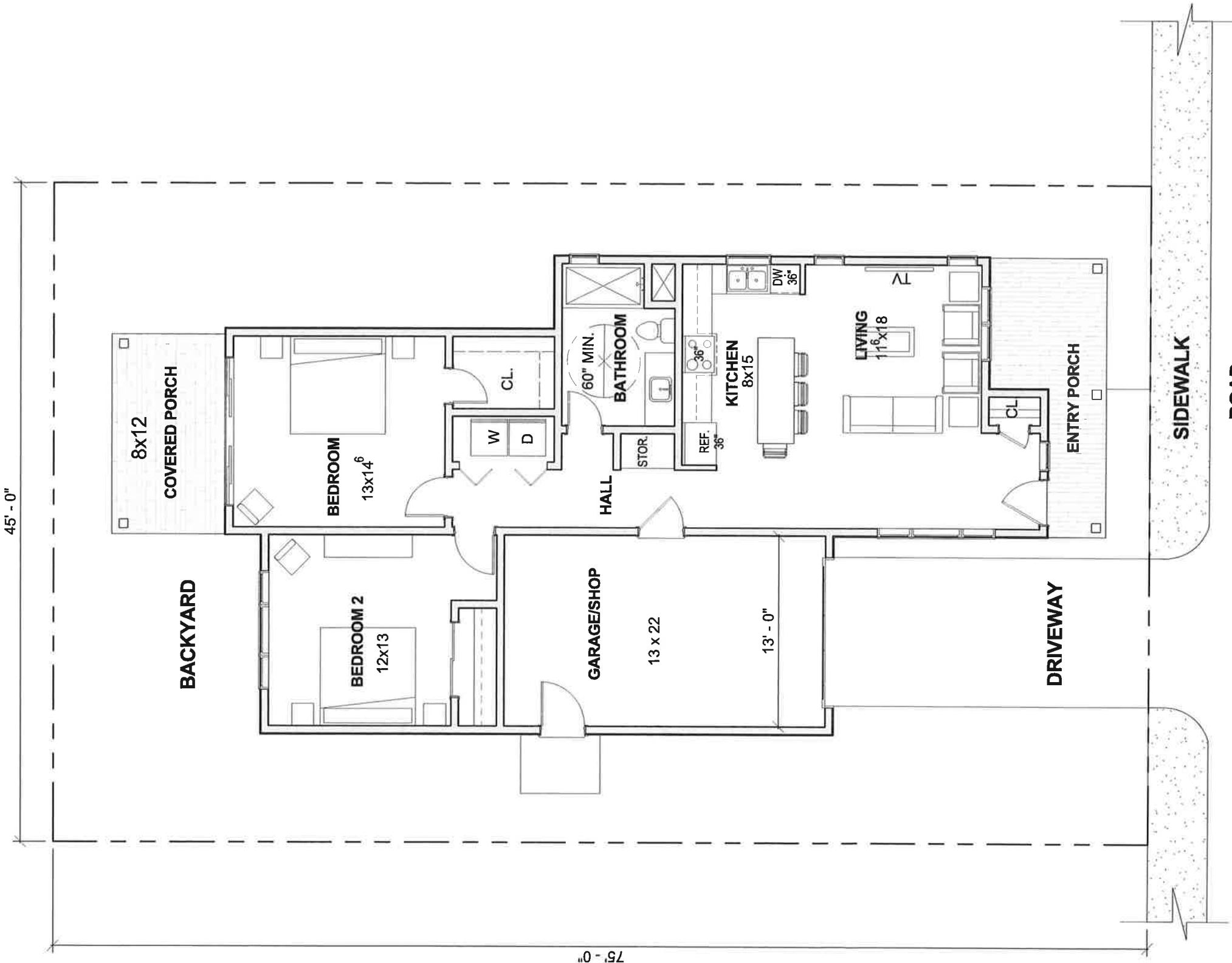
144 VINTAGE AT KINGS CANYON

SCALE 1/4" = 1'-0"

VINTAGE AT KINGS CANYON

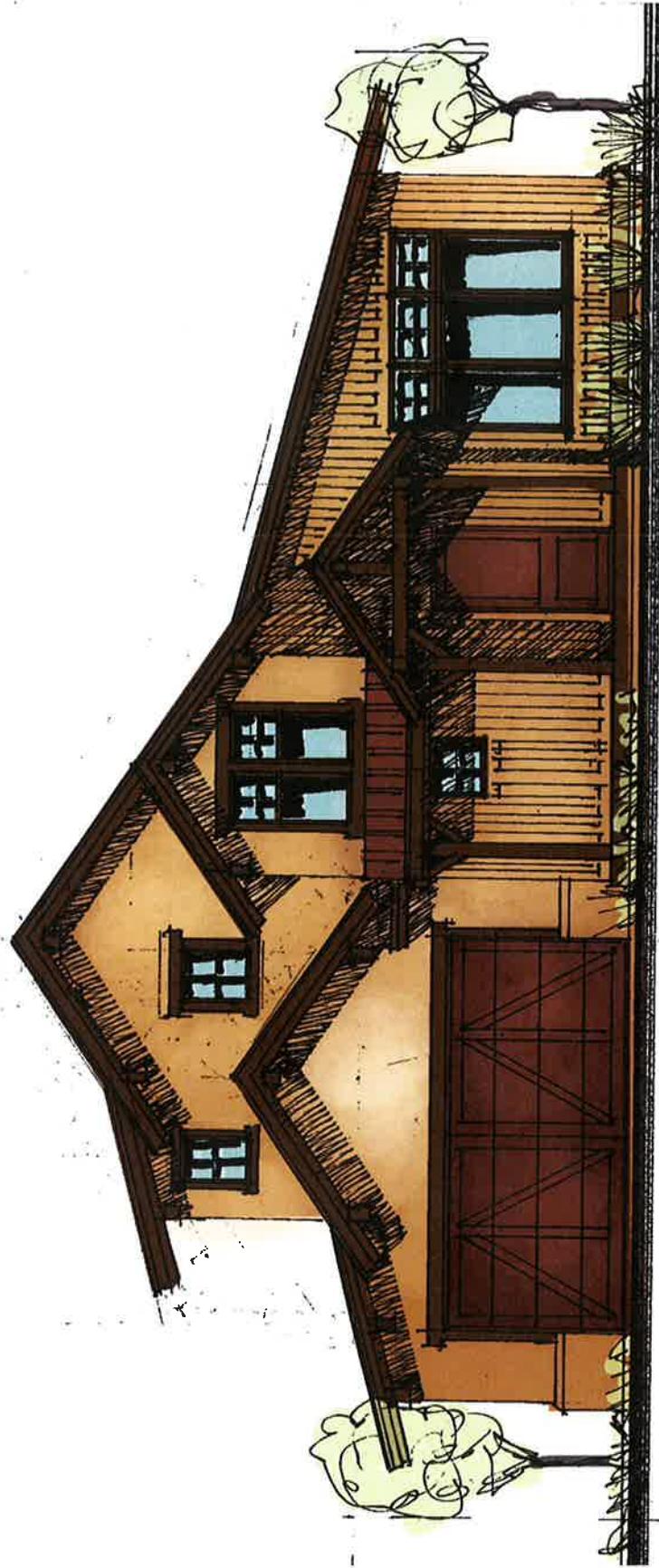
GARDEN VILLA

SCALE 1/8" = 1'-0"
PROJECT DATE 8/18/16



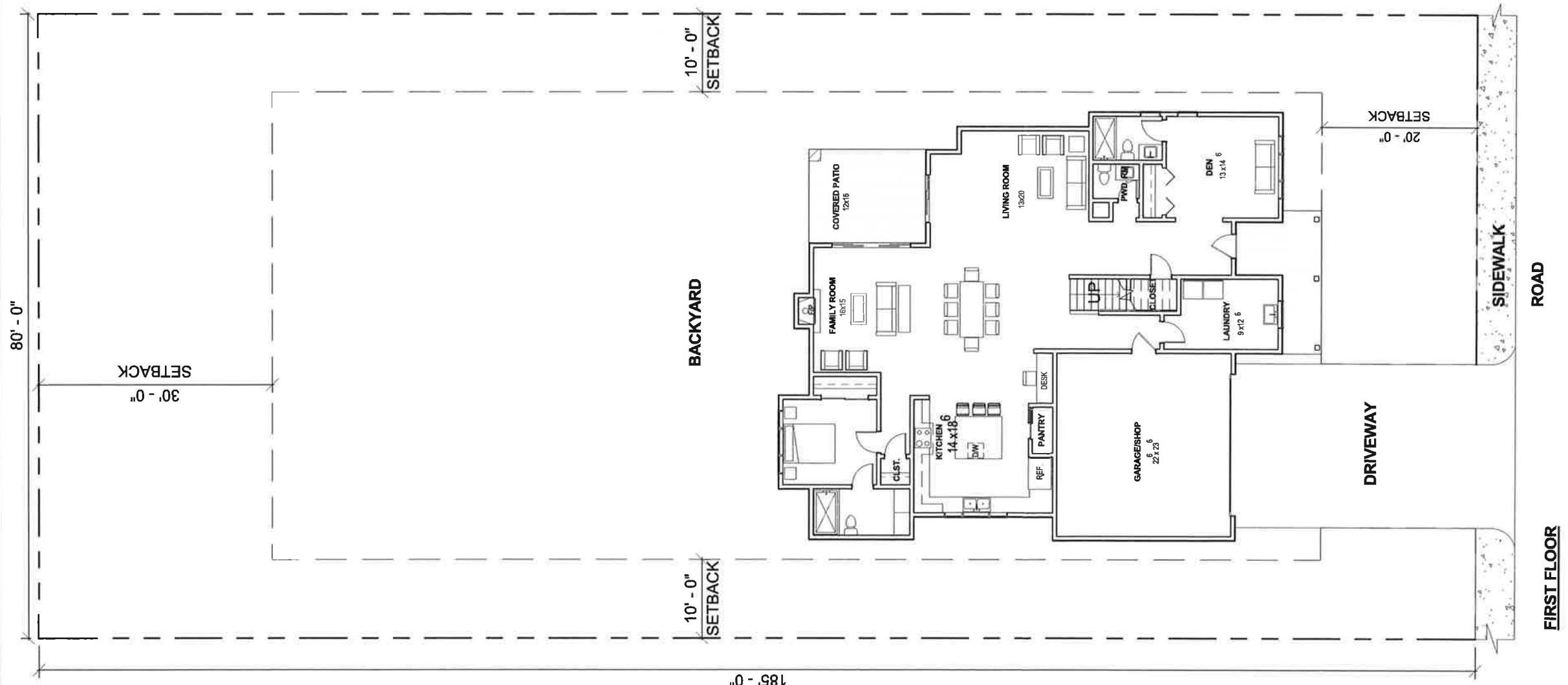
LOT SIZE: 1,690 S.F. (zero lot line)

RESIDENCE: 1,130 S.F.
GARAGE: 285 S.F.
OUTDOOR LIVING 245 S.F.
ENTRY PORCH 115 S.F.
REAR PATIO 130 S.F.



ESTATE ELEVATION

***OPTION FOR INTERIOR LOTS ONLY (LOTS 183-212)**



VINTAGE AT KINGS CANYON

THE ESTATE

SCALE 1/16" = 1'-0"
PROJECT DATE 8/18/16

Dale Cox

ARCHITECTS
PO Box 459
Truckee, CA 96160
tel 530 550-9144
fax 530 550-9455
www.dalecoxarchitects.com

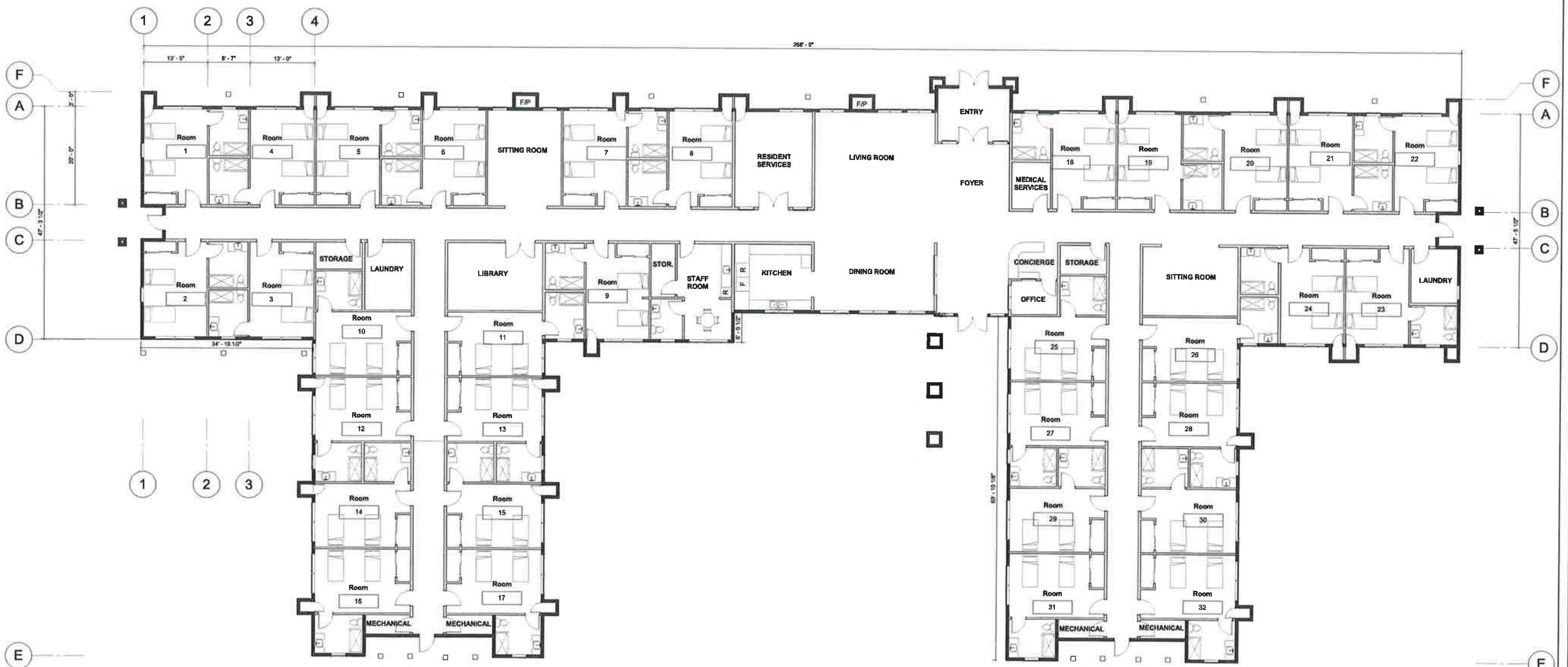
A1.1

ASSISTED LIVING/INDEPENDENT LIVING

ELEVATIONS AND FLOOR PLANS



ASSISTED LIVING



ASSISTED LIVING FLOOR PLAN

18,085 S.F.

3/32" = 1'-0"

FLOOR PLAN

THESE CHARGES HAVE BEEN PREPARED BY DALE COX ARCHITECTS
VINTAGE ASSISTED LIVING
THESE CHARGES ARE FOR THIS PROJECT ONLY. THEY ARE NOT SUITABLE FOR OTHER PROJECTS, IN OTHER LOCATIONS, OR BY
ANY OTHER INDIVIDUALS WITHOUT THE WRITTEN APPROVAL AND PARTICIPATION OF
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REVISIONS

**PROGRESS SET
NOT FOR CONSTRUCTION
07/18/16**

VINTAGE ASSISTED LIVING

APN: 122-161-05

DALE COX ARCHITECTS

ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
Post Office Box 459 Truckee, CA 96160
Phone: (530) 550-9144 Fax: (530) 550-9455

DRAWN BY:	hm
DATE:	7/20/16
SCALE:	3/32" = 1'-0"
JOB #:	150 A0.2 Project Number

150
A0.2



INDEPENDENT LIVING FLOOR PLAN 21,020 S.F.

3/32" = 1'-0"

FLOOR PLAN

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REVISIONS

**PROGRESS SET
NOT FOR CONSTRUCTION**
7/27/16

VINTAGE
INDEPENDENT
LIVING

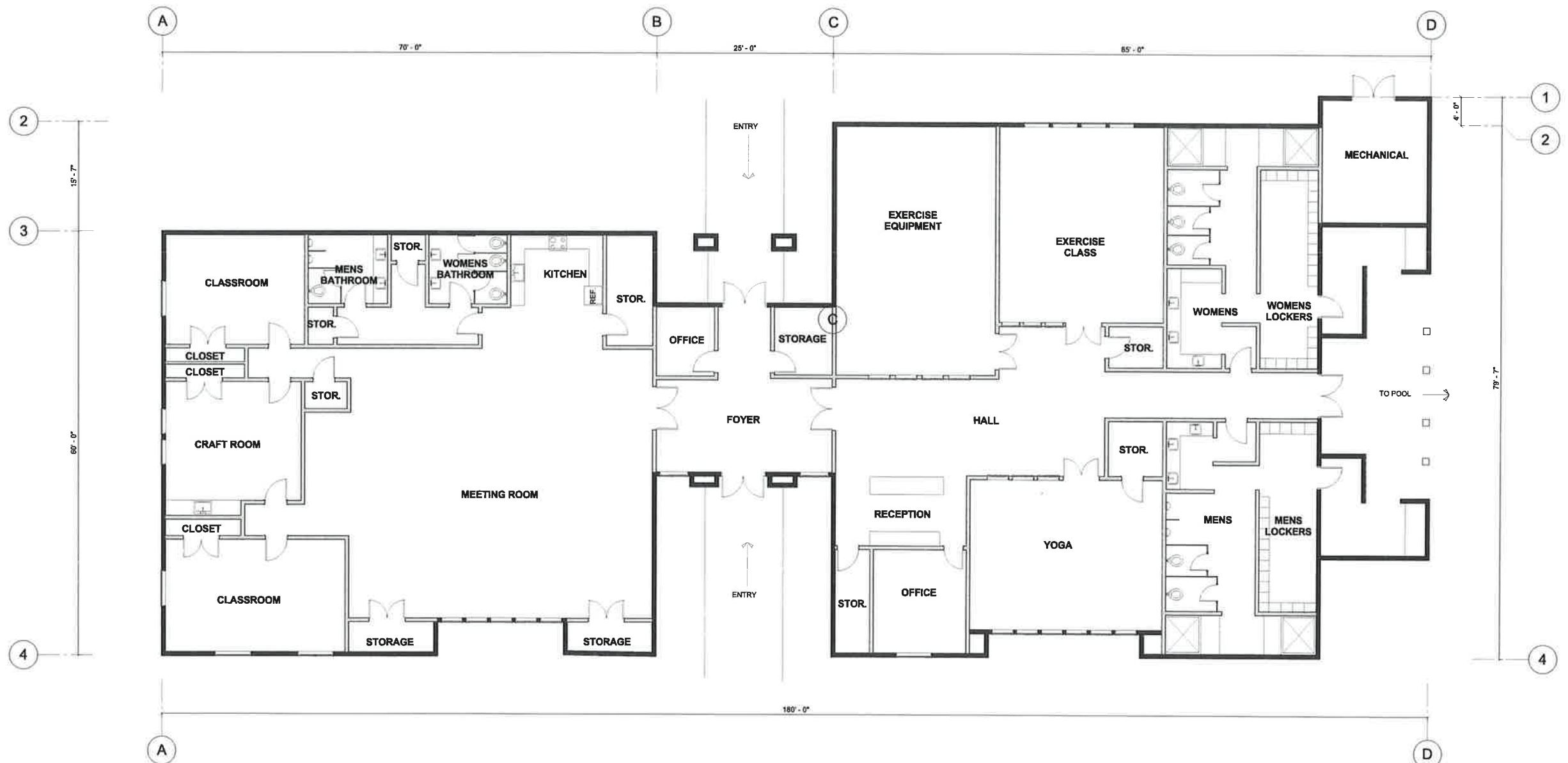
APN: 122-161-05

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ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
Post Office Box 459 Truckee, CA 96160
Phone: (530) 550-9144 Fax: (530) 550-9455

DRAWN BY: hm
DATE: 7/27/16
SCALE: 3/32" = 1'-0"
JOB # Project Number

151 SHEET
A0.2

**CLUBHOUSE AND OFFICE
FLOORPLANS**



LOWER LEVEL

1/8" = 1'-0"

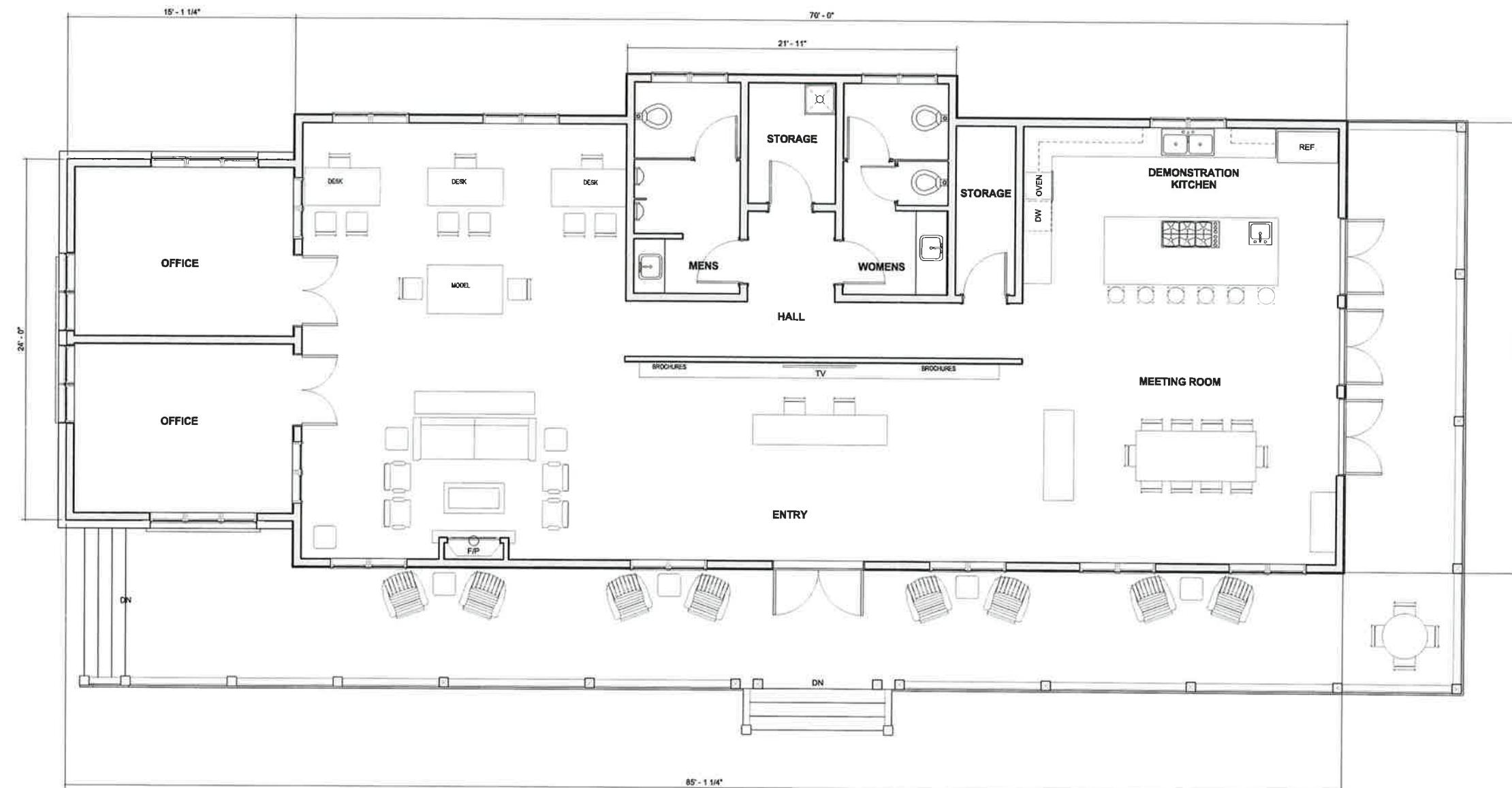
CLUBHOUSE
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VINTAGE AT KINGS
 CANYON

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 ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
 Post Office Box 459 Truckee, CA 96160
 Phone: (530) 550-8144 Fax: (530) 550-9455

DRAWN BY: HMR
 DATE: 7/20/16
 SCALE: 1/8" = 1'-0"
 JOB # Project Number
 1A3.2



FARMHOUSE/OFFICE FLOOR PLAN

1/4" = 1'-0"

2,433 S.F.

VINTAGE FARMHOUSE/OFFICE

APN: 122-161-05

DALE COX ARCHITECTS
ARCHITECTURE - PLANNING - CONSTRUCTION MANAGEMENT
Post Office Box 459 Truckee, CA 96169
Phone: (530) 550-9144 Fax: (530) 550-9455

DRAWN BY: HMR
DATE: 7/21/16
SCALE: 1/4" = 1'-0"
JOB #: Project Number

154.0

Vintage at Kings Canyon

PUD Development Standards Handbook

Prepared for:

Vintage at Kings Canyon, LP

Prepared by:

Rubicon Design Group, LLC

100 California Avenue, Suite 202

Reno, Nevada 89509

(775) 425-4800

August 18, 2016

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1. Introduction

1.1 Location

Vintage at Kings Canyon includes $78.21\pm$ acres (APN #'s 007-573-06, 07, 08 and a portion of 009-01-202). This includes $48.21\pm$ acres located west of Mountain Street and east of Ormsby Boulevard along with $30\pm$ acres west of Ormsby Road at the current terminus of West Washington Street. Figure 1 (below) depicts the project location.



Figure 1 – Vintage at Kings Canyon Planned Unit Development Area

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

1.2 Purpose

The purpose of this Development Handbook is to provide for the orderly development of the Vintage at Kings Canyon Planned Unit Development (PUD) project, while also assuring that quality architecture, design, engineering, and community standards are achieved. Since implementation of public and private improvements will occur in multiple phases, over several years, the standards and guidelines contained herein establish a common framework to guide individual improvement plans. The development of the property is controlled and restricted by these development requirements as well as by all applicable government codes and regulations. This Development Handbook is not intended to limit creativity or prevent variation necessary to respond to unique site conditions, but rather to generate consistency and quality throughout the PUD.

1.3 Vision

The Vintage at Kings Canyon PUD is intended to provide for a sustainable community that includes a range of residential land uses that complement not only each other but those that currently exist outside of the PUD boundaries. The vision is to create an attractive community that promotes a variety of housing types while also integrating into the surrounding area. A consistent design theme will be included throughout the project area ensuring quality architecture, landscape treatments, and project entry areas.

Complementing the new residential uses will be park space and linear open space along the property borders that provides non-vehicular connectivity to the various internal and regional components of the area.

1.3.1 Land Use Pattern

The residential mix within Vintage at Kings Canyon provides for varying levels of compatible densities, allowing a mix of housing types and amenities. This mix allows for active adult living, transitioning to smaller lots that require less maintenance, etc. The plan also provides for assisted and independent living options that will allow residents greater care without the need to leave their neighborhood and friends. This design will evoke a sense of community and supports walkability to project amenities and nearby destinations. The project includes larger lots at the perimeter of the project, in order to more closely match existing development, while smaller lots are centered within the project. More dense uses such as assisted and independent living units are clustered internal to the site to ensure proper relationships to existing neighborhoods that adjoin Vintage at Kings Canyon.

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

1.3.2 Sense of Place and Community

Creating a sense of place is one of the key components in creating a vibrant and balanced community. A sense of place is fostered within Vintage at Kings Canyon by creating human-scale environments in which the individual can feel both comfortable and safe. This includes provisions for open space and walking paths, a community recreation center with swimming pool, common design themes, and residential densities that complement each other. Furthermore, the Vintage at Kings Canyon PUD promotes and provides for connectivity between various neighborhoods and uses that are integrated through the standards included within this handbook.



1.3.3 Diverse Housing Mix

The Vintage at Kings Canyon PUD provides for neighborhood diversity by allowing for a mix of residential densities and product types to support a wide range of resident interests and needs. This diversity in densities and housing types serves to break up the monotony of traditional residential development by reinforcing the dynamics of character and identity within the neighborhood. The housing mix provides for a comprehensive active adult community and includes large, medium, and small lot single family residential; assisted living facility; and an extended care facility.



VINTAGE at KINGS CANYON- PUD Development Standards Handbook

1.3.4 Implementation

This handbook will be used by the Carson City Community Development Department as a guide for reviewing specific developments within the boundaries of the Vintage at Kings Canyon PUD.

1.4 Allowed Uses

Allowed uses within the Vintage at Kings Canyon PUD shall be determined based on the underlying zoning categories (per Carson City Municipal Code Title 18). However, additional restrictions are applied to ensure compatibility with the surrounding area. Zoning within Vintage at Kings Canyon is primarily residential, with one small area of Neighborhood Business (NB) zone to accommodate the assisted and independent living facilities.

Allowed uses shall be strictly limited by the terms of this handbook. Important overall zoning elements of the project include:

- for residentially zoned areas, allowed uses and density are based on the underlying plan included with this handbook. Ancillary uses and structures (i.e. home based businesses, garden sheds, etc.) shall be subject to Title 18 standards.
- for the 5.6± acre Neighborhood Business (NB) zone, allowed uses are highly limited and more restrictive than what is included in the Carson City Municipal Code. Allowed uses and restrictions are included in Table 1.4.1 on the following page.
- uses in the NB zone shall serve only residents (and their invited guests) of Vintage at Kings Canyon only. Members of the public shall not be allowed to access these services.

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

1.4.1 Use Table

Allowed Uses within Vintage at Kings Canyon

Zone	Permitted Uses	Notes
SF12		
	Single Family Residential ¹	Refer to zoning code for allowed ancillary uses in single family zones
SF-6		
	Single Family Residential ¹	Refer to zoning code for allowed ancillary uses in single family zones
	Sales Center	Hours of operation shall be between 9:00 am and 6:00 pm
NB		
	Congregate Care	All buildings shall not exceed one-story. Subject to review and approval of a Special Use Permit.
	Assisted Living Center	All buildings shall not exceed one-story. Subject to review and approval of a Special Use Permit.
	Independent Living Center	All buildings shall not exceed one-story. Subject to review and approval of a Special Use Permit.
	Personal Service including art galleries, libraries, café's, resident food service, salons, barber shops, dry cleaners, lounges, and similar	Limited to use by residents and guests only. Commercial uses open to general public are prohibited.
	Gym/Fitness Center	Limited to use by residents and guests only. Commercial uses open to general public are prohibited.
	Medical Office	Ancillary to assisted/independent living and congregate care only.
	General Office	Limited to Vintage at Kings Canyon Administrative Offices only
	Sales Center	Hours of operation shall be between 9:00 am and 6:00 pm

¹ – Housing shall be restricted to ages 55 and over.

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

1.4.1 General Standards

- a) The Vintage at Kings Canyon PUD is envisioned to include a mix of residential uses on lots ranging between roughly 1,600 square feet and 14,000 square feet.
- b) Assisted and independent living facilities are allowed within Vintage at Kings Canyon, as depicted on the site plan included in this handbook and subject to the intensity and building mass described herein.
- c) Personal services and retail-type operations shall be for the exclusive use of Vintage residents and their guests. Public access to these services shall not be provided.
- d) Uses within Vintage at Kings Canyon shall conform to the underlying zoning district(s) assigned to the individual parcels as outlined in Title 18 of the Carson City Municipal Code.
- e) Supplemental review required for specific uses within zoning categories such as Special Use Permits shall remain in effect per the Carson City Municipal Code. Specifically, the assisted and independent living facility is subject to SUP review and approval.
- f) This Specific Plan shall not grant any special privileges or waivers in terms of public review or entitlements otherwise required under the Carson City Municipal code in terms of allowed uses or supplemental review.

1.4.2 Project Layout

As noted, vintage at Kings Canyon contains a mix of housing types. In order to provide maximum definition to the eventual development, this mix of types shall be required to conform to the following layout guidelines and regulations:

- a) Single family residential lots shall be as described on the included site plan. This applies to total lot count, average lot size, and general street layout.
- b) Land uses for the NB-zoned area shall be determined by Section 1.4.1 of this document. The NB zone shall be the only area of this project in which commercial type development is allowed.
- c) Assisted living, independent living, congregate care and memory care facilities shall be the primary development within the NB zone. Personal services and boutique retail, related to the medical facilities, are allowed in this area, subject to the limitations contained in Section 1.4.1 above.

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d) Personal services and retail uses shall be restricted to more than 25% of total building area.

Figure 2 (below) serves as the site plan that forms the basis of the standards detailed in this chapter and contained herein.

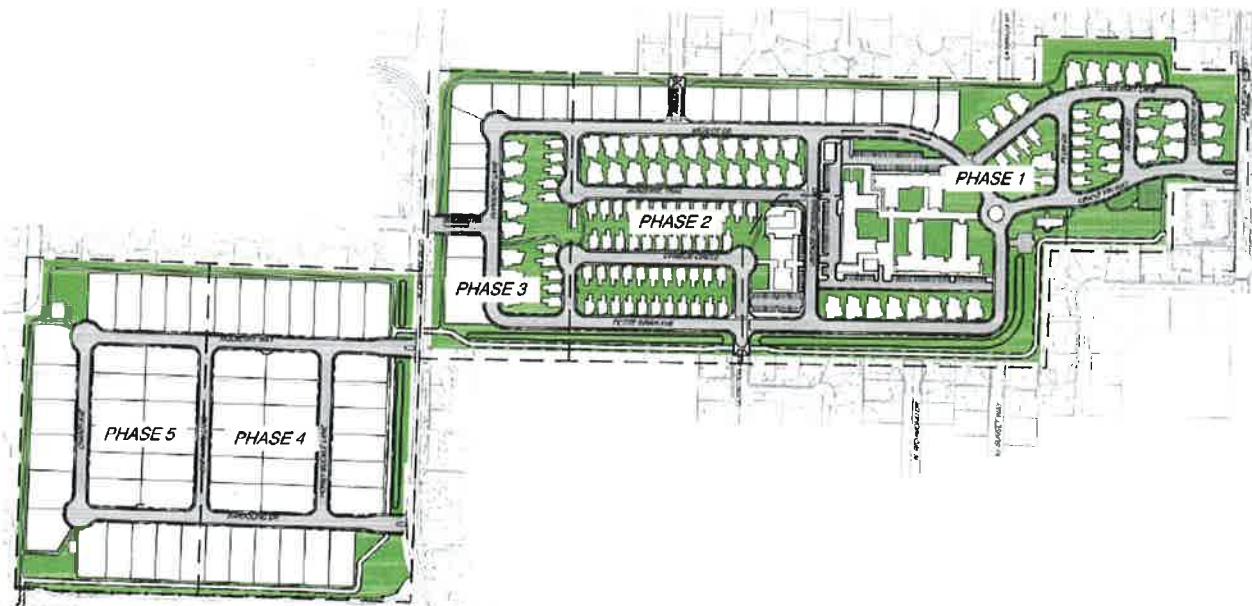


Figure 2 – Site Plan

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1.5 Plan Maintenance and Interpretation

1.5.1 Standards Not Addressed

In the instance that a specific development standard is not specifically called out or modified within the context of this handbook, the provisions of the Carson City Municipal Code Title 18 for the underlying zoning district shall be applied.

1.5.2 Minor Deviations

The Carson City Community Development Director shall have the authority to grant minor deviations to the standards contained herein. Any deviation in excess of 10% shall require either a Variance or amendment to the PUD, including the applicable full public review process.

1.5.3 Subsequent Actions

This PUD shall not prevent Carson City, in subsequent actions applicable to the property, from adopting new ordinances, resolutions, or regulations that conflict with those in effect at the time of adoption of this PUD, except that any subsequent action by Carson City shall not prevent the development of the property and uses as set forth in this PUD.

1.5.4 State and Federal Restrictions

In the event that State or Federal laws or regulations enacted after the adoption of the PUD prevent or preclude compliance with one or more of the provisions of the Plan, such provisions shall be modified or suspended as necessary to comply with State and Federal law. Any such action shall be taken by the Carson City Board of Supervisors at a legally noticed public hearing.

1.5.5 Plan Amendments

It may be necessary to amend this PUD from time to time. This includes the need for clarification of specific standards or uses, and the incorporation of new environmentally sound technologies.

Amendment of this Plan shall be made by means of a zoning map amendment process, subject to review and approval by the Carson City Planning Commission and Board of Supervisors.

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1.5.6 Financing

Project financing shall be the responsibility of owner/developer. All necessary infrastructure to serve the site shall be constructed at the expense of owner/developer and dedicated to Carson City as appropriate.

Any agreement between owner/developer or a future tenant/user and Carson City for alternative financing of infrastructure shall be allowed if agreeable to all parties, which agreement shall not be unreasonably withheld.

The owner/developer is required to pay all applicable development impact fees as mandated by Carson City and Nevada Revised Statutes.

1.5.7 Concurrency

Infrastructure upgrades are intended to occur in conjunction with land development. The master developer is therefore prepared to address Carson City's requirements for infrastructure upgrades as part of the application and building process. Due to the inherently complicated timelines, and frequently unpredictable nature of land planning and construction, it should be recognized that flexibility in establishing completion dates for infrastructure upgrades is warranted and should be addressed on a case-by-case basis as property is developed.

1.5.8 Phasing

Phasing of the Vintage at Kings Canyon shall be per the phasing plan adopted with the first tentative map. A maximum of 6 phases shall be permitted to complete the project.

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2 Design Standards and Guidelines

The site planning standards and guidelines address general provisions of site development which include building orientation, grading and drainage, parking areas, landscape, lighting, signs, walls and fences, and service areas. Site planning controls the proper placement of buildings and internal roads that service and access the various land uses in the community. It addresses the linkages and land use relationships at a human-scale, in order to create a stimulating and visually pleasant community. The goal is to promote pedestrian activity and safety, create visual compatibility with surrounding neighborhoods and minimize negative impacts on the natural environment.

2.1 Assisted/Independent Living Development

2.1.1 Assisted/Independent Living Area Planning Standards

- a) Building placement and orientation shall be designed to create visual interest along street frontages and within publicly visible areas. Multiple buildings in a single project shall demonstrate a positive functional relationship to one another.
- b) Plazas, courtyards and pedestrian areas shall also be an important element in the design of assisted living buildings. A visual link should be established between buildings through the use of architectural features, landscaping, etc.
- c) Buildings shall be oriented so that public access or windows face adjoining streets.
- d) Plazas or common areas shall be located near building entrances or areas of high pedestrian traffic to ensure their use.
- e) To the extent possible, areas between buildings shall be utilized for plazas, outdoor seating, or landscape features in order to eliminate “dead zones” of underutilized space.

2.1.2 Assisted/Independent Living Area Grading and Drainage

- a) Design of the assisted living facilities shall be sensitive to the natural terrain, and structures should be located to minimize necessary grading and preserve natural site features such as drainageways, wetlands, etc. Grading should blend with the natural topography of the site.

- b) Grading shall be designed to complement the architectural and landscape design character of the surrounding area. Grading techniques can be used to screen parking and service areas, reduce the perception of height and mass on larger buildings, and provide reasonable transitions between uses.
- c) Graded slopes should properly transition to existing natural terrain at project borders.
- d) Man-made slopes shall not exceed an average of 3:1 slope and turf areas shall not exceed an average 4:1 slope.
- e) Areas disturbed by grading activities shall be revegetated prior to the issuance of a certificate of occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season. Drought tolerant plant species shall be utilized to help minimize erosion.
- f) New development must include a final hydrology report to be reviewed and approved by the Carson City Engineering Department prior to the issuance of a building permit.
- g) An erosion control plan shall be included with each grading permit.

2.1.3 Assisted/Independent Living Area Parking Lots

- a) A minimum of 10 feet of landscaping shall be provided between parking lots and public streets.
- b) A minimum 400 square foot interior planter shall be provided at the end of parking aisles (refer to example to the right). Planters shall include a minimum of one deciduous tree (min. 1" caliper) – see example to right.
- c) Landscape islands (minimum 8' width) shall be provided for every 10 spaces in large parking fields and shall include a minimum of one tree (1 inch caliper minimum). See example to right.
- d) Pedestrian connections between parking lots and buildings shall be provided along with connections to sidewalks along adjoining public streets.

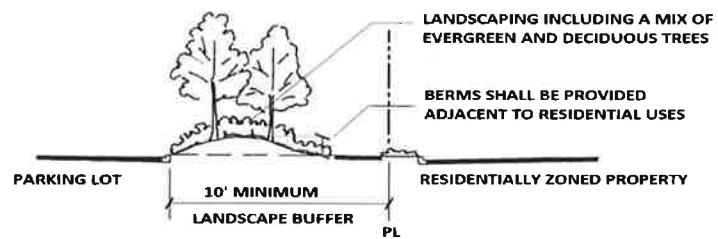


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- e) Parking areas shall be screened from adjoining residential areas through the use of landscaping and berthing. This buffer shall be a minimum of 10 feet in width (see example below).
- f) A maintenance schedule shall be maintained for parking lots that includes regular sweeping and a snow removal/storage plan for winter weather events.
- g) Parking lot sweeping shall be limited to the hours between 8:00 am and 9:00 pm.
- h) Parking lot design, including space dimensions, aisle widths, etc. shall comply with the provisions of the Carson City Municipal Code.

2.1.4 Assisted/Independent Living Area Landscaping

- a) Landscaping, including plant materials and themes shall be consistent throughout the PUD.
- b) Landscaping standards contained in the Carson City Municipal Code shall apply within the PUD. Where a conflict exists between these design standards and the Municipal Code, the stricter of the standards shall apply.
- c) Areas not utilized for parking, buildings, plazas, or access/circulation shall be landscaped to the back of curb.
- d) Drought tolerant plantings shall be used in conjunction with low water demand principles and techniques.
- e) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.
- f) Landscape maintenance shall be the responsibility of the Vintage at Kings Canyon Homeowners Association or an established landscape maintenance association.



2.1.5 Assisted Living Area Lighting

- a) Adequate lighting shall be provided to ensure a safe pedestrian environment.
- b) Parking lot lighting adjacent to residential areas shall be limited to 12 feet in height and shall incorporate shielded fixtures that prevent spill-over to adjoining parcels.
- c) The use of bollard lighting is encouraged in pedestrian areas. See example to right.
- d) Exterior lighting shall be used for purposes of illumination and safety only, and shall not be designed for, or used as, an advertising display.



2.1.6 Assisted/Independent Living Area Signs

A limited use of signs may be included as part of the assisted/independent living facilities. Signs are intended to be utilized only where necessary, and in an understated manner, emphasizing an image of permanence and quality. Careful use of forms, styles, materials, and colors will establish continuity throughout the community.

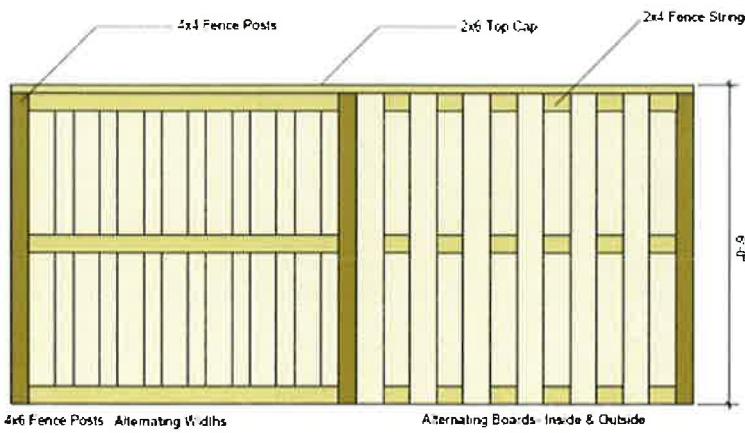
- a) Signs shall be included on facades or entry canopies of buildings and illuminated or backlit with indirect lighting. All signs shall be integrated into the architectural design of the building entry. Signs shall be proportional to the building architecture.
- b) Flashing or animated signs are prohibited.
- c) Building signs that project more than 4 inches beyond the wall façade are prohibited, unless incorporated as an architectural element.
- d) No signs shall face residential areas located outside of the Vintage at Kings Canyon PUD area.

2.1.7 Assisted/Independent Living Area Fencing

- a) Walls and fences shall be utilized to provide a buffer between uses. Walls shall be appropriately integrated into each project.

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b) Solid fencing (6 foot minimum) may be installed between assisted living areas and adjoining residential uses. This can include wood or vinyl fencing, concrete block walls, pre-cast wall systems, or similar. See examples below.



c) Chain link fencing shall be prohibited.

2.1.8 Assisted/Independent Living Area Trash and Utility Areas

- a) Service, maintenance and storage areas shall be screened from adjacent public right-of-ways, pedestrian plazas or adjacent residential uses with landscaped berms, walls or plantings.
- b) All trash and garbage bins shall be stored in an enclosure that includes solid screening, to the approval of the Carson City Community Development Department.
- c) Trash enclosures shall incorporate building materials, colors, etc. that are complementary to the overall project architecture. Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed (see examples below).



- d) Trash enclosures must include provisions for concrete pads or appropriately designed asphalt sections in front of the enclosure. The area in front of the trash enclosure shall be a minimum of six (6) feet to reduce pavement damage from disposal trucks.

2.1.9 Assisted/Independent Living Setbacks

Setbacks for assisted/independent living uses shall conform to the requirements outlined in the Carson City Municipal Code within the NB zoning district.

2.2 Single Family Residential Areas

2.2.1 Neighborhood Diversity

Single family areas within the Vintage at Kings Canyon PUD will include varied densities and housing types in order to create separate neighborhoods within the project. This can be accomplished through the use of varied housing types, distinct architectural styles and elements, etc.

- a) Densities within single family areas shall be as generally depicted on the site plan.
- b) Neighborhood density shall properly relate to adjoining developed areas and provide for transition between neighborhood types. Proper transitions can include feathering of density/lot size, landscape buffers, or walls/fences that serve to identify community boundaries.
- d) Varied densities are included throughout the PUD boundary to allow varied product types.
- e) It is the intent of the PUD to provide a number of distinctly different neighborhood types rather than a single “large neighborhood” with a single product type.

2.2.2 Single Family Neighborhood Design

Neighborhoods within the PUD will promote quality development that is complementary to the existing built environment, while establishing its own sense of identity through uniform and innovative design standards. A variety of single family detached, as well as single family attached products are anticipated within the PUD boundary.

- a) To the extent possible, “forward” architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street on most plan variations.
- b) when possible, plans should be reversed and plotted so that garages and entries are adjacent to each other. This creates an undulating sense of setback. Occasionally this pattern should be broken so that it will not become overly repetitious or reflected by the massing across the street.
- c) The garage shall not be the dominant feature of the building facade facing the street and should be offset through architectural detailing for garage forward elevations.

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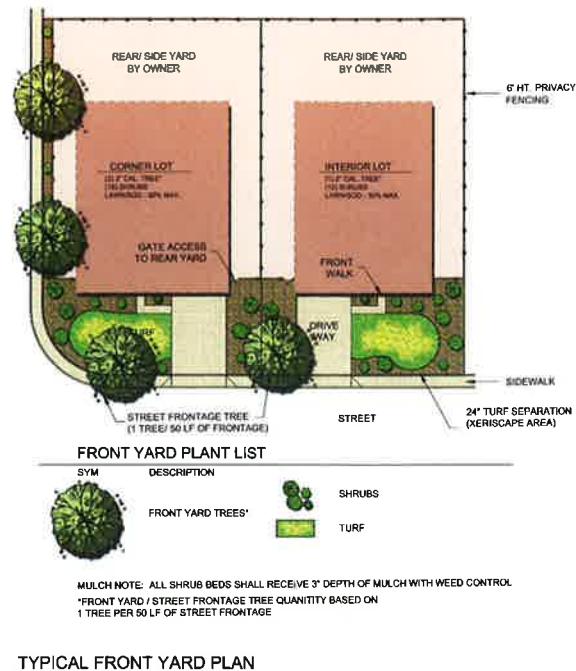
- d) So as not to contribute to a repetitious and monotonous appearance along the street, the use of varying building setbacks from the street right-of-way is encouraged.
- e) Neighborhoods shall provide connections into the community trail system.
- f) Zero lot line side setbacks shall be allowed on C and D lots as identified on the site plan.
- g) In order to avoid a "walled-in" feel, homes backing to parks, open space, or drainage corridors shall include open rear fencing. This includes the use of split rail or iron fencing.
- h) Except for zero lot line areas, setbacks for single family residential areas shall comply with the underlying zoning district for which the subdivision is located. In order to provide for visual interest within the streetscape, front setbacks may be reduced up to 5 feet in order to achieve a non-monotonous/repetitive streetscape pattern.

2.2.3 Single Family Grading

- a) The design of residential neighborhoods shall be sensitive to the natural terrain, and structures shall be located in such a manner so as to minimize necessary grading and preserve natural site features and drainage ways. Any grading of the site terrain shall blend with the natural topography of the site.
- c) Graded slopes shall be rounded resulting in smooth, harmonious transitions between the man-made terrain and the natural terrain.
- d) All graded slopes shall be revegetated prior to building occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy a bond shall be provided for landscaping during the subsequent growing season or other arrangements made for revegetation, subject to the approval of the administrator. Drought tolerant plant species shall be utilized to help minimize erosion.

2.2.4 Single Family Landscaping

- a) Front yard landscaping shall be installed by the builder prior to the occupancy of the individual home. See example to right.
- b) Front yard landscape packages shall provide for a minimum of 1 tree per 50 lineal feet of street frontage as well as a minimum of 12 shrubs. Trees shall be a minimum of 1 inch caliper for deciduous and 6 feet for evergreens. Shrubs shall be a minimum of 2 gallon.
- c) Xeriscape options for front yards shall be permitted. Xeriscape packages must include the required trees and shrubs outlined under the previous standard.
- c) Front yard landscaping is required for all homes and will be reviewed and approved with the tentative map establishing installation timing.
- d) Front yard landscape packages shall include automatic irrigation systems.



TYPICAL FRONT YARD PLAN

2.2.5 Single Family Lighting

- a) Lighting shall be designed to differentiate land use areas, emphasize community amenities, provide continuity along street corridors and ensure the safety of residents and users.
- b) Exterior lighting shall be shielded from projection offsite and designed to be compatible with the architectural and landscape design of the home.

2.2.6 Single Family Walls and Fencing

- a) Walls may be used where necessary to provide privacy and security for residential neighborhoods when adjacent to arterial or collector roadways, or when adjoining non-residential uses.
- b) Walls within the community shall not become the dominant visual element and walls where needed shall blend into the overall landscape.

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- c) Walls shall not exceed 6 feet in height. Acceptable materials include stone, stone veneer, split face/precision block, slump stone, and stuccoed CMU.
- d) Open fencing shall be used where the rear of individual lots are adjacent to open space. See examples below.
- e) Open fences at rear yards may include landscaping with trees and shrubs to screen views of private yards from adjacent properties, common areas, and/or roadways.
- f) Acceptable open fencing materials include wood or vinyl split-rail or wrought iron. See examples below.



- g) Single family residential lots may include solid privacy fences. Acceptable materials include wood and vinyl. Privacy fencing shall not exceed 6 feet in height.
- h) Chain link fencing is prohibited within residential areas.

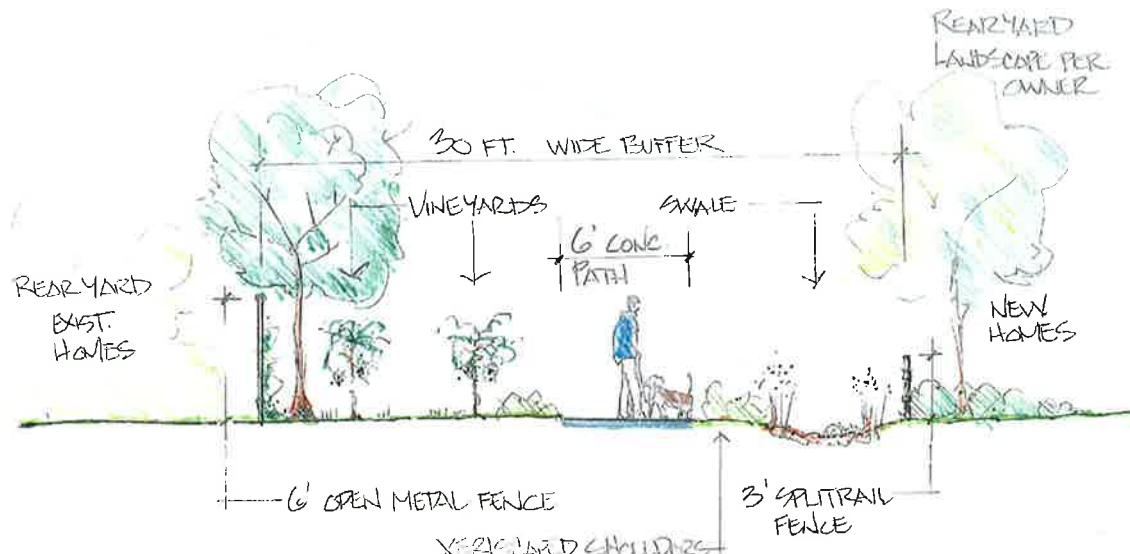
2.3 Community Buffer Areas

In order to ensure compatibility with existing adjoining neighborhoods, the following standards are included with the PUD:

- a) A minimum thirty (30) foot landscape buffer shall be included around the entire perimeter of the Vintage at Kings Canyon. Please see the buffer exhibit on the following page.
- b) At the south side of the project, between Mountain Street and Ormsby Boulevard, the buffer area shall be expanded to a minimum of sixty-five (65) feet.

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- c) Buffer areas shall provide a minimum six (6) foot concrete walking path providing pedestrian connections within the community as shown on the site plan.
- d) Bollard lighting, no more than 4 feet in height, may be provided within buffer areas in order to light pedestrian pathways.
- e) All buffer area landscaping and improvements shall comply with the preliminary landscape plan and site plan adopted with the Vintage at Kings Canyon PUD.



Buffer area cross section diagram

2.4 ARCHITECTURE STANDARDS AND GUIDELINES

2.4.1 Architectural Theme

The Vintage at Kings Canyon community is designed to naturally integrate a relaxed livable design that integrates indoor and outdoor living. The architectural feel of the community combines an informal and country feel of farmhouse inspiration with timeless architecture set in a beautiful landscape of west Carson City and the Sierra backdrop. Community buildings have functional porches that provide a transitional space for people to gather. Expanded dormers and symmetry throughout the building with a relaxed covered entrance dictate the building elevations.

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2.4.2 Residential Architectural Elements

a) New structures within the PUD shall, at a minimum, incorporate a minimum of two of the following elements:

- Gable roofs with deep overhangs.
- Exposed rafters, brackets, columns, etc.
- Decorative doors and windows
- A mixture of 2 (at a minimum) exterior elements including stucco, wood siding or shingles, brick, or stone
- Exterior porches or courtyards

b) Acceptable roofing materials include concrete tile, slate, or architectural grade (30+ year) composition asphalt shingles. Metal roofing may be used as an architectural element in conjunction with the previously listed materials.

c) Flat roofs are prohibited in residential areas.

d) Metal buildings are prohibited.

e) Modular homes are not permitted within the Vintage at Kings Canyon PUD.

f) Building articulation shall include a minimum of 4 separate roof planes incorporated on front/primary elevations. Front/primary elevations shall contain a minimum of 2 wall planes offset by a minimum of 3 feet.

g) Building colors shall utilize an earth tone pallet such as browns, tans, whites, greens, deep reds and oranges, pale yellows, etc. The use of bright or vibrant colors is prohibited with the exception of highlighting architectural elements.

2.4.3 Assisted/Independent Living Architecture

Assisted/independent living areas within the Vintage at Kings Canyon PUD are envisioned to complement residential uses in function and form. These areas and buildings shall incorporate the same architectural principles as the residential areas and include elements such as rock, stone, brick, etc.

2.4.4 Assisted Living Building Mass and Form

a) Individual buildings, forms, and components shall be designed as a whole to ensure unity to the overall design of the center.

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- b) Facades shall include articulation to ensure that large scale buildings are softened and appropriate for the area at a human scale.
- c) Visual interest shall be created in building facades through the incorporation of wall plane projections or recesses that are a minimum of two (2) feet in depth.
- d) Wall plane projection or recess may be substituted with a combination of vertical or horizontal elements such as trellises, awnings, shed roofs, or columns. Any such element must have a minimum of 2 feet change in vertical or horizontal projection or recess. The proposed alternative design solution shall meet the intent of this standard.
- e) In assisted living areas adjoining residential uses, building heights shall relate to the adjacent development to enhance view corridors and ensure compatibility.
- f) Texture change, material change, or relief change shall be incorporated into buildings to avoid large expanses of blank walls and box-like structures.
- g) Buildings in excess of 10,000 square feet should vary building and roof forms to give the appearance of smaller forms.
- h) All assisted living buildings shall incorporate a consistent architectural theme.
- i) Assisted/independent living units shall be limited to one-story. Architectural elements such as dormers and upper windows may be used to add visual interest but shall not include inhabitable space.

2.4.5 Assisted/Independent Living Roof Form

- a) Rooflines shall include variations to add visual interest and reduce the scale of large buildings. Refer to example below.



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- b) Roof profile elements visible at ground level shall incorporate horizontal and vertical offsets as depicted in the example above.
- c) All rooftop equipment shall be screened from public view at street level and the parking lot.
- d) All roof mounted mechanical equipment must be screened from public view at the street level and the parking lot.

2.4.6 Assisted/Independent Living Materials and Colors

- a) The colors and materials of buildings shall be compatible with those of adjoining buildings/uses.
- b) Exterior building materials shall be of high quality. These may include, but are not limited to:
 - brick
 - stained, painted, or weathered wood/cementitious products such as heavy timbers or stock lumber
 - stone veneer/cultured stone
 - integral color split face block or rough cut wood.
 - metal such as corrugated, batten or standing panelized systems; performed painted or stained metal shapes
 - fabric or metal awnings
 - dimensioned asphalt or simulated wood shingles
- c) Accent colors may be used to emphasize special façade elements in order to attract attention at focal points.
- d) Facades shall include the use of earth tone palette colors in broad expanses. The use of high intensity colors are discouraged unless they are used to accentuate architectural forms or features.
- e) Building trim and accent may feature a brighter palette of colors used to direct focus toward visually interesting building elements.
- f) The following exterior building materials are not allowed as predominant features on building facades:
 - integral color smooth-faced or painted concrete masonry
 - tilt-up concrete panels without textures or finishes
 - pre-fabricated steel panels
 - unprotected wood
 - dimensional asphalt shingles (architectural grade asphalt shingles may be used on roofs)

2.4.7 Single Family Residential Architecture

Architectural standards for residential areas promote an upscale development concept that reflects a

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western and ranching heritage while providing for modern amenities and features. Although neighborhoods may include distinctive architectural designs, common elements serve to create a cohesive community that creates a sense of place.

2.4.8 Single Family Building Mass and Form

- a) Home facades shall incorporate the architectural style and materials outlined in section 2.3.1.
- b) A minimum of 2 distinctive floor plans shall be used within each project phase.
- c) Architectural details and stylings used on the front of the home shall be carried over to all elevations.
- d) A minimum of 2 distinctive front elevations shall be included for each model within each phase.
- e) Varied setbacks, floorplans, and elevation packages shall be used within subdivisions to create a visually interesting streetscape.

2.4.9 Single Family Roof Form

- a) Roof planes are required to vary through the use of architectural features such as dormers, gables, hipped roofs and variations in pitch appropriate to the homes chosen architectural style. See example images below.

2.4.10 Single Family Materials and Colors

- a) As mandated within other provisions of this handbook, single family homes shall incorporate an earth tone color palette. The use of bright and vibrant colors is prohibited with the exception of enhancing key architectural elements and features.



- b) Conflicting architectural styles within a single subdivision shall be prohibited.

c) Building materials and elements shall be consistent with those outlined under previous standards.

2.4.11 Single Family Garages

a) Garages shall include a minimum of 5 feet offset from inhabitable areas. Front elevations should provide focus on living areas and not garages. See example image below.



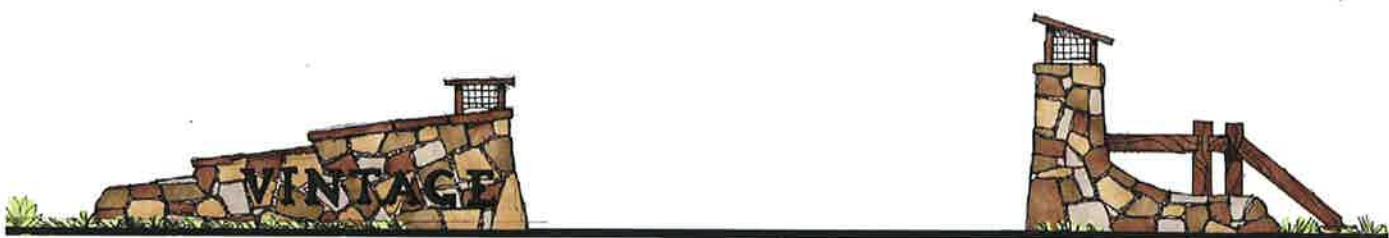
b) Garage forward plans shall be permitted when offsets (5 feet minimum) exist for the garage in order to provide visual distinction between the garage and residence.

2.5.1 Community Entries

In order to create a distinct community entry and establish a sense of place, distinct community entries shall be located at the primary project entries, subject to the following standards:

a) Entry monuments shall be located adjacent to Mountain Street and Ormsby Boulevard. At a minimum, entries shall be located at the Mountain Street entry and Ormsby Boulevard entry (east side of Ormsby). Entry monuments on the west side of Ormsby are optional.

b) Entry monuments shall include materials that complement those detailed in the architectural standards of this handbook, including the use of stucco, stone, and wood accents. See example below.



c) Entries may include signage as illustrated above. Any signage shall include indirect or back-lighting. Can signs and internal illumination are prohibited.

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3 Public Services and Infrastructure

3.1 Parks, Open Space, and Trails

The Vintage at Kings Canyon PUD envisions a community that is linked, internally and to the surrounding neighborhood, through a system of trails, open space, and a community park. The intent of these standards is to implement the provisions of the Unified Pathways Master Plan, Parks and Recreation Master Plan, and Open Space Master Plan adopted by Carson City.

3.1.1 General Standards

- a) A Landscape Maintenance District (LMD) shall be formed by the Master Developer to provide for the maintenance and upkeep of open space and common area landscaping, trails, and park/recreation facilities and amenities. The LMD shall be in place prior to the issuance of the first certificate of occupancy.
- b) A private homeowner's association (HOA) shall provide for the maintenance of all private landscape features and non-public recreation facilities (i.e. private parks within gated communities, etc.).
- c) Design of open space areas shall follow the standards and policies of the Carson City Open Space Master Plan, adopted by Carson City in June 2000.
- d) Pathways and trails, other than those described in Section 3.2 (following) shall conform to the standards and policies of the Unified Pathways Master Plan adopted by Carson City on April 6, 2016 (as revised March 15, 2007).
- e) The new park facility within the Vintage at Kings Canyon PUD shall conform to the Parks and Recreation Master Plan as adopted by Carson City on April 6, 2006.

3.1.2 Trails and Pathways

- a) Trails, pathways, and sidewalks not specifically called out within this section shall conform to the standards outlined in Section 6 of the Carson City Unified Pathways Master Plan (Pathway Types).
- b) A meandering path (consistent with Unified Pathways Master Plan standards) shall be constructed along an east/west route, connecting the existing Mountain Street trailhead and passive park area to Ormsby Blvd. This pathway may follow drainage channels where feasible and shall meet the guidelines for an "off-street/multi-use trail."

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- b) The meandering path that connects the existing trailhead at Mountain Street to the existing Longview trails shall be concrete, a minimum of ten (10) feet in width with an additional three (3) feet of decomposed granite.
- c) Pathways located elsewhere within common areas (excluding residential sidewalks) shall be concrete and a minimum of six (6) feet in width.
- d) Trail/pathway locations shall be in substantial conformance with those included on the Vintage at Kings Canyon PUD site plan.
- e) A meandering path (consistent with Unified Pathways Master Plan standards) shall be constructed connecting Ormsby Blvd to open space to the west of the project site. This pathway may follow drainage channels where feasible and shall meet the guidelines for an “off-street/multi-use trail.”
- f) The east/west trails being constructed shall, at a minimum, include landscaping and pedestrian amenities. Trees (either evergreen or deciduous) shall be planted at a rate of 1 tree per 50 lineal feet with a minimum of 4 shrubs per tree. Park benches shall be located along the trails at a rate of 1 bench per 500 lineal feet of trail.
- g) A fitness course may be substituted for park benches. See examples below:



- h) Internal trails shall be constructed where appropriate, in order to connect different project roadways or land use elements.
- i) The applicant/developer shall be required to demonstrate that trail connectivity between parks, trails, and the overall open space network is being provided. This shall be to the satisfaction of the Community Development and Parks and Recreation Departments.

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3.1.3 Open Space

- a) Drainage channels shall be incorporated into open space areas and include trails/paths as described in section 3.1.2
- b) Open space areas shall be maintained through a Landscape Maintenance District and/or by a private homeowners association(s).
- c) Landscape medians, parkways, corridors, etc. included within common or open space areas shall be maintained by an individual homeowners association(s) and/or through the Landscape Maintenance District (LMD).
- d) Open space areas that remain private shall not include public access (if privately owned) and shall be maintained by a homeowners association and not through a Landscape Maintenance District (LMD).

3.1.4 Parks – General Standards

- a) Parks within the Vintage at Kings Canyon PUD shall be maintained through implementation of a Landscape Maintenance District. Any private parks (without general public access) shall be maintained by an individual homeowners association(s).
- b) Opportunities for joint use of park and open space facilities (i.e. stormwater detention basins) shall be a priority within the Vintage at Kings Canyon PUD.
- c) All park facilities and open space areas shall have access to the overall trail and pathway network within the PUD area.
- d) The park facility within Vintage at Kings Canyon will be coordinated with the Carson City Parks and Recreation Department for review and approval.
- e) Park design shall be consistent with Carson City Parks and Recreation Department guidelines and standards, including water conservation design elements.

3.2 Sanitary Sewer

- a) All new development within the Vintage at Kings Canyon PUD shall be required to connect to municipal sanitary sewer service.
- b) A final sewer report demonstrating capacity to serve the development shall be submitted with each individual project within the PUD boundary.

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

- c) The site has no known constraints which would impact the ability to be served by a gravity fed extension of the public sewer.

3.3 Water Service

- a) All new development within the Vintage at Kings Canyon PUD shall be required to connect to municipal water service.
- b) All new development shall be required to pay applicable water connection fees and demonstrate that adequate water supply is available to serve the project and dedicated for use.
- c) Separate irrigation meters will be employed in accordance with the guidelines present at the time of connection.

3.4 Storm Water Management

- a) The primary stormwater channels shall be designed to contain the existing off-site watershed discharges as well as the existing discharges from the PUD area.
- b) Onsite retention and detention facilities are required within the development per Carson City standards.
- c) Existing overall drainage patterns shall be maintained to the extent possible. Any deviation shall require review and approval by the Carson City Engineering and Public Works Departments.
- d) A comprehensive drainage impact analysis for the overall Vintage at Kings Canyon PUD shall be reviewed and approved with the first permit request. The analysis shall provide estimates of project impacts at buildout along with required upgrades, improvements, etc. as well as with triggers for when these improvements are required.

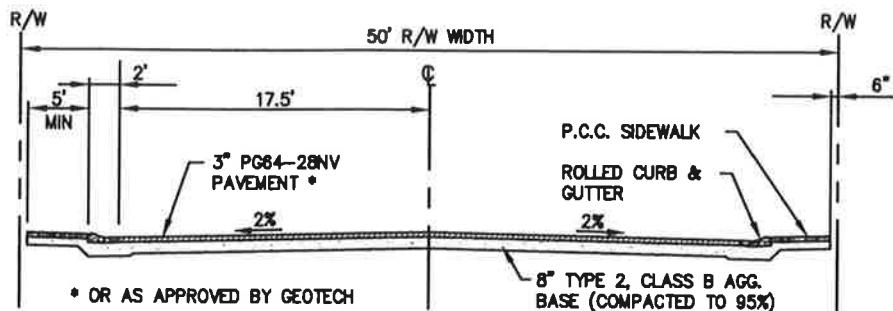
3.5 Utility Service

- a) All utility services within the Vintage at Kings Canyon PUD shall be undergrounded. Overhead power lines shall be prohibited.
- b) Plans for electrical, natural gas, telephone, and cable service shall be reviewed and approved by the applicable purveyor (i.e. NV Energy, Southwest Gas, ATT, etc) prior to the issuance of a building permit.

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3.6 Roadways

a) All roadways within the Vintage at Kings Canyon PUD shall comply with the standards and requirements included within the Carson City Municipal Code. The specifications contained in the roadway section detail, below, shall be applied to roads internal to the project.

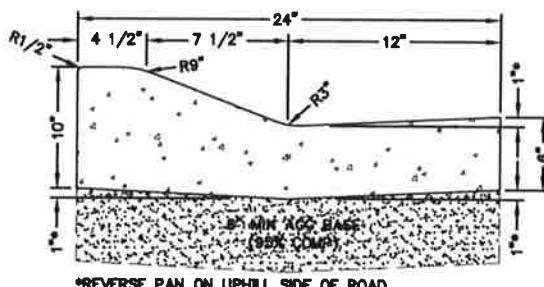


NOTES:

ALL A.C. SURFACES SHALL BE COMPACTED TO 96% (MINIMUM) MARSHALL MAXIMUM DENSITY AND RECEIVE A FOG SEAL.

BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SCREED OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF SPREADING AND FINISHING COURSES OF BITUMINOUS MIXTURE IN LANE AND SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.

ROADWAY SECTION



ROLLED CURB & GUTTER

SCALE: N.T.S.

VINTAGE at KINGS CANYON- PUD Development Standards Handbook

3.7 Traffic Impacts

- a) A comprehensive traffic impact analysis for the overall Vintage at Kings Canyon PUD shall be reviewed and approved with the first tentative map. The analysis shall provide estimates of the project impacts at buildup along with required upgrades, improvements, etc. along with triggers for when these improvements are required.
- b) Updates to the master traffic impact analysis shall be provided for any project generating more than 80 peak hour trips to determine if roadway upgrades/improvements are triggered.
- c) A traffic impact analysis/study focusing on vehicular access management to and from the proposed Vintage at Kings Canyon PUD community shall be reviewed and approved with adoption of this PUD. The analysis shall discuss the location and provision of the project's local road network along with potential improvements in the vicinity of the project.

3.8 Fire Protection

The Carson City Fire Department currently services the project area. Due to the infill location of this project, the Fire Department is not required to expand their service area. Based on project size and uses, the following standards are included within the PUD:

- a) As individual projects are submitted, the Carson City Fire Department shall review development plans in context with existing service limitations to ensure adequate levels of service are maintained.
- b) The Carson City Fire Department has the ability to condition projects to ensure adequate levels of service are maintained. Such conditions include requiring fire resistant building materials, requiring on-site hydrants, and reviewing road design and locations.

3.9 Police Protection

The Carson City Sheriff's Department currently operates patrols in the area. The following standards related to police protection are provided for the Vintage at Kings Canyon PUD:

- a) All new projects submitted for review by Carson City shall be routed through the Sheriff's Department for review and comment.
- b) The Sheriff's Department shall reserve to the right to condition projects in order to implement and/or incorporate crime prevention measures, etc.

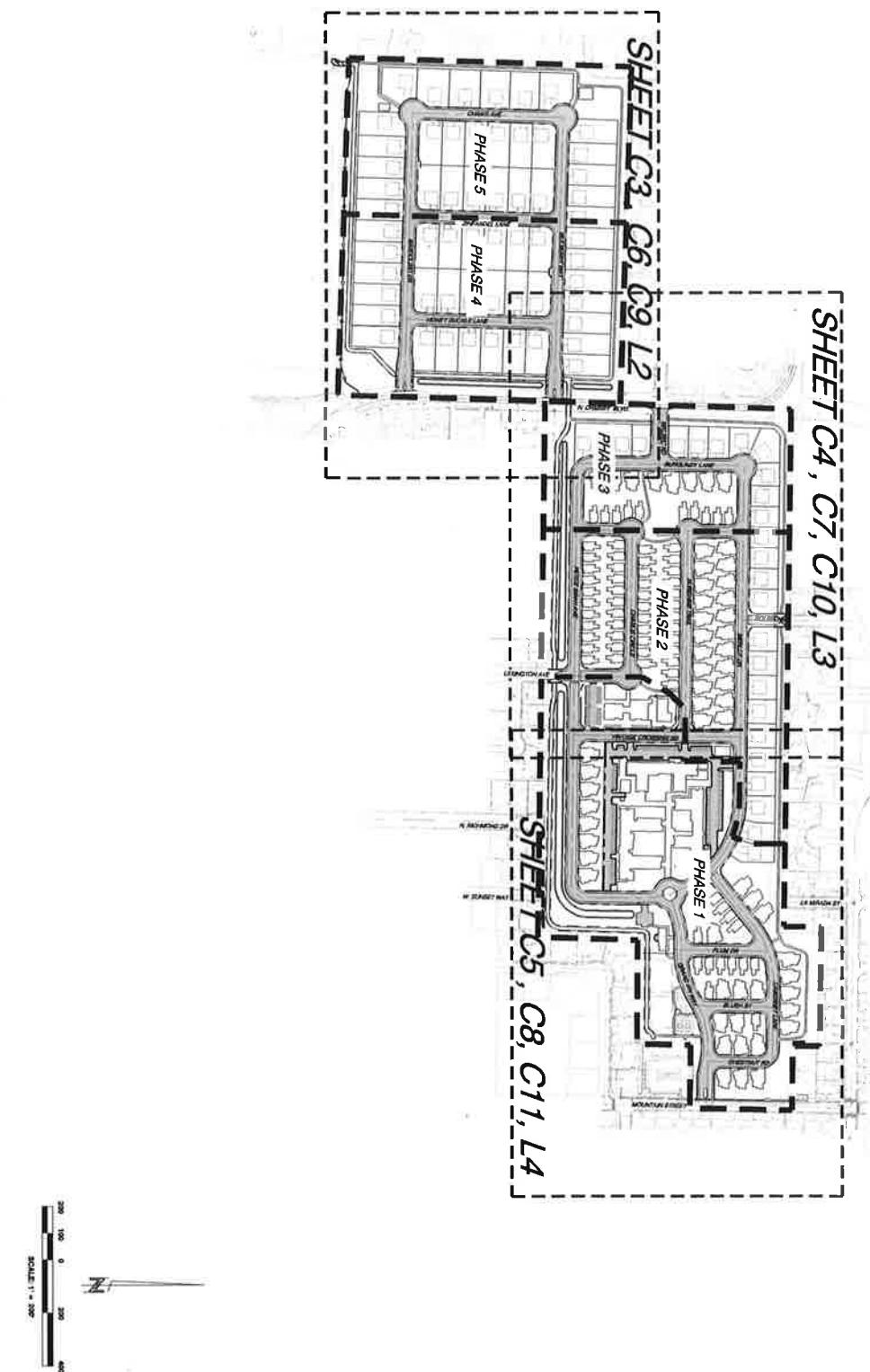
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- c) The assisted/independent living facilities shall be required to submit a lighting and security plan to the Sheriff's Department for review and approval.

3.10 Schools

As an age-restricted community, Vintage at Kings Canyon will have no impact on schools.

3. *Am. 4147100* = the range of *Am. 4147100* in 1942 to 1944, and earlier add. 1942-1944.



DATE	AUGUST 2016	
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DESIGNED BY	RB	
CHECKED BY:	TR	
JOB NO	B847.000	

TENTATIVE MAP

THE VINTAGE AT KINGS CANYON, LLP
THE VINTAGE AT KINGS CANYON
TENTATIVE MAP
INDEX SHEET

CARSON CITY

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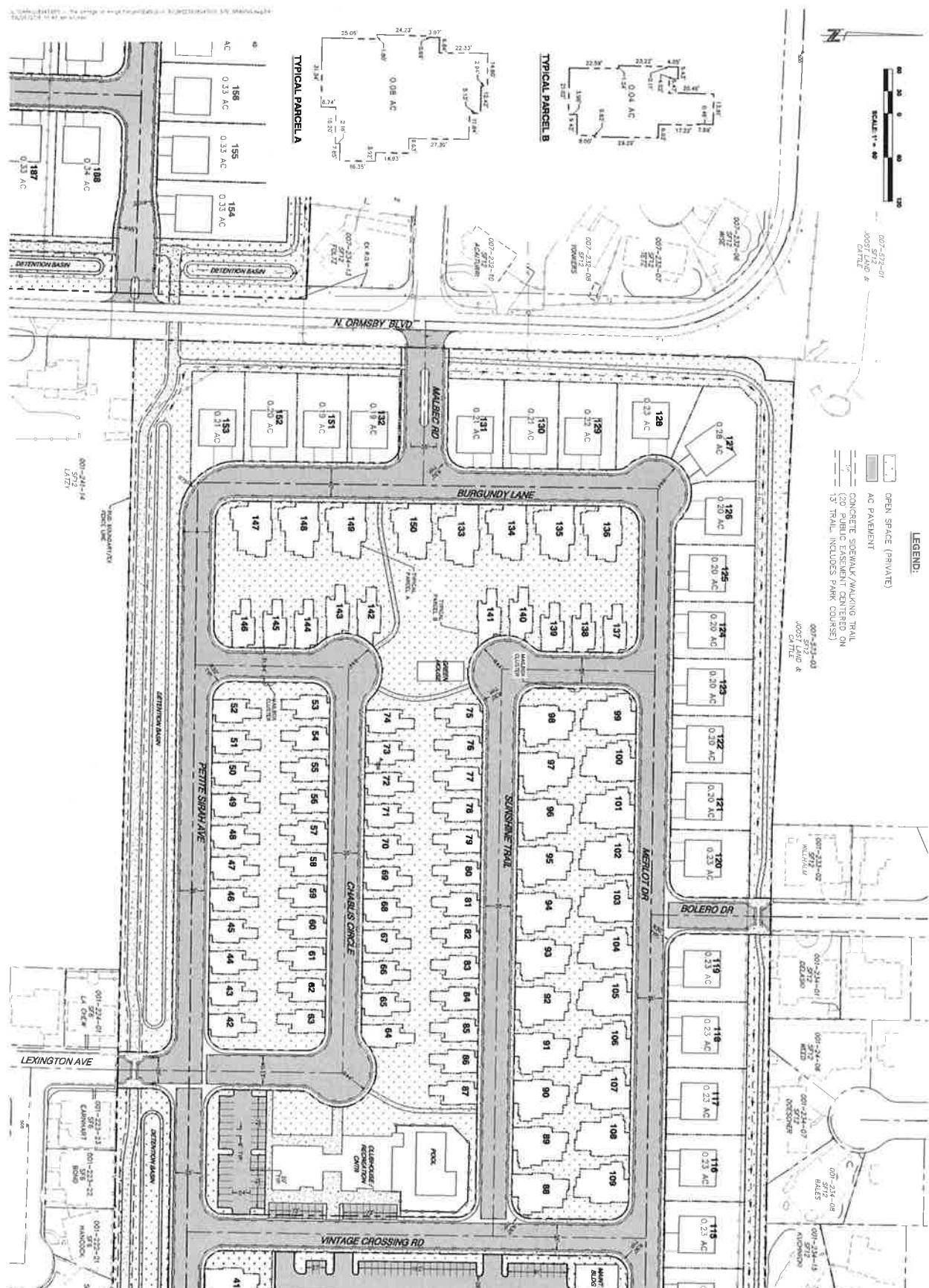
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TENTATIVE MAP

TENTATIVE MAP

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VINTAGE AT KINGS CANYON
TENTATIVE MAP
SITE PLAN, EAST

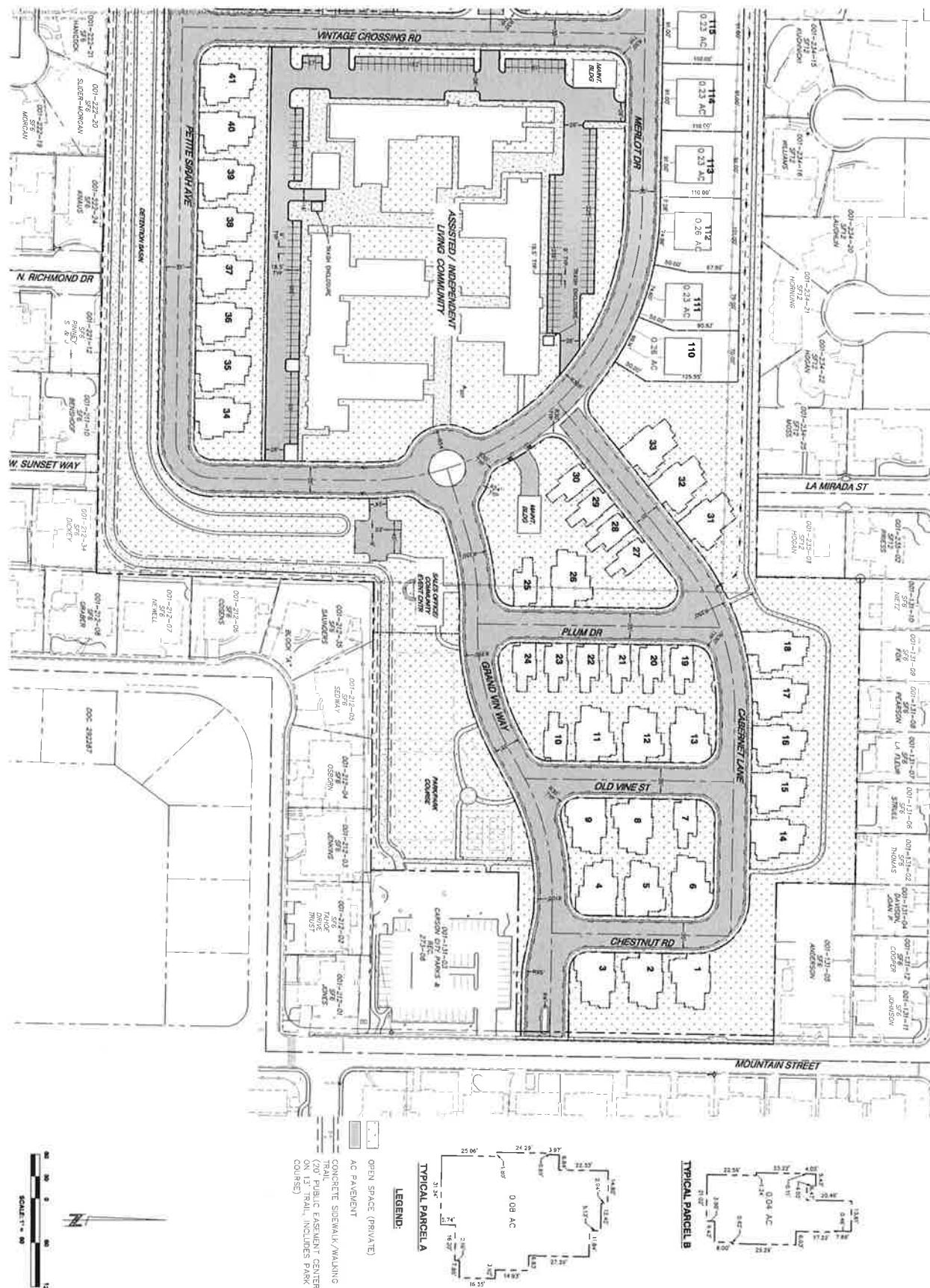
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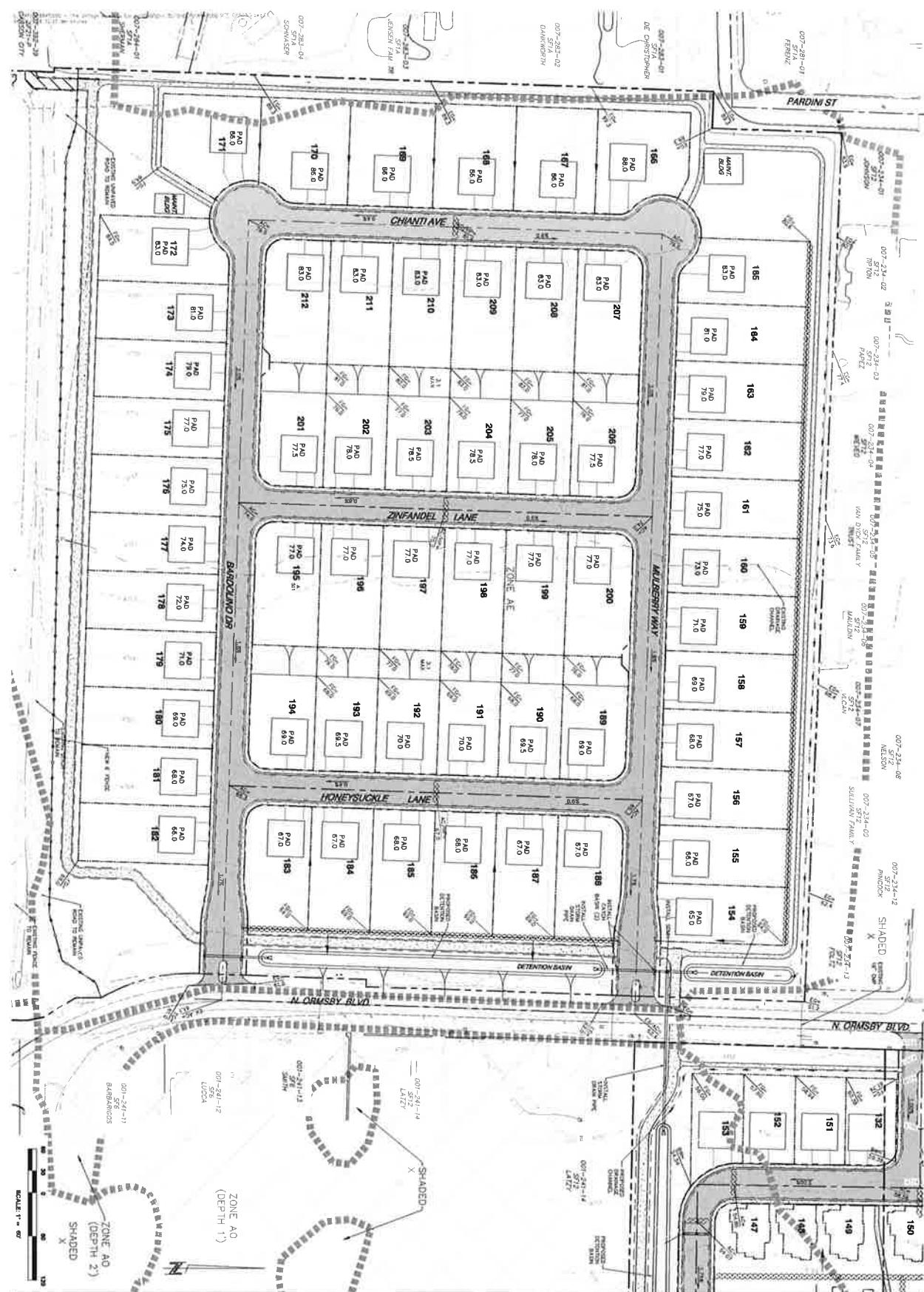
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ASSOCIATES
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FAX (702) 885-7114

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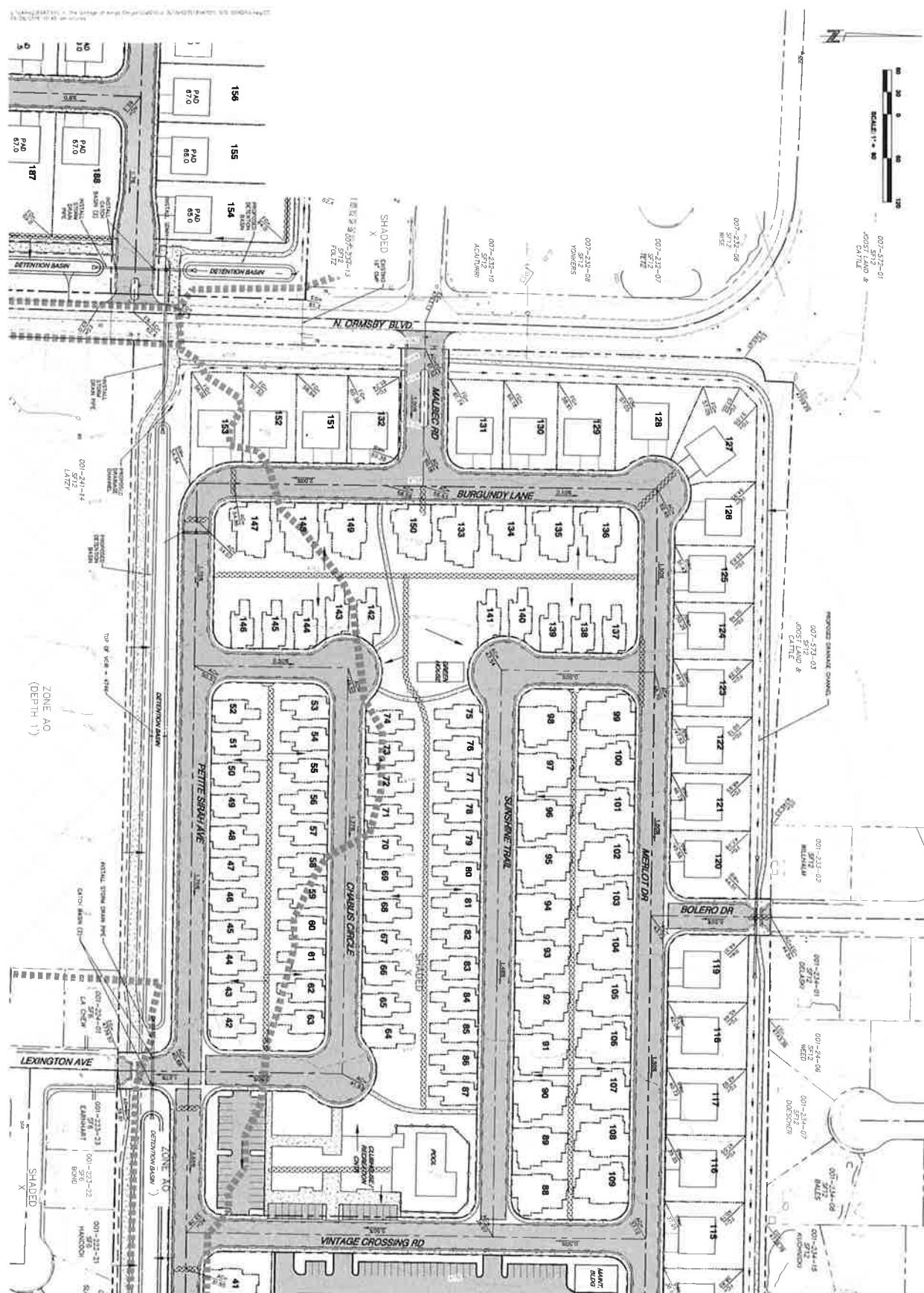
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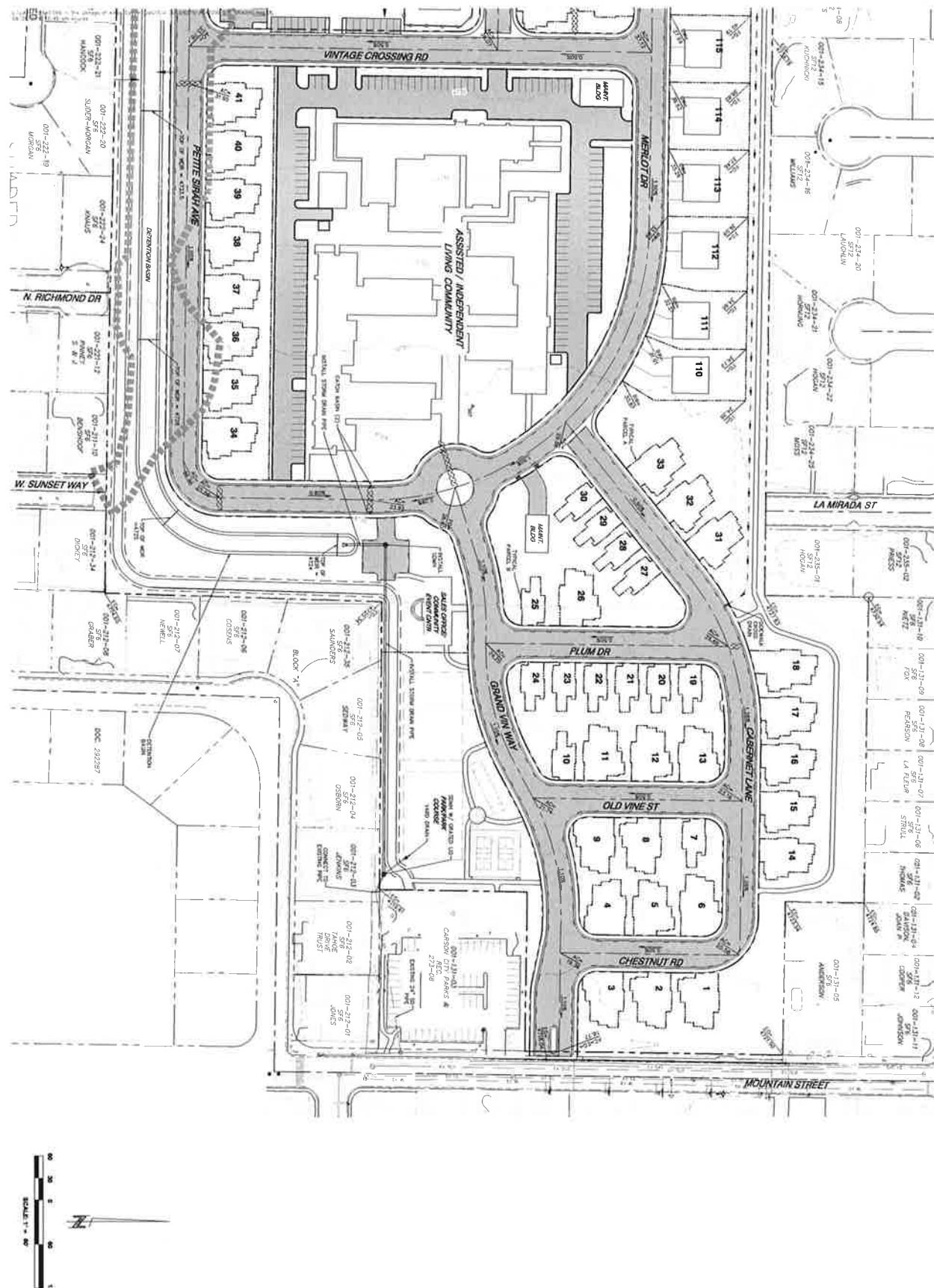
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TENTATIVE MAP
GRADING PLAN -EAST

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ASSOCIATES
A
800 EAST COLLEGE PARKWAY
CARSON CITY, NEVADA 89706
TEL (775) 884-7096
FAX (775) 884-7114
WWW.LUMOS.COM



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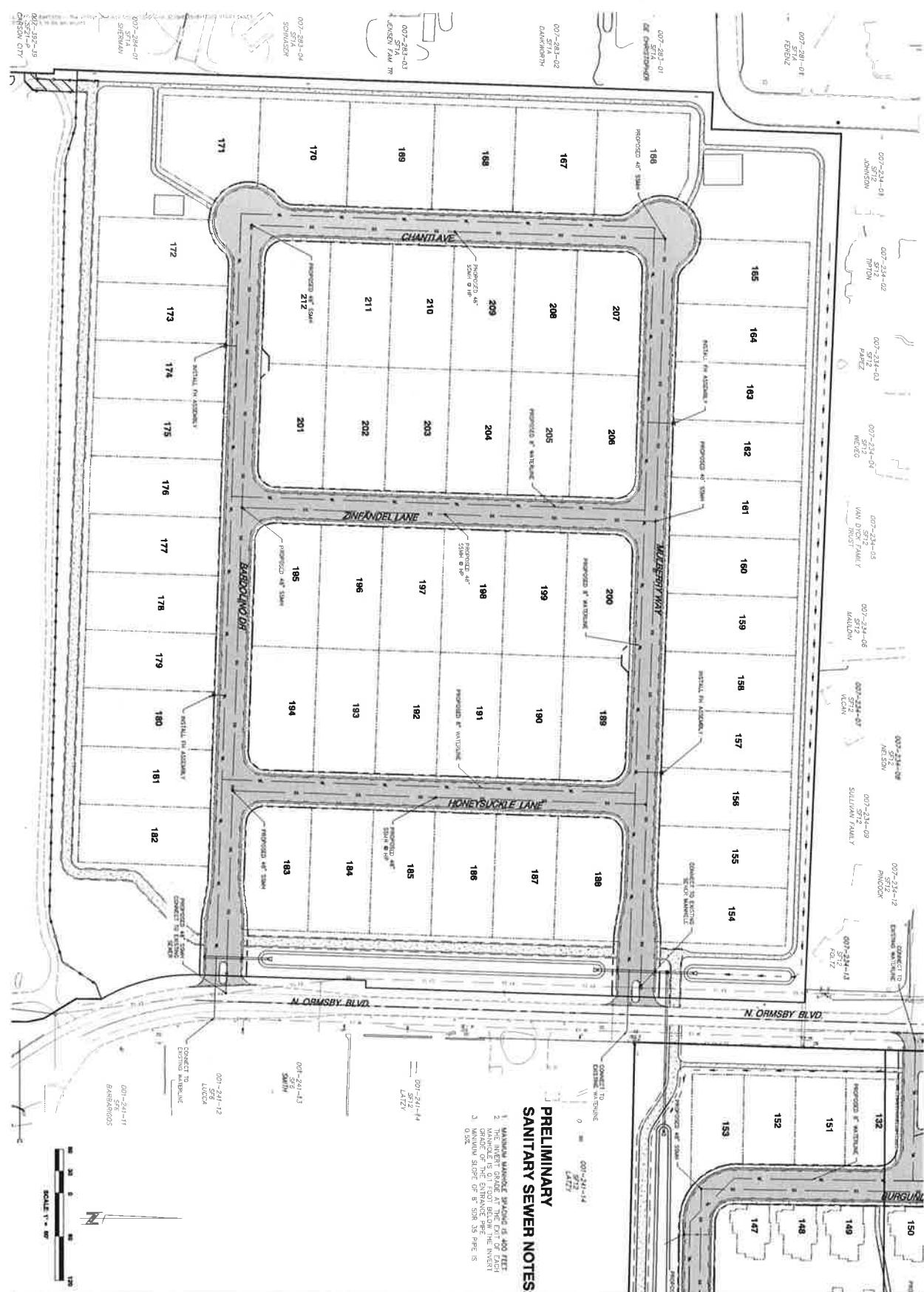
THE VINTAGE AT KINGS CANYON
TENTATIVE MAP
GRADING PLAN - EAST

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PRELIMINARY SANITARY SEWER NOTES

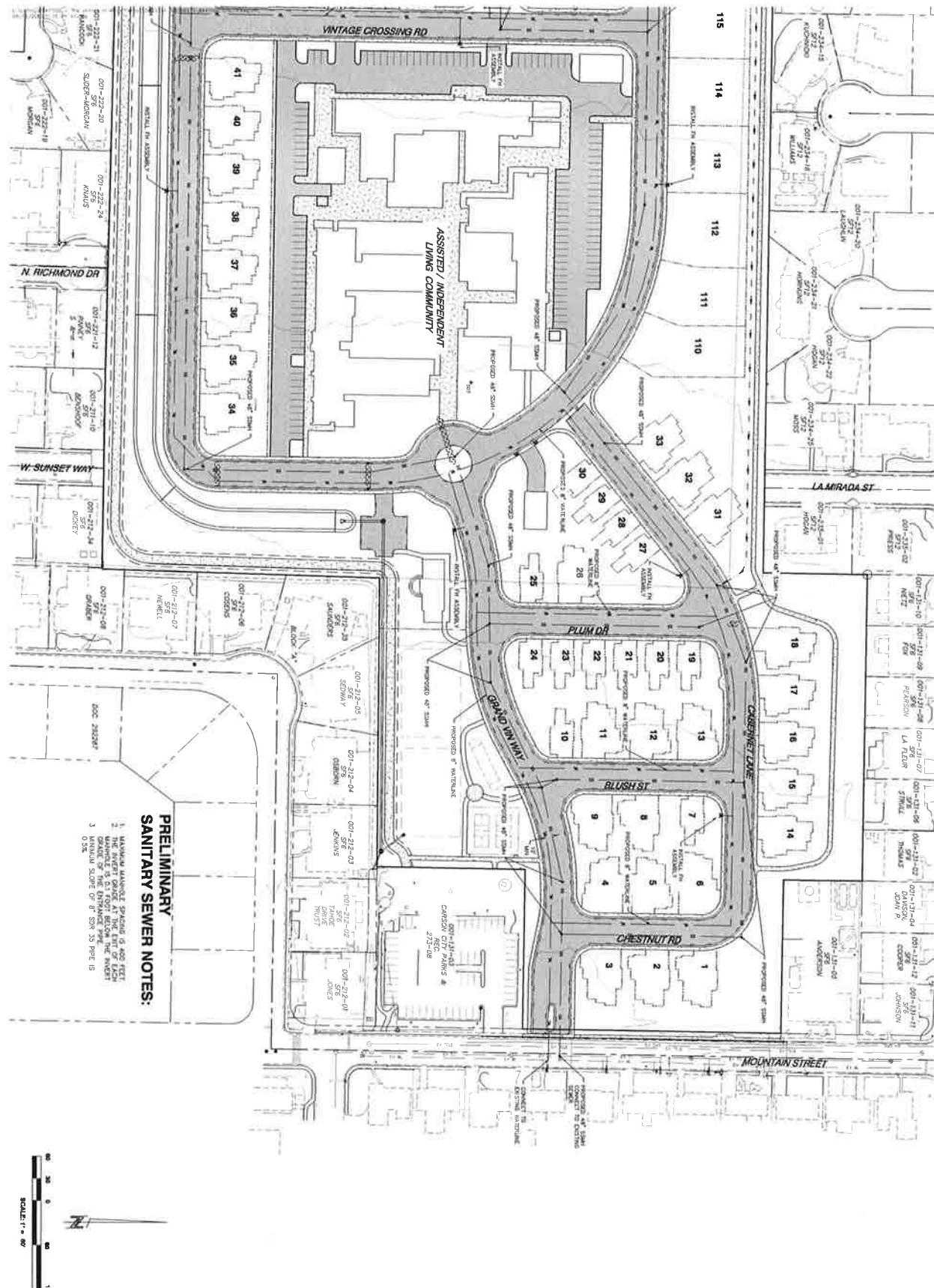
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TENTATIVE MAP
UTILITY PLAN - WEST

TENTATIVE MAP

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TYPICAL FENCE EXAMPLES:
(FINAL DESIGN MAY VARY SLIGHTLY)



8 FT. HT. METAL FENCE WITH PILASTERS



6 FT. HT. METAL FENCE



6 FT. HT. METAL FENCE

LANDSCAPE PLANT LEGEND:

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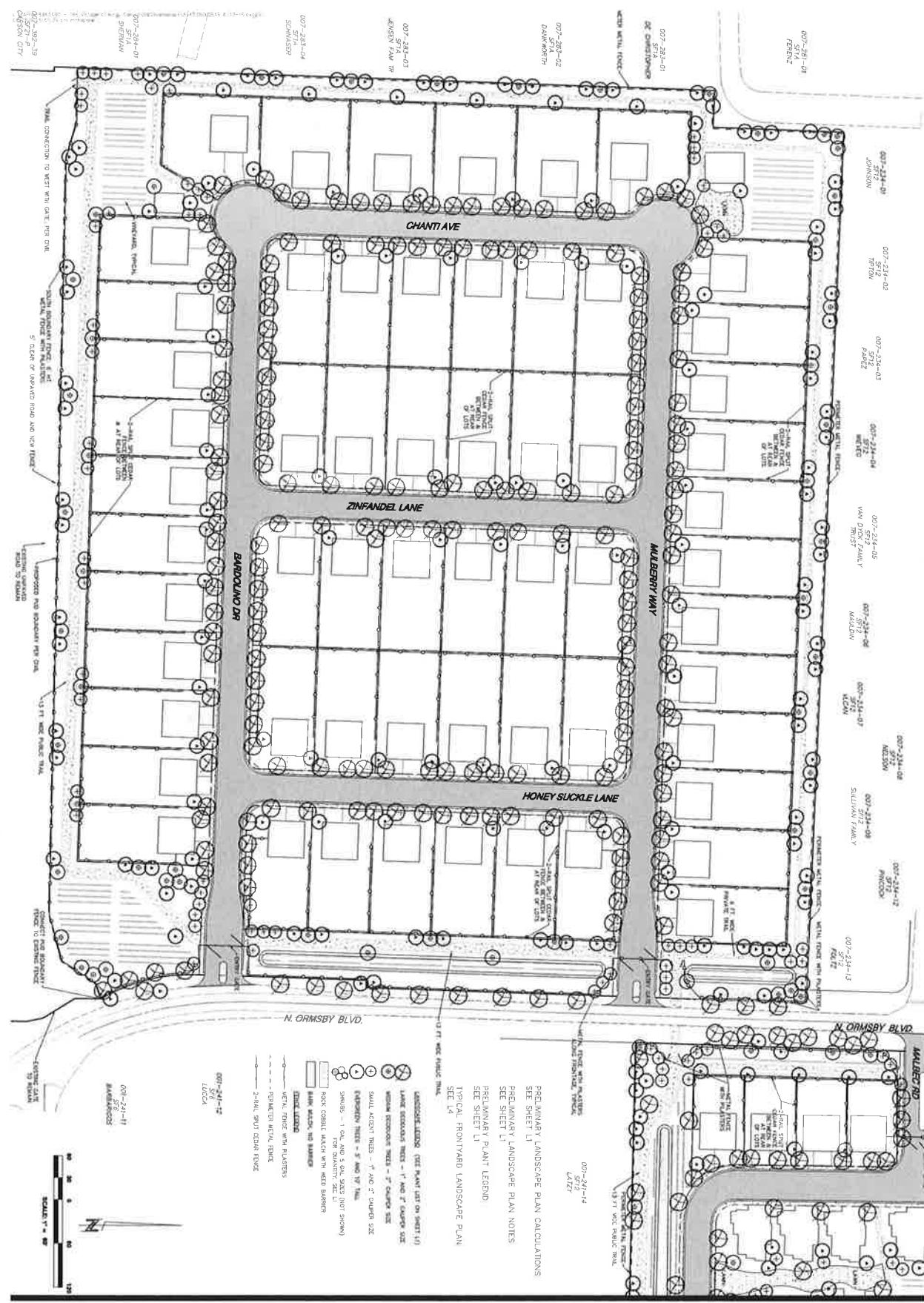
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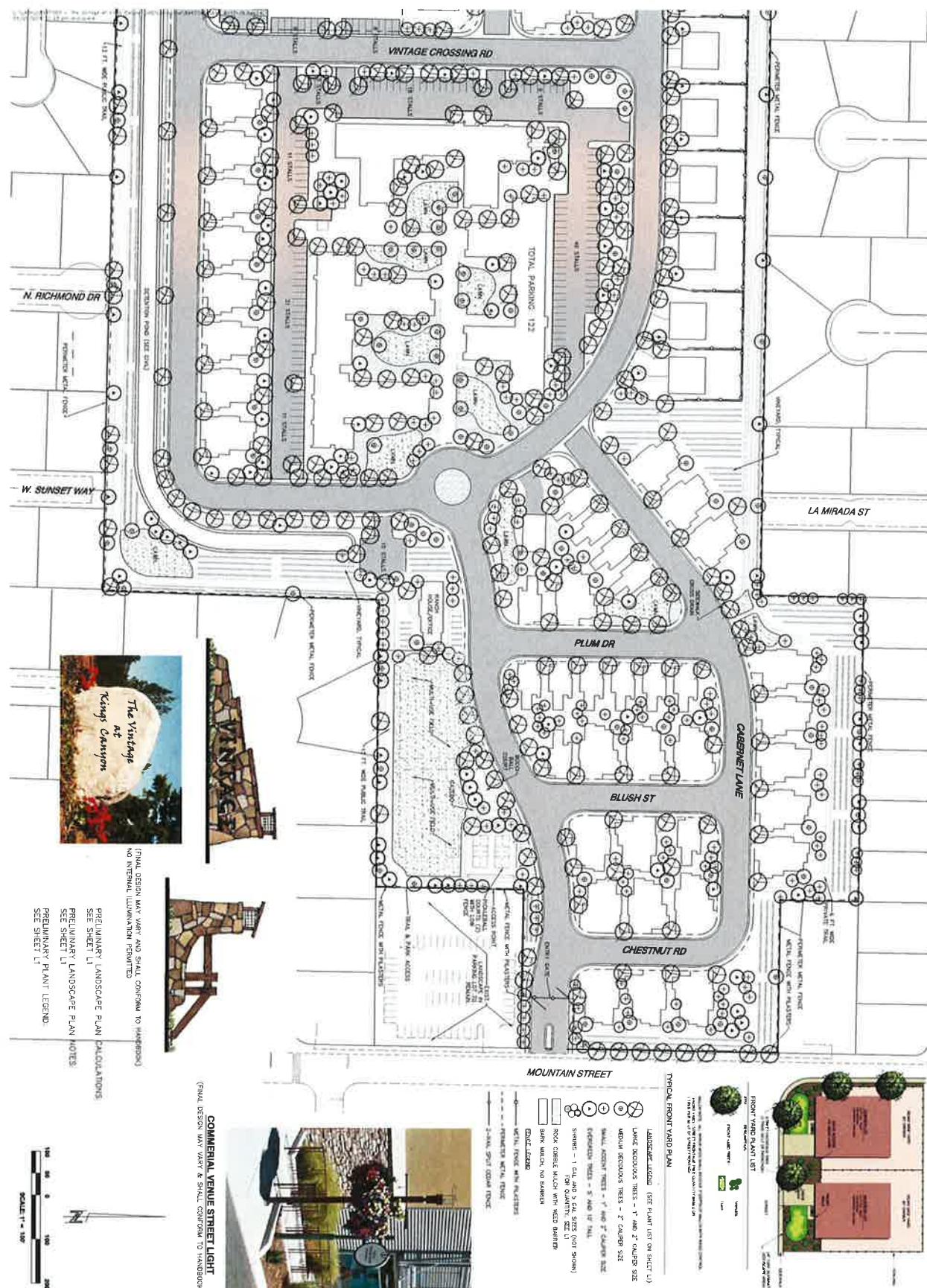
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THE VINTAGE AT KINGS CANYON
TENTATIVE MAP
LANDSCAPE PLAN-WEST

NEVADA

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THE VINTAGE AT KINGS CANYON TENTATIVE MAP LANDSCAPE PLAN - EAST

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LUMOS
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680 EAST COLLEGE PARKWAY
TANSON CITY, NEVADA 89121
FAX: (775) 882-2714
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