

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF JUNE 27, 2018

FILE NO: SUP-18-083

AGENDA ITEM: E-2

STAFF CONTACT: Hope Sullivan, Planning Manager

AGENDA TITLE: For Possible Action: To consider a request for a Special Use Permit for a 11,407 square feet expansion to Fremont Elementary School on property zoned Public, located at 1511 Fire Box Road, APN 010-041-30.

STAFF SUMMARY: The proposed improvements will expand each of the three wings in the rear of the building, resulting in eight additional classrooms, restrooms, a mechanical room, storage rooms, and offices. The three building wings are proposed to be connected with a covered walkway. As the property is zoned Public, the proposed improvements are subject to a Special Use Permit.

RECOMMENDED MOTION: I move to approve SUP-18-083, a request for a Special Use Permit for a 11,407 square foot expansion to Fremont Elementary School on property zoned Public, located at 1511 Fire Box Road, APN 010-041-30, based on the findings and subject to the conditions of approval contained in the staff report.”

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one year extension of time may be requested in writing to the Planning Division thirty days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.
5. Any new exterior lighting shall be directed downward, not outward or upward, and shall be installed to prevent spillover lighting onto adjoining properties and glare to the sky. The height of new light standards, light poles and wall pack lighting when adjacent to residential zones is limited. All new exterior lighting shall comply with the requirements listed in Development Standards Division 1.3 Lighting Standards.
6. Provide documentation that the landscaping on site meets a minimum of 40% of the landscape requirements for the entire site, or provide plans to install landscaping in compliance with Development Standards Division 3 Landscaping to bring the amount of landscaping on-site up to the minimum required.
7. All construction and improvements must meet the requirements of Carson City Standard Details.
8. The project must comply with the adopted 2012 International Fire Code (IFC) and Northern Nevada Fire Code Amendments as adopted by Carson City.
9. A water main analysis must be performed to show the ability of existing mains to supply domestic water and fire water at necessary flow rates. If existing infrastructure is incapable of supplying required fire or domestic water flows, improvements must be made with the project to ensure that these flows are achieved.
10. Backflow preventers are required for both the domestic and the fire water lines. If none currently exist they must be installed above ground in a hot box as close to the property line as possible.
11. The additions that touch the FEMA AH flood zone must be designed and built to have a finish floor elevation that is two feet higher than the base flood elevation.
12. Prior to the issuance of any permits to improve City land, the applicant must obtain written verification from the City's Real Property Manager that the improvements are consistent with the interlocal agreement, thus permitted by the City as the property

owner.

LEGAL REQUIREMENTS: CCMC 18.02.080 Special Use Permits and CCMC 18.04.170 Public

MASTER PLAN DESIGNATION: Public/Quasi-Public (P/QP)

PRESENT ZONING: Public (P)

KEY ISSUES: Will the proposed expansion of the existing school be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Multi-Family Duplex-Planned Unit Development (MFD-P)/duplexes

EAST: Agricultural (A) and Public Community (PC)/ Agricultural and Linear Park

WEST: Mobile Home 6000 (MH6)/ Mobilehomes

SOUTH: Public Community (PC) / Linear Park

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: AH (100 year flood plain)

EARTHQUAKE FAULT: Zone I, Severe

SLOPE/DRAINAGE: The site is flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 7.27 acres

SETBACKS: In the PC zoning district, building setbacks are determined by Special Use Permit. The proposed building additions are in excess of 50 feet from the property line.

STRUCTURE SIZE: The existing structure is 59,035 square feet. The expansion will increase the square footage by 11,407 square feet.

STRUCTURE HEIGHT: Expansion area will have a maximum height of 20 feet

PARKING: 124 spaces

VARIANCES REQUESTED: none

PREVIOUS REVIEW:

SUP-16-018: Signage

MPR-12-017: Parking improvements

U-98/99-50: Signage

U-97/98-67: Portable classroom

U-97/98-54: Utility expansion

U-91/92-10: Replace school

DISCUSSION:

A Special Use Permit for the proposed project is required for the following reasons:

Title 18.04.180 Public Community (PC). All uses in the Public District require approval of a Special Use Permit. All public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the Special Use Permit.

The applicant is seeking to expand an existing 59,035 square foot elementary school. The

expansion will be in the form of three additions to the three rear wings of the existing building, totaling an addition of 11,407 square feet. The additions will include eight classrooms, restrooms, a mechanical room, storage rooms, and offices. The three wings will be connected with a covered walkway. There are currently 550 students attending this school. With the addition, the school will be able to accommodate 650 students. There are currently 65 total employees at the school. With the increased capacity associated with the addition, there will be a total of 74 employees. As part of the proposal, outdoor play areas will also be modified. Noteworthy is there are currently school outdoor play improvements on the City's land, and a new turf area is proposed on the City's land. This is due to an interlocal joint use agreement between the school district and Carson City. Staff is proposing a condition of approval that prior to the issuance of any permits to improve City land, the applicant obtain written verification from the City's Real Property Manager that the improvements are consistent with the interlocal agreement, thus permitted by the City as the property owner.

An additional level of review is the current landscaping on the site. As the building expansion is proposed at more than 10% but less than 20% of the building, a review is required regarding the amount of landscaping on the site. A recommended condition of approval is a review of the amount of landscaping on the site to verify the current landscaping meets the minimum requirement of 40% of the landscaping requirements for the entire site. If the site does not meet this minimum standard, the applicant will need to provide and install landscaping which meets all the conditions and requirements of Development Standards Division 3 Landscaping during the building permit submission.

PUBLIC COMMENTS: Public notices were mailed to 128 property owners within a minimum 600 feet of the subject site on June 8, 2018. As of the writing of this report, no comments in support or opposition of the request have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various City departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Division: No comments received

Fire Department:

1. The project must comply with the adopted 2012 International Fire Code (IFC) and Northern Nevada Fire Code Amendments as adopted by Carson City.
2. For information only, the project must extend fire sprinkler and fire alarm coverage into additions.

Engineering Division:

1. A water main analysis must be performed to show the ability of existing mains to supply domestic water and fire water at necessary flow rates. If existing infrastructure is incapable of supplying required fire or domestic water flows, improvements must be made with the project to ensure that these flows are achieved.
2. Backflow preventers are required for both the domestic and the fire water lines. If none currently exist they must be installed above ground in a hot box as close to the property line as possible.
3. The additions that touch the FEMA AH flood zone must be designed and built to have a finish floor elevation that is two feet higher than the base flood elevation.

Environmental Control: No concerns

Parks: No concerns

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the objectives of the Master Plan elements*

The proposed project is consistent with the following applicable goal of the Master Plan:

Goal 1.5d – Coordination of Services. The City shall coordinate with internal service departments as well as other governmental organizations, such as the School District, that provide services to residents, to ensure that existing and new neighborhoods have adequate services and school sites.

The proposed Special Use Permit is a coordination between the City and the Carson City School District to improve the facilities at the Fremont Elementary School.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

The proposed expansion will not be detrimental to the use, peaceful enjoyment, economic value or development of surrounding properties. The subject property is bounded on two sides by streets (Saliman Road and Firebox Road), on one side by the City's linear park (a recreational facility), and on the fourth side by an agricultural use. In general, the use will function as it does today, with minor modifications to outdoor play areas.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

No changes to points of access are proposed. Therefore, the pattern of vehicular and pedestrian traffic will remain the same. The City's Engineering staff finds that the existing infrastructure is sufficient to provide safe access and circulation.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The City's Engineering staff finds that the existing sewer and storm drain infrastructure is sufficient to provide service to the project. The staff is not certain that the existing water infrastructure is sufficient. Therefore, the staff is recommending a condition of approval that water main and sewer main analyses be submitted with the application for building permit to verify the adequacy of the system. If the existing infrastructure is incapable of supplying the required fire or domestic water flows, improvements must be made with the project to ensure that these flows are achieved. Furthermore, Engineering staff found the existing transportation infrastructure is sufficient.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The purpose of the Public zoning district is to achieve the following objectives:

- *To accommodate the wide range of public institutional and auxiliary uses which are established in response to the health, safety, cultural and welfare needs of the citizens of the City;*
- *To organize the assemblage of specific, nonprofit and profit public facilities into efficient functionally compatible, and attractively planned administrative centers in conformance with the Master Plan;*
- *To establish site plan approval for many uses thereby ensuring compatibility with adjacent, more restrictive zoning districts.*

Staff finds that the proposed school expansion is consistent with the objectives of the district.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The school has been in this location for at least 25 years, and enhances the neighborhood by providing a resource in the community. No detriment to the public health, safety, convenience and welfare is anticipated with the proposed expansion to the site. This modification will allow for increased capacity at the school, that will align with the residential growth in the community.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

The proposed expansion of the school will not result in material damage to other property in the vicinity. As described earlier, the school is bounded on two sides by streets, on one side by the City's Linear Park, and on the fourth side by an agricultural use. The expansion of the school will not adversely impact any of these uses.

Attachments:

Engineering Division comments
Fire Department comments
Application (SUP-18-083)

**Engineering Division
Planning Commission Report
File Number SUP-18-083**

TO: Hope Sullivan - Planning Department
FROM: Stephen Pottéy – Development Engineering Department
DATE: June 18, 2018

SUBJECT TITLE:

SUP-18-083 School Expansion at 1511 Fire Box Rd.

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- A water main analysis must be performed to show the ability of existing mains to supply domestic water and fire water at necessary flow rates. If existing infrastructure is incapable of supplying required fire or domestic water flows, improvements must be made with the project to ensure that these flows are achieved.
- Backflow preventers are required for both the domestic and the fire water lines. If none currently exist they must be installed above ground in a hot box as close to the property line as possible.
- The additions that touch the FEMA AH flood zone must be designed and built to have a finish floor elevation that is 2 feet higher than the base flood elevation.

DISCUSSION:

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure is sufficient to provide safe access and circulation.

Engineering Division
Planning Commission Report

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer and storm drain infrastructure appear to be sufficient to provide service to the project. However it is unclear whether or not the existing water infrastructure is sufficient. Water main and sewer main analyses will be required with the building permit per Carson City Development Standards. Some utility alignments will need to be altered as proposed in the plans provided.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department Comments

05/22/2018

SUP-18-083

1. Project must comply with the 2012 IFC and northern Nevada fire code amendments as adopted by Carson City
2. Info only-project must extend fire sprinkler and fire alarm coverage into additions.

Dave Ruben

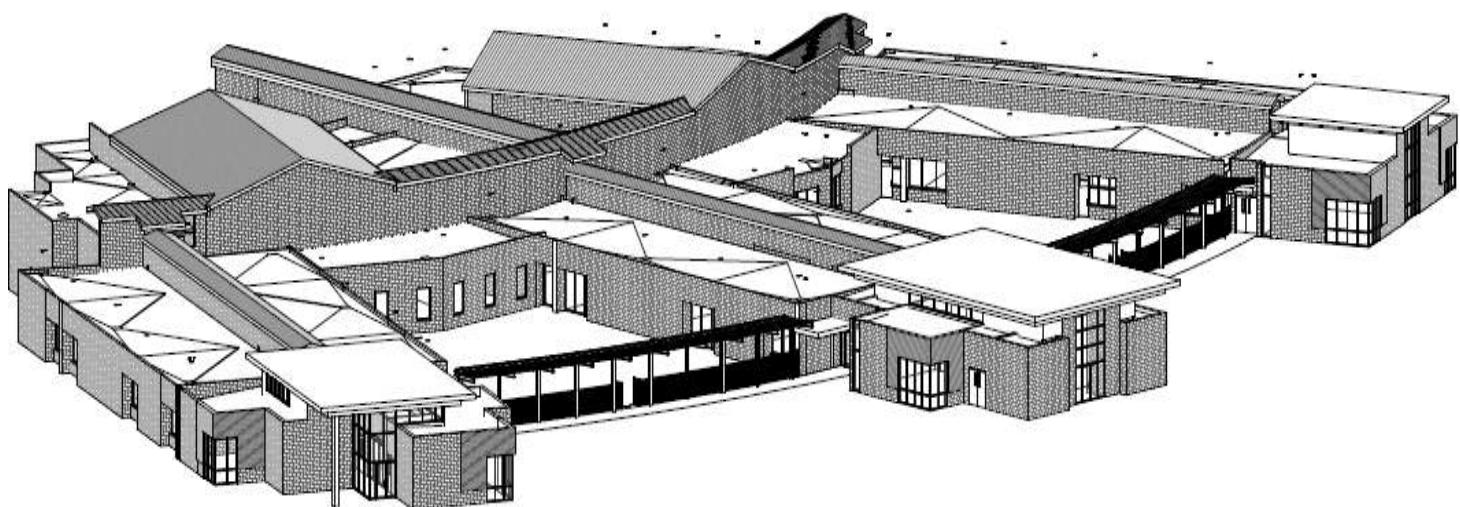
Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701

Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209

Carson City School District Fremont Elementary School Expansion

SPECIAL USE PERMIT

May 2018



Prepared For:



1402 West King Street Carson City, NV 89703

Prepared By:



241 Ridge Street, Suite 400 Reno, NV 89501

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APPENDICES

- SUP Application Form (includes Applicant's Acknowledgement)
- Master Plan Policy Checklist
- Documentation of Taxes Paid-to-Date
- Project Impact Reports
- Site Plan
- Building Elevations
- Floor Plans

PROJECT LOCATION

Fremont Elementary School is located at the southeast corner of S. Saliman Road and Fire Box Road, approximately 1/3 mile north of Fairview Drive; APN 010-041-30.

Figure 1: Project Location



EXISTING CONDITIONS

Fremont Elementary School is 59,035 sq. ft. and was constructed in 1992. There are currently +/- 550 students attending Fremont Elementary School in grades Pre-K through 5, along with 40 teachers/administrators and 25 support staff members. Office hours are 7:00 a.m. to 3:30 p.m.

Figure 2: Surrounding Property Designations

| Direction | Current Zoning | Master Plan | Current Land Use |
|---------------|---|---|--|
| North: | Multi-Family Duplex PUD (MFD-P) Agricultural (A) | High Density Residential Mixed-Use Residential | Multi-Family Residential (Duplex) Undeveloped |
| East: | Agricultural (A) Public Community (PC) | Mixed-Use Residential Parks and Recreation | Undeveloped |
| South: | Public Community (PC) | Parks and Recreation | Single Family Residential |
| West: | Mobilehome-6,000 (MH6) | Medium Density Residential | Single Family Residential |

MASTER PLAN AND ZONING DESIGNATIONS

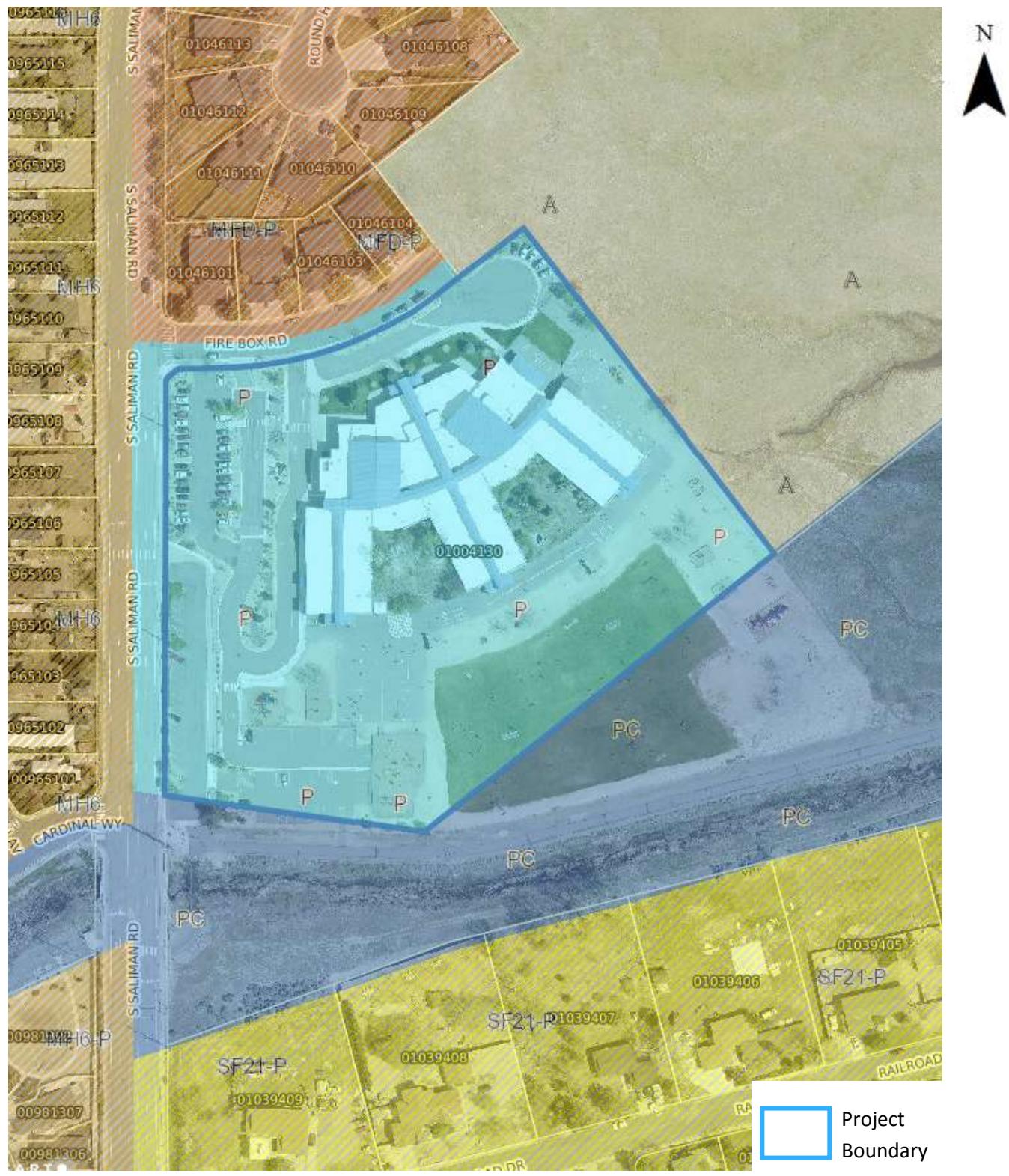
The project site has a Master Plan designation of Public/Quasi Public and a zoning designation of Public (P). A school is a conditional use which requires a Special Use Permit in the Public zoning designation (Carson City Municipal Code Section 18.04.170).



Figure 3: Master Plan Designation



Figure 4: Zoning Designation



APPLICATION REQUEST

The enclosed application is for:

- 1. SPECIAL USE PERMIT for the expansion of Fremont Elementary School. A school is a conditional use in the Public (P) zoning designation (CCMC Section 18.04.170(3)).**

PROJECT DESCRIPTION AND JUSTIFICATION

The proposed expansion is intended to increase capacity, allowing for additional students based on anticipated growth. The project will also improve the aesthetics of the existing neighborhood and enhance safety on campus by allowing students to move between wings under a covered walkway.

The project includes an addition onto three wings of the building, totaling approximately 11,407 sq. ft., including 8 classrooms, restrooms, a mechanical room, storage rooms, and offices. Individual expansion areas at the end of each wing are 2,725 sq. ft., 4,610 sq. ft., and 4,071 sq. ft. The design will connect the three wings with a covered walkway. The expansion will result in +/- 36 (28 current plus 8 proposed) total brick-and-mortar classrooms, which would ultimately accommodate +/- 650 students. Underground utilities and certain playground features will be relocated to accommodate the expansion area. **Please note that the site plan, building elevations, and floor plans may change slightly due to final design.**

The adjacent parcel to the south of the school is owned by Carson City and is used as a recreation area. The school's existing turf area extends into the recreation area. As shown on the Site Plan, a portion of this area is identified as future turf area.



Figure 5: Site Plan

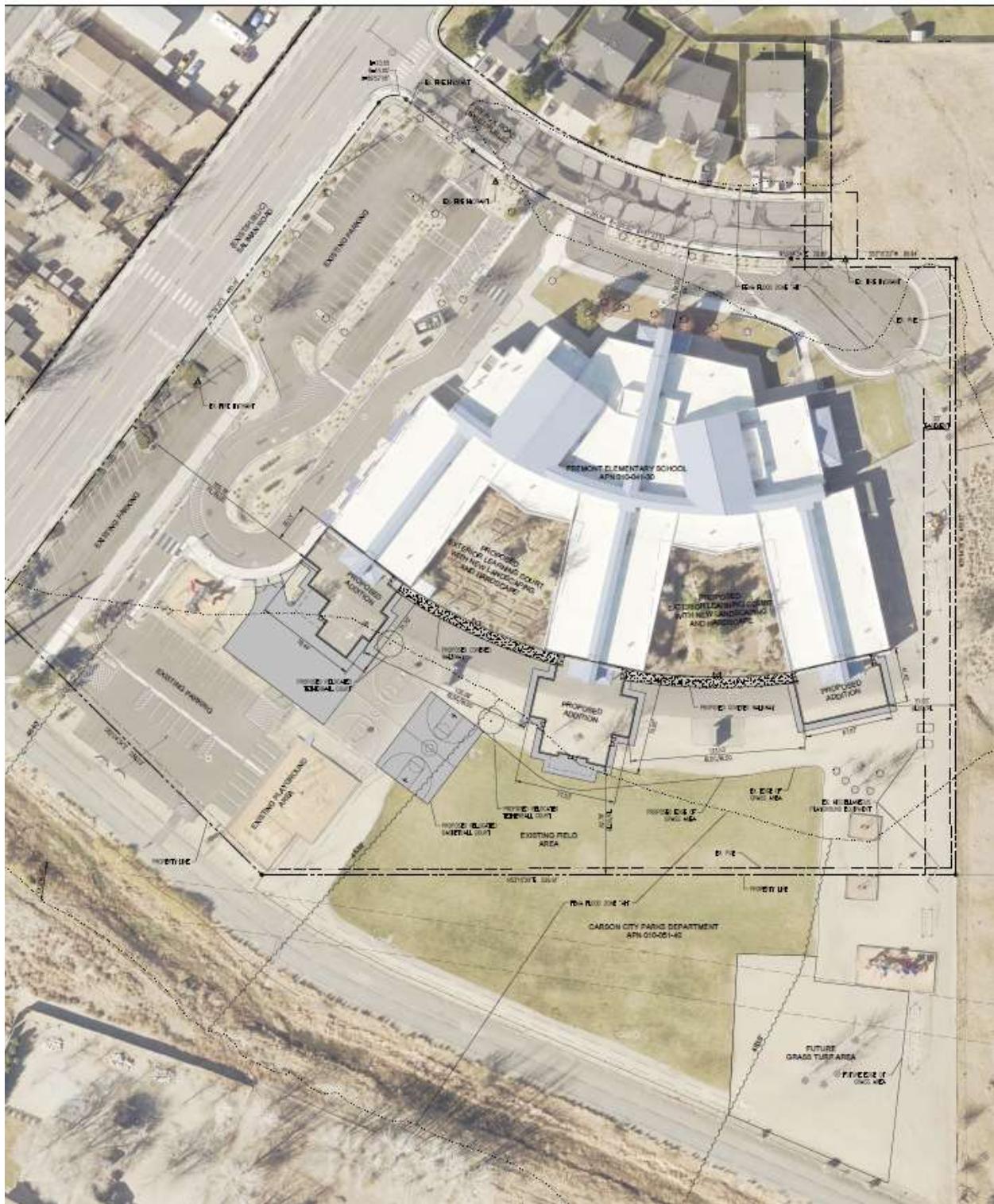


Figure 6: Building Elevations

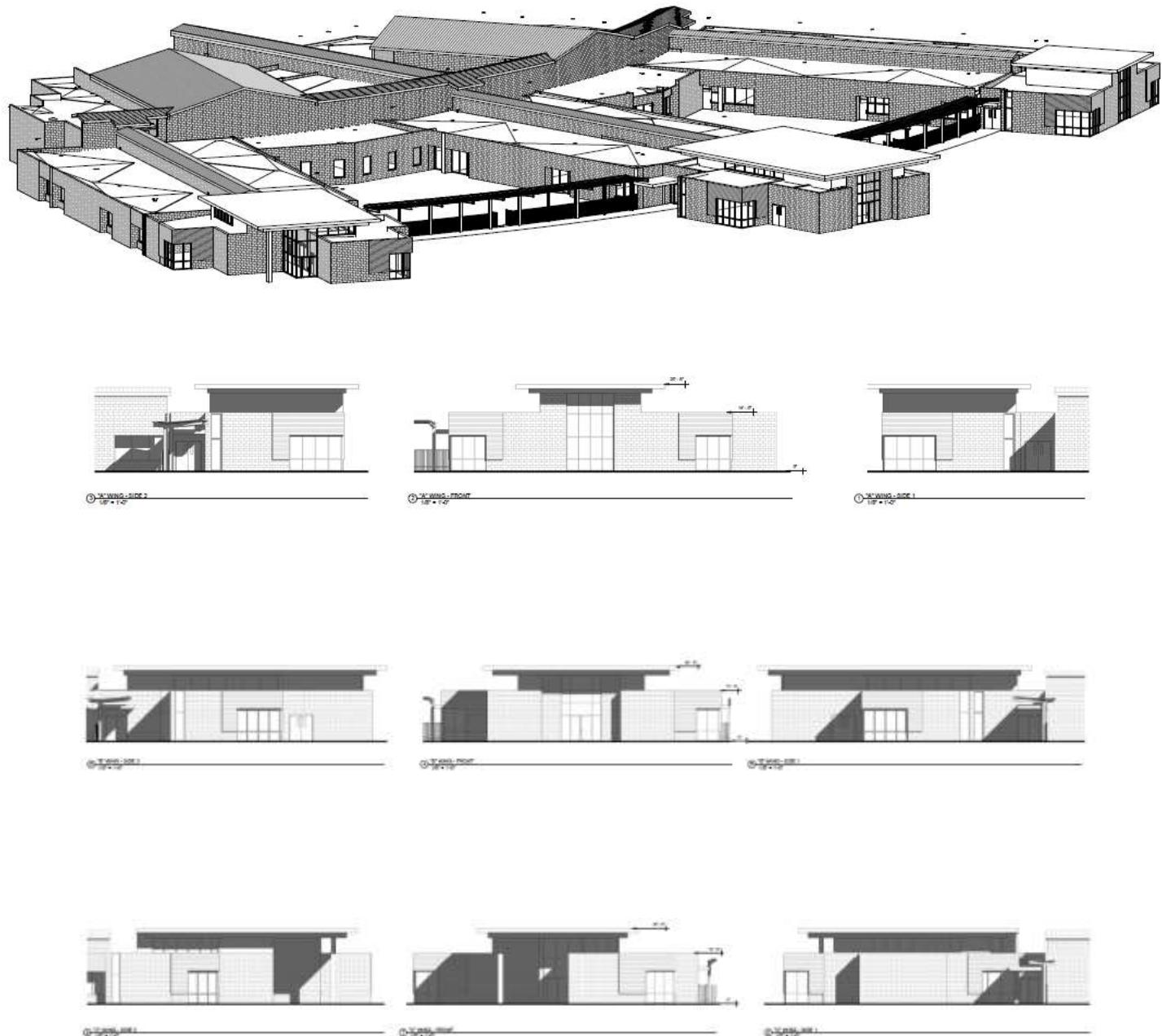
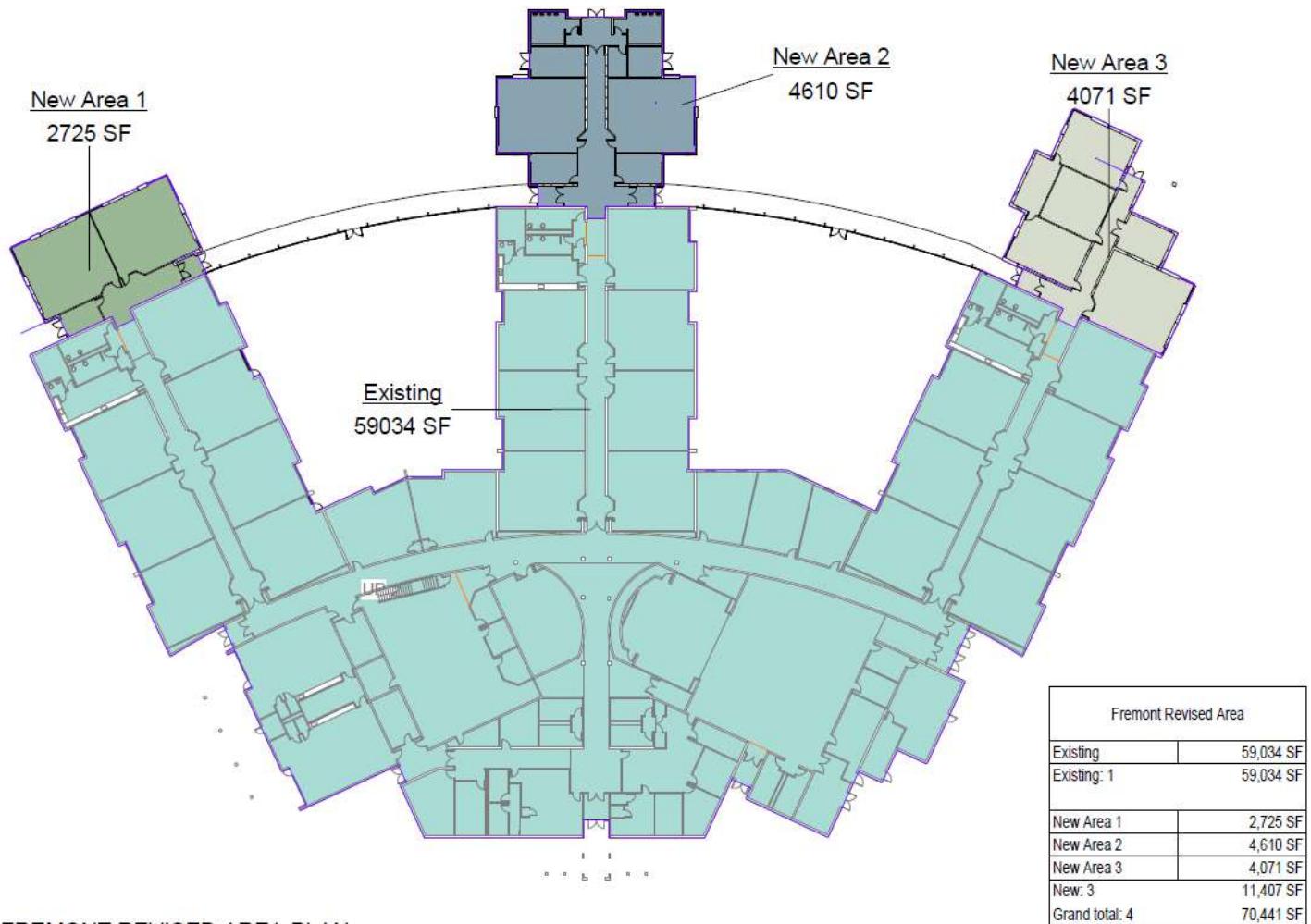
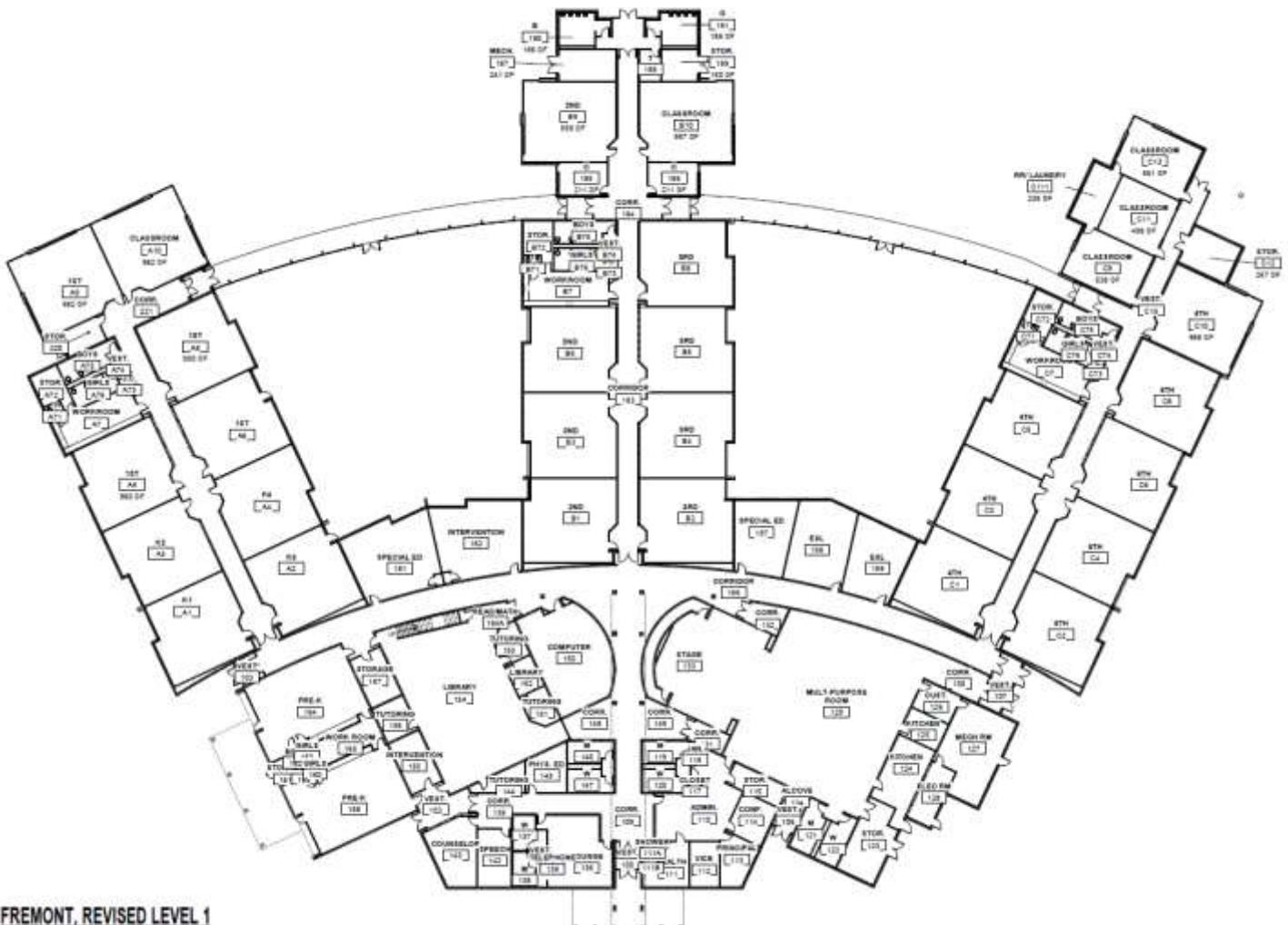


Figure 7: Floor Plans





Development Standards

The proposed expansion will not impact existing setbacks because the expansion area is towards the back of the site.

The Carson City Municipal Code does not set development standards in the Public zoning district (Section 18.04.195). Building height, building setbacks, minimum area, and maximum lot depth are determined by special use permit. The following development standards are based on existing structures constructed at the school site:

Building Height:..... 40 ft. (Please note that current building elevations of the expansion area show a maximum height of 20 ft.)

Building Setbacks:

Front: +/- 63 ft. (existing building setback from Fire Box Road)

Side: +/- 51 ft. (proposed setback to expansion area)

Street Side:..... +/- 165 ft. (proposed setback to expansion area)

Rear:..... +/- 82' (proposed setback from expansion area to rear property line)

Lot Area:..... 7.27 acres (existing parcel size)

Maximum Lot Depth: +/- 559 ft. (deepest parcel of the parcel)

Parking

Staff and visitor parking is provided in three parking areas located along the west side of the school site (along S. Saliman Road). There are additional off-street parking areas at the end of the drop off lanes. The three parking lots and other off-street areas include 100 off-street spaces. Additionally, approximately 7 on-street parking spaces are available along the frontage of the school (school side only, Fire Box Road) and short-term parking is available for visitors in the driveway area at the front of the school. There is also a drop off/pick up area also at the front of the school.

For "Elementary and Junior High Schools", Carson City Municipal Code, Division 2, Parking and Loading, requires 1.5 spaces for each employee or faculty member plus 1 space for every 20 square feet of seating area in auditorium or assembly area (Section 2.2). Based on 48 faculty members (40 current teachers/administrators plus 8 teachers for proposed new classrooms) at the school, the total parking required would be 72 spaces. There is no dedicated auditorium with seating area. The 100 existing off-street parking spaces exceeds the required 72 spaces.

Landscaping

Public uses are required to comply with Division 3, Landscaping, of the Carson City Municipal Code. Landscaping is shown on the Site Plan. It is expected that the final Landscaping Plan will be reviewed with the improvement plans.

Utilities (Please see detailed Project Impact Statements included with this application)

Water- There is an existing 8" water line running east-west in Fire Box Road and remains the existing source of water for the existing elementary school and proposed expansion. There will be an increase in water usage (from 4,386 gpd to 5,226 gpd), which will be accommodated by the existing 2" service meter.



Sewer- There is an existing 8" sewer line running east-west in Fire Box Road and remains the existing sources of sewer for the existing elementary school and proposed expansion. There will be an increase in sewer overall, which will be accommodated by the existing 4" sewer lateral.

Drainage- The project is located on an existing school site. The additions will be located at the southern end of each existing wing. The addition will be located within the paved playground area. Because the new addition lies in an impervious drainage zone, the additional drainage will be mitigated by existing drainage patterns.

Geotechnical Investigation

A Geotechnical Investigation was completed for the Fremont Elementary School site in January 2018. The study was completed with a larger scope (18,266 sq. ft. addition instead of the proposed 11,407 sq. ft. addition included in this application). It was determined that the surface and near-surface soils within the school expansion project exhibits near-surface sandy lean clay and silt soils that will require proper preparation to support the proposed improvements.

FINDINGS

In accordance with Carson City Municipal Code Section 18.02.080, this project has been designed to consider the following:

Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

The expansion of Fremont Elementary School is consistent with the objectives of the Carson City Master Plan elements because it improves an existing public facility. The Master Plan Policy Checklist is included in this application package with additional information.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

The school use is existing in this location. The surrounding neighborhood is comprised of single family residential and multi-family residential (duplexes). The existing school use will be expanded by approximately 18 percent, based on building square footage and number of students (+/- 550 students currently to a maximum of +/- 650 students in the future). The



project will not have additional impact or be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood.

Any outdoor lighting installed on the exterior of the building will be shielded from neighboring property through height, placement, and wattage. Outdoor lighting will be indicated on improvement plans.

Landscaping will be installed in accordance with Carson City requirements. Landscape areas are shown on the Site Plan and will be reviewed with Improvement Plans.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The existing street network, sidewalks, and parking will accommodate the increase in use.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

As demonstrated in the Project Impact Reports, the project will not overburden existing public services and facilities. Fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements were reviewed during the 5/1/18 MPR meeting. Comments will be incorporated as appropriate in Improvement Plans to ensure that the facility does not overburden existing public services and facilities.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The expansion of Fremont Elementary School, part of the Carson City School District, meets the definition of a school as "an institution of learning which offers instruction in the several branches of learning required to be taught in public and private schools of the state of Nevada" (CCMC Section 18.03.010). A school is a conditional use in Public (P) zoning designation (CCMC Section 18.04.170(3)). The school use is existing in this location and the facility will be improved through this project.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Expanding the existing school facility will benefit the public health, safety, and welfare by providing an upgraded facility to Carson City School District students.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

The school is an existing use in the neighborhood. The improvements to the facilities will not result in material damage or prejudice to other property in the vicinity.



MASTER PLAN POLICY CHECKLIST

The purpose of the Master Plan Policy Checklist is to provide a list of answers that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to this SUP application. This project complies with the Master Plan and accomplishes the following objectives:

Chapter 3: A Balanced Land Use Pattern

1. N/A- the expansion of the existing school does not represent a level of growth. However, the location of the school is consistent with the Master Plan Land Use Map in location and density. (1.1a)
2. It promotes growth within areas already served by community water and wastewater facilities as it is already served by existing infrastructure. (1.1b)
3. It meets the provisions of the Growth Management Ordinance. (1.1d, Municipal Code 18.12)
4. The school facility is adequately served by city services including fire and sheriff services, and, as part of the School District, will serve to ensure adequate provision of schools in Carson City. (1.5d)
5. The existing school provides for a mix of uses in the neighborhood. (2.1a)
6. Friction Zones are not created. (2.1d)
7. The existing school facility is not located on a hillside. (3.2a)
8. Mitigation measures will be incorporated regarding floodplain development; the site is situated away from geologic hazards area. (3.3d,e)
9. Does not create land use conflicts; the existing school facility is situated in a neighborhood with single family residential and multi-family residential (duplexes).

Chapter 4: Equitable Distribution of Recreational Opportunities

1. The school facility does not create demand for new park facilities; the school provides additional recreational opportunities in the playground area. (4.1b)

Chapter 5: Economic Vitality

1. The school facility provides educational opportunities for the development and/or upgrade of skills required for employment, advancement, and entrepreneurship. (5.1e)
2. The school is a public service and facility necessary to sustain a high quality of life and attract business investment. (5.5e)
3. The school is an existing educational resource of the community that can be used as an economic development tool. (5.5g)

Chapter 6: Livable Neighborhoods and Activity Centers

1. Durable materials will be used in construction. (6.1a)
2. The project will promote variety and visual interest through the incorporation of building styles and colors, and other features in accordance with the Special Use Permit (6.1b).
3. The project will provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards. (6.1c)
4. It provides appropriate height, density, and setback transitions and connectivity to surrounding



development to ensure compatibility with surrounding development for infill project in accordance with the Carson City Municipal Code. (6.2a, 9.3b, 9.4a)

5. The proposed project is compatible with the surrounding development of residential homes. (9.1a)
6. The proposed project is not spot zoned. It is higher density residential development among other areas of residential and commercial development and is compatible with existing development.

Chapter 7 A Connected City

1. Sidewalks are already constructed around the school (S. Saliman Road and Fire Box Road) and through the parking areas. Sidewalks connecting the entrance with the surrounding neighborhood. (12.1a, 12.1c)



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108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # SUP - 18 -

| | |
|--|--------------|
| APPLICANT | PHONE # |
| Carson City School District | 775-283-2000 |
| MAILING ADDRESS, CITY, STATE, ZIP | |
| 1402 King Street, Carson City, NV 89703 | |
| EMAIL ADDRESS | |
| mjohnson@carson.k12.nv.us | |
| PROPERTY OWNER | PHONE # |
| same | |
| MAILING ADDRESS, CITY, STATE, ZIP | |
| EMAIL ADDRESS | |
| APPLICANT AGENT/REPRESENTATIVE | PHONE # |
| Manhard Consulting/ Karen Downs | 775-321-6538 |
| MAILING ADDRESS, CITY STATE, ZIP | |
| 3476 Executive Pointe Way, Carson City, NV 89706 | |
| EMAIL ADDRESS | |
| kdowns@manhard.com | |

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: **\$2,450.00 MAJOR**
\$2,200.00 MINOR (Residential
zoning districts)
+ noticing fee
*Due after application is deemed complete by staff

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

Application Form
Detailed Written Project Description
Site Plan
Building Elevation Drawings and Floor Plans
Special Use Permit Findings
Master Plan Policy Checklist
Applicant's Acknowledgment Statement
Documentation of Taxes Paid-to-Date
Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submittal Deadline: See attached Planning Commission application submittal schedule.

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

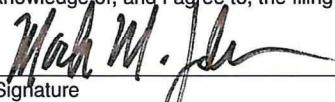
| | | |
|---|--------------------------------------|--|
| Project's Assessor Parcel Number(s): 010 001-041-30 | Street Address 1511 Fire Box Road | |
| Project's Master Plan Designation Public/Quasi-Public | Project's Current Zoning Public | Nearest Major Cross Street(s) S. Saliman Road |

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

Proposed project consists of a +/- 11,407 sq. ft. expension to Fremont Elementary School, along with any associated improvements.

PROPERTY OWNER'S AFFIDAVIT

I, Mark M. Johnson, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.



1402 King Street Carson City, NV 89703

May 7, 2018

Signature

Address

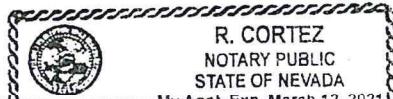
Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY

On May 7, 2018, Mark Johnson, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

R. Cortez
Notary Public



No. 05-10073-3 My Amt. Exp. March 12, 2021

NOTE: If your project is located within the Historic District or airport ~~area~~ may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

SITE PLAN CHECKLIST AND PROJECT IMPACT REPORTS

SITE PLAN: The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded. The site plan shall include the following information:

1. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:



2. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
3. Title block in lower right-hand corner including:
 - (a) Applicant's name, mailing address, and daytime phone number (including area code).
 - (b) The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
 - (c) The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - (d) Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - (e) Project title and permit request. (Example: Variance, Special Use Permit).
4. Property lines of the subject property with dimensions indicated.
5. All existing and proposed structures shall be shown, including:
 - (a) Distances from property lines indicated by dimensions.
 - (b) Distances between buildings shall be indicated on the site plan.
 - (c) Clearly label existing and proposed structures and uses, and show dimensions.
 - (d) Square footage of all existing and proposed structures.
 - (e) If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - (f) Elevations of any proposed structures/additions.
 - (g) All easements.
6. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
7. Project access:
 - (a) Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - (b) Show adjoining street names.
 - (c) Show all curb cuts with dimension.
8. Show the Assessor Parcel Number(s) of adjoining parcels.
9. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
10. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
11. If specific landscape areas are required or provided, show with dimensions.
12. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

PROJECT IMPACT REPORTS: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.

SPECIAL USE PERMIT APPLICATION FINDINGS

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Explanation:

- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.
- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

Explanation: A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?

B. How will your project affect police and fire protection?

C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Mark M. Johnson

Print Name

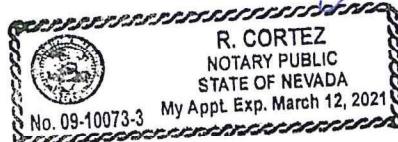
May 7, 2018

Date

State of Nevada, Carson City

Subscribed and Sworn before me on this 7th
day of May, 2018.

Notary Signature R. Cortez



Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Detailed Master Plan
Policy review in the
Project Description

Development Name: Fremont Elementary School Expansion

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
 - ☒ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)? in accordance with Carson City Municipal Code
 - ☒ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)? mitigation measures incorporated
 - ☒ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☒ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- ☒ Encourage the development of regional retail centers (5.2a)?
- ☒ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☒ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☒ Promote revitalization of the Downtown core (5.6a)?
- ☒ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☒ Use durable, long-lasting building materials (6.1a)?
- ☒ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☒ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☒ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☒ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☒ If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☒ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- N/A Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- N/A Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- N/A Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?



Project Impact Report- Water

The new Fremont Elementary School building expansion is located within the limits of the Carson City water system. The project site is bounded by Saliman Road on the west, Fire Box Road to the north, single-family residences to the south, and undeveloped private property to the east. There is an existing 8" water line running east-west in Fire Box Road and remains the existing source of water for the existing elementary school and the proposed expansion.

The future water demands consist of new fixtures contained within the estimated proposed building addition square footage of 11,406 sf. In order to calculate the impact to the existing water system, an inventory of the new fixtures is taken and converted to fixture units and gallons per day (gpd) of use. It is also relevant to compare the existing fixture count and square footage within the existing building to that of the proposed building addition in order to assess the relative increase of water use on the existing site. The number of fixture units is calculated using the uniform plumbing code as follows;

Fremont School Building (Existing)

Total Water Fixture Units (net): 365.5
Total Usage (gpd): 4,386 gpd

Fremont School Building Additions (New)

Total Water Fixture Units (net): 70
Total Usage (gpd): 840 gpd

Fremont School Building (New & Existing)

Total Water Fixture Units: 435.5
Total Usage: 5,226 gpd

The above tabulations show that the demands for the overall school has increased by 840 gpd increasing the total demand from 4,386 gpd to 5,226 gpd. This means that there is an increase in water usage overall. For the existing building, the existing service meter of 2", with not less than 2.5" building supply line, will accommodate the existing and new demands. The static pressure is not less than 45 psi.

Separately, fire flow is calculated based upon building square footage and type of building construction. Per the project architect, a Type IIIB construction is anticipated. For the new building additions comprising of 11,406 sf, the fire flow required is 2,250 gpm for 2 hours. If the full facility is constructed with connections to the existing building (59,034 SF) for a total of 70,440 sf, there will be an increase in fire flow required to 5,500 gpm for 4 hours. Both fire flow values may be mitigated with an approved automatic fire sprinkler system. With a sprinkler system, the quantities may be reduced by up to 50% per Section B105.2 of the International Fire Code. The minimum fire flow shall not be less than 2,750 gpm for 4 hours.

The proposed Fremont Elementary School expansion will include 8 new classrooms, new restrooms, mechanical room, storage rooms, and 2 new offices. In conclusion, per Thomas Grundy with the Carson City Public Works Department, the addition should not have a negative impact on the water system during day to day demands, however, he does not have a level of confidence that the system could provide the required fire flow for the 70,440 sf of Type IIIB construction with fire sprinklers and asked for a fire flow test to be performed on the existing water system.



Project Impact Report- Sewer

The new Fremont Elementary School building expansion is located within the limits of the Carson City sewer system. The project site is bounded by Saliman Road on the west, Fire Box Road on the North, and private property to the east and south. There is an existing 8" sewer line running east-west in Fire Box Road and remains the existing source of sewer for the existing elementary school and the proposed expansion.

The future sewer demands consist of new fixtures contained within the estimated proposed building square footage of 11,406 sf. In order to calculate impact to the existing sewer system, an inventory of the new fixtures is taken and converted to drainage fixture units and gallons per day (gpd) of use. It is also relevant to compare the existing fixture count and square footage within the existing building to assess the relative increase of sewer use on the existing site. The number of drainage fixture units is calculated using the uniform plumbing code as follows;

Fremont School Building (Existing)

Total Water Fixture Units (net): 364

Total Usage (gpd): 4,368 gpd

Fremont School Building Additions (New)

Total Water Fixture Units (net): 58

Totals Usage (gpd): 696 gpd

Fremont School Building (New & Existing)

Total Water Fixture Units: 422

Total Usage: 5,064 gpd

In addition to fixture units, Carson City has adopted minimum calculations for sewer facilities with an office use. These minimum calculations are based upon per square foot floor area. Using this alternative methodology, the gallon per day calculations for each building are as follows;

Fremont School Building (Existing)

Square Footage: 59,034 SF

Total Usage (gpd): 7,084 gpd

Fremont School Building Additions (New)

Square Footage: 11,406 SF

Total Usage (gpd): 1,369 gpd

Fremont School Building (New & Existing)

Square Footage: 70,440 SF

Total Usage (gpd): 8,453 gpd

By comparison, the City calculations control the minimum gallons per day required for the project. The above tabulations show that demands among the existing building and the building additions. Together these calculations show that there is an increase in sewer overall. A four-inch sewer lateral will adequately cover the building demand required for the existing building and proposed building additions.



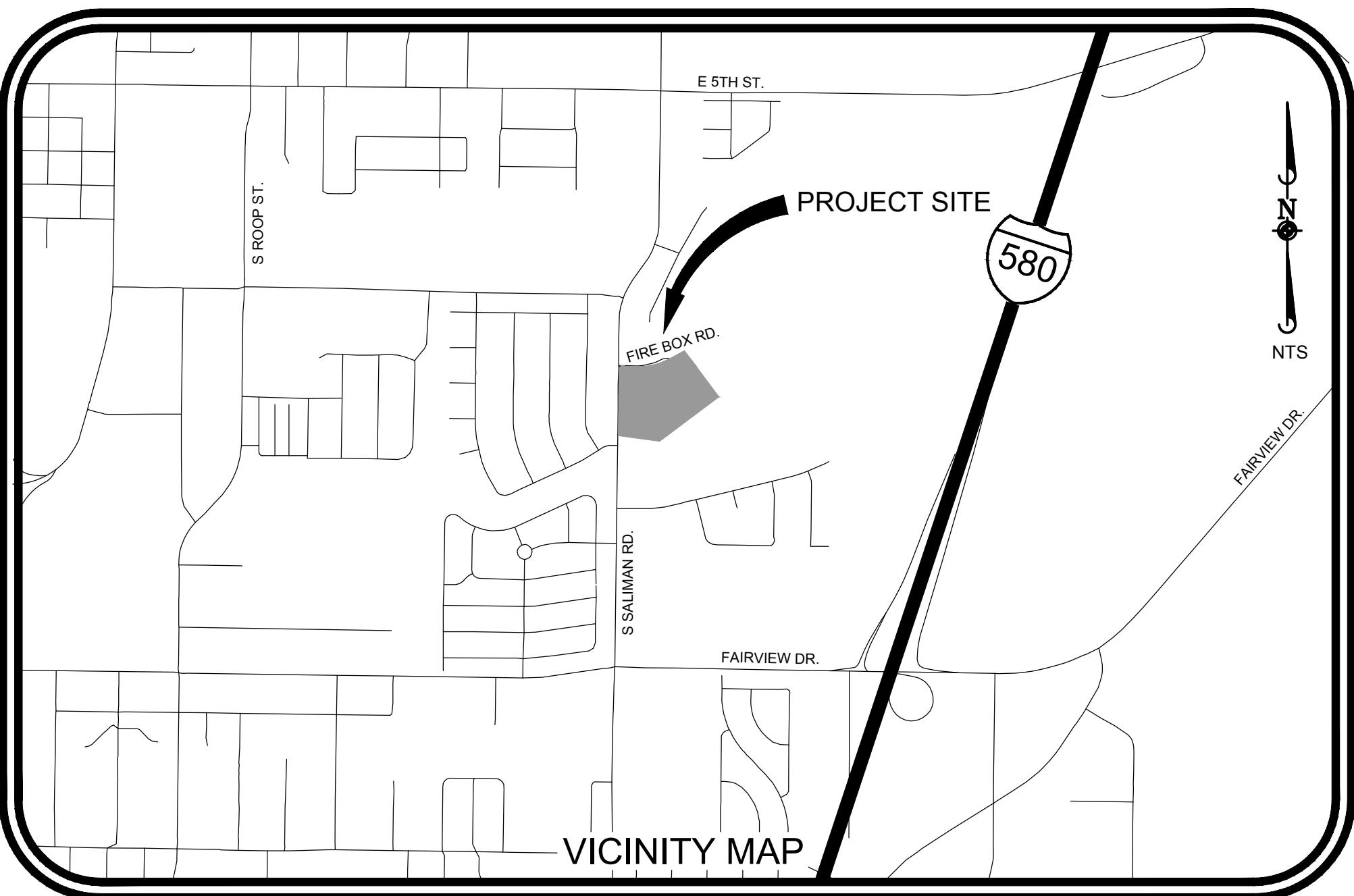
Project Impact Report- Drainage

The project is located on an existing school site. The additions will be located at the southern end of each existing wing. The addition will be located within the paved playground area. Because the new addition lies in an impervious drainage zone, the additional drainage will be mitigated by existing drainage patterns. We do not anticipate any new site retention/detention as part of the site building construction.

SPECIAL USE PERMIT FOR FREMONT ELEMENTARY SCHOOL ADDITION CARSON CITY NEVADA

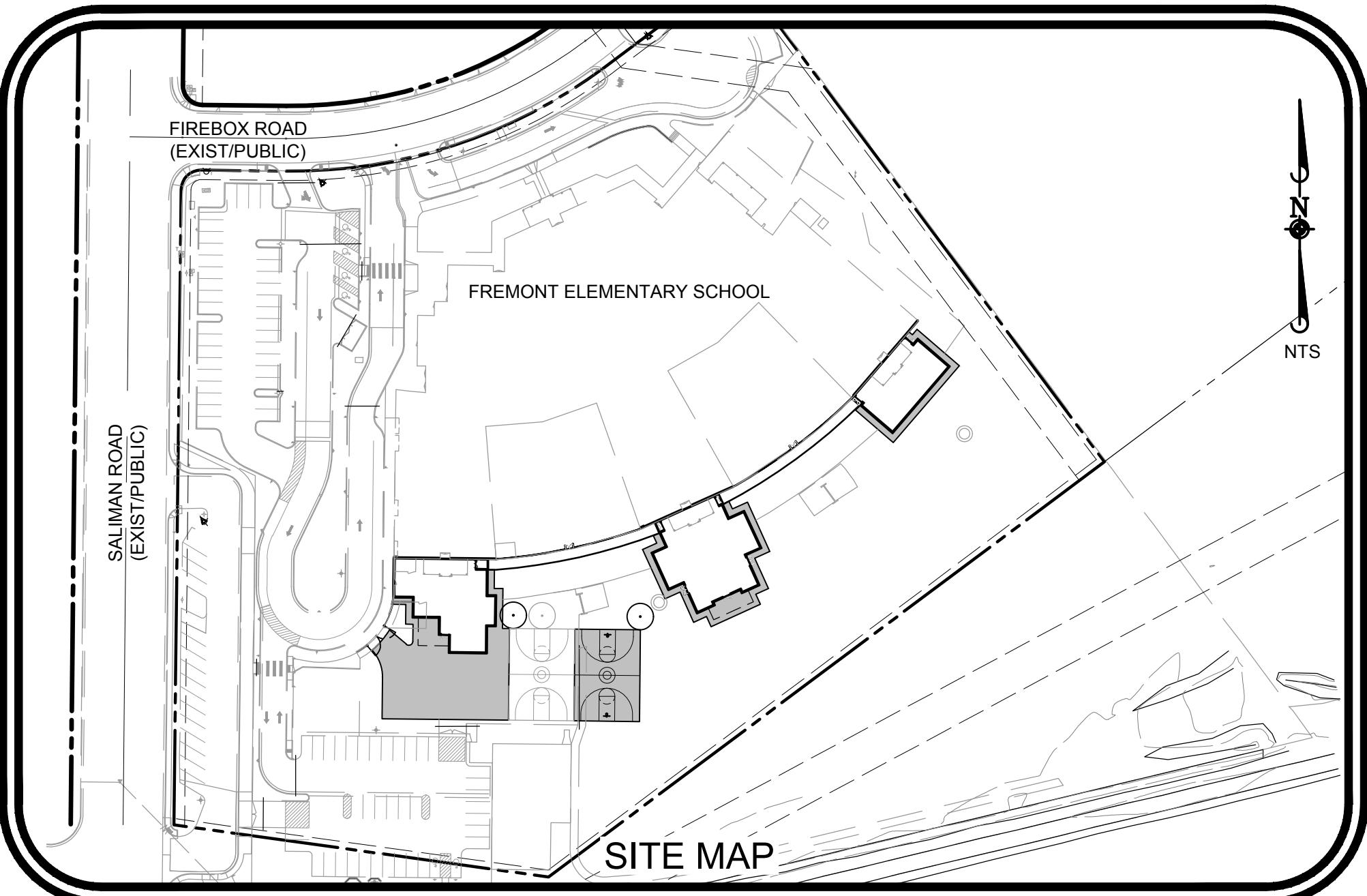
OWNER

CARSON CITY SCHOOL DISTRICT
C/O RICHARD STOKES, SUPERINTENDENT
1402 KING ST. CARSON CITY, NEVADA 89103
(775) 283-2000



ABBREVIATIONS

| | |
|--------|----------------------------------|
| ± | APPROXIMATE |
| AC | ASPHALTIC CONCRETE |
| AP | ANGLE POINT |
| AWWA | AMERICAN WATER WORKS ASSOCIATION |
| BC | BEGIN CURVE |
| BW | BACK OF WALK |
| BVC | BEGIN VERTICAL CURVE |
| CAP | CAPACITY |
| CB | CATCH BASIN |
| CFS | CUBIC FEET PER SECOND |
| CL | CENTERLINE |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| CONC | CONCRETE |
| CMU | CONCRETE MASONRY UNIT |
| CONST. | CONSTRUCT |
| CP | CONCRETE PIPE |
| CR | CURB RETURN |
| DET | DETAIL |
| Δ | CURVE DELTA |
| Ø | DIAMETER |
| DI | DROP INLET |
| DWY | DRIVEWAY |
| DR | DIAMETER RATIO |
| E | ELECTRICAL |
| EC | END OF CURVE |
| EG | EXISTING GRADE |
| ELEV | ELEVATION |
| EVC | END OF VERTICAL CURVE |
| (e) | EXISTING |
| EXIST | EXISTING |
| FES | FLARED END SECTION |
| FF | FINISHED FLOOR |
| FDC | FIRE DEPARTMENT CONNECTION |
| FFC | FRONT FACE OF CURB |
| FG | FINISHED GRADE |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| FT | FEET |
| G | GAS |
| GB | GRADE BREAK |
| HORIZ. | HORIZONTAL |
| HP | HIGH POINT |
| HS | HOUSE SERVICE |
| IE | INVERT ELEVATION |
| INT | INTERSECTION |
| L | LENGTH |
| LF | LINEAL FEET |
| LP | LOW POINT |
| LT | LEFT |
| MH | MANHOLE |
| MDD | MAX DRY DENSITY |
| NTS | NOT TO SCALE |
| OD | OUTSIDE DIAMETER |
| PCC | PORTLAND CEMENT CONCRETE |
| PIV | POST INDICATOR VALVE |
| PL | PROPERTY LINE |
| PM | PARCEL MAP |
| POT | POINT OF TANGENT |
| PR | PRESSURE RATING |
| PSI | POUNDS PER SQUARE INCH |
| PUE | PUBLIC UTILITY EASEMENT |
| PVC | POLYVINYL CHLORIDE PIPE |
| PVI | POST INDICATOR VALVE |
| Q | VOLUME FLOW RATE |
| R | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| REF | REFERENCE |
| RET | CURB RETURN |
| REQ | REQUIRED |
| RT | RIGHT |
| R/W | RIGHT OF WAY |
| S | SLOPE |
| SD | STORM DRAIN |
| SDMH | STORM DRAIN MANHOLE |
| SF | SQUARE FEET |
| SS | SANITARY SEWER |
| SSMH | SANITARY SEWER MANHOLE |
| SUB | SUBDRAIN |
| SW | SIDEWALK |
| T | TRANSFORMER |
| t | TELEPHONE |
| TBC | TOP BACK OF CURB |
| TC | TOP OF CURB |
| TOP | TOP OF STEP |
| TP | TEST PIT |
| TW | TOP OF WALL |
| TYP | TYPICAL |
| VC | VERTICAL CURVE |
| VG | VALLEY GUTTER |
| VERT | VERTICAL |
| VPI | VERTICAL POINT OF INTERSECTION |
| W | WATER |
| WM | WATER MAIN |



SHEET INDEX

C1 TITLE SHEET
C2 PRELIMINARY SITE PLAN
C3 PRELIMINARY GRADING & UTILITY PLAN

BASIS OF BEARINGS

THE BASIS OF BEARING IS NORTH AMERICAN DATUM OF 1983 AS BASED ON FEDERAL BASE NETWORK/COOPERATIVE BASE NETWORK OBSERVATIONS IN 1994 (ALSO KNOWN AS N.A.D. 83/94). NEVADA STATE PLANE WEST ZONE AS DETERMINED WITH REAL TIME KINEMATIC GPS OBSERVATIONS MADE BETWEEN APRIL 1, 2013 THROUGH APRIL 15, 2013 WITH CORRECTIONS TRANSMITTED BY REGIONAL BASE NETWORK CONTINUOUSLY OPERATING REFERENCE STATION DOT1. BEARINGS AND DISTANCES HEREON REFLECT GRID COORDINATES MULTIPLIED BY A COMBINED GRID TO GROUND FACTOR OF 1.0002 (ALSO KNOWN AS CARSON CITY MODIFIED).

BASIS OF ELEVATION

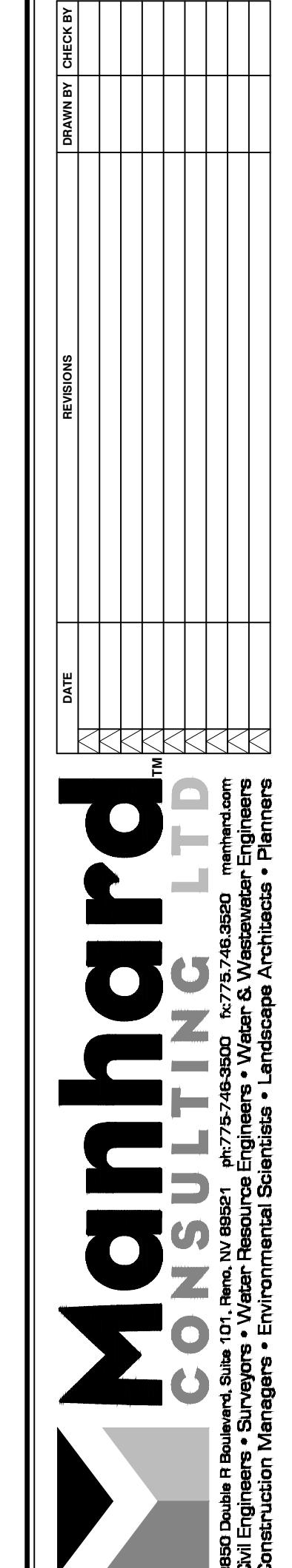
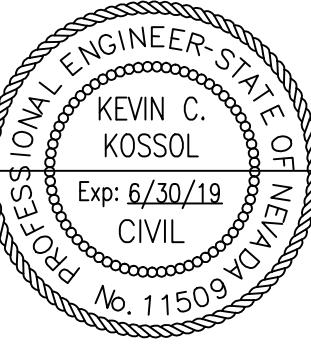
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS BY GPS OBSERVATION, NAVD 88, USING RTK CORRECTIONS TRANSMITTED BY REGIONAL BASE NETWORK CONTINUOUSLY OPERATING REFERENCE STATION (CORS) DOT1 AND USING THE NATIONAL GEODETIC SURVEY'S GEOID MODEL OF 1999.
DATE OF OBSERVATION: APRIL 10, 2013.

ENGINEER'S STATEMENT

I, KEVIN C. KOSSOL, DO HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, COUNTY ORDINANCES, AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND COUNTY CODES, THE COUNTY CODES SHALL PREVAIL.

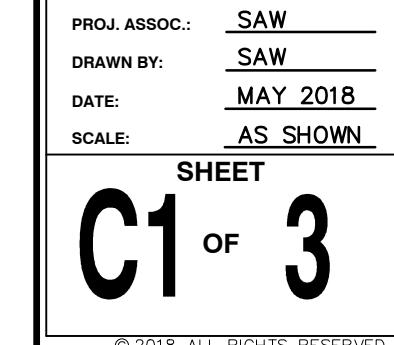
KEVIN C. KOSSOL

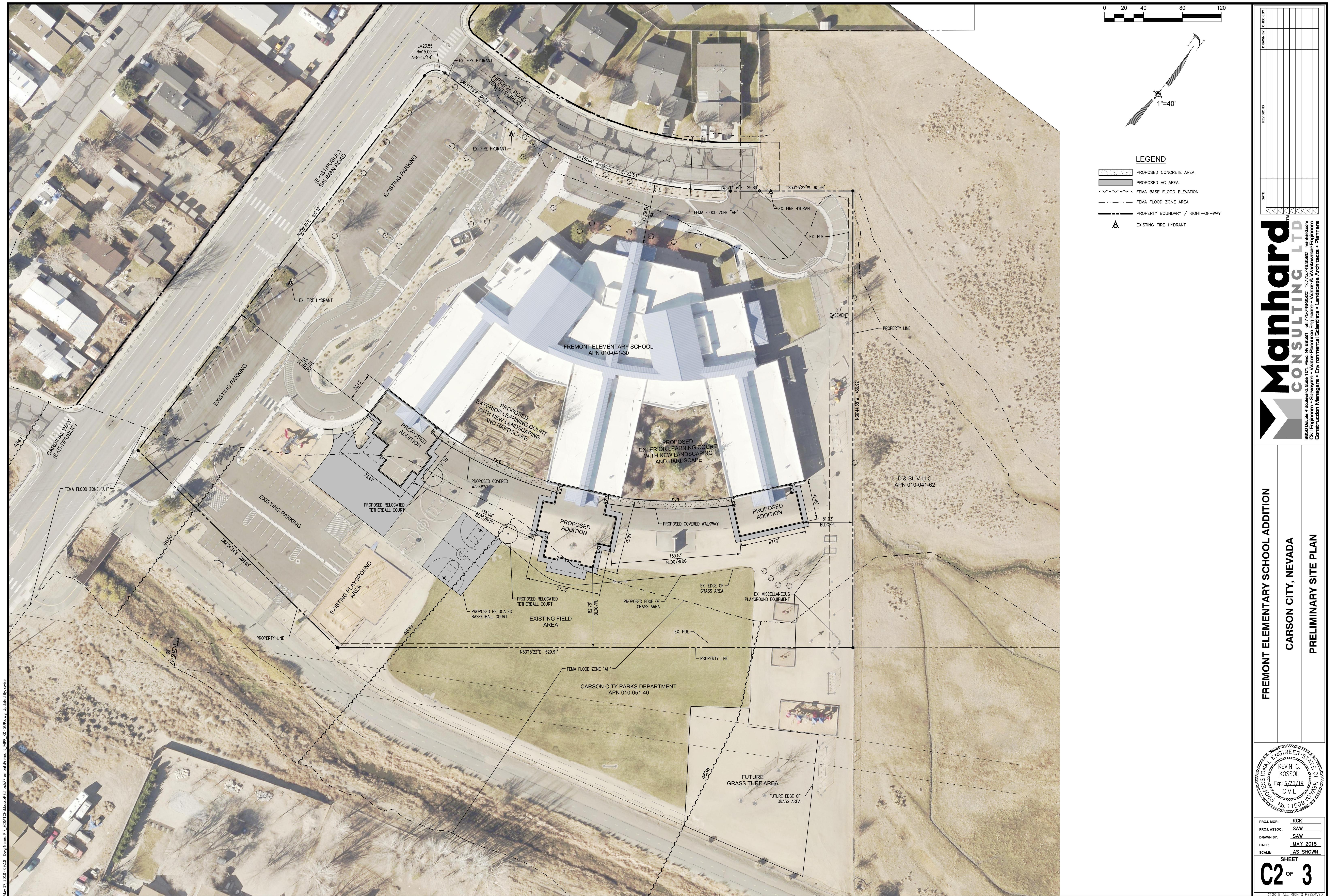
P.E. #11509



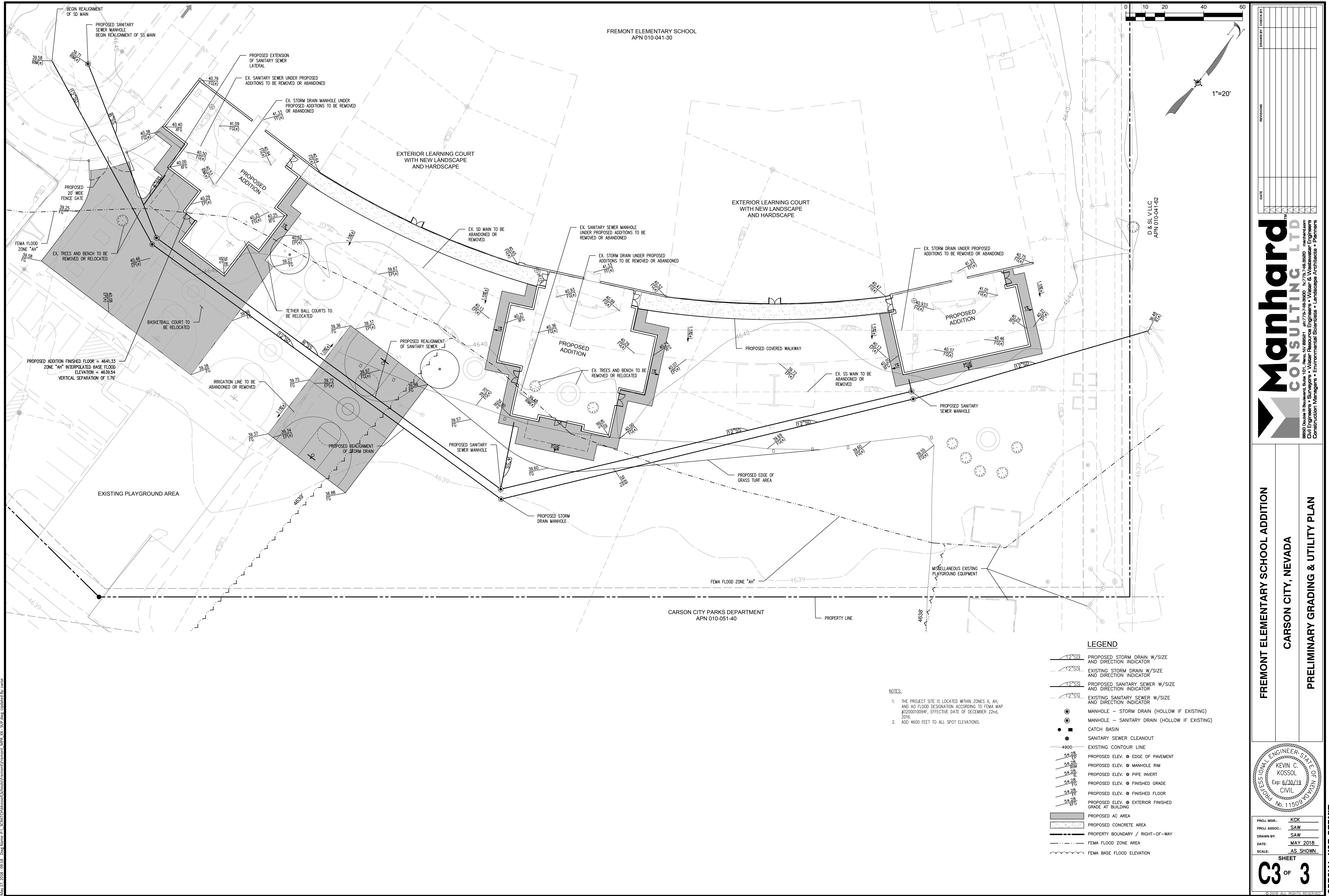
FREMONT ELEMENTARY SCHOOL ADDITION
CARSON CITY, NEVADA

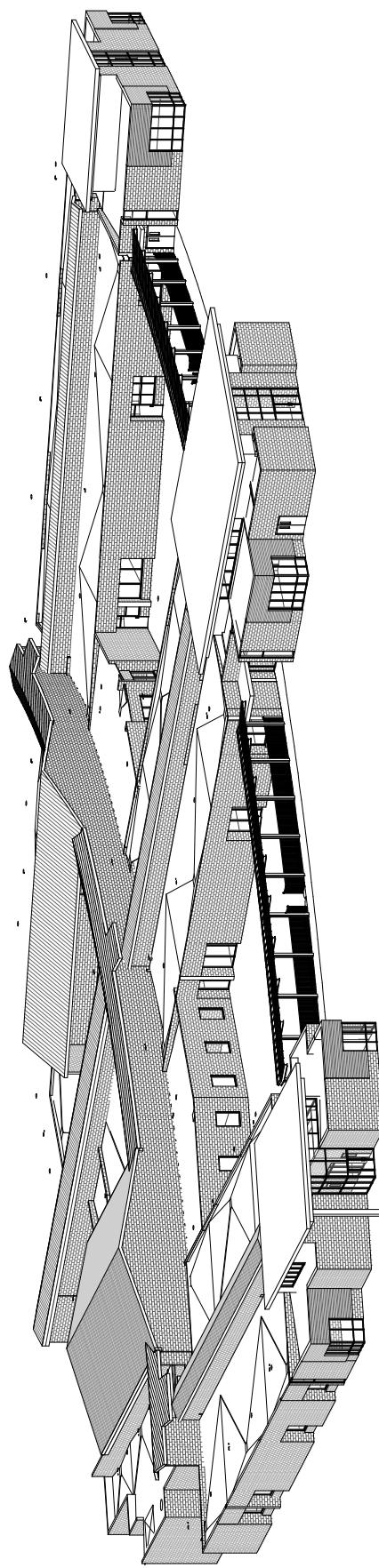
TITLE SHEET

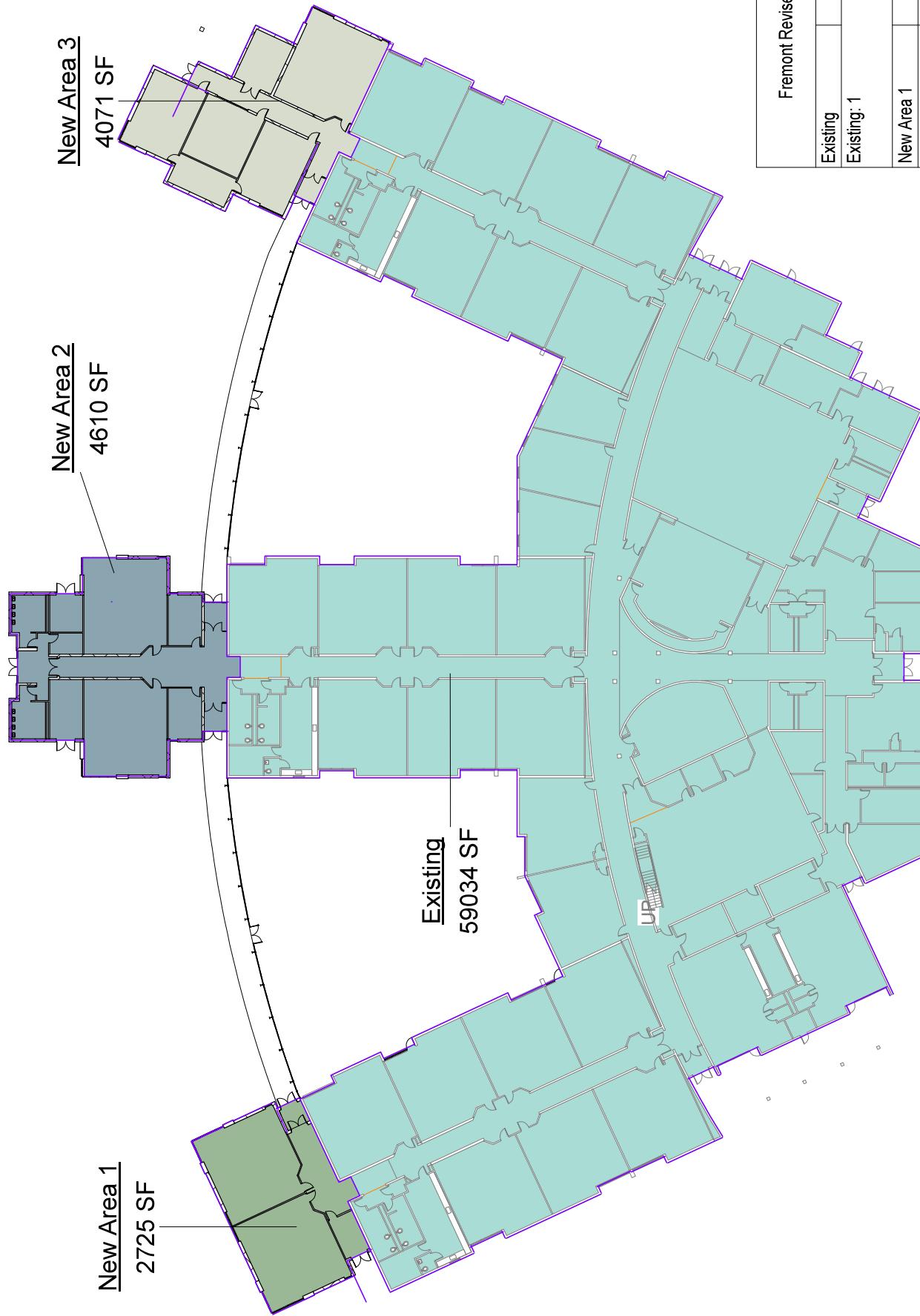




May 17, 2018 - 09:18 Dwg Name: E:\ SCRATCH\krossol\Schools\Fremont\MPR\K - SUP.dwg Updated By: wise







| Fremont Revised Area | |
|----------------------|-----------|
| Existing | 59,034 SF |
| Existing: 1 | 59,034 SF |
| New Area 1 | 2,725 SF |
| New Area 2 | 4,610 SF |
| New Area 3 | 4,071 SF |
| New: 3 | 11,407 SF |
| Grand total: 4 | 70,441 SF |

