

STAFF REPORT FOR THE HISTORIC RESOURCES COMMISSION MEETING OF MAY 9, 2019

FILE NO: HRC-19-059

AGENDA ITEM: E-2

STAFF CONTACT: Hope Sullivan, AICP, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding the exterior rehabilitation of the existing building and a proposed trellis structure at the Bank Saloon, located at 418 South Carson Street, APN 003-116-05. (Hope Sullivan, hsullivan@carson.org)

STAFF SUMMARY: The applicant is seeking to re-establish the Bank Saloon, formerly Jack's Bar. As part of the rehabilitation, the applicant is proposing repointing, repairing and cleaning the existing sandstone block, replacing the roof, repairing and replacing pilasters, and replacing windows. The Commission will review the request to determine if the request is consistent with the Development Standards for the Historic District.

RECOMMENDATION: I move to approve HRC-19-059, based on the finding that the request is consistent with the design guidelines for the historic district and the Secretary of the Interior Standards as noted in the staff report.

VICINITY MAP



CONDITIONS OF APPROVAL IF THE COMMISSION APPROVES THE REQUEST:

1. All development shall be substantially in accordance with the attached site development plan.
2. All on and off-site improvements shall conform to city standards and requirements.
3. The use for which this permit is approved shall commence within 12 months of the date of final approval. An extension of time must be requested in writing to the planning and community development department 30 days prior to the 1 year expiration date. Should this request not be initiated within 1 year and no extension granted, the request shall become null and void.
4. The applicant must sign and return the notice of decision within 10 days of receipt of notification. If the notice of decision is not signed and returned within 10 days, then the item will be rescheduled for the next historic resources commission meeting for further considerations.

LEGAL REQUIREMENTS: CCMC 18.06.015 (Procedure for Proposed Project)

MASTER PLAN DESIGNATION: Downtown Mixed Use

ZONING: Downtown Mixed Use

PREVIOUS REVIEWS:

MPR-19-033: Rehabilitation of the Bank Saloon

AB-18-173: Abandonment of a portion of 5th Street

H-03/04-4: Review of the structural integrity

DISCUSSION:

The subject building was constructed in 1899. The building was formerly Jack's Bar.

Character defining features of the building include:

Walls: The walls of the structure are sandstone block, laid in courses on the east and south sides, and randomly laid on the west side.

Roof / Parapet: The roof is flat and is surrounded by a low parapet which steps up from the rear and includes three non-functioning chimneys on the south wall.

The Entrance: The entrance is located on the southeast corner of the building. It was a single door with a glass upper plate surrounded by side lights and a transom light.

Southside Elevation: The south elevation included a stone wall with three chimneys. It also has four window openings, with one over one window panes. It has two door openings, with transom lights.

Pilasters: The windows and entry way are bordered by cast iron pilasters.

Historically, the east façade had large windows in each of its two bays. Those windows were reduced in size over time.

In rehabilitating the building, the applicant is proposing to retain the character defining features. On the east elevation, where the windows have been previously modified, the applicant is proposing a window system that will span from the bottom of the stone wall to the ground, with the ability to fold so as to have open air space.

In the rear, or west side of the building, the applicant is proposing a wooden trellis structure.

Secretary of the Interior Standards for Rehabilitation

Per the Secretary of the Interior standards for rehabilitation, rehabilitation is defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural and cultural values.

The standards for rehabilitation are as follows:

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

To a large extent, the new use of a bar and office will be substantially the same as its most recent use, and there will be minimal change to the character defining features and spatial relationships.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

To a large extent, the character defining features of this building will be retained. The windows on the east façade have already been modified. The new windows on this façade will reach the ground, and will fold up to allow open air between the business and the outdoors. The proposed trellis is detached from the building, and is not located on a primary façade. These are the only elements that will deviate from the original exterior.

3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed modifications, specifically the doors on the east elevation and trellis structure, are changes that will not create a false sense of historical development. They will be modern modifications that will not be confused with the original construction.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The applicant is retaining the character defining features, specifically the sandstone block walls, the roof and low parapet, the entrance, the south elevation including the recessed doors and windows, fenestration, and window details, and the pilasters.

5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The applicant is retaining the character defining features, specifically the sandstone block walls, the roof and low parapet, the entrance, the south elevation including the recessed

doors and windows, fenestration, and window details, and the pilasters.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The project proposes to replace severely deteriorated features including windows. However, the applicant is working with Marvin Windows to replicate the original window design.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

The applicant has not indicated that any chemical treatment will be utilized. The sandstone walls will be structurally reinforced to allow for the preservation.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archeological resources associated with this project.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property and its environment.*

New additions and exterior alterations are limited to the wooden trellis in the rear, and the windows in the front. The trellis is ten feet wide by 21 feet long, and located in the rear of the property. So, it will be differentiated from the old, and of a scale that it will not comprise the character of the property.

The east elevation will utilize modern windows in the two bays, but retain the sandstone and pilasters. The windows on this elevation have been previously modified. The new windows will certainly differential from the old, and will allow for an open air concept in the building.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The addition is limited to a detached trellis. Therefore, it will not compromise the integrity of the historic property if removed. This new windows on the east side will utilize the existing two bays, and will not compromise the existing pilaster or the existing stone walls. The windows on this façade have been previously modified.

Carson City Development Standards

Carson City Development Standards 5.14 addresses guidelines for roofs. It states:

5.14 - Guidelines for roofs.

The roof's shape, the roofing material and its special features are extremely important in defining the building's overall architectural style. Many different historic roof shapes are found in the district: gable, hip, gambrel, mansard, shed and flat. The pitch or slope of the roof changes from style to style. Shed roofs were used extensively for additions to buildings. The type and style of roof features also change with the building style. Brick

and stone chimneys, cresting and a variety of dormers are also found in the district. Sawn or milled wood shingles of cedar or redwood are the predominate historic roofing materials within the district. Few tile and no slate roofs have been found. Standing seam or corrugated metal were used on outbuildings.

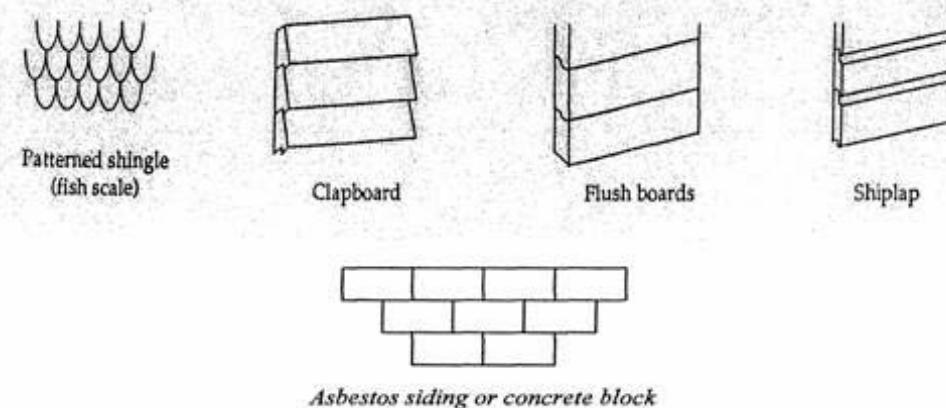
5.14.1 Guidelines for Historic Buildings. Original roofing material and features are to be retained and repaired if at all possible. **If new roofing is necessary or desired, the preferred treatment is to replace the original with identical new material.** If this is not possible or desirable, then the use of Fireclass A, organic felt or fiberglass matt composition type shingle, preferably in a "thick butt" design is acceptable. These are to be laid approximately five inches to the weather with straight and true exposed edge lines. **Other roof features such as chimneys, dormers and/or decorative elements are to be retained.** New mechanical systems, solar panels, skylights and/or other devices on the roof are to be placed so they are inconspicuous from the Street and in such a manner that no damage is done to any character defining features of the building.

The new roof will be significantly similar to the existing roof, thus consistent with the guidelines. The parapet and three chimneys on the south side will be retained.

Carson City Development Standards 5.15 addresses guidelines for exterior siding material. It states:

5.15 - Guidelines for exterior siding materials.

The exterior siding materials found in the district include the full range of materials used in the 19th to mid 20th centuries. The most typical is a horizontal wood siding. Generally a horizontal "drop" (shiplap) or clapboard was used. It was not uncommon for milled shingles to be utilized to accent gable ends or other similar portions of a structure. Often these shingles were decorative in nature having sculptured ends so that a variety of textural effects could be achieved. The entire structure was never covered with shingles. Mid-century houses used wide shakes and asbestos shingles. A few residences utilized brick, stone, concrete block or stucco. Other exterior sidings include vertical board and batten and corrugated sheet or standing seam metal. These were typically used on outbuildings. Brick, cut stone and rubble stone masonry and/or combinations were used primarily on commercial buildings. Historically, buildings in the district were painted, often in several colors - they were not stained or left "natural." The colors varied and often several colors were used on the same building to highlight the architectural design. Currently, there are paints as well as opaque stains available for exterior finishes. The HRC can provide assistance to owners wishing more information regarding paint and/or stain colors.



5.15.1 Guidelines for Historic Buildings. ***The original exterior siding material shall be retained and repaired when at all possible.*** When replacement is necessary the new material shall match the original in size, design, composition and texture. The use of steel, aluminum and vinyl siding materials is not appropriate for historic buildings. (Standard Number: 6, 2)

When contemplating work on the exterior of a historic building, cleaning the existing material should be the first step to determine its condition and a course of action. Cleaning shall be by the gentlest means possible. Sandblasting and other cleaning methods which cause damage to original historic materials shall not be undertaken. (Standard Number: 7)

The proposed plans will clean and retain the original stone walls

Carson City Development Standards 5.16 addresses guidelines for windows. It states:

5.16 - Guidelines for windows.

The majority of buildings in the Historic District are characterized by 19 century styles of architecture. A basic design characteristic of these styles is symmetrically placed, vertically proportioned windows. Houses built in the 1930s to 1960s used in addition to the above, metal framed windows such as casements and picture windows.

5.16.1 Guidelines for Historic Buildings. ***Original windows shall be retained and repaired when at all possible. When replacement is necessary a window of duplicated design shall be used. The size, pane configuration, design and trim shall replicate that of the original.*** Original trim and surrounds are to be retained when windows are replaced. Bronzed aluminum framed windows are not appropriate for use in a historic building. Stained glass windows were not commonly used in the buildings of the district. Original stained glass windows are very valuable and should be retained. The addition of stained glass windows into openings which did not historically have stained glass is discouraged. (Standard Number: 2, 6)

The applicant proposed to replace the windows. Windows on the south elevation will utilize the size, pane configuration (one over one), design and trim of the original. On the east elevation where the fenestration has been modified, the application proposes a modern window that can fold open to allow for open air experience.

Carson City Development Standards 5.17 addresses guidelines for doors. It states:

5.17 - Guidelines for doors.

Doors are an important design element of any building. Their location and style contributes to the overall character and frequently act to define the style of the building. Typically even the simplest historic homes have beautifully paneled doors. Original doors have often been replaced by newer inappropriate doors under the false assumption that greater energy efficiency can be achieved. Properly executed repairs and/or replacement of jams, thresholds, stop moldings, hinges and weather stripping will achieve the same energy efficiency and maintain the historic value. Older doors may have dried and shrunk in size. Numerous lock sets, latches and/or strike plates may have been installed in the door. Glass panels may have been removed and replaced with wood or other material. Original doors, however, are probably one of the most easily reconstructed elements of a building. They are generally constructed of high quality materials, most often have design characteristics which are unavailable in today's market and can be easily removed from the building for repairs in a specialized shop.

The applicant proposes to retain existing doorways, and will utilize a design similar to the original door design. There will not be new openings to accommodate doors.

Carson City Development Standards 5.18 addresses guidelines for masonry elements. It states:

5.18 - Guidelines for masonry elements.

Masonry elements found in the historic district include brick or cut stone foundations, porches and/or basements, and entire stone or brick buildings. Some masonry retaining walls and/or fences are also found. Masonry as an architectural design element generally produces a powerful visual image and imparts a sense of permanence and strength. Careful consideration, therefore, needs to be given all designs which incorporate masonry elements.

5.18.1 Guidelines for Historic Buildings. ***The original masonry material shall be retained and repaired when at all possible.*** When replacement is necessary the new material shall match the original in size, design, composition and texture. ***Often repointing the original masonry elements is all that is necessary.*** When repointing, it is imperative to determine the composition of the original mortar. Repointing historic masonry with a contemporary mortar mix containing Portland cement can cause severe damage to the building. Repointing should be accomplished with a mortar that matches the original in color, composition and strength. (Standard Number: 6, 2)

The stone blocks of the building are proposed to be retained and repointed, consistent with the guidelines.

Staff finds that the proposed rehabilitation is consistent with the Design Guidelines for the district.

Attachments:
Application (HRC -19-059)

Carson City Planning Division
108 E. Proctor Street Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # HRC - -

APPLICANT	PHONE #
NEVADA BUILDER'S ALLIANCE	(775)882-4353
MAILING ADDRESS, CITY, STATE, ZIP	
1000 N. DIVISION STE. 102, CARSON CITY, NV	
EMAIL ADDRESS	89703
AARON@NEVADABUILDERS.ORG	
PROPERTY OWNER	PHONE #
NEVADA BUILDERS ALLIANCE (775)882-4353	
MAILING ADDRESS, CITY, STATE, ZIP	
1000 N. DIVISION STE. 102, CARSON CITY, NV	
EMAIL ADDRESS	89703
AARON@NEVADABUILDERS.ORG	
APPLICANT AGENT/REPRESENTATIVE	PHONE #
HANNAH DEHAVEN (775)827-9977 EX.	
MAILING ADDRESS, CITY, STATE, ZIP	89702
4090 S. MCLARRAN BLVD, STE. E RENO, NV	
EMAIL ADDRESS	89502
HDEHAVEN@FRAMEARCHITECTURE.COM	

FOR OFFICE USE ONLY:

CCMC 18.06

HISTORIC RESOURCES COMMISSION

FEE: None

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form with Signatures
- Written Project Description
- Site Plan
- Building Elevations
- Proposed Building Materials
- Documentation of Taxes Paid-to-Date

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submittal Deadline: Refer to the Historic Resources Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarify and detail for all departments to adequately review the request. Additional information may be required.

Project's Assessor Parcel Number(s):	Street Address	
603 116 04	418 S. CARSON ST., CARSON CITY, NV 89701	
Project's Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)
DOWNTOWN MIXED-USE	DT - MU	5TH & S. CARSON

Briefly describe the work to be performed requiring Historic Resources Commission review and approval. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. NOTE: The Historic District Ordinance and Historic District Design Guidelines, as well as Policy Statements, are available in the Planning Division to aid applicants in preparing their plans. If necessary, attach additional sheets.

SEE ATTACHED

Reason for project:

EXTERIOR REHABILITATION, STRUCTURAL STABILIZATION & INTERIOR
RENOVATION OF EXISTING HISTORIC STRUCTURE. TO OPERATE
AGAIN AS A BAR.

Will the project involve demolition or relocation of any structure within or into the Historic District? Yes No If Yes, please describe:

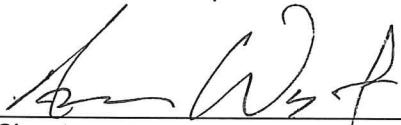
THE EXISTING ROOF WILL BE REMOVED AND REPLACED.

SUPPORTING DOCUMENTATION

Each application requires one complete original packet and three copies, folded to 8 1/2 x 11 inches, including a quality site plan and drawings showing work to be performed on the subject project which requires Historic Resources Commission approval. This is any work which will affect the exterior of any structure and any modifications to the site, i.e., fences, walls, or major landscaping. The name of the person responsible for preparation of the plans and drawings shall appear on each sheet.

After the initial review and acceptance of your application by staff, an additional 14 copies will be required to present your project to the Historic Resources Commission.

Attached is a Plan Checklist to aid preparation of plans and architectural drawings. It is understood that all checklist items may not be included in all projects. The list is intended to give the applicant an idea of the breadth of review by the Commission on those items which are included in the subject project. Photographs can be used for illustration and discussion, but are not acceptable as substitutes.



Owner's Signature



Owner's Printed Name



Applicant's/Agent's Signature

HANNAH DEHAVEN

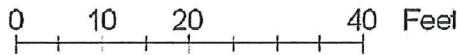
Applicant's/Agent's Printed Name

HISTORIC RESOURCES COMMISSION APPLICATION CHECKLIST

I. Site Plan (suggested scale not more than 1" = 40 ft.)

To include, but not limited to, the locations, designation and dimensions of the following, including indication if new or existing:

- New and existing building structures including:
 - Distances from property lines and building size indicated by dimensions or square footage.
 - Distances between buildings shall be indicated on the plot plan.
 - Clearly label existing and proposed structures.
- Show a north point arrow and plot plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals twenty feet on the original plot plan:



- Driveways, walkways and off-street parking areas, including:
 - indication of surface materials
 - dimensions of aisles and spaces
- Property lines, dimensions
- Setback, easement and right-of-way lines
- Stairways, ramps (if new: include surfacing materials, dimensions)
- Fences and walls
- Sign locations with an indication of distance from sidewalks, curbs, driveways, buildings
- Light posts/standards
- Existing trees, landscaping to remain and to be removed
- Proposed landscaping (Complete landscaping requirements, guidelines and applications are available at the Planning Division - Required for all office and commercial projects.)

II. BUILDING ELEVATIONS

Building elevations of all sides of the proposed structure(s) (suggested scale of not less than 1/4" = 1 ft) showing:

- Foundation height and materials
- Finished floor elevation above ground level

- Walls:
 - siding: type, profile shape and dimensions, finish, and texture
 - trim dimensions including all eave and frieze board widths
 - location, shape and size of wall vents, including trim dimensions
 - cornices
- Windows:
 - type (double hung, casement, awning or fixed)
 - material (wood, wood clad, metal)
 - manufacturer
 - window dimensions
 - pane configuration (example: two panes over four)
 - sills (dimensions)
 - trim, including caps, decorative treatments, trim dimensions (and details as necessary)
 - other exterior window treatments (i.e., shutters, window boxes, awnings)
 - storm windows
- Doors:
 - style/design
 - material
 - trim material and dimensions
 - sidelights
 - catalog cuts (if possible)
 - also, garage doors
- Roof:
 - roof line (including height of eave lines from finished grade)
 - roof pitch/slope
 - roof overhang widths
 - roofing materials (type and color)
 - skylights
 - vents, chimneys, stacks
 - exposed mechanical systems (such as air condition units)
- Dormers, including:
 - roof slope, overhang width, etc.
 - siding material
 - window information
 - trim dimensions
- Porches, Balconies:
 - floor height above grade (if a porch)
 - railings, balustrades, newel posts (including dimensions, materials and details as necessary)
 - beams (size and height above porch floor elevation)
 - posts, columns, pillars, including dimensions and any special treatments such as turnings, caps, post ornamentation, fret brackets, fret work, trim; provide details as necessary
 - post spacing (from post center to post center)
 - moldings and trim

- Protruding Bays
 - roofing information
 - roof slope + pitch
 - window information
 - siding information
- Stairways, Rampways
 - railings, balustrades, newel posts (dimensions, materials, and details as needed)
 - surface materials of stairs, ramps
 - ramp slopes
- Fences, Walls
 - material and material dimensions (including posts, rails, facing material, decorative fretwork, etc.)
 - height
 - length (show on site plan)
 - post spacing
 - thickness (if wall)
 - lighting
- Arbors, trellises, gazebos
- Signs, wall plaques, window graphics
 - material to be used and material dimensions, including post dimensions, post caps, sign board
 - size and height and ground clearance
 - shape
 - color
 - lettering and lettering size
 - location (show on site plan if not on building)
 - illumination
 - material samples
- Sections as required to illustrate proposed construction more clearly (suggested scale of not less than 1/4"). Items may include but may not be limited to the following:
 - porches, balconies
 - gable ends
 - eaves
 - cornices
- Detail drawings as required to illustrate proposed construction more clearly (suggested scale not less than 1/2 inch). See above for suggested items.
- Manufacturer's catalog data and/or samples keyed to drawings

III. RESTORATION, RENOVATION, RECONSTRUCTION AND ADDITIONS TO EXISTING STRUCTURES

Provide same information as above, but also include photographs showing existing building elevations, special building details, or any other information the applicant feels is important to further explain the project.

IV. MOVING OF A STRUCTURE ONTO A PROPERTY

- Provide same information as above, but also provide photographs of all existing building elevations.

V. DEMOLITION OR REMOVAL OF A STRUCTURE TO ANOTHER LOCATION

- Provide photographs of the building; if structure is to be moved, provide address of new location. (Carson City Municipal Code Section 18.06.075 outlines procedures for action by the Historic Resources Committee on demolition of historic structures.)



April 22, 2019

Historic Resources Commission
Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

RE: Historic Resources Commission – Description of Work to be Performed at Bank Saloon

The Nevada Builders Alliance has purchased the Bank Saloon (formerly Jack's Bar) with the intention to provide structural, architectural, and interior improvements that will allow it to reopen as a bar and reestablish the structure as an iconic Carson City landmark. The Nevada Builder's Alliance will utilize its robust network of talented builders, architects, engineers and craftsmen to rehabilitate and restore the historic exterior of the structure and renovate the interior.

Exterior improvements will include repointing, repairing and cleaning the existing sandstone block. In the locations where the existing block has been damaged at its base due to the existing sidewalk, a portion of the sidewalk will be removed and replaced with pavers that are approved per the Carson City DT-MU General Development Standards and design guidelines.

The roof will be demolished and replaced with a low, sloped roof. Rooftop mechanical units will be concealed to the fullest extent possible from view from Caron St.

The cast iron pilasters will be stripped of existing finishes, repaired as required and repainted to a natural grey finish. The newly painted pilasters shall receive accent gold embellishment the description per Item 7 of the Bank Saloon National Register of Historic Places Inventory Nomination Form (dated 1980).

The newly proposed public façade will feature two new full height operable glazed storefront windows that span between pilasters, and which extend from ground level to the underside of the existing cast iron frame. A new full height glazed window system, per the description on Item 7 of the Bank Saloon National Register of Historic Places Inventory Nomination Form (dated 1980), is in keeping with the original design of Bank Saloon.

The doors and windows of Bank Saloon have deteriorated beyond the point of repair and must be recreated. Frame Architecture is working closely with the window and door manufacturer Marvin to recreate replacement windows and doors that match the original configuration, size, and style of the original building components. Marvin specializes in custom fabricated doors and window that maintain the architectural integrity of historic features. Marvin has the capabilities to manufacture both solid wood or clad historic replicas of windows and doors. See attached examples of custom

clad fabrications provided by the manufacturer. Prototypes will be provided direct from the manufacturer for approval prior to final fabrication.

The structure will be structural stabilized by way of an interior shear wall that will span the entire perimeter of the structure from within. New windows and doors will be reinstalled in their original location relative to the new shear wall. Existing door and window casing at the interior will be carefully removed and salvaged to the fullest extent possible. Salvageable sills and casing will be relocated to the new shear wall and casing will be extended to accommodate the new depth of the opening. Where salvage is not possible, casing profiles will be replicated to match existing.

A new trellis structure is proposed on the plan west side of the existing structure. The general contractor on the project, Miles Construction, has secured access to the quarry from which the original sandstone block originates. New stone to match existing will be featured at the base of the trellis columns to maintain historic ties to the existing structure. A new patio has been proposed to be composed of pavers to match those in use on the Carson St. side of the structure.



April 22, 2019

Historic Resources Commission
Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

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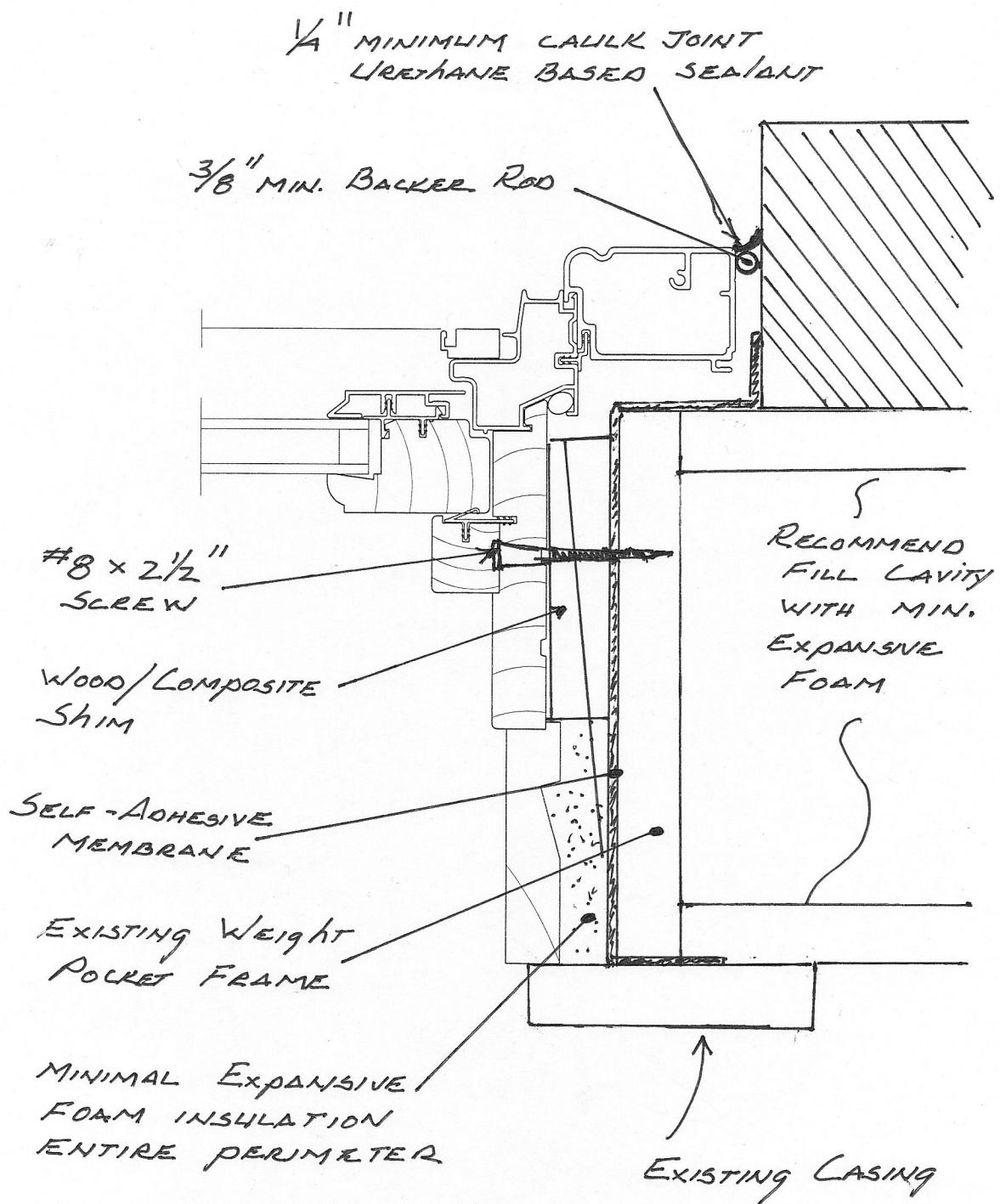
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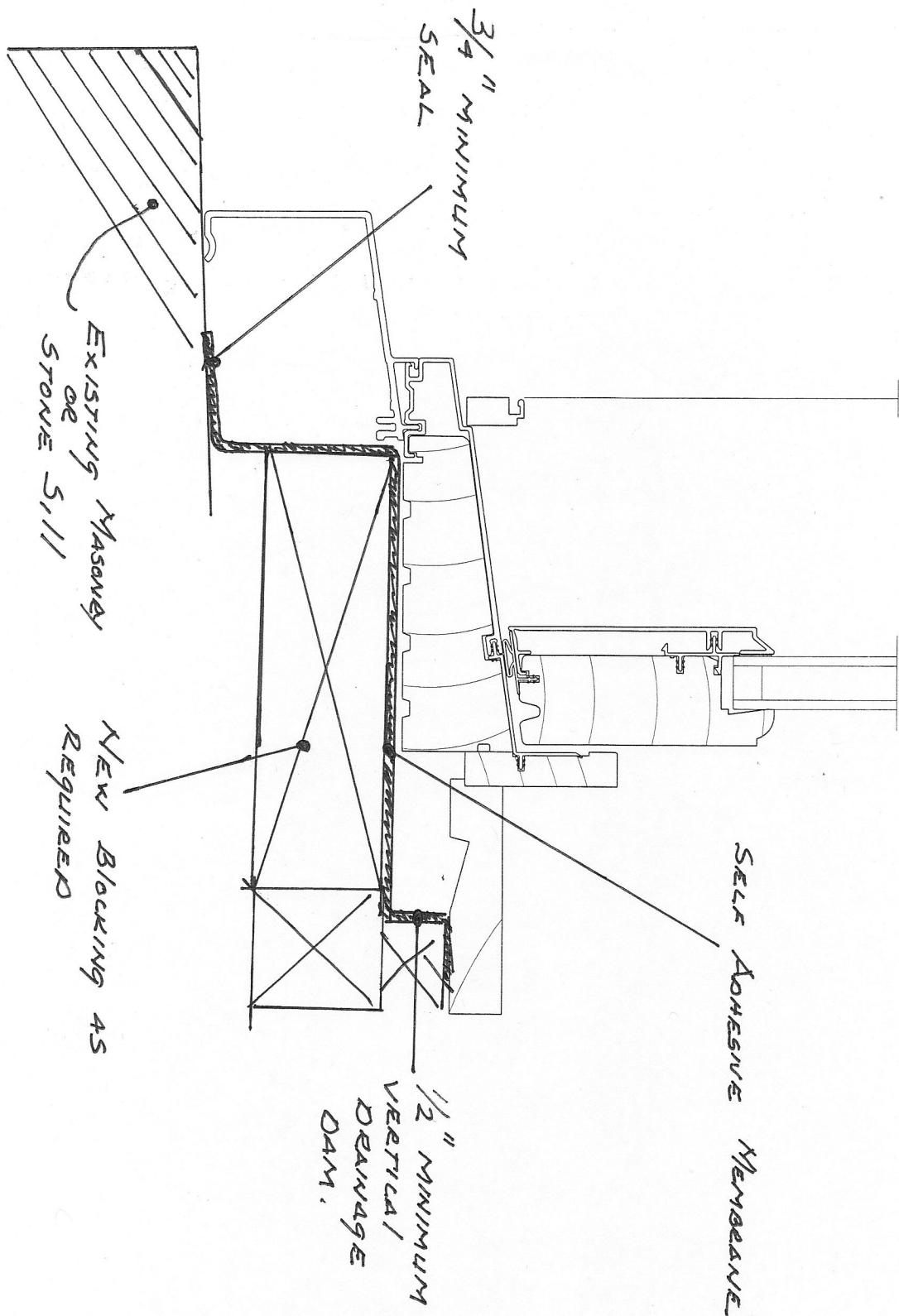
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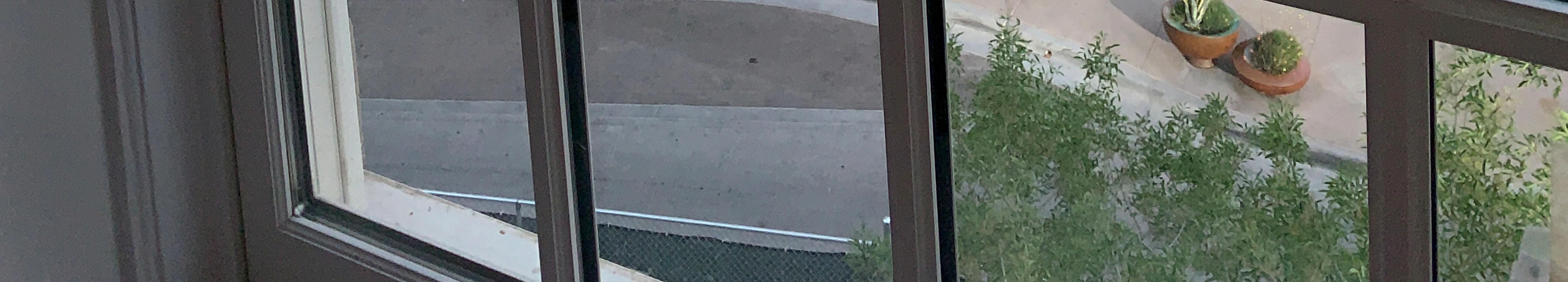
















UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED NOV 12 1980

DEC 10 1980

DATE ENTERED

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS**1 NAME**

HISTORIC BANK SALOON

AND/OR COMMON

Jack's Bar

2 LOCATION

STREET & NUMBER 418 South Carson

NOT FOR PUBLICATION

CONGRESSIONAL DISTRICT

CITY, TOWN Carson City

Nevada-at-large

STATE Nevada

VICINITY OF
CODE
32COUNTY
Carson CityCODE
025**3 CLASSIFICATION**

(Independent city)

CATEGORY	OWNERSHIP	STATUS	PRESENT USE
<input type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input checked="" type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE <input type="checkbox"/> MUSEUM
<input checked="" type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> PARK
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> BOTH	<input type="checkbox"/> WORK IN PROGRESS	<input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> PRIVATE RESIDENCE
<input type="checkbox"/> SITE	PUBLIC ACQUISITION		<input type="checkbox"/> ENTERTAINMENT <input type="checkbox"/> RELIGIOUS
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS <input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES: RESTRICTED <input checked="" type="checkbox"/> YES: UNRESTRICTED <input type="checkbox"/> NO	<input type="checkbox"/> GOVERNMENT <input type="checkbox"/> SCIENTIFIC <input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> TRANSPORTATION <input type="checkbox"/> MILITARY <input type="checkbox"/> OTHER

4 OWNER OF PROPERTY

NAME Douglas & Marian Addison

STREET & NUMBER
418 South CarsonCITY, TOWN
Carson City

VICINITY OF

STATE
Nevada**5 LOCATION OF LEGAL DESCRIPTION**COURTHOUSE,
REGISTRY OF DEEDS, ETC. Carson City CourthouseSTREET & NUMBER
198 North CarsonCITY, TOWN
Carson CitySTATE
Nevada**6 REPRESENTATION IN EXISTING SURVEYS**TITLE Carson City Architectural Survey
By Historic Environments Consultants

DATE 1980

FEDERAL STATE COUNTY LOCALDEPOSITORY FOR
SURVEY RECORDS

Carson City Planning Department

CITY, TOWN

Carson City

STATE
Nevada

7 DESCRIPTION

CONDITION

EXCELLENT DETERIORATED
 GOOD RUINS
 FAIR UNEXPOSED

CHECK ONE

UNALTERED ALTERED

CHECK ONE

ORIGINAL SITE
 MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Bank Saloon (now known as Jack's Bar) is situated on the northwest corner of Fifth and South Carson Streets in Carson City. It is a one story rectangular building, 30 feet wide by 70 feet long. The walls of the structure are sandstone block, laid in courses on the east and south sides and randomly laid on the rear or west side. The sandstone was quarried from the same source as that used in the State Capitol and several other prominent structures in Carson City. The flat composition roof is surrounded by a low parapet which steps up from the rear and includes three non-functioning chimneys on the south wall.

The entrance is located on the truncated southeast corner of the building, having a single door with a glass upper plate surrounded by side lights and a transom light. The east facade originally had large windows in each of its two bays. These have been reduced in height to about half their original size. The windows and the entryway are bordered by cast iron pilasters. An oval medallion at the base of the columns states they were made by "U.I. Works - Reno, Nev - J. Michael - PRO." The middle section of the columns contains arrows and rods, the capitol having an egg and dart motif above a rosette.

The south facade has six openings: two single panel doors with transom lights and four double hung, one over one, windows. The west facade has a single door and window.

The interior of the structure has been little changed over the years. The back bar is not original. It was moved from another bar in Carson City in 1920. Except for two small storage rooms and two rest rooms, the interior consists of a single room. An earlier intrusive partition has been removed. The building retains the original narrow tongue and groove ceiling boards.

This building is an example of the Victorian functional style, popular from the 1870's to the 1990's.

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW				
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE	
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input checked="" type="checkbox"/> SOCIAL/HUMANITARIAN	
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER	
<input type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input checked="" type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	
		<input type="checkbox"/> INVENTION			

SPECIFIC DATES 1899 to present

BUILDER/ARCHITECT Mark Stebbins/Unknown

STATEMENT OF SIGNIFICANCE

Jack's Bar is being nominated as the representative of a class of establishments that have played a vital role in the social and political atmosphere of Carson City, essentially a small rural community that enjoys the honor of being Nevada's capitol.

Jack's Bar is the oldest continuously operating drinking establishment in Carson City. From its grand opening on August 19, 1899, through prohibition, to the present it has served the community in this capacity. In small communities such as Carson City, bars or saloons have served as a focal point in the social fabric. Convenient meeting spots, they are a relaxing environment in which to conduct business, talk politics, or discuss community life in general.

The proximity of Jack's Bar to the offices of state government (opposite the Nevada State Capitol and Legislative Building) has resulted in its playing a very particular role in political affairs. The Bar has served as the site of informal meetings and caucuses that have had an effect on the political history of the state.

Jack's Bar has been selected as the representative of this class of historic property in Carson City for the following reasons:

1. The only such establishment that dates to an earlier period of the town's history.
2. Has been in continuous operation in the same capacity since its construction.
3. The building retains its architectural integrity and is very compatible with the historic character of the rest of Carson City.

9 MAJOR BIBLIOGRAPHICAL REFERENCES

Carson City Courthouse records: 1859 to present
Assessors Records: 1863 to present
Nevada Directories: From 1862 to 1962
The Morning Appeal: 1897 to 1905
Carson City News: 1903

Territorial Enterprise: 1859
Carson City News: 1899
NEVADA CENTENNIAL, 1976, by Stanley Paher

ACREAGE NOT VERIFIED

UTM NOT VERIFIED

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY _____ - 1 acre

UTM REFERENCES

A

1	1				
2	6	1	0	0	0

 B

4	3	3	8	1	0	0

ZONE EASTING NORTHING

B

 C

 D

ZONE EASTING NORTHING

VERBAL BOUNDARY DESCRIPTION

Lot 9 of Block 35; Sears, Thompson, Sears subdivision in Carson City.

The lot is 34 feet by 80 feet.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
-------	------	--------	------

STATE	CODE	COUNTY	CODE
-------	------	--------	------

11 FORM PREPARED BY

NAME / TITLE

Noreen I.K. Humphreys for Mr. & Mrs. Doug Addison

ORGANIZATION	DATE
Private Citizen	Feb. 24, 1980
STREET & NUMBER	TELEPHONE
611 Mary Street	882-1918
CITY OR TOWN	STATE
Carson City	Nev. 89701

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL STATE LOCAL

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

Dawn Rodden

TITLE

Administrator

(SHPO)

DATE

28 October 1980

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

Dawn Rodden
DATE *17/10/80*

DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION

ATTEST: *Patrick Andrus*

KEEPER OF THE NATIONAL REGISTER

DATE *12/10/80*

KEEPER OF THE NATIONAL REGISTER

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY	
RECEIVED	NOV 12 1980
DATE ENTERED	
DEC 10 1980	

Attachment

CONTINUATION SHEET Description ITEM NUMBER 7 PAGE 1

The Bank Saloon, now known as Jack's Bar, is situated on the northwest corner of Fifth Street and South Carson Street, (Highway 395). It is a one story rectangular building of sandstone blocks laid in courses on the east and south sides, and random laid on the rear or west side. The building, 30 feet wide by 70 feet long, has a flat composition roof surrounded by a low parapet which steps up from the rear toward the front and includes three non-functioning chimneys which are part of the exterior wall.

"Victorian Functional," the style used in many commercial buildings, such as Jack's Bar, is emphasized by the two bay facade which contain two large glazed windows flanked by iron pilasters; a truncated entrance; and a six-bay south facade containing four tall double hung, one over one, glazed windows and two conventional doors. This "Victorian Functional" style, popular from the 1870's to the 1890's, often incorporated on the front, or public facade, large windows which allowed maximum natural light and afforded display areas on the interior. The windows of Jack's Bar have been altered by reducing their size by about half because an earlier proprietor disliked cleaning the great expanse of glass.

The entrance door, located on the truncated southeast corner of the building, has a glass upper panel single door, surrounded by side lights and a transom light. Above the transom is a large glazed opening. This entrance is flanked by iron pilasters which are the most interesting feature of the architecture. The four pilasters of the building were made by "U.I. Works - RENO NEV - J. MICHAEL - PRO" (sic) and found printed on the oval medallion at their base. The middle section contains arrows and rods similar to the motifs found in Classic Architecture and the capital of the pilaster has an egg and dart motif above a rosette. The pilasters are painted brown highlighted with gold and the sandstone is a natural buff color.

The interior has been little changed in respect to barroom layout. The back bar, situated against the north wall, was rescued from the demolition on the Magnolia Saloon when the Ormsby County Court House was razed to make way for the new Court House, built in 1920 on the same site. The Magnolia Saloon had the distinction of being the only bar in Nevada situated in a county court house. Ormsby County was named in honor of Major William M. Ormsby, the hero who died in the Pyramid Lake Indian War of 1860.

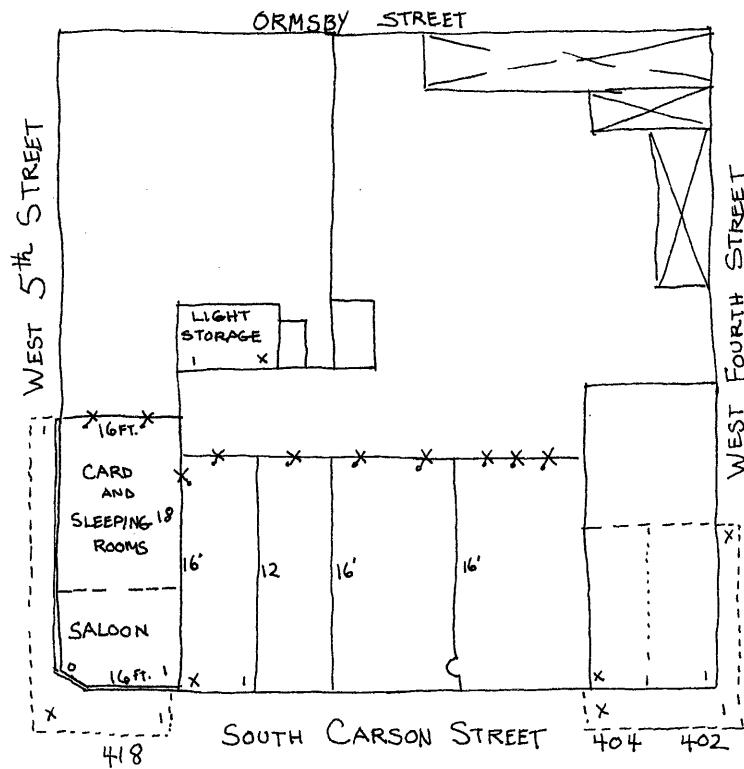
An interior partition, running north and south which divided the present barroom into two sections, has been removed. The rear portion of the building contains two very small rooms plus two rest-rooms, previously used as lodging and storage. The building retains the original narrow tongue and groove ceiling boards.

A wooden porch was attached to the east and south sides of the building but was removed in 1918 by order of the Fire Department, as were all the porches on the main street.

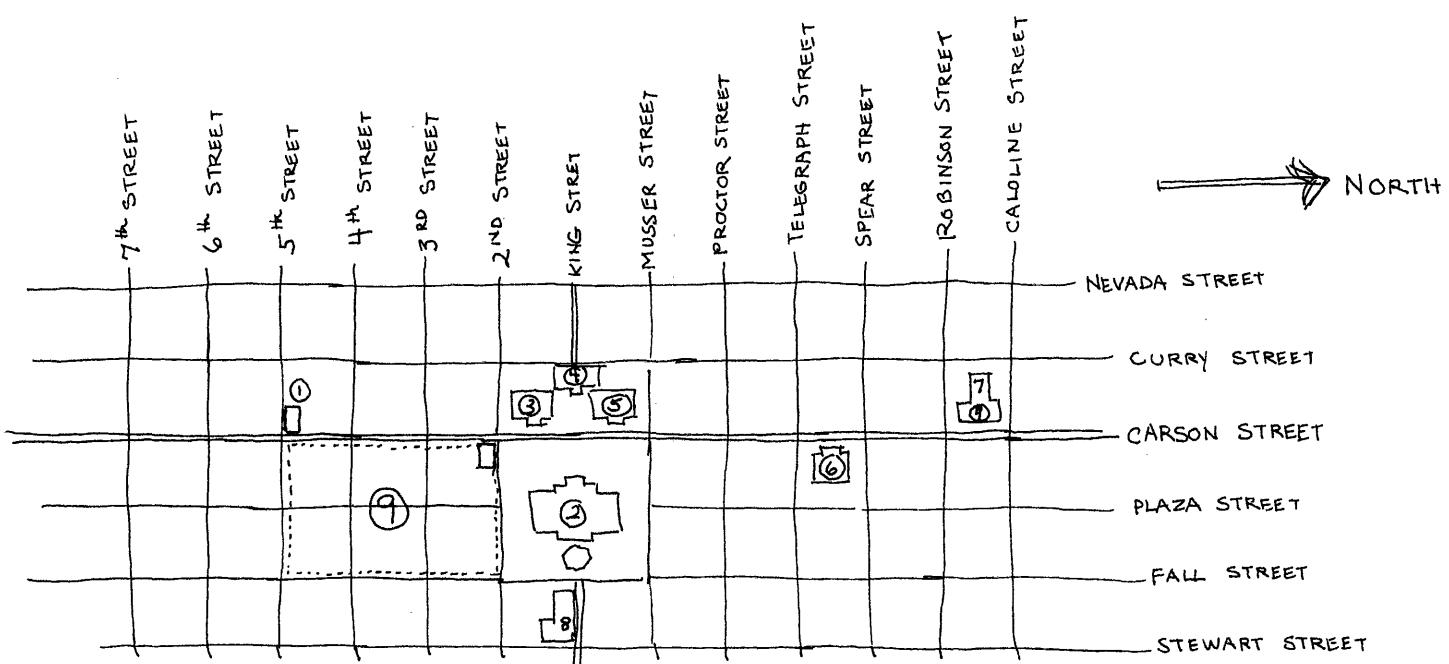
BANK SALOON, JACK'S BAR, 418 SOUTH CARSON STREET

← NOW(1980) KNOWN AS CURRY STREET

NOW 1980



MAP DRAWN BY
NOREEN I.K. HUMPHREYS - 1980
AFTER
JUNE 1907 SANFORD MAP



① BANK SALOON ② CAPITOL ③ HEROES MEMORIAL BUILDING ④ STATE SUPREME COURT AND LIBRARY
JACK'S BAR

⑤ ORMSBY COUNTY COURT HOUSE ⑥ U.S. POST OFFICE AND FEDERAL BUILDING ⑦ NEVADA STATE MUSEUM
⑧ STATE PRINTING OFFICE ⑨ NEVADA STATE LEGISLATIVE BUILDING (1970) AND GROUNDS

PLAT DRAWN BY NOREEN I.K. HUMPHREYS AFTER 1957 PLAT FROM HARDY'S CARSON CITY GUIDE



CAPITOL
MOTEL
VACANCY

JACK'S BAR
ANTIQUE BAR SLOTS
OFF SALE LIQUOR

JACK'S
BAR

Hann's





KEEP
RIGHT



Mr. George Jackson

1000 State St., Tacoma, Wash.

Washington, December 10, 1901
Dear General Secretary: **ACT 1**
I am sorry to say that we
have not been able to

get any money to help, as the banks
will not give us any.

Very truly yours,

George Jackson



JACK'S BAR
ANTIQUE BAR SLOTS
OFF SALE LIQUOR

1920-21
Papio - 3/4



89701
(ind city)
5014

10/10/00 8:15 AM



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 003-116-04

Property Location: 418 S CARSON ST
Billed to: NEVADA BUILDERS ALLIANCE
P O BOX 1947
CARSON CITY, NV 89702-0000

Tax Year: 2018-19

Roll #: 012650

District: 1.5

Tax Service:

Land Use Code: 400

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

Current Year

08/20/18	174.99		174.99	174.99	.00
10/01/18	171.00		171.00	171.00	.00
01/07/19	171.00		171.00	171.00	.00
03/04/19	171.00		171.00	171.00	.00
Totals:	687.99	.00	687.99	687.99	

[Payment Cart](#)[History](#)

Additional Information

	2018-19	2017-18	2016-17	2015-16	2014-15
Tax Rate	3.5700	3.5700	3.5200	3.5200	3.5400
Tax Cap Percent	4.2	2.6	.2	3.2	3.0
Abatement Amount		6.47			315.14

BANK SALOON HISTORIC RESOURCES COMMISSION SUBMITTAL

SHEET LIST	
SHEET NAME	SHEET NUMBER
SHEET INDEX	0.1
11x 17 OVERALL SITE PLAN	1
SITE PLAN & EGRESS LIFE SAFETY PLAN	A0.1
FLOOR PLAN	A1.1
ROOF PLAN	A3.1
EXTERIOR ELEVATIONS	A4.1
BUILDING SECTIONS	A5.1
SITE DETAILS	A6.1
DOOR & WINDOW SCHEDULE	A8.1
WALL TYPES AND ROOF DETAILS	AD1.1
BUILDING DETAILS	AD1.2
DOOR AND WINDOW DETAILS	AD1.3
REPDRODUCTION DETAILS	AD1.4
REPRODUCTION DETAILS	AD1.5
REFERENCE PHOTOS	AD1.6

Frame
ARCHITECTURE, INC
4090 South McCarran Blvd, Unit E
Reno, NV 89502 (775) 827-9977

Z:\18-47_BANK SALOON_CENTRAL_Hannah.rvt
4/19/2019 4:03:31 PM

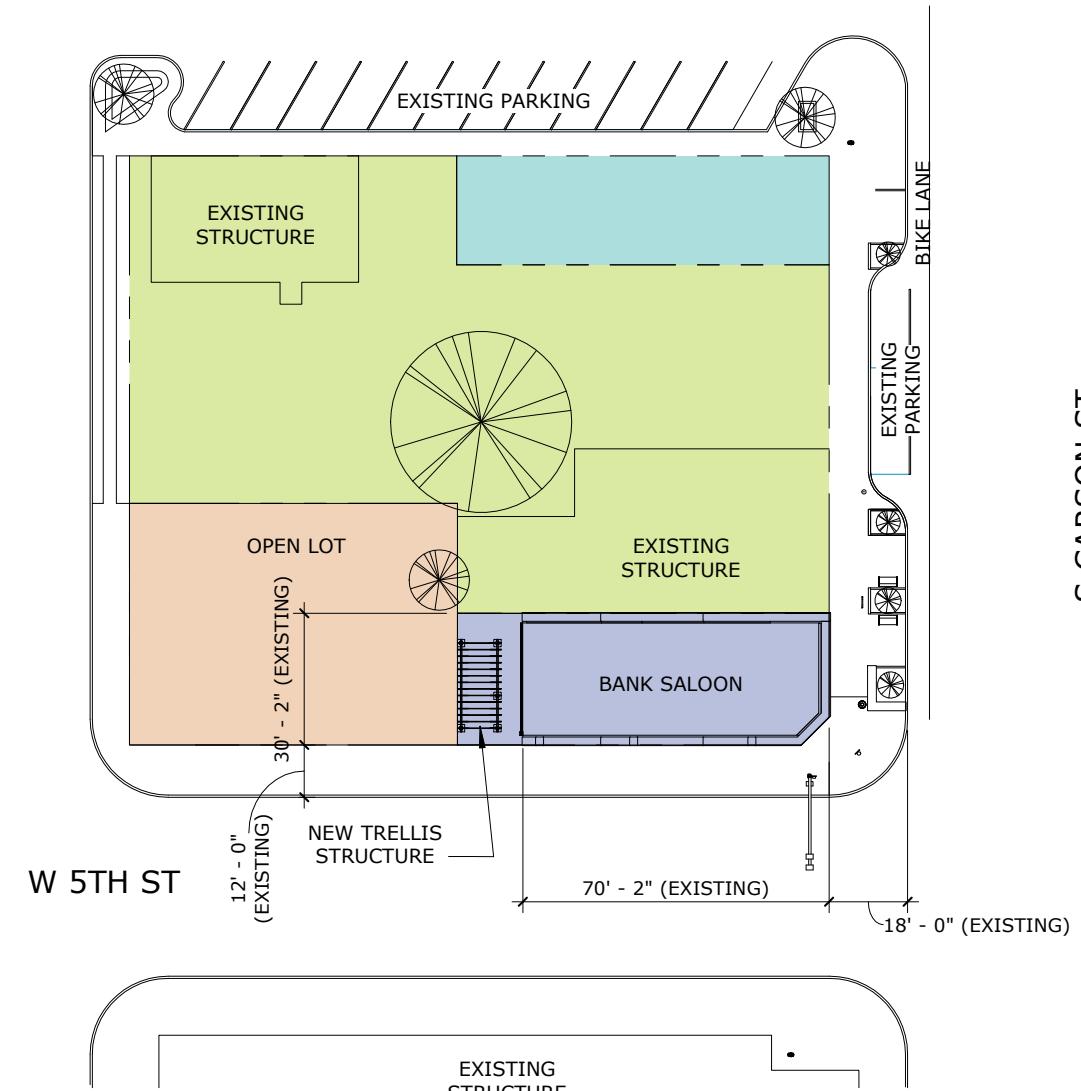
SHEET INDEX

BANK SALOON

18-47

Drawn By: Hannah DeHaven; email: hdehaven@framearchitecture.com; phone: (775) 827-9977 ext. 8982

0.1



1 SITE PLAN
1" = 40'-0"

Frame
ARCHITECTURE, INC
4090 South McCarran Blvd, Unit E
Reno, NV 89502 (775) 827-9977

Z:\18-47_BANK SALOON_CENTRAL_Hannah.rvt
4/19/2019 2:07:43 PM

SITE PLAN LEGEND

	PROPERTY LINE
	BANK SALOON PROJECT SITE
	APN: 00311603
	APN: 00311601
	APN: 00311602
	EXISTING TREES

GRAPHIC SCALE



11x 17 OVERALL SITE PLAN
BANK SALOON

1

18-47
Drawn By: Hannah DeHaven; email: hdehaven@framearchiteture.com; phone: (775) 827-9977 ext. 8982

Frame
ARCHITECTURE, INC.



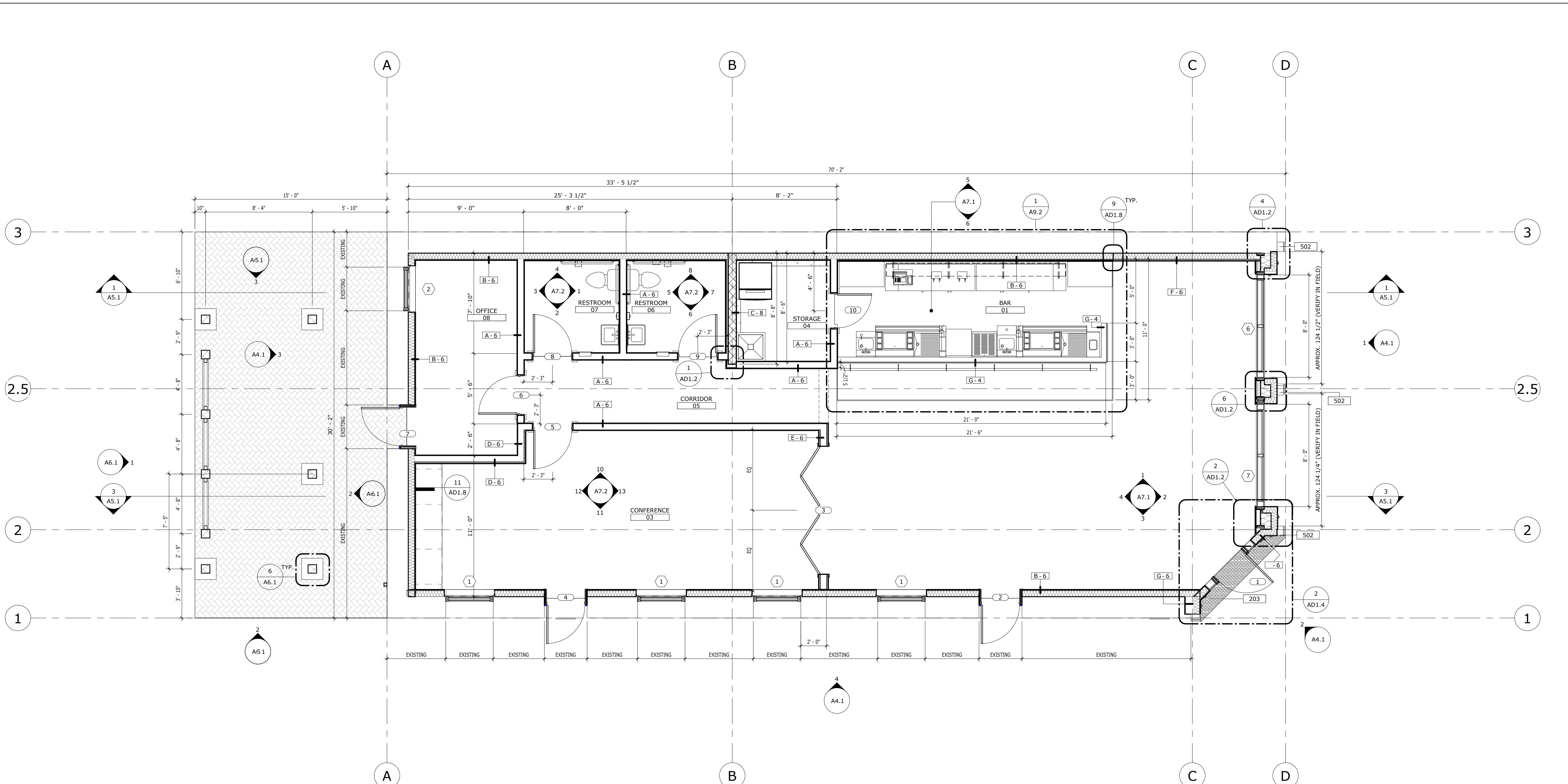
ARCHITECTURAL STAMP

BANK SALOON
418 S. CARSON ST., APN 003-116-04
NEVADA BUILDER'S ASSOCIATION

A1.1

CONSULTANT BRANDING

CONSULTANT STAMP



FLOOR PLAN SCALE: 1/4" = 1'-0"
REF.: 2/2



GENERAL NOTES

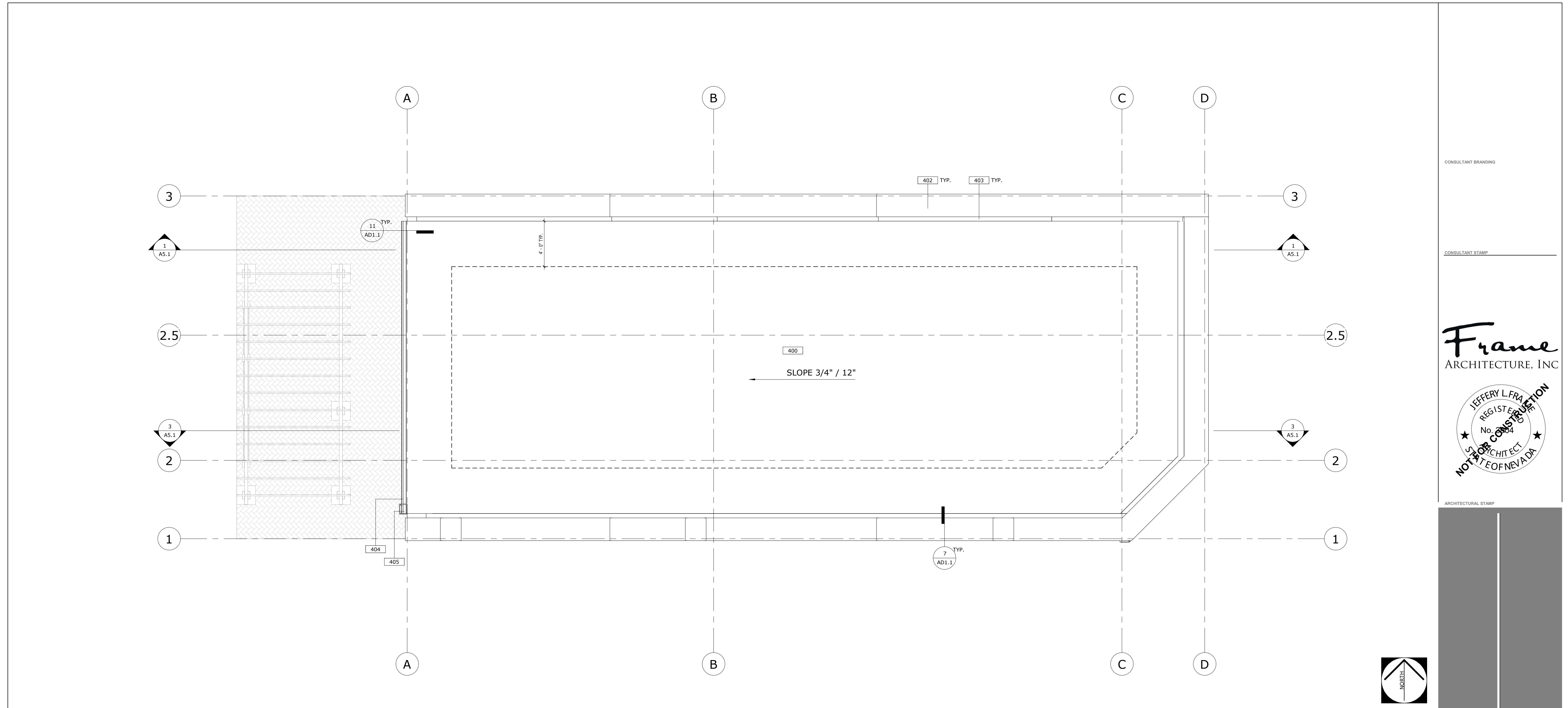
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF COLUMN OR EDGE OF SLAB, U.N.O.
3. SEE SHEET AD1.1 FOR WALL TYPE INFORMATION.
4. PROVIDE R-20 BATT INSULATION AT ALL INTERIOR STRUCTURAL PERIMETER WALLS, U.N.O. GYPSUM BOARD AND INSULATION SHALL EXTEND FULL HEIGHT OF WALL TO UNDERSIDE OF ROOF STRUCTURE PED DETAIL 9 / AD1.1
5. PROVIDE STUD BRACING AND SUPPORT FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES. PER DETAIL 16 / AD1.2
6. SEE SHEET A8.1 FOR DOOR AND WINDOW INFORMATION
7. SET DOORS ADJACENT TO WALLS A MIN. OF 8" AWAY FROM WALL U.N.O.

KEYNOTES

203
502
EXISTING THRESHOLD TO REMAIN
EXISTING CAST IRON PILASTERS TO BE STRIPPED OF EXISTING FINISH, REPAIRED
AND REPAINTED TO MATCH SHERWIN WILLIAMS SW7019 GAUNTLET GRAY. ACCENT
METALLIC BRONZE PAINT TO BE REAPPLIED PER HISTORIC PHOTOGRAPHS.

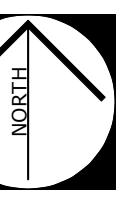
INSULATION SCHEDULE

ROOF:
4" RIGID FOAM POLYISOCYANURATE INSULATION
INTERIOR STRUCTURAL PERIMETER WALLS:
FLEXIBLE BLANKET INSULATION (R-20) WITH INTERIOR WITH KRAFT BACKING VAPOR
RETARDER



ROOF PLAN SCALE: 1/4" = 1'-0"
REF.: 1/A5.1 1

1



BANK SALOON

418 S. CARSON ST., APN 003-116-04
NEVADA BUILDER'S ASSOCIATION

CONSULTANT BRANDING

CONSULTANT STAMP



ARCHITECTURAL STAMP

LEGEND

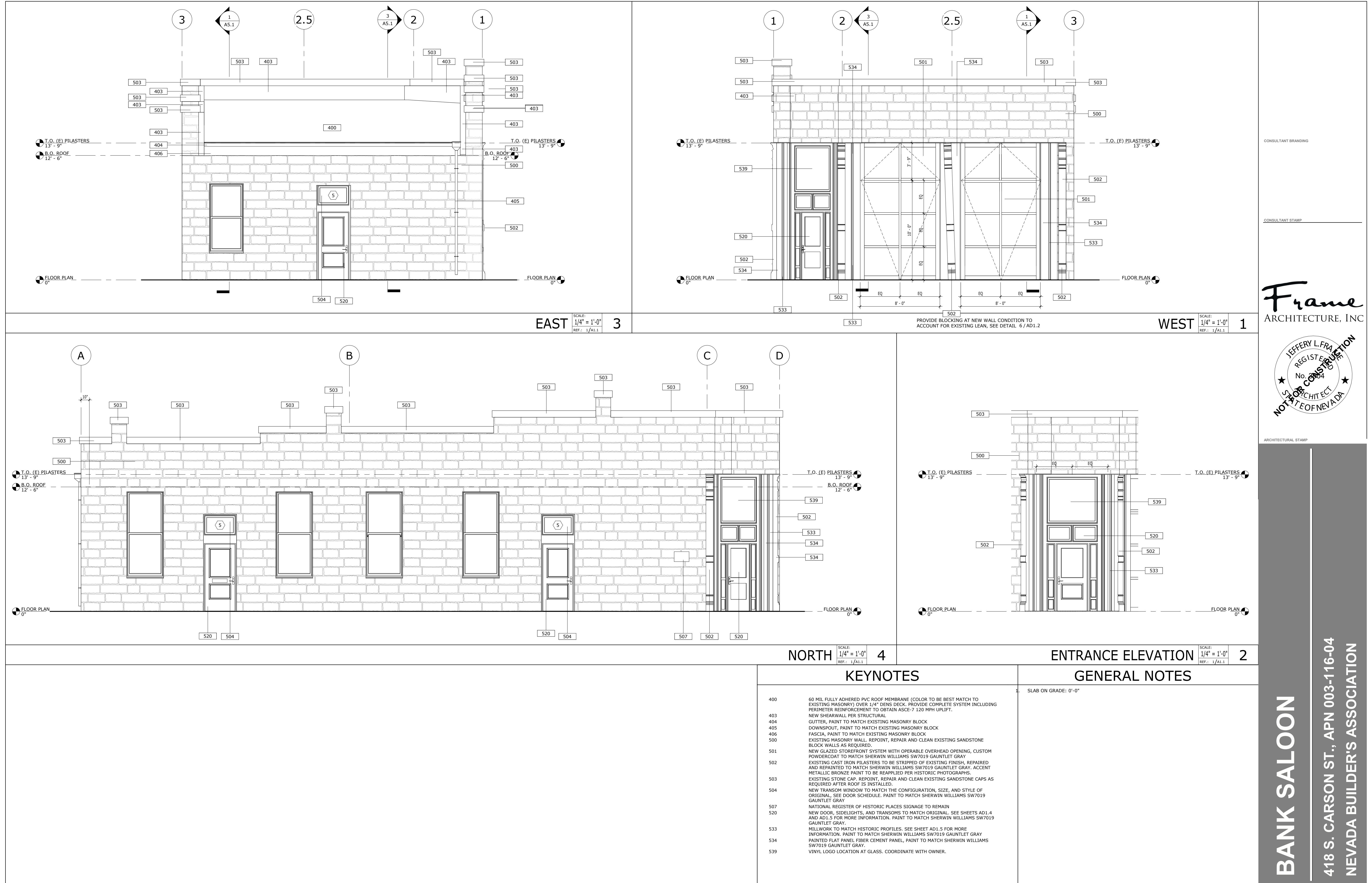
— — —	PERIMETER REINFORCING PER DETAIL XXXXX
-------	--

KEYNOTES

400	60 MIL FULLY ADHERED PVC ROOF MEMBRANE (COLOR TO BE BEST MATCH TO EXISTING MATERIAL) OVER 1/4" THICK 100# GROUTED CONCRETE SYSTEM INCLUDING PERIMETER REINFORCING TO OBTAIN ACSE-7-1200 UPLIFT.
402	(5) STONE PARAPET CAP REPOINT, REPAIR AND CLEAN EXISTING SANDSTONE CAPS AS REQUIRED AFTER ROOF IS INSTALLED AS REQUIRED.
403	NEW SHEARWALL PER STRUCTURAL
404	GUTTER, PAINT TO MATCH EXISTING MASONRY BLOCK
405	DOWNSPOUT, PAINT TO MATCH EXISTING MASONRY BLOCK

GENERAL NOTES

SEE DETAIL 9 / AD1.1 FOR TYPICAL ROOF ASSEMBLY.
FOR PIPE VENT PENETRATIONS THROUGH ROOF, REFER TO DETAIL X/XX X.X FOR TYP. INFO.
PROVIDE 36" WIDE CONTINUOUS WALKWAY TREAD FROM THE LANDING OF EACH ROOF ACCESS HATCH TO EACH MECHANICAL UNIT. TREAD AT EACH UNIT TO SURROUND PERIMETER
AT MECHANICAL EQUIPMENT, REFER TO DETAIL XX/XX X.X FOR ROOF CURB



**418 S. CARSON ST., APN 003-116-04
NEVADA BUILDER'S ASSOCIATION**

BANK SALOON

The image shows a signature of 'Jeffrey L. Frahm' in a cursive font, with 'CHITECTURE, INC' in a serif font below it. To the right is a circular registration stamp. The outer ring of the stamp contains the text 'JEFFERY L. FRAHM' at the top and 'REGISTERED' at the bottom. The inner circle contains 'No. 2304' in the center, surrounded by 'ARCHITECT' at the bottom and 'STATE OF NEVADA' at the bottom. A large, diagonal watermark reading 'CONSTRUCTION' is overlaid across the entire image.

CONSULTANT BRANDING

CONSULTANT STAMP

Frame ARCHITECTURE, INC

ARCHITECTURAL STAMP

FRAME ARCHITECTURE PROJECT No. : 18-47
Printed: 4/19/2019 1:59:22 PM
Submitted: No
Drawn By: Hannah DeHaven_email: hdehaven@framearchitecture.com_phone: (775)827-9977_ext 8981

Drawn By: Hannah DeHaven, email: hdehaven@framearchitecture.com, phone: (775)827-9977, ext 8982
Checked By: JF

REVISION No. _____ DATE _____ DESCRIPTION _____
REVISION No. _____ DATE _____ DESCRIPTION _____

REVISION No. _____ DATE _____ DESCRIPTION _____

FRAME ARCHITECTURE.COM

EXTERIOR ELEVATIONS

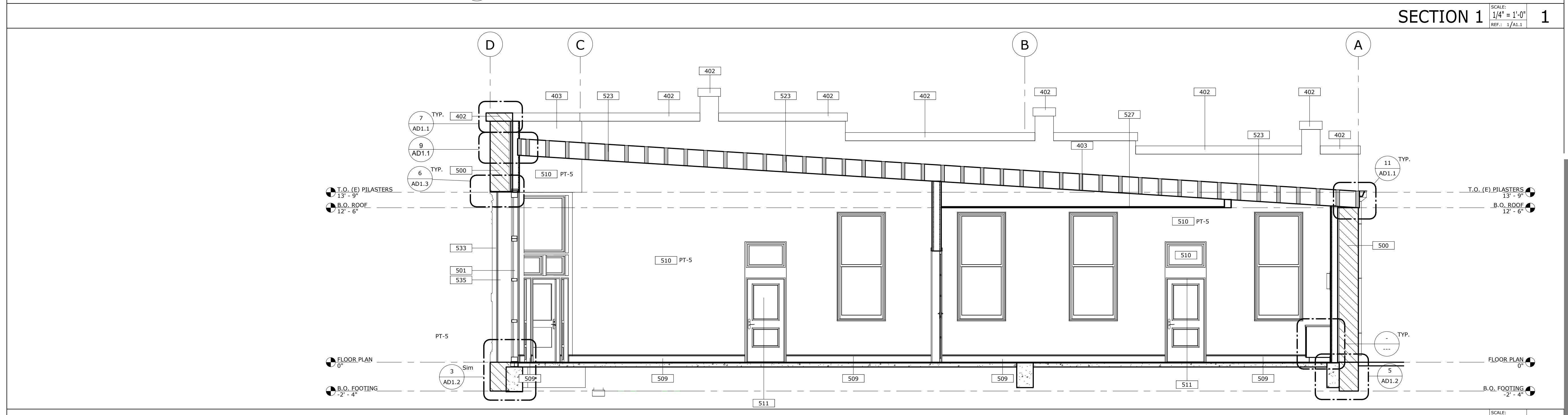
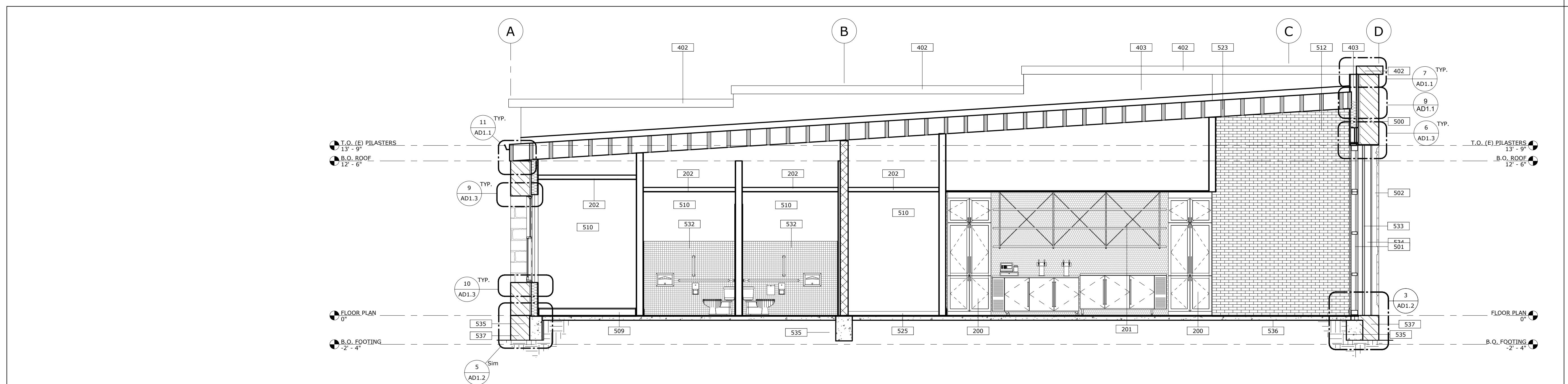
A4.1



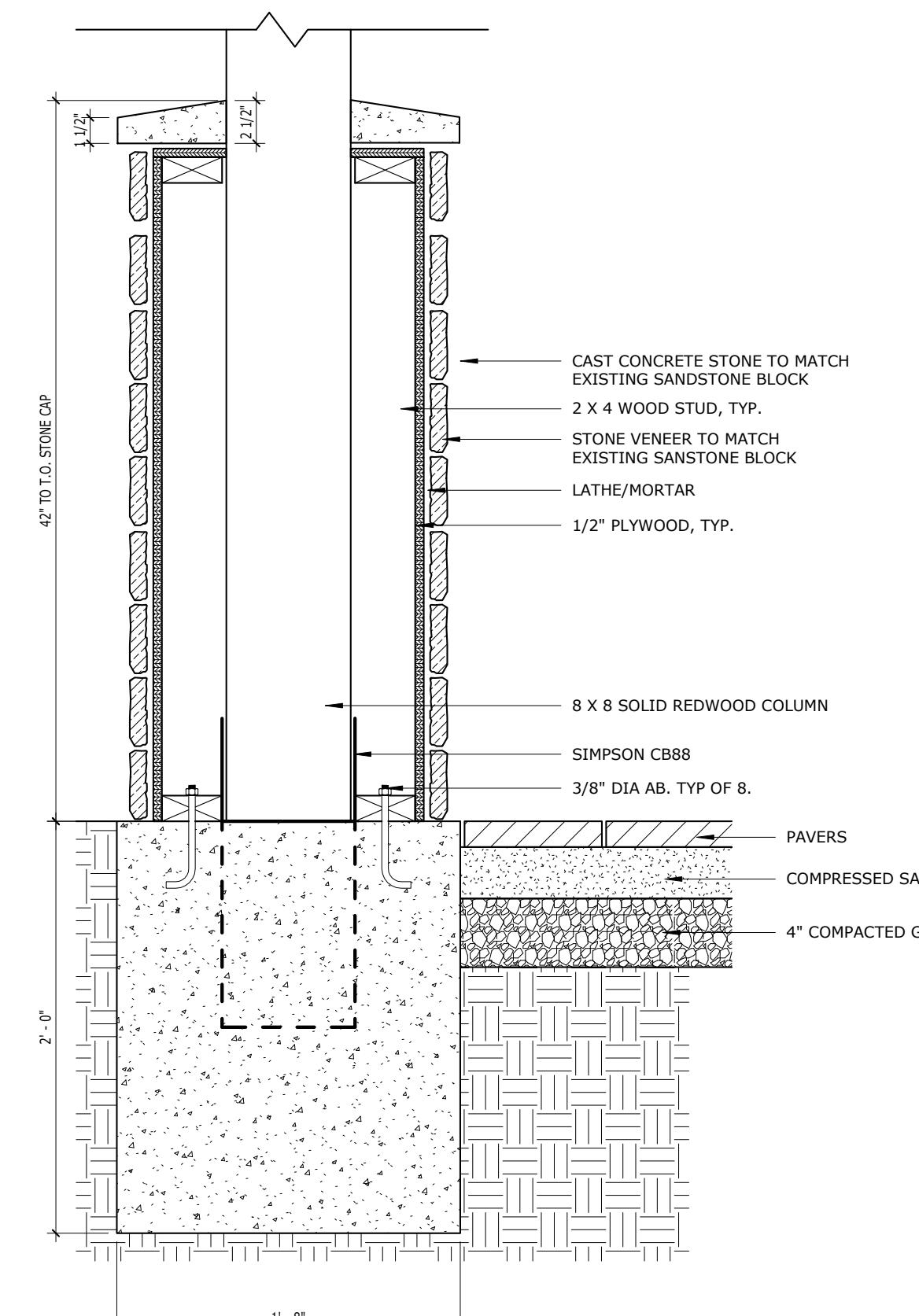
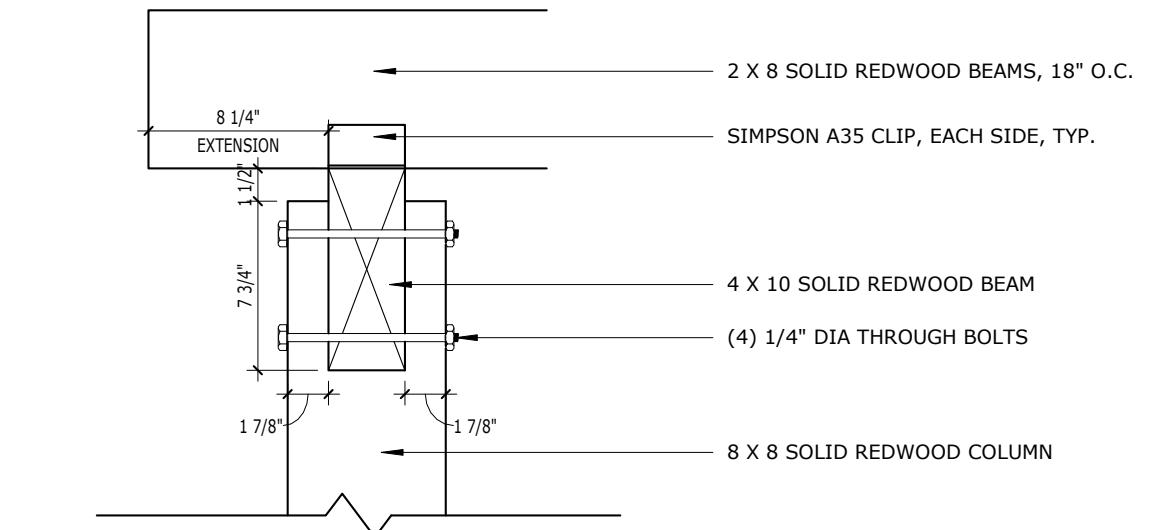
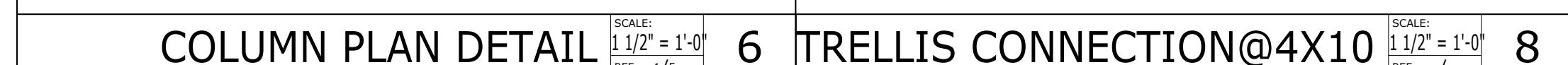
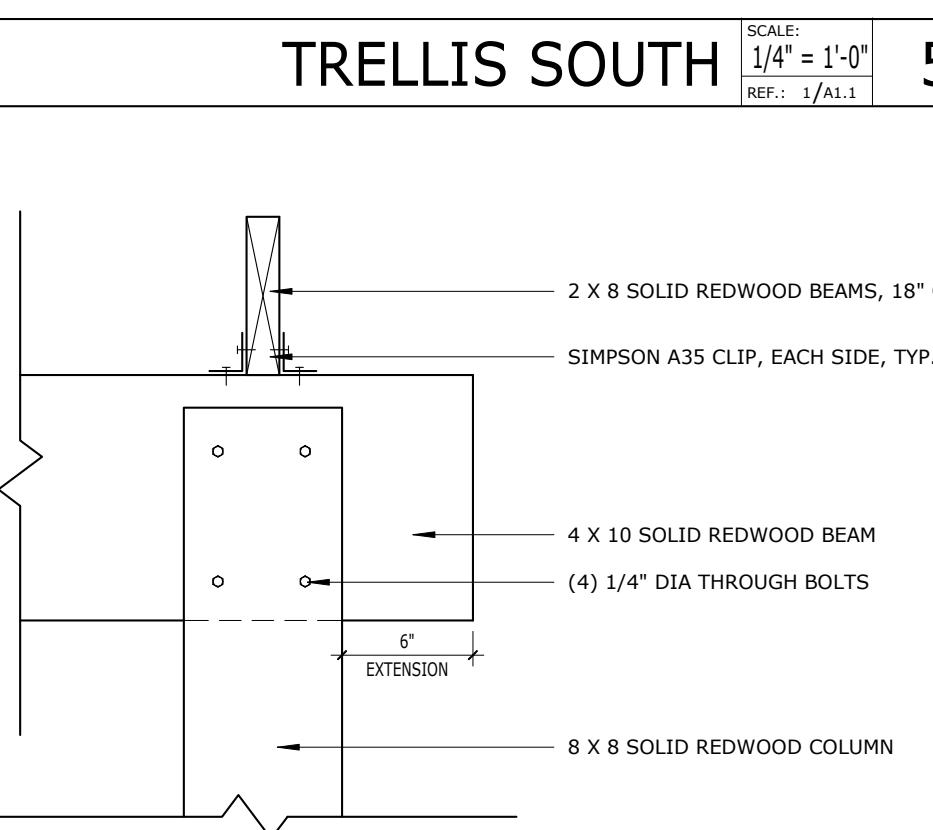
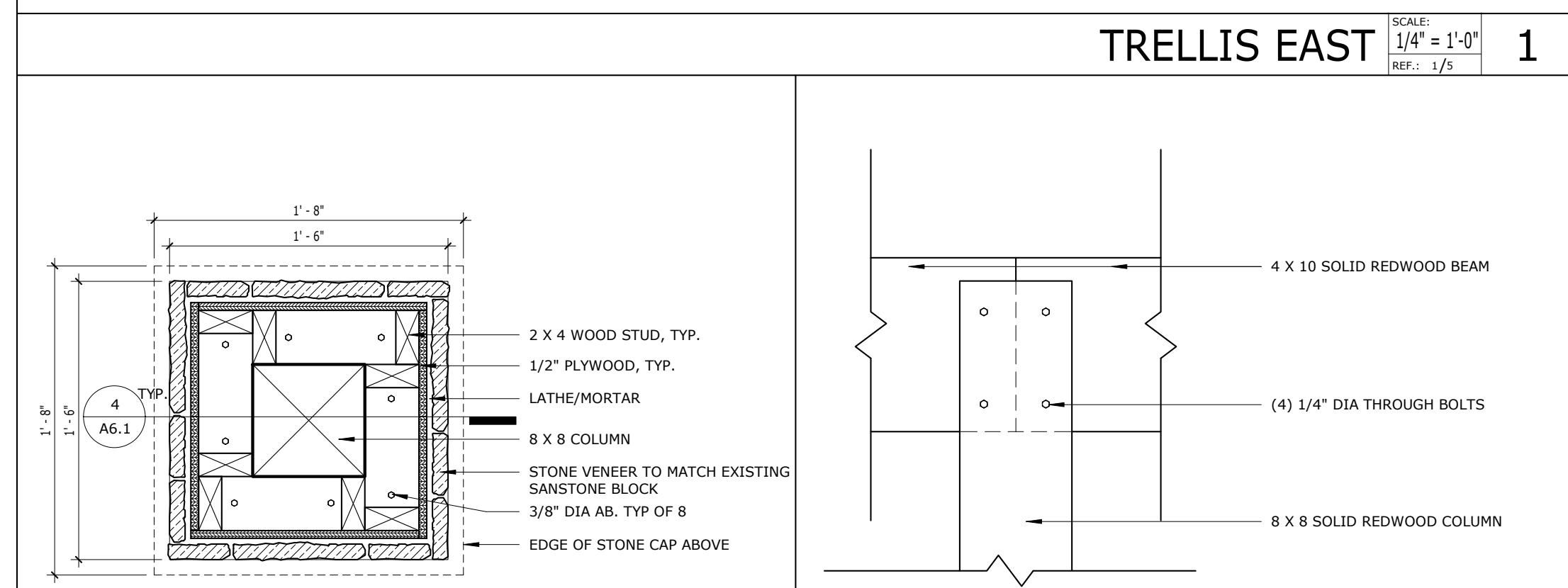
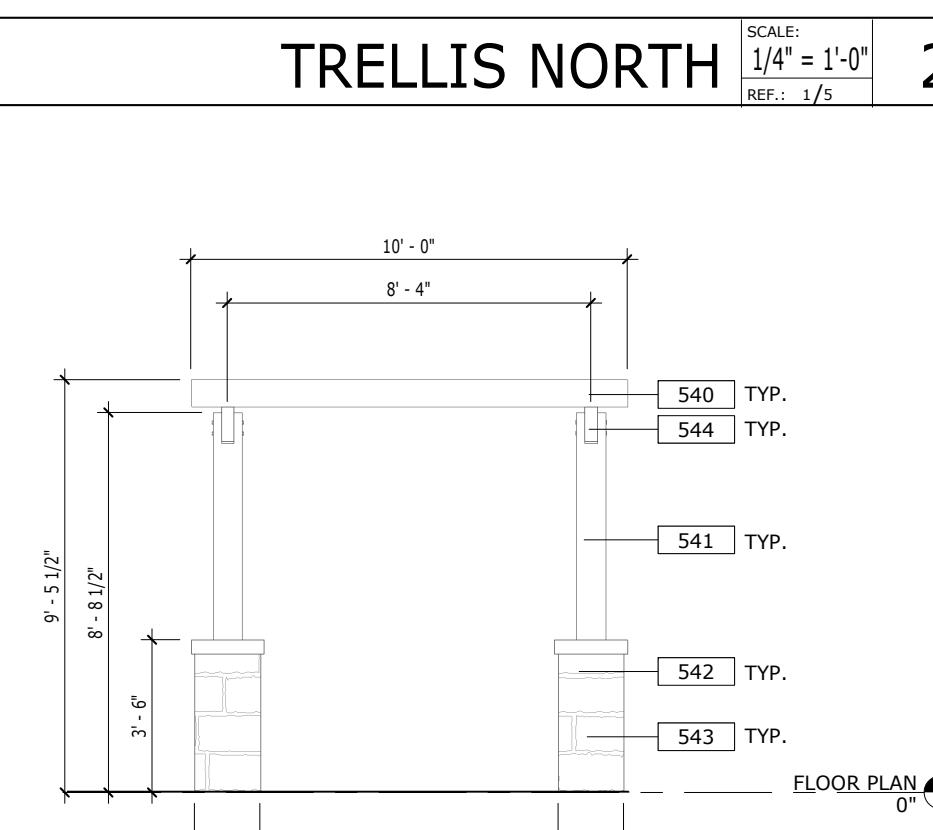
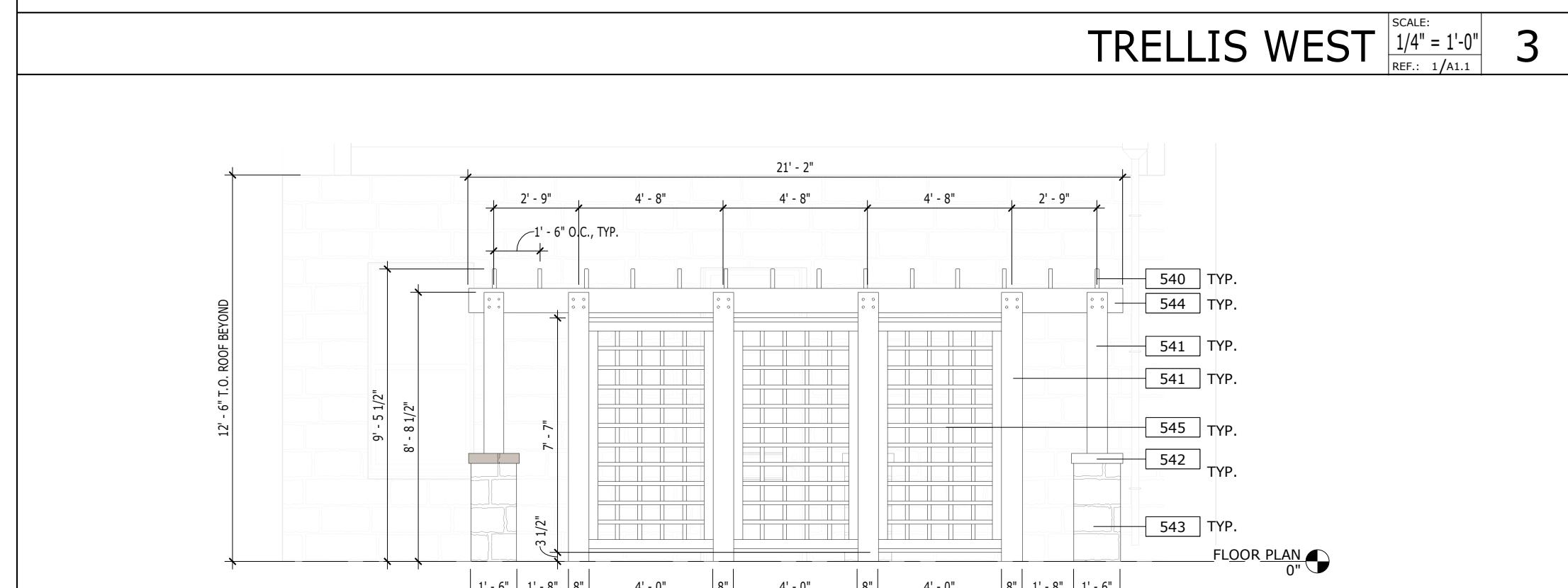
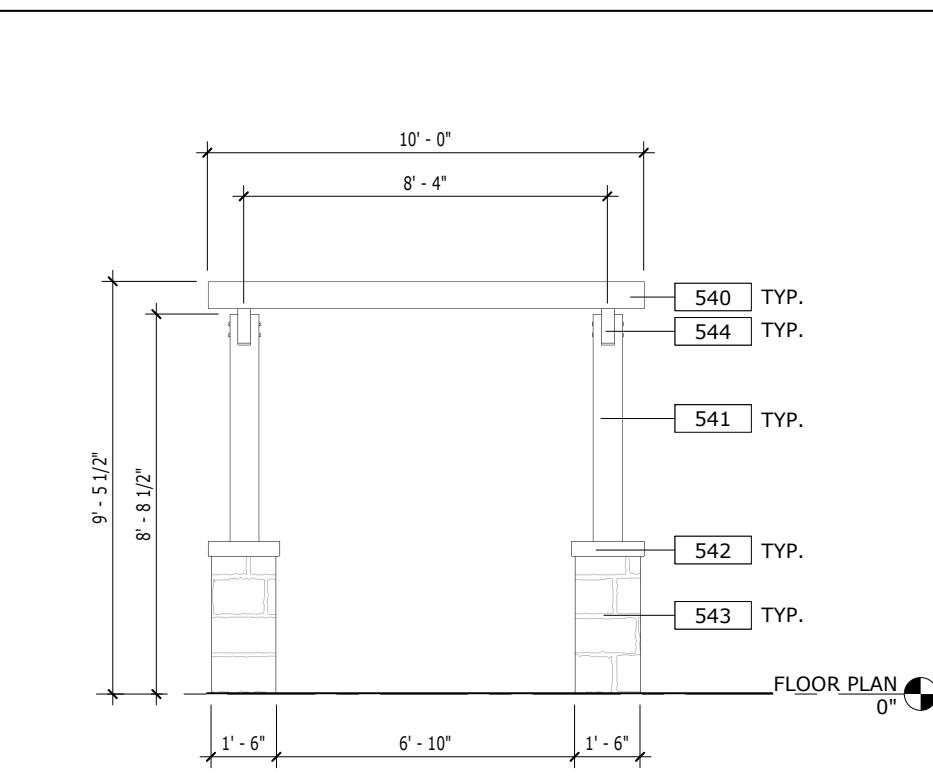
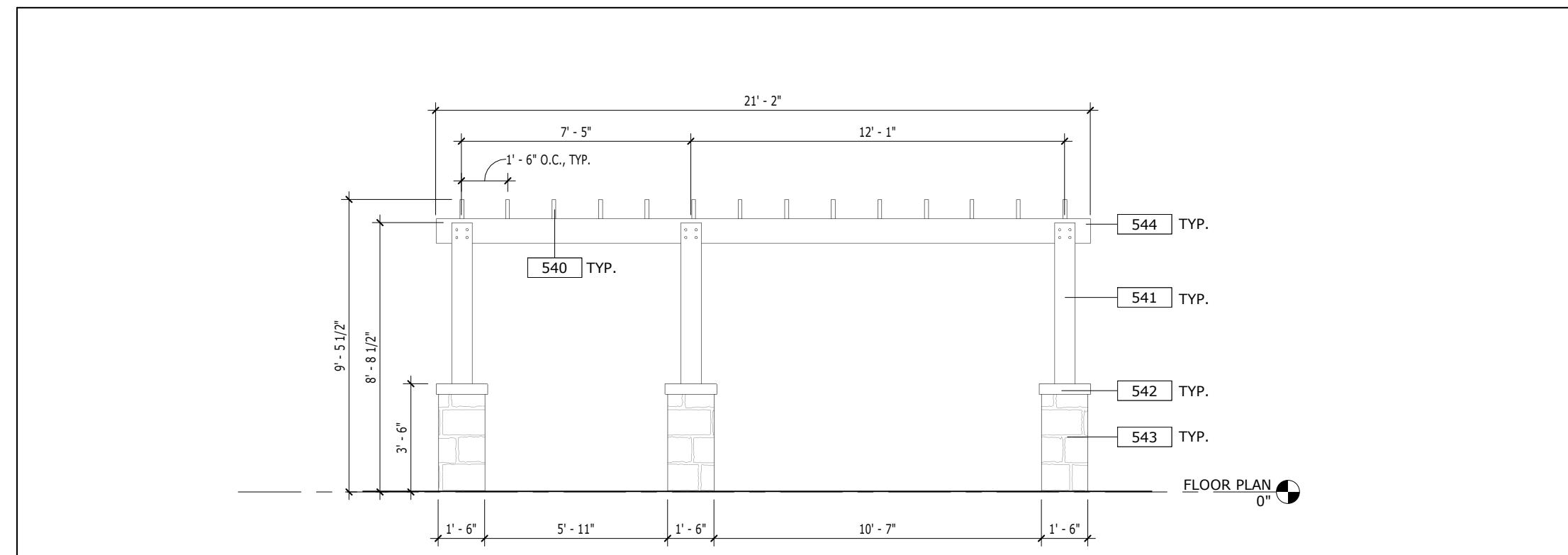
ARCHITECTURAL STAMP

BANK SALOON

418 S. CARSON ST., APN 003-116-04
NEVADA BUILDER'S ASSOCIATION



KEYNOTES	GENERAL NOTES
<p>200 FULL HEIGHT CABINETS. SEE DETAIL XXXXX FOR MORE INFORMATION 201 REFER TO LIQUOR SHELVES. SEE DETAIL XXXXXX FOR MORE INFORMATION 202 DROPPED CEILING, 2 X 6 CEILING JOISTS @ 12" O.C. W/ 5/8" TYPE X GWB ATTACHED TO UNDERIDE 402 (E) STONE PARAPET CAP. REPOINT, REPAIR AND CLEAN EXISTING SANDSTONE CAPS AS REQUIRED AND REPOINT IF IS INSTALLED AS REQUIRED. 403 SHERWIN WILLIAMS SW7019 GAUNTLET GRAY. ACCENT EXISTING MASONRY WALL. REPOINT, REPAIR AND CLEAN EXISTING SANDSTONE BLOCK WALLS AS REQUIRED. 500 NEW GLAZED STOREFRONT SYSTEM WITH OPERABLE OVERHEAD OPENING, CUSTOM POWDERCOAT TO MATCH SHERWIN WILLIAMS SW7019 GAUNTLET GRAY. 501 PAINTED DOOR, OLD WORLD HAND-TROWELED FINISH, SEE FINISH SCHEDULE FOR REFERENCE PHOTO. PAINT PT-1. 5/8" TYPE "X" GWB AT EXTERIOR, OLD WORLD HAND-TROWELED FINISH. SEE FINISH SCHEDULE FOR REFERENCE PHOTO. PAINT PT-2. PAINTED DOOR, OLD WORLD HAND-TROWELED FINISH, SEE FINISH SCHEDULE FOR REFERENCE PHOTO. PAINT PT-1. 5/8" TYPE "X" GWB AT EXTERIOR, OLD WORLD HAND-TROWELED FINISH. SEE FINISH SCHEDULE FOR REFERENCE PHOTO. PAINT PT-2. 511 NEW 2 X 6 WALL BETWEEN DOOR AND TRANSOM. 1/2" FIBER CEMENT PANEL AT EXTERIOR, PAINT PT-1. 5/8" TYPE "X" GWB AT INTERIOR, OLD WORLD HAND-TROWELED FINISH. SEE FINISH SCHEDULE FOR REFERENCE PHOTO. PAINT PT-2. 512 THIN BRICK WALL PER PLAN 523 CEILINIC JOIST, PER STRUCTURAL, PAINT PT-2 525 CERAMIC TILE WALL BASE 527 SUSPENDED TIN CEILING BASE PER FINISH SCHEDULE 532 PAINTED CEILINIC JOIST 533 MILLWORK TO MATCH HISTORIC PROFILES. SEE SHEET AD1.5 FOR MORE INFORMATION. PAINT TO MATCH SHERWIN WILLIAMS SW7019 GAUNTLET GRAY. 534 PAINTED FLAT PANEL FIBER CEMENT PANEL, PAINT TO MATCH SHERWIN WILLIAMS SW7019 GAUNTLET GRAY. 535 NEW FOOTING PER STRUCTURAL 536 NEW SLAB PER STRUCTURAL 537 EXISTING STONE FOUNDATION</p>	<p>1. VERIFY ALL EXTERIOR ROOF OPENINGS & VENTS WITH MECHANICAL, ELECTRICAL, STRUCTURAL & PLUMBING DRAWINGS. SEE DETAILS # & #AD# FOR TYPICAL ROOF VENT PENETRATION DETAIL. 2. PROVIDE 4" O POLYISOCYANURATE @ T.O. ROOF STRUCTURE. SEE DETAIL 9/AD1.1 FOR TYPICAL ROOF CONSTRUCTION ASSEMBLY. 3. INSULATION PER INSULATION SCHEDULE ON SHEET A1.1 4. ALL EXPOSED STRUCTURE, INCLUDING MECHANICAL & PLUMBING EQUIPMENT TO BE PAINTED TO MATCH ROOF MEMBRANE.</p>



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Submitted By: JF

Drawn By: JF, email: jfdehaven@framearchitecture.com, phone: (775) 827-9977, ext 8882

Checked By: JF

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SITE DETAILS

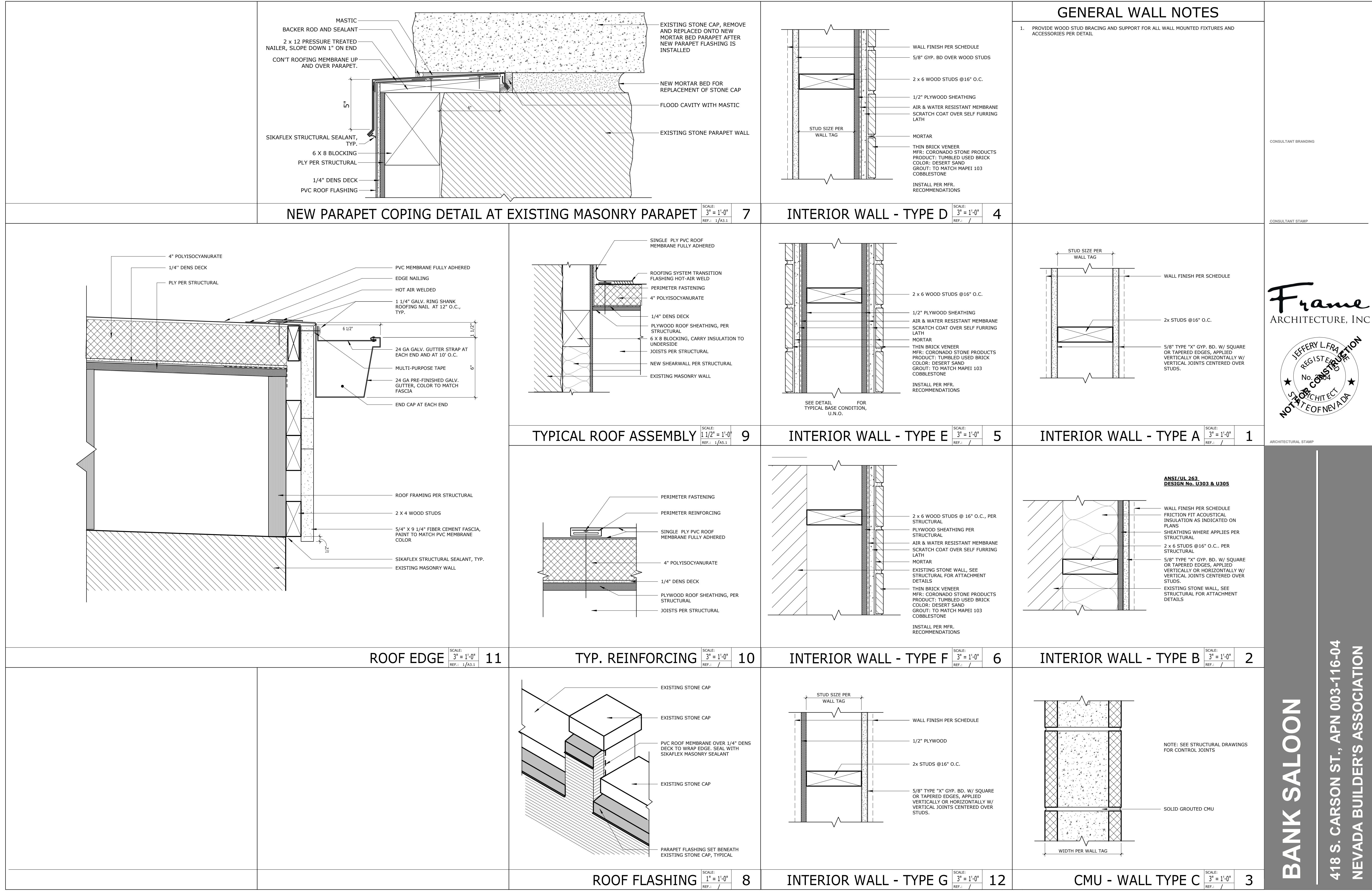
KEYNOTES

- 540 2X8 SOLID REDWOOD BEAM, STAIN TO MATCH SHERWIN WILLIAMS ARMOIRE HICKORY. PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO FINISHING.
- 541 8X8 SOLID REDWOOD COLUMN, STAIN TO MATCH SHERWIN WILLIAMS ARMOIRE HICKORY. PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO FINISHING.
- 542 CONCRETE SILL, STAIN TO MATCH BLOCK BELOW. PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- 543 STONE VENEER TO MATCH SAME SOURCE AS HISTORIC SANDSTONE BLOCK. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- 544 4X10 SOLID REDWOOD BEAM, STAIN TO MATCH SHERWIN WILLIAMS ARMOIRE HICKORY. PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO FINISHING.
- 545 4X10 7'-7" SOLID REDWOOD TRELLIS PANELS, STAIN TO MATCH SHERWIN WILLIAMS ARMOIRE HICKORY. PROVIDE FINISH SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO FINISHING.

GENERAL NOTES

- 1. SLAB ON GRADE: 0'-0"

A6.1



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AD1.1

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WALL TYPES AND ROOF DETAILS

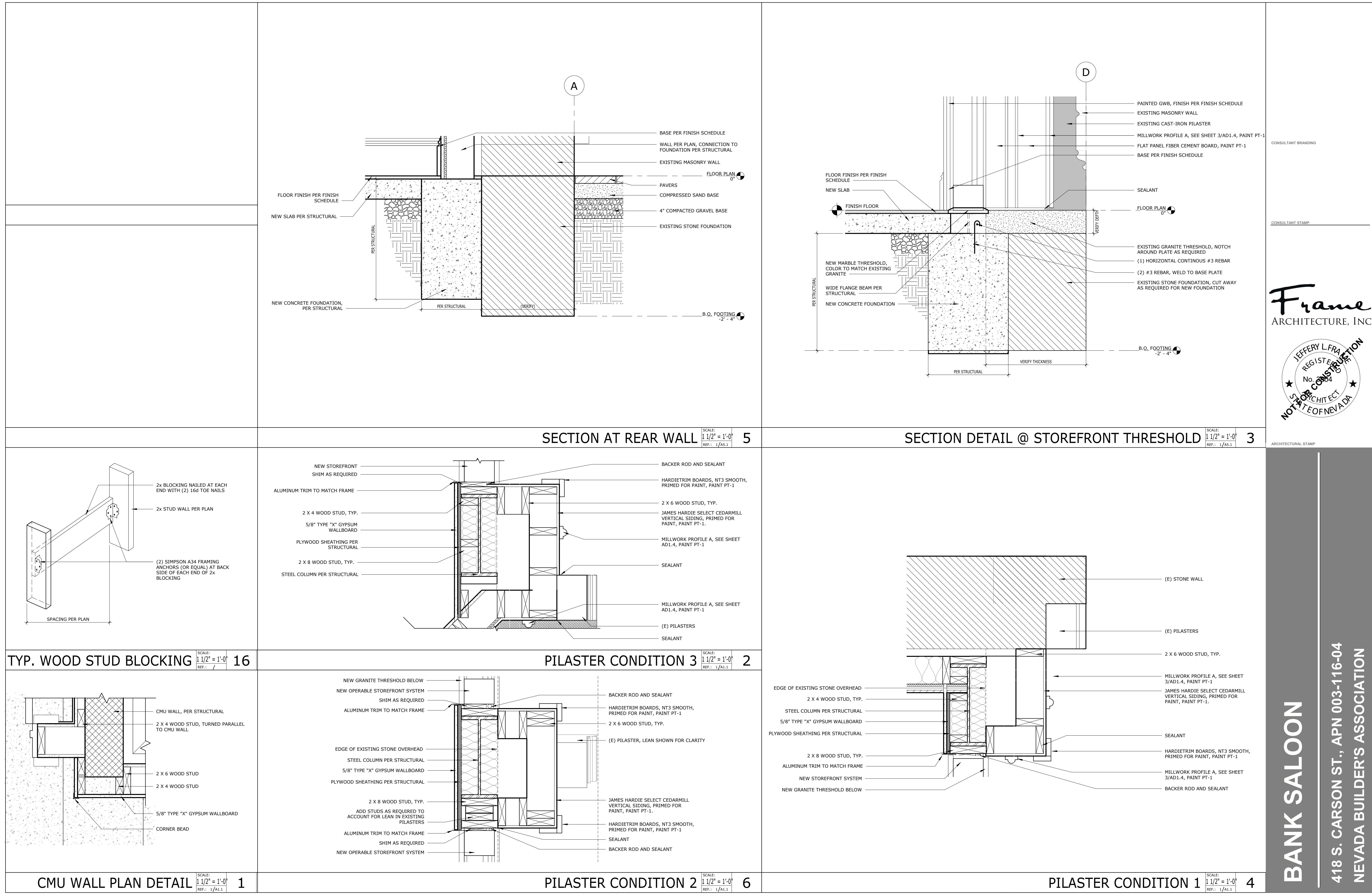
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Submitted by: Dr. Brian DeHaven, email: bdehaven@framearchitecture.com, phone: (775) 827-9977, ext 8892

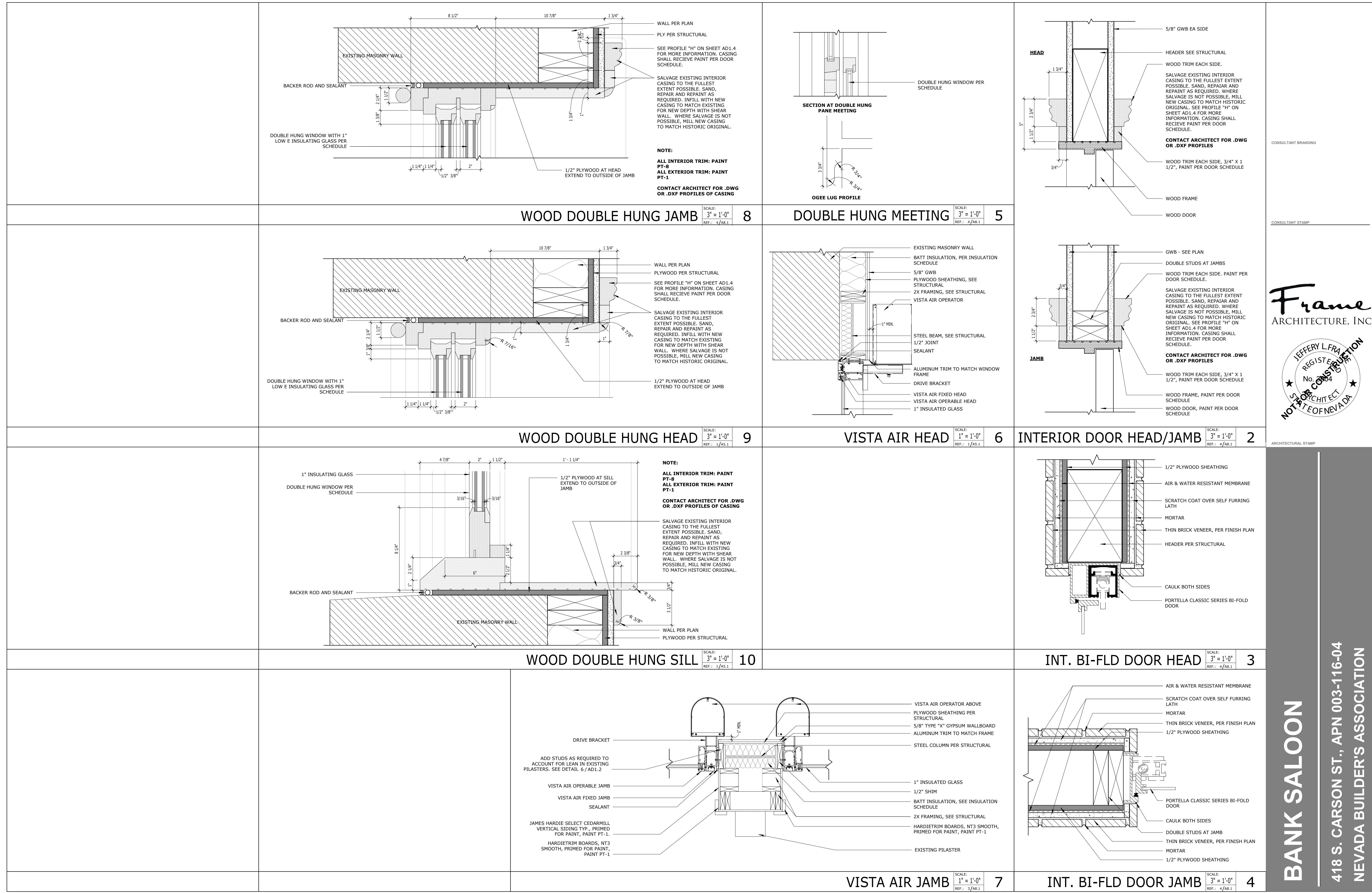
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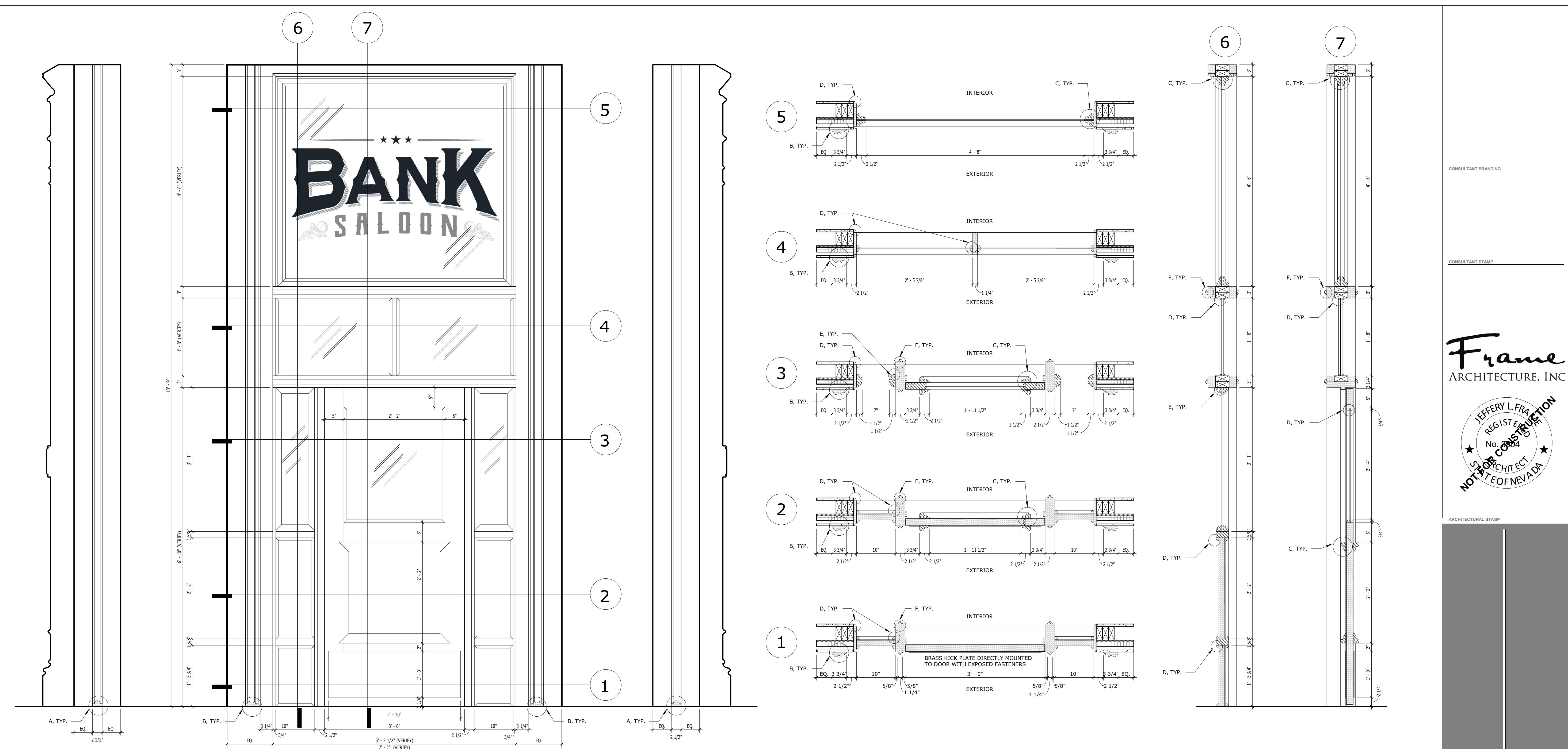
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BUILDING DETAILS

AD1.2





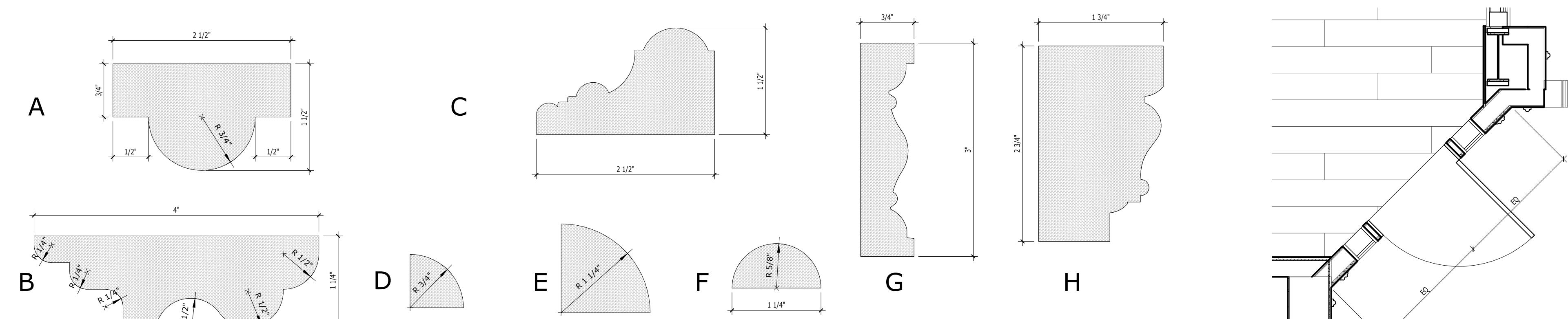
ENTRANCE MILLWORK DETAILS SCALE: 1" = 1'-0" REF.: / 1

GENERAL NOTES

1. SEE CORRESPONDING MILLWORK PROFILES ON 3/AD1.4 FOR ENLARGED MILLWORK PROFILES AND DIMENSIONS.

2. DRAWINGS AND DIMENSIONS OF HISTORIC REPRODUCTION MILLWORK ARE FOR REFERENCE AND GENERAL DESIGN ONLY. ALL REPRODUCTIONS OF ALL BUILDING COMPONENTS SHALL BE A MATCH FOR HISTORIC ORIGINAL WITH RESPECT TO CONFIGURATION, SIZE, AND STYLE OF ORIGINAL.

CONTRACTOR TO VERIFY OVERALL DIMENSIONS AND DEPTHS OF HISTORIC EXTERIOR BUILDING COMPONENTS INCLUDING WINDOW AND DOOR FRAMES PRIOR TO COMPLETION OF SHOP DRAWINGS. DOOR AND WINDOW MANUFACTURER TO PROVIDE DETAILED SHOP DRAWINGS BASED ON CONTRACTOR VERIFIED SITE MEASUREMENTS OF HISTORIC EXTERIOR BUILDING COMPONENTS.



NOTE: CONTACT ARCHITECT FOR .DWG OR .DXF PROFILES OF CASING

MILLWORK PROFILES SCALE: 12" = 1'-0" REF.: / 3 ENLARGED ENTRANCE PLAN SCALE: 1/2" = 1'-0" REF.: 1/AL1 2

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REPRODUCTION DETAILS

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AD1.4

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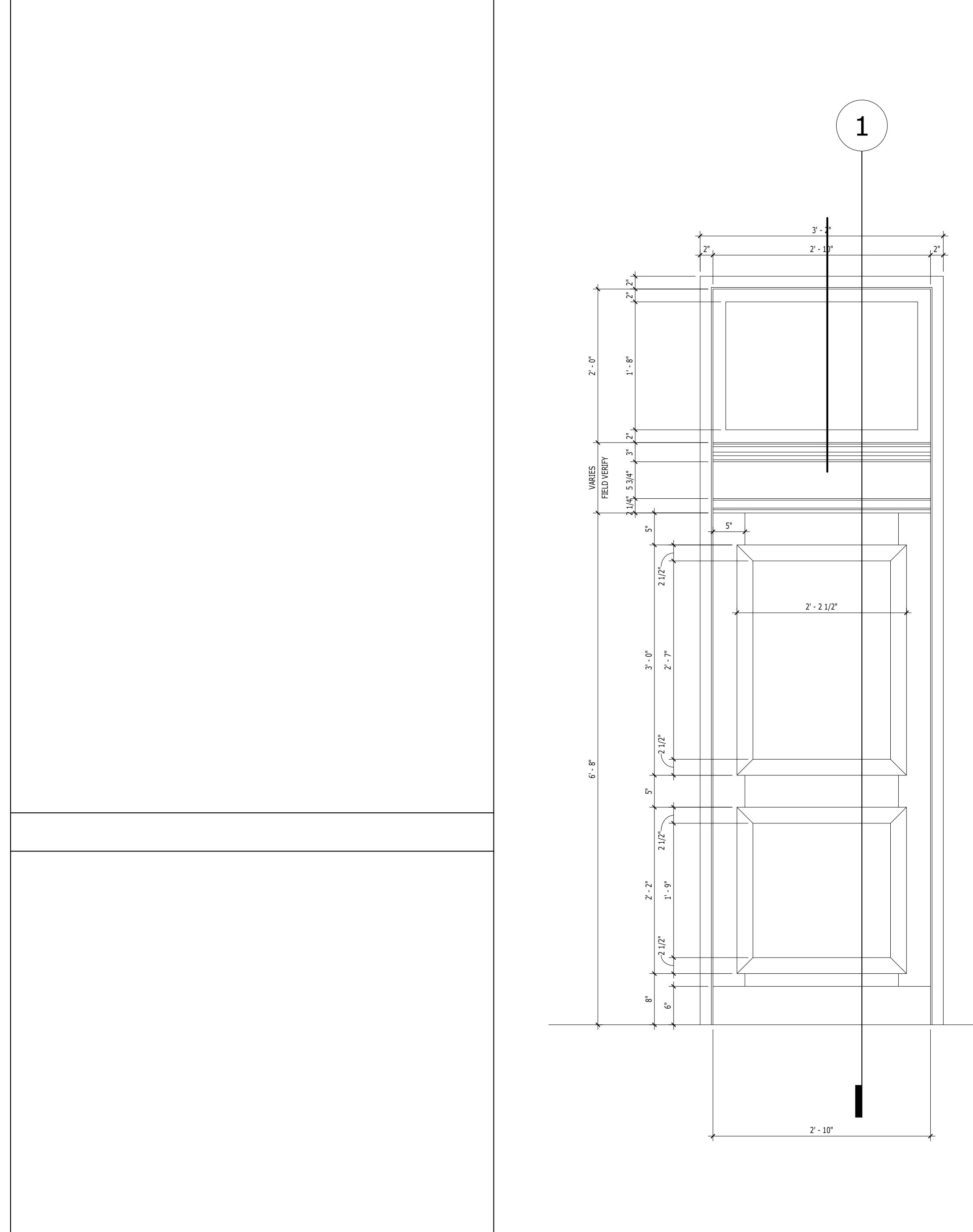
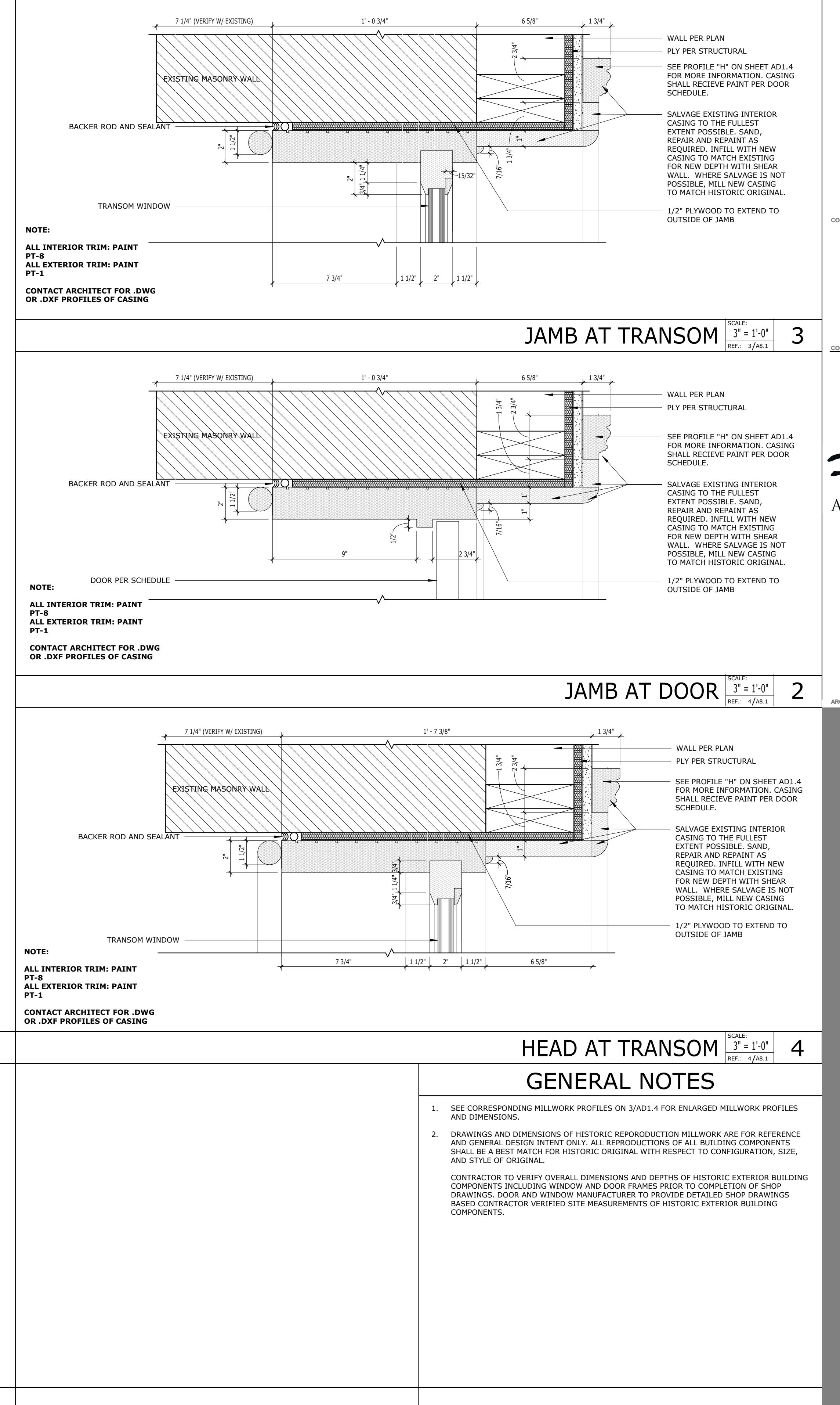
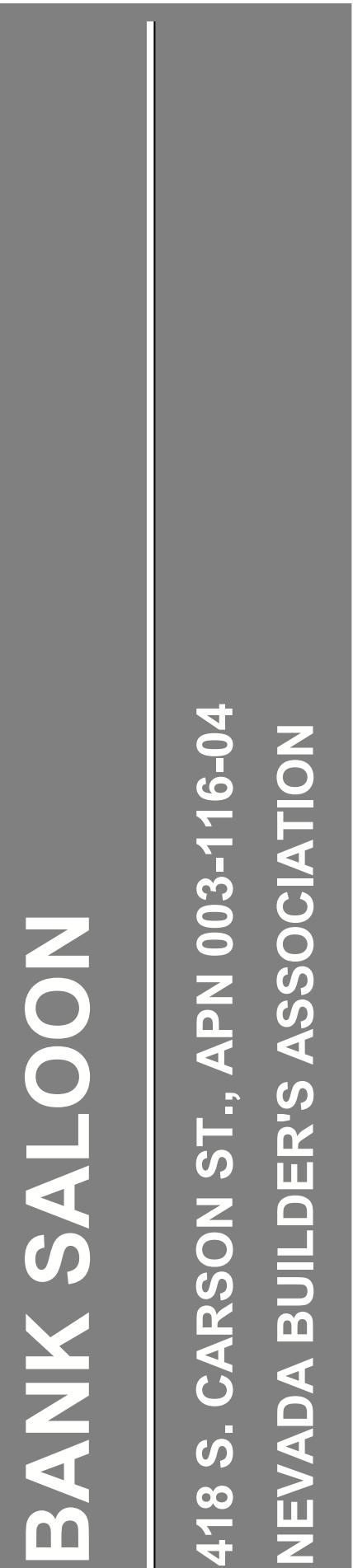
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REPRODUCTION DETAILS

AD1.5

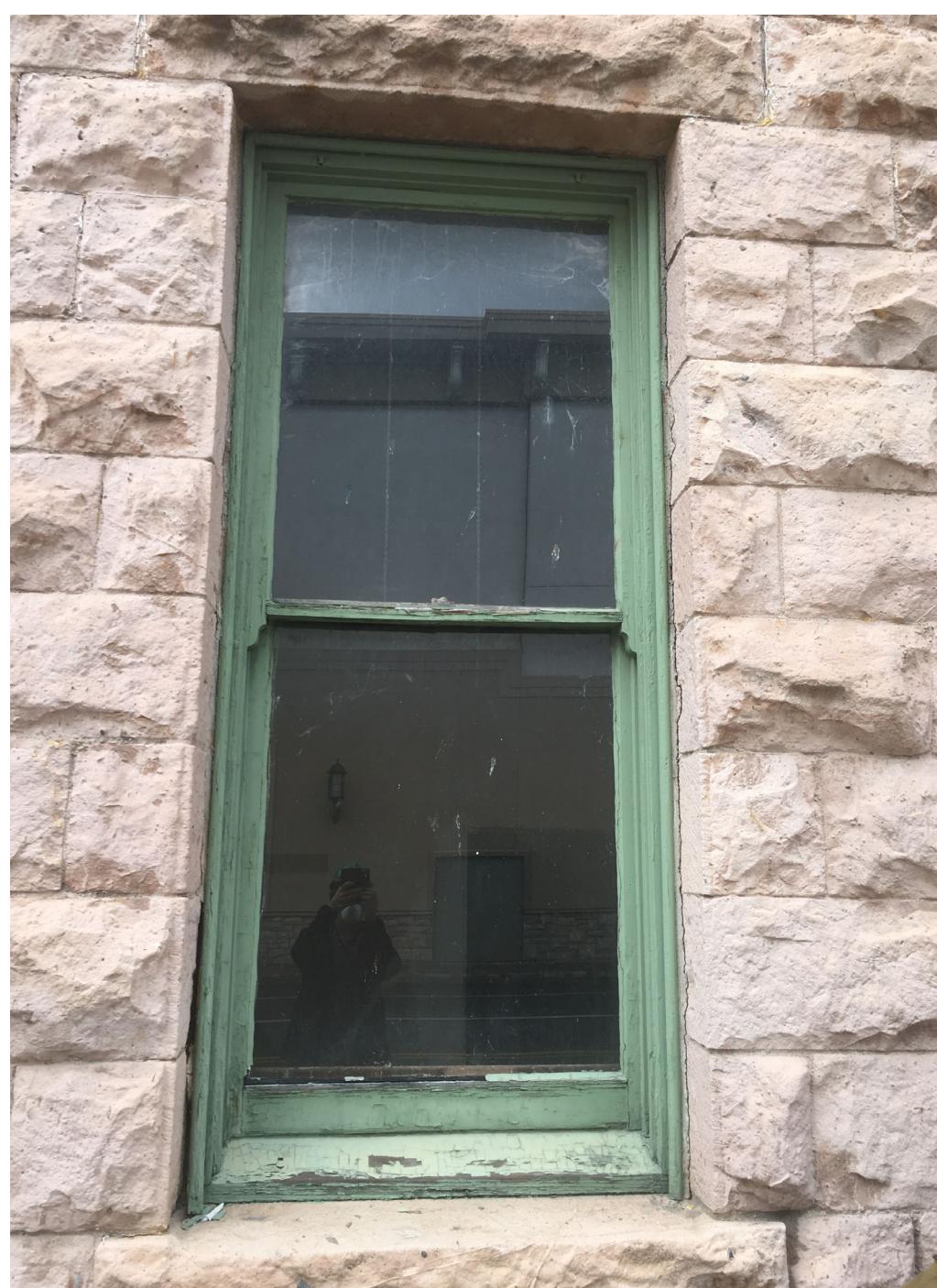


PHOTO 1

TYPICAL EXTERIOR WINDOW



PHOTO 2

TYPICAL EXTERIOR DOOR W/
TRANSOM



PHOTO 3

PRIMARY ENTRANCE



PHOTO 4

PILASTER BETWEEN WINDOWS



PHOTO 8

INTERIOR VIEW LOOKING
TOWARDS FACADE WINDOWS



PHOTO 7

INTERIOR WINDOW CASING
DETAIL



PHOTO 6

PILASTER DETAIL FROM 1980
NPS NOMINATION FORM



PHOTO 5

VIEW FROM 5TH STREET LOOKING
NORTHEAST