

## STAFF REPORT FOR PLANNING COMMISSION MEETING OF NOVEMBER 19, 2019

**FILE NO:** SUP-19-083-1

**AGENDA ITEM:** E-2

**STAFF CONTACT:** Hope Sullivan, Planning Manager

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding an amendment to a Special Use Permit for Outdoor Storage to allow for personal storage within an enclosed building on property zoned General Commercial and Public Regional, located on the west side of Airport Road, south of Butti Way, APN 010-041-76. (Hope Sullivan, [hsullivan@carson.org](mailto:hsullivan@carson.org)).

**STAFF SUMMARY:** At its meeting of June 26, 2019, the Planning Commission approved a Special Use Permit for outdoor storage on the subject property. The applicant is now seeking to amend the Special Use Permit to also allow approximately 30,000 square feet of personal storage in an enclosed building. As personal storage is only allowed in one of the two zoning districts of this split zoned property, an amendment to the Special Use Permit is required to establish this additional use on site. The Planning Commission is authorized to approve an amendment to the Special Use Permit.

**RECOMMENDED MOTION:** "I move to approve SUP-19-083-1 to amend SUP-19-083 based on findings and subject to conditions of approval contained in the staff report."

### VICINITY MAP:



**RECOMMENDED CONDITIONS OF APPROVAL:**

*The below conditions are the original conditions of approval. Proposed additions appear in bold and underlined.*

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one year extension of time may be requested in writing to the Planning Division thirty days prior to the one year expiration date. Should this permit not be initiated (obtain a Building Permit) within one year and no extension granted, the permit shall become null and void.
5. All requirements of the Lompa Ranch North Specific Plan development agreement must be met.
6. The LP dispenser should be shown on the building permit and tank size must be indicated. Installation must be approved by the NV LPG Board.
7. A site specific geotechnical investigation must be performed as recommended by the feasibility geotechnical investigation, and construction recommendations be incorporated into the design.
8. The multi-use path must be extended along the frontage as shown.
9. The project must meet the Carson City Municipal Code, Development Standards, and Standard Detail requirements including:
  - The project must balance flood zone cut and fill quantities, or may have a net gain of cut to increase storm water detention. There may not be a net gain of fill.
  - The project must provide funds to the City to process a CLOMR.
  - The water main must be extended along the frontage as shown.
10. The project site is adjacent to a future three acre dog park associated with the proposed Lompa Ranch East development. The applicant will be required to install the screen wall upslope from the park's south property line and adjacent to the storage facility. The landscape design for the screening buffer between the proposed park and project site will be reviewed and approved by the Parks, Recreation & Open Space Department.
11. The Unified Pathway Master Plan identifies Airport Road as an on-street bicycle facility. The applicant will be required to protect the existing bike lanes during the project's construction and repair lanes/restripe the pavement markings at their expense, if damage occurs. Any repairs and restriping to the bike lanes has to be approved by Development Engineering.

12. Design all project driveway approaches that cross the 10' pedestrian multi-use path along Airport Road to meet ADA standards.
13. The applicant will be required to maintain all common landscape and open space areas on the project site in perpetuity, including any landscaping in the road right-of-way.
14. Incorporate "best management practices" into the applicant's construction documents and specifications to reduce the spread of noxious weeds. The Parks, Recreation & Open Space Department is willing to assist the applicant with this aspect of their project.
15. The applicant will be required to remove any graffiti on the perimeter screening wall, per Carson City Municipal Code.
16. A detailed landscaping plan is required at the time of site improvement permit. This plan shall demonstrate that disturbed areas are either landscaped or otherwise improved, shall utilize drought tolerant plants, shall incorporate a buried irrigation system, and shall incorporate a minimum 15 foot wide landscape strip along Airport Road planted with 1 tree per 25 lineal feet of street frontage, and six shrubs per tree.
17. A detailed lighting plan is required at the time of site improvement permit and shall include a photometric survey demonstrating even lighting throughout the site, with no spillover lighting.
18. Proposed signage requires a sign permit and shall meet the standards of Section 2.1.6 of the Lompa Ranch North Specific Plan.
19. The site must be fully enclosed with six foot solid fencing consistent with fencing proposed, **acknowledging that the masonry rear of the storage buildings may function as the screening device in lieu of the addition of fencing.**
20. Site improvement plans shall show the location of the wash area and dumpster locations. These areas must be inside the six foot fence.
21. Site improvement plans must include a detail of the dumpster enclosures and placement consistent with Section 2.1.8 of the Lompa Ranch North Specific Plan.
22. **A landscape plan meeting the requirements of Division 4 of the Development Standards is required at the time of building permit. The plan shall include trees in the parking aisle planters. Plantings along the right-of-way shall be provided at a rate of 1 tree per 25 lineal feet of street frontage with a minimum of six shrubs per tree.**

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits), 18.04.135 General Commercial (GC); 18.04.185 Public Regional (PR); 18.04.020 Determination of Districts

**MASTER PLAN DESIGNATION:** Mixed Use Residential and Mixed Use Employment, Lompa Ranch North Specific Plan

**PRESENT ZONING:** General Commercial and Public Regional

**KEY ISSUES:** Does the addition of private storage units cause the application to continue to meet the required findings for approval of a Special Use Permit? Is the proposed use compatible with surrounding properties?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: Single Family 6,000 / vacant (tentative map approved)

EAST: Public Regional / Animal Facility

SOUTH: Agriculture / Drainage Facility

WEST: Agriculture / Drainage Facility

**ENVIRONMENTAL INFORMATION:**

1. FLOOD ZONE: Zone AE (100 year flood plain), XS (Between 100 year and 500 year flood plain), and X (areas of minimal flooding)
2. EARTHQUAKE FAULT: Severe, Zone I
3. SLOPE/DRAINAGE: Flat

**SITE DEVELOPMENT INFORMATION:**

LOT SIZE: 7.28 acres

EXISTING LAND USE: Vacant

VARIANCES REQUESTED: None

**DISCUSSION:**

A Special Use Permit is required for the following reason:

- According to CCMC Title 18.04.020.6.d where a parcel of land is divided by a zoning district boundary, the following shall apply: "To utilize the entire parcel with a use that is only allowed in 1 of the 2 zoning districts, a zoning map amendment or special use permit is required for that portion of the property not zoned for the use."

The vacant property is split zoned General Commercial and Public Regional. Personal storage is allowed in General Commercial zoning, but not allowed in Public Regional zoning.

At its meeting of June 26, 2019, the Planning Commission approved a Special Use Permit for a covered RV and boat storage facility for approximately 275 vehicles. The facility will include a 1000 square foot sales office on site that will include a small retail component with items related to RVs and boats. The site will also have a dumping station, a RV / boat wash station, and a propane refill area. No mechanic services will be on site, and customers will be prohibited from repairing or maintaining their vehicles on site.

The applicant is now proposing to convert the four "carport" type buildings that were along the perimeter of the site into personal storage buildings, providing for approximately 300 enclosed personal storage units. The rear of the personal storage buildings will consist of masonry walls with a height of eight and a half feet. The wall will include a split faced masonry pier and accent strip. A corrugated metal roof panel will be utilized, and the front of the building, which face interior to the site, will utilize metal wall panels with metal overhead doors.

Hours of operation are still proposed to be 6:00 AM to 10:00 PM, with the office open from 8:00 AM to 6:00 PM daily. The site will entirely fenced with solid fencing and secured with a gate. Customers will have a gate code. Note that where the exterior wall of the personal storage building creates a barrier, additional fencing will not be required.

Per the provisions of 18.02.080, the Planning Commission has the authority to approve a Special Use Permit upon making each of the seven required findings in the affirmative.

**PUBLIC COMMENTS:** Public notices were mailed to 36 property owners within 950 feet of the subject property on October 24, 2019. As of the writing of this report, no comments have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on November 19, 2019, depending on the date of submittal of the comments to the Planning Division.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:** The following comments were received by various city departments. Recommendations that are not code requirements have been incorporated into the recommended conditions of approval, where applicable.

**Fire Department:**

No change to original comments.

**Engineering Department**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The previously approved conditions of approval must be met.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

**C.C.M.C. 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans.

**C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians**

The revision will have a negligible effect on the traffic impacts compared with the original approval. The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if conditions are met.

**C.C.M.C. 18.02.080 (5d) - Public Services**

The revision will have a negligible effect on sewer, water, and storm drain infrastructure compared with the original approval. The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project.

**C.C.M.C. 18.02.080 (5e) – Title 18 Standards**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare**

The project meets engineering standards for health and safety.

**C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5h) – Adequate Information**

The plans and reports provided were adequate for this analysis.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

***1. Will be consistent with the objectives of the Master Plan elements.***

The subject property is part of the Lompa Ranch North Specific Plan, and is designated as Mixed Use Residential. This is the only non-residential component in the portion of the Lompa Ranch North Specific Plan east of the freeway.

Section 2.1 of the Specific Plan provides design standards and guidelines for the commercial uses, as follows.

***2.1 Commercial Uses***

***2.1.1 Commercial Site Planning Standards***

*a) Building placement and orientation shall be designed to create visual interest along public streets. Multiple buildings in a single project shall demonstrate a positive functional relationship to one another.*

Two buildings are proposed along Airport Road, an office building and the rear of a personal storage building. In addition, a six foot solid fence utilizing vertical board and dense landscaping will be located along Airport Road. The parking to serve the building is to the side of the building as opposed to between the street and the building. Staff finds this design to be consistent with the Master Plan.

*b) To the extent possible, buildings located within a single project shall be clustered. Plazas and pedestrian areas shall also be an important element in the design of clustered buildings. When clustering is impractical, a visual link should be established between buildings through the use of architectural features, landscaping, etc.*

The storage buildings on the site will be on the perimeter, and the office building is along Airport Road. Given the secured nature of the use, it does not lend itself to plazas and the like.

*c) For general commercial uses, a minimum of 15 percent of the building area should be located at or near the front setback line. This minimizes large, continuous areas of parking and encourages active streetscapes.*

Both buildings are located at the front setback line.

*d) Buildings shall be oriented so that public access or windows face adjoining streets.*

The office building is oriented so that windows and a stone facade face the street. The masonry wall of the storage building will face the street.

*e) Plazas or common areas within a project shall be located near building entrances or areas of high pedestrian traffic to ensure their use.*

Given the proposed use, a plaza is not recommended as it will not be a use where people congregate or linger.

*f) To the extent possible, areas between buildings shall be utilized for plazas, outdoor seating, or landscape features in order to eliminate “dead zones” of underutilized space.*

Given the proposed use, a plaza is not recommended as it will not be a use where people congregate or linger.

*g) Bicycle racks shall be provided within all commercial centers.*

The proposed use is not a commercial center.

### **2.1.2 Commercial Grading and Drainage**

*a) Design of commercial uses shall be sensitive to the natural terrain, and structures should be located to minimize necessary grading and preserve natural site features such as drainageways, wetlands, etc. Grading of commercial sites should blend with the natural topography of the site.*

The subject property has drainage facilities on two sides. The site will maintain existing drainage patterns sloping from north to south where flow will be collected and treated in a detention pond before being discharged to the detention facilities to the south.

*b) Grading within commercial areas shall be designed to complement the architectural and landscape design character of the center and surrounding area. Grading techniques can be used to screen parking and service areas, reduce the perception of height and mass on larger buildings, and provide reasonable transitions between uses.*

The site is being graded in a manner to allow for additional stormwater detention to the south.

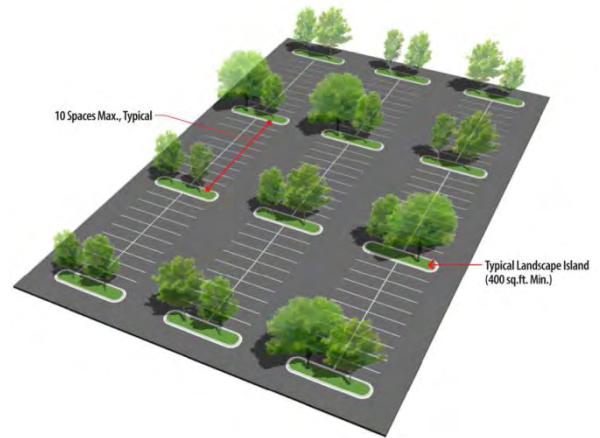
*c) Graded slopes should properly transition to existing natural terrain at project borders.*

The proposed grading is intended to allow for additional stormwater detention.

*d) Man-made slopes shall not exceed an average of 3:1 slope and turf areas shall not exceed an average 4:1 slope.*

Slopes will be 6:1 adjacent to the drainage basins in order to provide for additional stormwater detention.

*e) Areas disturbed by grading activities shall be revegetated prior to the issuance of a certificate of occupancy. If climatic conditions or other circumstances prevent planting at the time of occupancy, a bond shall be provided for landscaping during the subsequent growing season. Drought tolerant plant species shall be utilized to help minimize erosion.*



A detailed landscaping plan will be obtained at the time of site improvement permit to ensure disturbed areas are either landscaped or otherwise improved.

*f) New commercial developments must include a final hydrology report to be reviewed and approved by the Carson City Engineering Department prior to the issuance of a building permit.*

The applicant has submitted a drainage letter prepared by a licensed engineer. A detailed drainage report will be required at the time of site improvement permit review.

*g) An erosion control plan shall be included with each grading permit.*

A detailed erosion control plan will be required at the time of site improvement permit review.

### 2.1.3 Commercial Parking Lots

*a) A minimum of 10 feet of landscaping shall be provided between parking lots and the public streets.*

A ten foot landscape area is provided along Airport Road.

*b) A minimum 400 square foot interior planter shall be provided at the end of parking aisles (refer to example to the right). Planters shall include a minimum of one deciduous tree (min. two inch caliper).*

Landscaping is located at each end of the parking lot. Trees will be required to be added at the



ends of the parking aisles.

*c) Landscape islands (minimum of 400 square feet) shall be provided for every 10 spaces in large parking fields and shall include a minimum of one deciduous tree (two inch caliper minimum). See example to right.*

The parking lot only has three spaces.

*d) Pedestrian connections between parking lots and buildings shall be provided along with connections to sidewalks along adjoining public streets.*

The project will include the extension of the multi-use path along the frontage of the property.

*e) Parking should be located to the side and rear of a project site where feasible. However, no more than 10 percent of the required parking shall be in the rear service area (typically not used for general public access) of a project site.*

Parking is located to the side of the building.

*f) Parking areas shall be screened from adjoining residential areas through the use of landscaping and berming. This buffer shall be a minimum of 10 feet in width (see example to right).*

The subject property has drainage facilities on two sides, a proposed dog park to the north, and the road to the east.

*g) Commercial centers that include tenants that utilize shopping carts shall provide a "cart corral" within 150 feet of 85 percent of their parking stalls.*

The proposed use will not utilize shopping carts.

*h) For commercial centers exceeding 5 acres, a maintenance plan shall be required for parking lots that includes regular sweeping and a snow removal/storage plan for winter weather events.*

The proposed use is not a commercial center.

*i) For commercial centers adjoining residential areas, parking lot sweeping shall be limited to the hours between 8:00 am and 9:00 pm.*

The proposed use is not commercial center.

*j) Parking lot design, including space dimensions, aisle widths, etc. shall comply with the provisions of the Carson City Municipal Code.*

The proposed parking lot design complies with the Municipal Code.

*k) Outdoor sales or special events may not reduce parking past minimum requirements mandated in the Carson City Municipal Code.*

Outdoor sales and special events are not proposed on the subject property.

#### *2.1.4 Commercial Landscaping*

*a) Landscaping, including plant materials and themes shall be consistent throughout the Lompa Ranch North SPA.*

It is anticipated that this will be the first project built on the east side of Lompa Ranch North Specific Plan Area. The plants will establish the theme for the balance of the east side.

*b) Landscaping standards contained in the Carson City Development Standards shall apply within Lompa Ranch North.*

Proposed landscaping will be consistent with the City's landscaping standards.

*c) Within commercial centers, areas not utilized for parking, buildings, plazas, or access/circulation shall be landscaped to the back of curb. Unbuilt pad areas shall be excluded from this standard.*

The proposed use is not a commercial center.

*d) Drought tolerant plantings shall be used in conjunction with low water demand principles and techniques.*

A detailed landscape plan will be submitted with the site improvement permit. Staff will verify landscaping is comprised of drought tolerant plants.

*e) All landscaped areas shall be irrigated with permanent automatic irrigation systems. All irrigation systems shall be placed underground.*

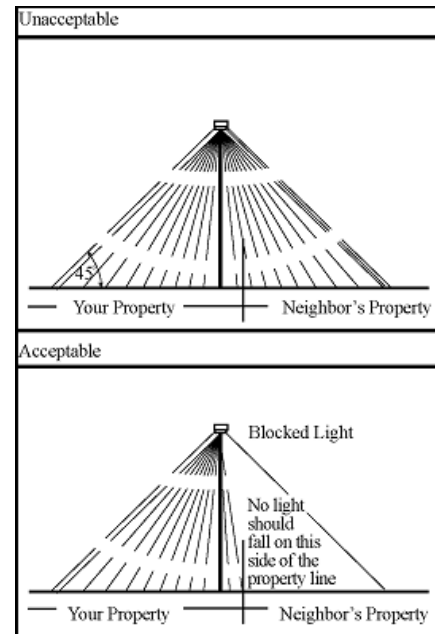
A detailed landscape plan will be submitted with the site improvement permit. Staff will verify the plans call for a buried irrigation system.

*f) Landscape maintenance within commercial areas shall be the responsibility of individual property owners or completed through a private maintenance association.*

All landscaping shall be the responsibility of the property owner.

*g) Landscaping along adjoining rights-of-way shall be a minimum width of 15 feet and provide a mix of trees, shrubs, and living groundcover. Trees shall be provided at a rate of 1 tree per 25 lineal feet of street frontage with a minimum of six shrubs per tree.*

The plans call for a 30 foot landscaped area along the right-of-way. A detailed landscape plan will be submitted with the site improvement permit. Staff will verify that the tree and shrubs meet the required numbers.



#### 2.1.5 Commercial Lighting

*a) Adequate lighting shall be provided to ensure a safe pedestrian environment.*

A detailed lighting plan will be submitted at the time of building permit. Staff will ensure the adequacy of the plan at that time.

*b) Parking lot lighting within 75 feet of residential areas shall be limited to 12 feet in height and shall incorporate shielded fixtures. Additional height limitations for parking lot lighting within certain distances of residential areas are identified in the Carson City Development Standards.*

The parking lot is not within 75 feet of residential areas.

*c) Parking lot lighting shall use shielded/directed fixtures to ensure that spill-over and glare do not occur on adjoining properties.*

A detailed lighting plan will be submitted at the time of building permit. Staff will ensure the adequacy of the plan at that time.

*d) The use of bollard lighting is encouraged in pedestrian areas.*

Given the use, there are not identified pedestrian areas.

*e) Exterior lighting shall be used for purposes of illumination and safety only, and shall not be*

*designed for, or used as, an advertising display.*

A detailed lighting plan will be submitted at the time of building permit. Staff will ensure the adequacy of the plan at that time.

#### 2.1.6 Commercial Signs



*Signs and their integration into the project is a critical element in the design of Lompa Ranch North. Careful use of forms, styles, materials, and colors will establish continuity throughout the community. Signs are intended to be utilized only where necessary, and in an understated manner, emphasizing an image of permanence and quality.*

*a) Signs shall be included on facades or entry canopies of buildings and illuminated or backlit with indirect lighting. All tenant identification signs shall be consistently located and integrated into the architectural design of the building entry. Storefront signs shall be proportional with the building architecture.*

The applicant has identified the location of a sign along Airport Road, but a specific sign has not been proposed. A sign permit will be required prior to erecting any signs. Compliance will be determined at that time.

*b) Flashing or animated signs are prohibited.*

A sign permit will be required prior to erecting any signs. Compliance will be determined at that time.

*c) Building signs that project more than 4 inches beyond the wall façade are prohibited, unless incorporated as an architectural element.*

A sign permit will be required prior to erecting any signs. Compliance will be determined at that time.



*d) Hanging signs may be included under eaves above walkways and shall maintain a minimum of 8 feet of clearance. These signs shall be architecturally compatible with the building they serve.*

A sign permit will be required prior to erecting any signs. Compliance will be determined at that time.

#### 2.1.7 Commercial Fencing

*a) Walls and fences shall be utilized to provide a buffer between incompatible uses. It is important, however, that walls are appropriately integrated into each project.*

The applicant has provided a wall detail for a six foot tall fence. The use is required to utilize a six foot solid wall of fence to screen the use from adjacent properties. Also, the personal storage buildings will be located along the exterior of the site. The masonry rear of the buildings will also provide for buffering.

*b) Solid fencing (6 foot minimum) shall be installed between commercial uses within Lompa Ranch North and adjoining residential uses. This can include wood or vinyl fencing, concrete block walls, pre-cast wall systems, or similar.*

The applicant has provided a wall detail for a six foot tall fence. The use is required to utilize a six foot solid wall of fence to screen the use from adjacent properties. Also, the personal storage buildings will be located along the exterior of the site. The masonry rear of the buildings will also provide for screening.

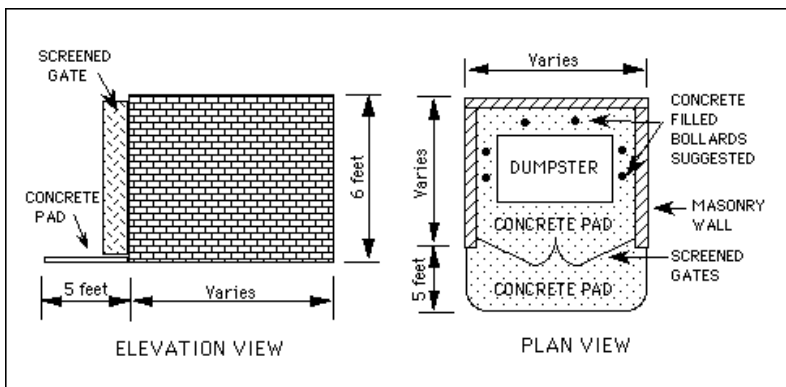
*c) Chain link fencing shall be prohibited within commercial centers.*

The applicant's wall detail is not chain link fencing.

### 2.1.8 Commercial Trash and Utility Areas

*a) Service and maintenance areas shall be screened from adjacent public right-of-ways, pedestrian plazas or adjacent residential uses with landscaped berms, walls or plantings.*

*Storage areas shall be enclosed by a 100% site obscuring fence or wall, permanently installed and maintained at a minimum height of six feet.*



A dumpster location is proposed adjacent to the office, and will be screened by landscaping and fencing.

*b) All trash and garbage bins shall be stored in an enclosure that includes solid screening, to the approval of the Carson City Community Development Department.*

At the time of building permit, staff will verify dumpster enclosures.

*c) Trash enclosures shall incorporate building materials, colors, etc. that are complementary to*

*the overall project architecture. Gates shall be constructed of durable building materials that screens at a minimum 80% of the view into the trash enclosure. Wood or chain link gates are not allowed (see example to left).*

At the time of building permit, staff will verify dumpster enclosures.

*d) Trash enclosures must include provisions for concrete pads or appropriately designed asphalt sections in front of the enclosure. The area in front of the trash enclosure shall be a minimum of six (6) feet to reduce pavement damage from disposal trucks.*

At the time of building permit, staff will verify the provision of a concrete pad or appropriately designed asphalt section in front of the trash enclosure, as well as a minimum of six feet to reduce pavement damage.

***2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.***

The subject property is across the street from the animal shelter, to the south of the proposed dog park, and to the east and north of drainage facilities. The proposed personal storage use is a quiet use, and will likely establish before any of the houses in Lompa East. Staff does not find that the proposed use will be detrimental to the use, peaceful enjoyment, economic value or development of surrounding properties or the general neighborhood.

***3. Will have little or no detrimental effect on vehicular or pedestrian traffic.***

Based on the Institute of Traffic Engineer's Trip Generation Manual, the project will generate 63 daily trips. The existing roadway network can accommodate these trips. The addition of personal storage use is not anticipated to have a detrimental effect on pedestrian traffic. In fact, due to the extension of the multi-use trail, the use will have a positive effect on pedestrian traffic.

***4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.***

The proposed personal storage use will not overburden existing public services. It is not residential, so there will be no students. The existing sewer, water and storm drain infrastructure are sufficient to provide service to the project.

***5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.***

Although the personal storage use is not allowed in the Public Regional zoning district, as the site is split zoned, the use may establish subject to a Special Use Permit.

**6. *The use will not be detrimental to the public health, safety, convenience and welfare.***

The proposed personal storage use will not be detrimental of public health, safety, convenience and welfare. It is a fairly passive use.

**7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.***

The proposed personal storage use will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Engineering Comments

Fire Department Comments

Application: SUP-19-083-1

**Engineering Division  
Planning Commission Report  
File Number SUP-19-083-1**

**TO:** Hope Sullivan - Planning Department  
**FROM:** Stephen Pott  y – Development Engineering Department  
**DATE:** October 22, 2019

**SUBJECT TITLE:**

SUP-19-083-1 Revision to SUP to include personal storage at 556 Airport Rd

**RECOMMENDATION:**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The previously approved conditions of approval must be met.

**ENGINEERING DISCUSSION:**

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

**C.C.M.C. 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans.

**C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians**

The revision will have a negligible effect on the traffic impacts compared with the original approval. The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if conditions are met.

**C.C.M.C. 18.02.080 (5d) - Public Services**

The revision will have a negligible effect on sewer, water, and storm drain infrastructure compared with the original approval. The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project. .

**C.C.M.C. 18.02.080 (5e) – Title 18 Standards**

Development Engineering has no comment on this finding.



Engineering Division  
Planning Commission Report

**C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare**

The project meets engineering standards for health and safety.

**C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5h) – Adequate Information**

The plans and reports provided were adequate for this analysis.

**Fire Department Comments**

10/21/2019

SUP-19-083-1

No changes to previous comments.

Thank you

Dave



Carson City  
Community Development Department  
108 E. Proctor Street  
Carson City, NV 89701

October 4, 2019

RE: Sierra Tahoe RV & Boat Storage (SUP-19-083) – Special Use Permit Modification

The owners of the proposed Sierra Tahoe RV & Boat Storage have chosen to modify their Special Use Permit application which was approved at the June 26, 2019 Planning Commission Meeting. Based on a review of market conditions, they would like to propose including  $\pm 300$  enclosed personal storage units in the development of the site which will take the place of the perimeter RV Storage Canopies. Dimensionally, the proposed enclosed storage buildings will encompass similar footprints as the previously approved RV storage canopies. The interior of the project remains largely unchanged and will include a manager's office, covered storage spaces for  $\pm 180$  recreational vehicles, a sanitary waste dump station and a wash bay. We believe this proposed modification will ultimately be a benefit as it will provide additional screening of the covered RV storage as well as added security. The proposed modifications will have a minimal impact on the required grading, infrastructure and utilities. Only minor modifications have been made to the design previously approved.

The following is a modified application which addresses the proposed project specifics. Again, we believe the proposed modifications improve the aesthetics of the project, have equivalent impact on existing infrastructure and allow for a more economically viable project. Please contact Monte Vista Consulting if you have any questions or if there is anything else I can help with.

Sincerely,  
Monte Vista Consulting

Michael Vicks, P.E.  
Principal



## Carson City Planning Division

108 E. Proctor St.  
Carson City, Nevada 89701  
(775) 887-2180  
Planning@carson.org  
www.carson.org

★ CLERK ★  
**FILED**  
Time 1:45pm

**PLANNING COMMISSION**  
**June 26, 2019**

**JUL 10 2019**

By Lena E. Besack  
Deputy  
Carson City, Nevada

### **NOTICE OF DECISION – SUP-19-083**

An application was received for Outdoor Storage on property zoned General Commercial and Public Regional, located on the west side of Airport Road, south of Butti Way, APN 010-041-76.

The Planning Commission conducted a public hearing on June 26, 2019, in conformance with City and State legal requirements and approved SUP-19-083 based on the findings contained in the staff report and subject to the following conditions of approval.

### **CONDITIONS OF APPROVAL:**

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one year extension of time may be requested in writing to the Planning Division thirty days prior to the one year expiration date. Should this permit not be initiated (obtain a Building Permit) within one year and no extension granted, the permit shall become null and void.
5. All requirements of the Lompa Ranch North Specific Plan development agreement must be met.
6. The LP dispenser should be shown on the building permit and tank size must be indicated. Installation must be approved by the NV LPG Board.
7. A site specific geotechnical investigation must be performed as recommended by the feasibility geotechnical investigation, and construction recommendations be incorporated into the design.
8. The multi-use path must be extended along the frontage as shown.
9. The project must meet the Carson City Municipal Code, Development Standards, and Standard Detail requirements including:
  - The project must either balance flood zone cut and fill quantities or may have a net gain of cut to increase stormwater detention. There may not be a net gain of fill.
  - The project must provide funds to the City to process a CLOMR.
  - The water main must be extended along the frontage as shown.
10. The project site is adjacent to a future three acre dog park associated with the proposed Lompa Ranch East development. The applicant will be required to install the screen wall upslope from the park's south property line and adjacent to the storage facility. The landscape design for the screening buffer between the proposed park and project site will be reviewed and approved by the Parks, Recreation & Open Space Department.

11. The Unified Pathway Master Plan identifies Airport Road as an on-street bicycle facility. The applicant will be required to protect the existing bike lanes during the project's construction and repair lanes/restripe the pavement markings at their expense, if damage occurs. Any repairs and restriping to the bike lanes has to be approved by Development Engineering.
12. Design all project driveway approaches that cross the 10' pedestrian multi-use path along Airport Road to meet ADA standards.
13. The applicant will be required to maintain all common landscape and open space areas on the project site in perpetuity, including any landscaping in the road right-of-way.
14. Incorporate "best management practices" into the applicant's construction documents and specifications to reduce the spread of noxious weeds. The Parks, Recreation & Open Space Department is willing to assist the applicant with this aspect of their project.
15. The applicant will be required to remove any graffiti on the perimeter screening wall, per Carson City Municipal Code.
16. A detailed landscaping plan is required at the time of site improvement permit. This plan shall demonstrate that disturbed areas are either landscaped or otherwise improved, shall utilize drought tolerant plants, shall incorporate a buried irrigation system, and shall incorporate a minimum 15 foot wide landscape strip along Airport Road planted with 1 tree per 25 lineal feet of street frontage, and six shrubs per tree.
17. A detailed lighting plan is required at the time of site improvement permit and shall include a photometric survey demonstrating even lighting throughout the site, with no spillover lighting.
18. Proposed signage requires a sign permit and shall meet the standards of Section 2.1.6 of the Lompa Ranch North Specific Plan.
19. The site must be fully enclosed with six foot solid fencing consistent with fencing proposed.
20. Site improvement plans shall show the location of the wash area and dumpster locations. These areas must be inside the six foot fence.
21. Site improvement plans must include a detail of the dumpster enclosures and placement consistent with Section 2.1.8 of the Lompa Ranch North Specific Plan.

This decision was made on a vote of 6 ayes, 0 nays, 1 absent, 0 recusal.

  
\_\_\_\_\_  
Hope Sullivan, AICP  
Planning Manager

HS:lr  
Emailed on: 7/10/19

By: lp

**PLEASE SIGN AND RETURN THIS NOTICE OF DECISION WITHIN  
TEN DAYS OF RECEIPT**

This is to acknowledge that I have read and will comply with the Conditions of Approval as approved by the Carson City Planning Commission.

\_\_\_\_\_  
OWNER/APPLICANT SIGNATURE

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PLEASE PRINT YOUR NAME HERE

**RETURN VIA:**

Email to: [lreseck@carson.org](mailto:lreseck@carson.org)  
Fax to: (775) 887-2278  
Mail to: Carson City Planning Division  
108 E. Proctor St.  
Carson City, NV 89701

Special Use Permit  
FOR  
Sierra Tahoe  
RV, Boat & Self Storage

**Prepared For:**

Sierra Tahoe RV & Boat Storage  
Attn: Rick Ardizzone  
892 Southwood Blvd.  
Incline Village, NV 89451  
408.891.8149

**Prepared By:**



575 E. Plumb Lane, Suite 101  
Reno, NV 89502  
775.636.7905

**September 2019**

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Carson City Planning Division  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

## FILE # SUP - 18 -

APPLICANT PHONE #  
Sierra Tahoe RV & Boat Storage LLC 408.891.8149

MAILING ADDRESS, CITY, STATE, ZIP  
892 Southwood Blvd., Incline Village, NV 89451

EMAIL ADDRESS  
rardizzo@apr.com

PROPERTY OWNER PHONE #  
Sierra Tahoe RV & Boat Storage LLC 408.891.8149

MAILING ADDRESS, CITY, STATE, ZIP  
892 Southwood Blvd., Incline Village, NV 89451

EMAIL ADDRESS  
rardizzo@apr.com

APPLICANT AGENT/REPRESENTATIVE PHONE #  
Monte Vista Consulting, Ltd. 775.636.7905

MAILING ADDRESS, CITY STATE, ZIP  
720 Tahoe Street, Suite 1, Reno NV 89509

EMAIL ADDRESS  
mike@montevistaconsulting.com

## SPECIAL USE PERMIT

FEE\*: \$2,450.00 MAJOR  
\$2,200.00 MINOR (Residential  
zoning districts)  
+ noticing fee  
\*Due after application is deemed complete by  
staff

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound  
Original and 3 Copies) including:

Application Form  
Detailed Written Project Description  
Site Plan  
Building Elevation Drawings and Floor Plans  
Special Use Permit Findings  
Master Plan Policy Checklist  
Applicant's Acknowledgment Statement  
Documentation of Taxes Paid-to-Date  
Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submittal Deadline: See attached Planning Commission  
application submittal schedule.

Note: Submittals must be of sufficient clarity and detail for  
all departments to adequately review the request. Additional  
information may be required.

Project's Assessor Parcel Number(s):  
010-041-76

Street Address  
Airport Road

Project's Master Plan Designation  
Mixed-Use Employment/Open Space

Project's Current Zoning  
PR/GC

Nearest Major Cross Street(s)  
Airport Road/Butti Way

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

The proposed project will be a private RV & Boat Storage Facility. Please see narrative for detailed description.

### PROPERTY OWNER'S AFFIDAVIT

I, Rick Ardizzone, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have  
knowledge of, and I agree to, the filing of this application.

Signature [Signature]

Address 561 SAN BENITO AVE

Date 5/13/19

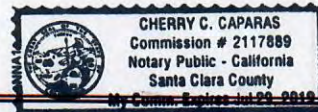
LOS CAYOS, CA 95030

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA }  
COUNTY California }

On May 13, 2019, Rick Ardizzone, personally appeared before me, a notary public,  
personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she  
executed the foregoing document.

Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the  
Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.



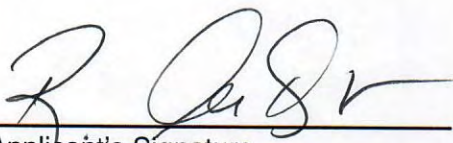


If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

### **ACKNOWLEDGMENT OF APPLICANT**

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

  
Applicant's Signature  
*mgr member LLC*

RICHARD ARDIZZONE 5.13.18  
Print Name Date

# Master Plan Policy Checklist

## Special Use Permits & Major Project Reviews & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Sierra Tahoe RV, Boat & Self Storage

Reviewed By: \_\_\_\_\_

Date of Review: \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

#### Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☒ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☐ Located in a priority infill development area (1.2a)?
- ☒ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- ☒ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☒ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☒ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☒ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

## CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

### Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

## CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

### Is or does the proposed development:

- ☒ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?
- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

### Is or does the proposed development:

- ☒ Use durable, long-lasting building materials (6.1a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☒ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☒ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
  - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
  - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

**Is or does the proposed development:**

- ☒ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☒ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

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## Project Information

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Location: Airport Road

APN: 010-041-76

Site Area: 7.28 ac

Developed Area: ±7.0 ac

Disturbance: ±7.0 ac

Zoning: PR (±1.43 Ac)/GC (±5.85Ac)

Master Plan Designation: Mixed-Use Employment/Open Space

Proposed Use: Covered RV & Boat Storage Facility

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## Pre-Development Discussion

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### Existing Conditions & Development:

The subject property is part of the larger Lompa Ranch Development. It is currently undeveloped consisting of moderate vegetation consisting of native grasses and brush. It generally slopes from north to south with the western and southern boundaries of the site lower than the remainder of the property (Reference the attached site plan for location of the onsite flood zones). There is no existing infrastructure extended to the site with the exception of access from Airport Road. Water facilities exist to the north of the property and sanitary sewer services exist to the west. The site is bounded on two sides by large stormwater detention facilities which is where all existing storm flows are discharged.

### Surrounding Properties:

- |   |             |
|---|-------------|
| ○ North: Undeveloped (Lompa Ranch Residential Site) | Zoning: MFA |
| ○ South: Open NDOT Detention Pond                   | Zoning: A/P |
| ○ East: Municipal Buildings                         | Zoning: PR  |
| ○ West: Open NDOT Detention Pond                    | Zoning: A   |
- 

## Proposed Development Discussion

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### Proposed Development:

Sierra Tahoe RV, Boat and Self Storage is a facility providing RV and Boat storage spaces and enclosed self storage buildings to store customers personal belongings. The facility may also store small recreational craft such as jet skis and wave runners. It will offer customers a sales office onsite in order to conduct the rental and business of the facility and offer a small retail sales area within the sales office in order to provide items in connection with RV and boat owner needs such as ice, and motor oil, etc. Also available exclusively to customers will be a sewage dump station, an RV/boat wash station and a propane refill /sale station onsite. There will be no onsite mechanic services available and customers will be prohibited from repairing and/or maintaining their recreational vehicles onsite.

Hours of operation are intended from 6:00 am to 10:00 pm with the office open from 8:00 am to 6:00pm daily. Customers will ingress and egress the site during the hours of operation through a security gate controlled by a key pad requiring an individual's code unique to each customer. The site will be monitored through a security camera system and each customer will only have access if they have paid their fees. And for RV and Boat owners, they have provided proof of registration for their RV or Boat and shown proof of insurance with the office and are current with their payments.



### Proposed Improvements:

The developed site will include the construction of a ±1,000 s.f. managers office, ±300 enclosed personal storage units and covered storage spaces for ±180 recreational vehicles depending on size. The manager's office will be constructed with conventional wood framing. The personal storage units will be constructed utilizing premanufactured metal buildings and the canopies will be comprised of steel structural supports and sheet metal roofing. The height of the personal storage buildings will vary as some will be intended for high end RV & Boat Storage. Additionally, a sewer dump station, wash bay and propane refill tank will be provided. The majority of the site will be paved and fenced with solid view fencing screening as necessary. There is a single point of access to the site. The entrance has been designed to allow for two RVs to be stacked in the inbound lane while a single exit lane has been provided. In order to allow for observation from the manager's office, the sewer dump station and RV wash bay are located near the main entrance.

Preliminary grading of the site has been completed with the goal of exporting material to the adjacent development to the north. Although portions of the development will be within the flood zone, all pavement will be elevated a minimum of 2.0' above the established base flood elevation protecting the improvements from flooding. The site will maintain existing drainage patterns sloping from north to south where flow will be collected and treated in a detention pond before being discharged to the detention facilities to the south. A majority of onsite stormflows are intended as surface drainage with only minimal underground storm drain improvements.

Water service will be provided by extending a water main from the existing main located near the intersection of Airport Road and Butti Lane. Sanitary sewer service will be provided by connecting to an existing manhole along the western property with a drop connection.

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## **Required Findings for Special Use Permit**

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*1. Will be consistent with the objectives of the Master Plan elements.*

*Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at [www.carson.org/planning](http://www.carson.org/planning) or you may contact the Planning Division to review the document in our office or request a copy.*

*1. A Balanced Land Use Pattern*

- **The proposed development will promote a balanced land use pattern by extending public trails & services, incorporating durable and sustainable building materials, providing generous setbacks & allowing for the expansion of drainage detention facilities to the south.**



2. *Equitable Distribution of Recreational Opportunities*

- **The improvements will include extending a 10' pedestrian path across the frontage of the site extending an existing trail network.**

3. *Economic Vitality*

- **The proposed use will provide for offsite RV storage which will allow for more dense residential communities and expanded RV sales.**

4. *Livable Neighborhoods and Activity Centers*

- **The proposed development will provide a sustainable project with landscape buffers and a screen wall surrounding the storage area.**

5. *A Connected City*

- **The project will extend the 10' pedestrian path from the south across the full project frontage which will eventually lead to a community park.**

*2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

- a. *Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)*

**Reference Pre-Development Discussion above.**

- b. *Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.*

**The proposed use is consistent with the surrounding development and will not negatively impact property values. To the south and west are open detention ponds and the Carson City Public Works facility is to the East. To the north are a proposed park and residential development. The project will be fully screened and provide landscaping to address visual concerns.**

- c. *Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.*

**The project use will drive minimal traffic increases, generate minimal noise and will have set business hours therefore having no detrimental effect on the surrounding properties.**

- d. *If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.*

**All required lighting will be provided on the canopies and office building. At final building permit, a photometrics plan will be provided showing compliance with Carson City Development standards.**

- e. *Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site place with existing and proposed landscape shown on the plan which complies with City ordinance requirements.*

**The proposed landscape improvements will provide evergreen screen buffers on the north and south borders, as requested by the Parks's Dept. review comments. There is a double row of street trees proposed along Airport Road and the project will have a Plant List loaded with pollinator friendly trees, shrubs, groundcovers, vines and perennials.**

- f. *Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.*

**With the approval of the project, Carson City will see increased tax revenue as well as improved stormwater detention.**

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

*Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.*

**The Sierra Tahoe RV & Boat Storage will have a minimal impact on traffic generation and will improve pedestrian traffic conditions. RV & Boat Storage is a low impact use in regards to traffic generation. In accordance with the requirements of the Major Project Review, a 10' wide pedestrian trail has been extended along the project frontage, therefore improving pedestrian traffic.**

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.*

- a. *How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?*

**The proposed project will have no impact on the school district with the exception of providing tax revenue.**

- b. *How will your project affect police and fire protection?*

**The proposed project should have a minimal impact on both police and fire protection. The project will include a comprehensive security system and will provide fire hydrants and access in accordance with fire department requirements.**

- c. *Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.*

**Based on discussions with Carson City Public Works, a water main extension will be required and will be extended from the intersection of Airport Road and Butti Lane. Additionally, based in preliminary discussions, there is ample pressure to serve the development.**

- d. *If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.*

**The proposed development will result in an increase in stormwater runoff due to proposed impervious surfaces, however, based on correspondence with the Carson City Public Works department, no additional stormwater detention will be required due to the project's proximity to the detention ponds to the south and west of the site. In an effort to work with the City, the site will be graded in a manner to allow for additional stormwater detention to the south.**

- e. *Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.*

**The proposed sewer connection is to the City's main interceptor line which based on discussions with Carson City Public works has more than enough capacity to serve the project.**

**The project will have a minimal impact on the sanitary sewer infrastructure and does not meet the thresholds for a full sanitary sewer report.**

- f. *What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.*

**No new roadway improvements are required to serve the project.**

- g. *Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).*

**The conclusions above were made based on discussions with Carson City Public Works and Engineering Division as well as the Major Project Review comments.**

5. *Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.*

*Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at [www.carson.org/planning](http://www.carson.org/planning)*

**The zoning is split between General Commercial (GC) and Public Regional (PR). The proposed use is allowed within the GC zoning district however it requires the SUP in the PR zoning district. This is an office and service use which has minimal impact on the surrounding land uses.**

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

*Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.*

**The project will be designed and constructed in accordance with all applicable State and City codes. It is low impact in terms of water, sewer and traffic demand and will allow for increased stormwater detention to in the ponds to the south.**

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

*Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.*

**The project will provide no material damage to adjacent properties and will serve as a buffer between the residential uses to the north and public works facilities to the east.**

**DATE:** May 22, 2019

**APPLICATION:** SUP-19-083

**APPLICANT/OWNER:** Sierra Tahoe RV & Boat Storage LLC

**AGENT:** Monte Vista Consulting, LTD

**PROJECT APN/ADDRESS:** 010-041-76/Butti Way and east side of Airport Road

**PLANNING COMMISSION MEETING DATE:** June 26, 2019

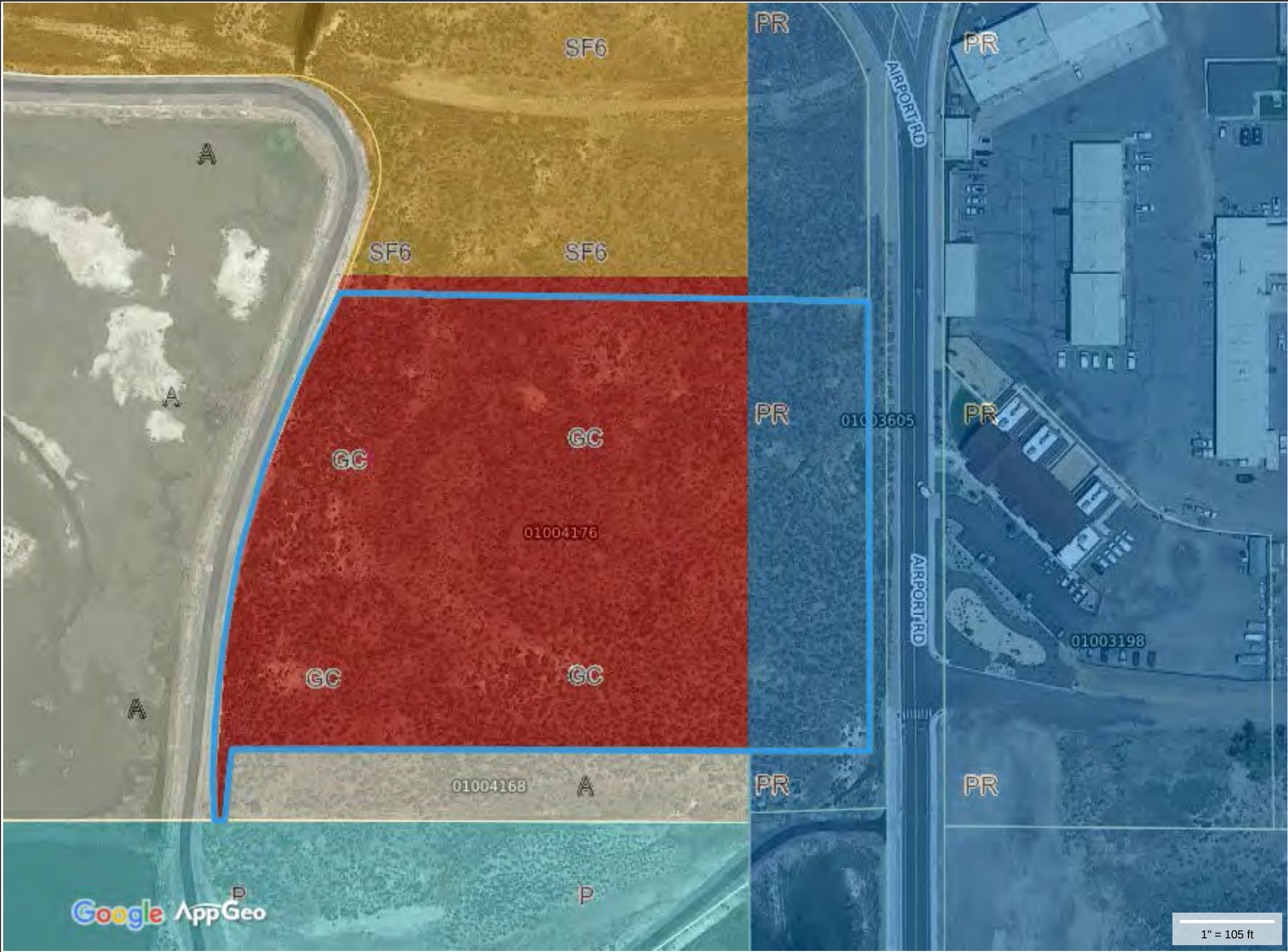
**RE:** Include text in the submission that the policies of the Specific Plan and Development Agreement have been reviewed and that this proposal has incorporated these requirements and is in compliance.

The policies of the Lompa Ranch North Specific Plan (SPA) and the Lompa Ranch Development Agreement (Ordinance No. 2017-25) have been reviewed and this proposal incorporates those requirements into the plan. The proposed development is in compliance with these governing documents in every respect.

The Development Agreement states that “the development of the plan area will be in compliance with the architectural and design standards incorporated into the Handbook.” (DA Section 1). The SPA along with the phasing plan are referenced as the Handbook.

Section 2.1 of the SPA (i.e. Handbook) deal with commercial uses. The proposed development complies with the Site Planning Standards discussed in section 2.1.1 by placing the lone building in the development in a way to create visual interest along the public street. The other requirements related to grading (section 2.1.2), parking (section 2.1.3), landscaping (2.1.4), lighting (2.1.5), signs (2.1.6), fencing (2.1.7), and trash (2.1.8) have been reviewed and incorporated into the design and is in compliance. Furthermore, the architecture of the building is designed to complement the intended residential design per section 2.4.3 to 2.4.6.





Property Information	
Property ID	01004176
Location	BUTTI WY
Owner	TERRASAS & TRIPP LLC
Acres	7.28

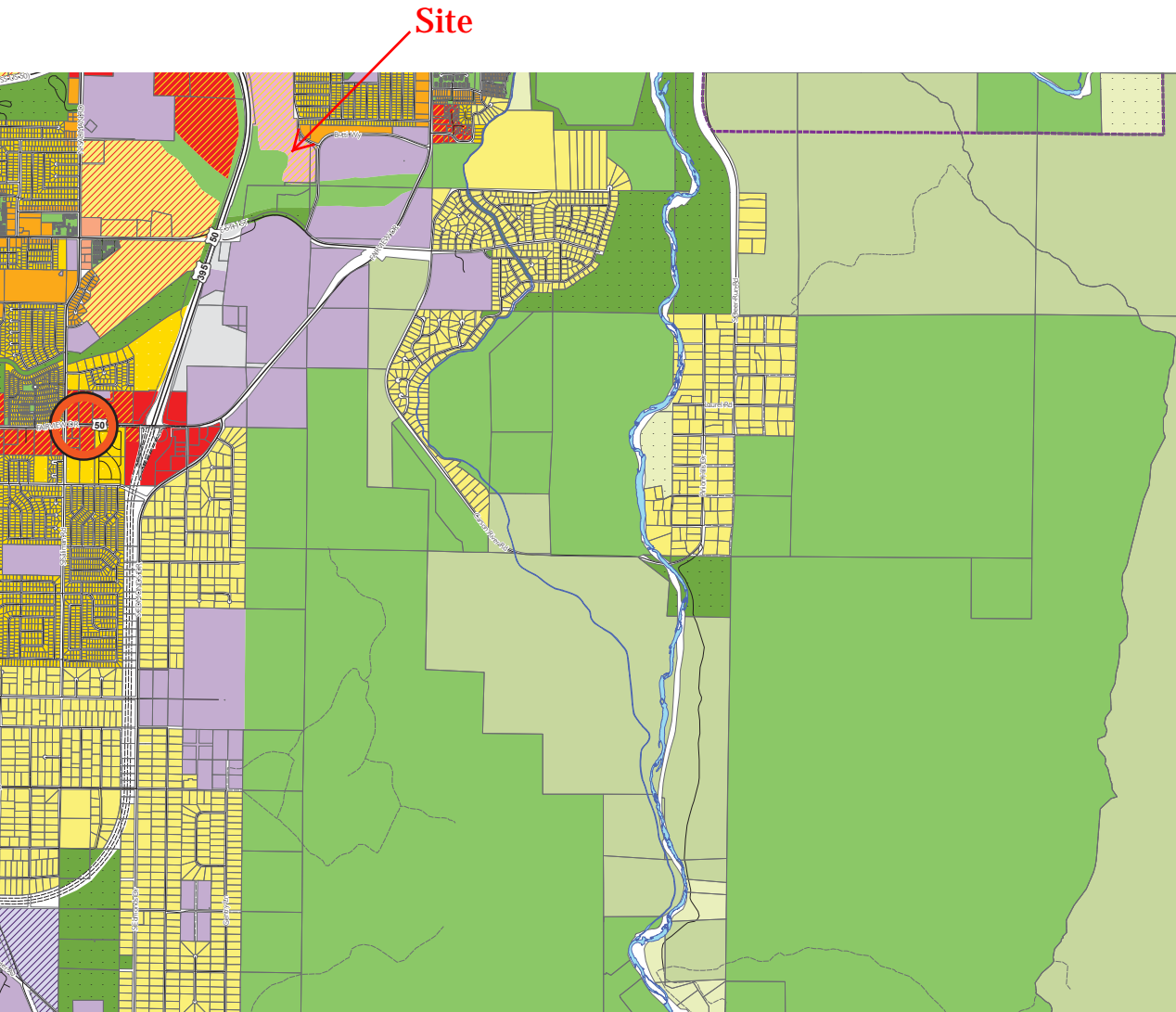


MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT

Carson City , NV makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/17/2018  
Data updated 11/17/2018





## CARSON CITY LAND USE MASTER PLAN

### LEGEND

#### COMMERCIAL / EMPLOYMENT

- Community / Regional Commercial
- Neighborhood Commercial
- Industrial

#### RESIDENTIAL

- Rural Residential (5-20 ac/du)
- Low Density Residential (0.2-3 du/ac or 5-0.33 ac/du)
- Medium Density Residential (3-8 du/ac)
- High Density Residential (8-36 du/ac)

#### MIXED-USE

- Downtown Mixed-Use
- Mixed-Use Commercial
- Mixed-Use Residential
- Mixed-Use Employment

#### OPEN LANDS

- Public Conservation
- Open Space
- Parks & Recreation



Property Information	
Property ID	01004176
Location	BUTTI WY
Owner	TERRASAS & TRIPP LLC
Acres	7.28

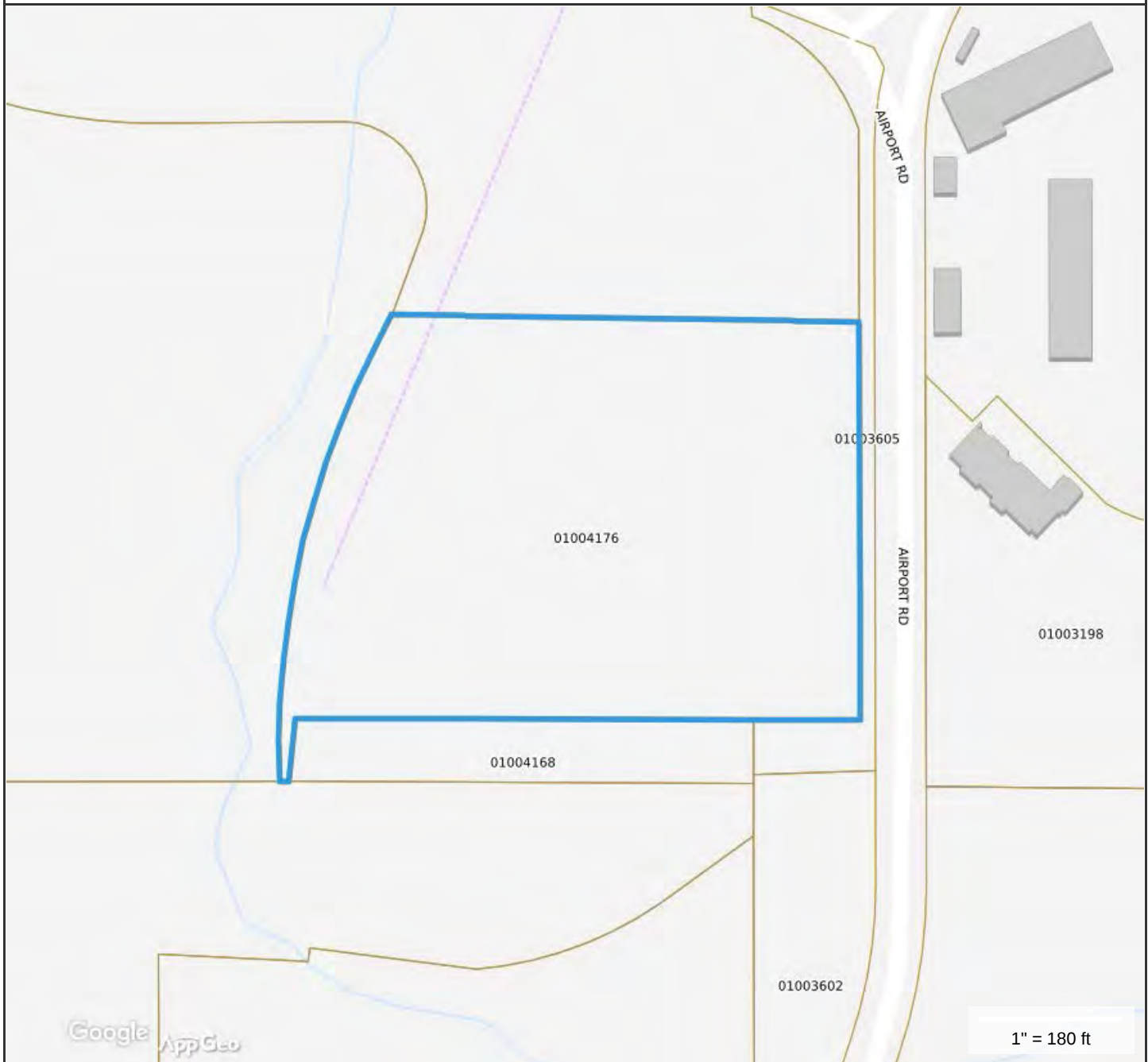


MAP FOR REFERENCE ONLY  
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Geometry updated 11/17/2018  
Data updated 11/17/2018

## Lompa Fault Line

**Property Information**

**Property ID** 01004176  
**Location** BUTTI WY  
**Owner** SIERRA TAHOE RV & BOAT STORAGE  
**Acres** 7.28

**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

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expressed or implied, concerning the validity or accuracy of  
the GIS data presented on this map.

Geometry updated 11/17/2018  
Data updated 11/17/2018

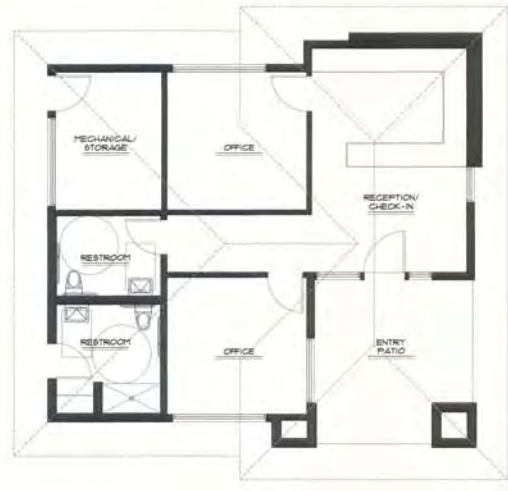


REVISION	DATE

**ECJ**  
ARCHITECT

ERIC JOHNSON  
ARCHITECT

1000 BOWLING GREEN  
DENVER, COLORADO 80202  
303-733-1138  
ericjohnson@ecjarchitect.com



**1 OFFICE FLOOR PLAN**



**3 WEST ELEVATION**



**2 SOUTH ELEVATION**



**5 EAST ELEVATION**



**4 NORTH ELEVATION**

FLOOR PLAN & EXTERIOR BUILDING ELEVATIONS - SUP SUBMITTAL

NEW RV & BOAT STORAGE FACILITY FOR:  
**SIERRA TAHOE RV & BOAT STORAGE**  
BUTTE WAY | CARSON CITY | NEVADA | APN 010-041-76

DESIGNED BY  
DATE  
SCALE  
AS SHOWN  
JOB NUMBER  
SHEET NUMBER

**A4.1**

DATE	DESCRIPTION

**ECO**  
ARCHITECT

ERIC JOHNSON  
ARCHITECT

PO BOX 24860  
RENO, NEVADA 89524  
775.246.1153  
www.ecoarchitect.com



MIN-STORAGE TYPICAL EXTERIOR BUILDING ELEVATIONS - REVISED SUBMITTAL

NEW RV BOAT & MINI STORAGE FACILITY FOR:

**SIERRA TAHOE RV BOAT & STORAGE**

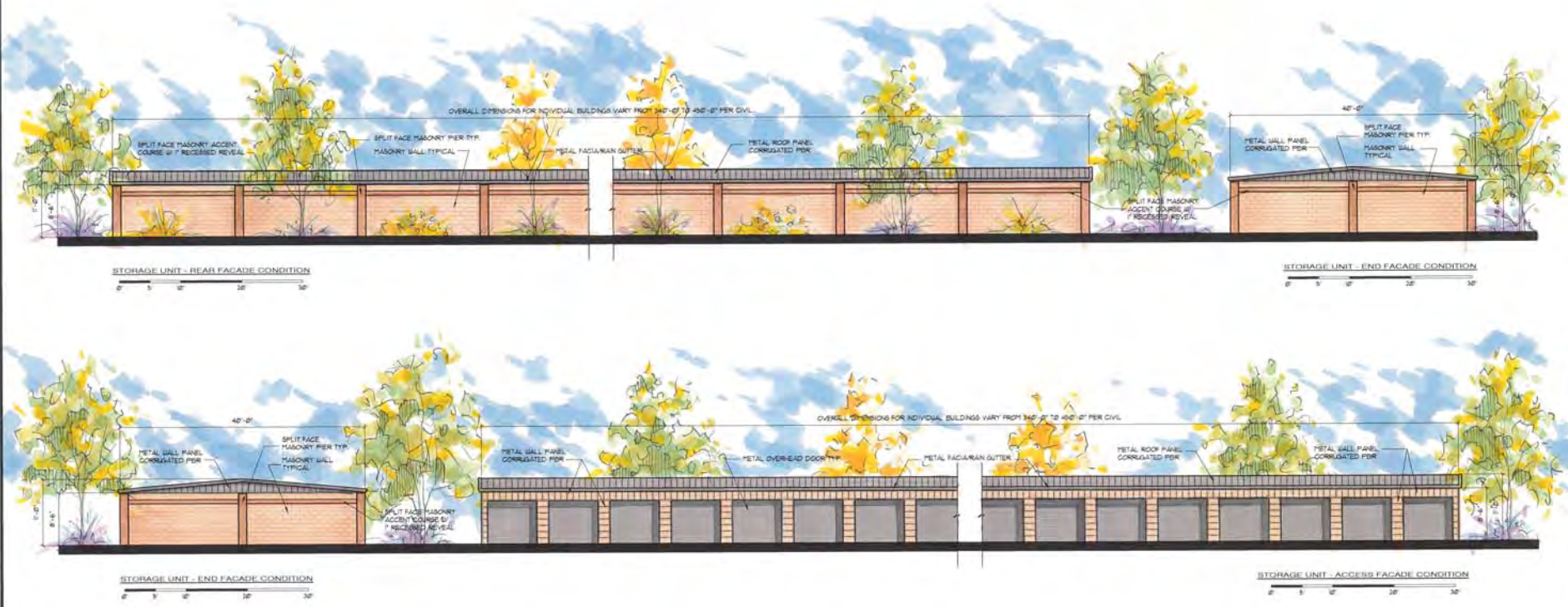
BUTTI WAY | CARSON CITY | NEVADA | APN 010-041-76

DATE	
BY	
DATE	
BY	
SCALE	AS SHOWN
DATE	
BY	
DATE	
BY	

**A4.2**

# NEW RV BOAT & MINI STORAGE FACILITY FOR: SIERRA TAHOE RV BOAT & STORAGE

BUTTI WAY | CARSON CITY | NEVADA | APN 010-041-76





# PLANT LIST:

**LARGE/STREET TREES: (2" Caliper)**  
IRRIGATE ALL PLANTINGS w/RESOURCE EFFICIENT DRIP IRRIGATION SYSTEM.

BOTANICAL NAME	COMMON NAME
RED MAPLE	ACER RUBRUM
BLACK GUM	NYSSA SYLVATICA
GLADSTON THACANTHOS	SHADEMASTER HONELOCUST
QUERCUS PALUSTRIS	PIN OAK
QUERCUS RUBRA	RED OAK

## SMALL/ACCENT TREES:

BOTANICAL NAME	COMMON NAME
ACER GINNALA	AMUR MAPLE
CERCIS CANADENSIS	EASTERN REDBUD
LIQUIDAMBAR STYACIFLUA	SWEETGUM
MALUS PRINERFNE	PRINERFNE CHAMAPPLE
PRUNUS CALLERIANA 'REDSPRE'	REDSPRE PLUM

## EVERGREEN TREES: (6" Min. Height)

BOTANICAL NAME	COMMON NAME
JUNIPERUS CHINENSIS 'TORULOSA'	HOLLYWOOD JUMPER
CALLICARPUS DECURRENS	INCENSE CEDAR
PRUNUS PUNICEA	COLORADO SPRUCE
PRUNUS FLEXILIS 'VANDERHOLP'	VANDERHOLP'S PINE
PRUNUS NERA	AUSTRIAN PINE

## SHRUBS/GROUNDCOVERS/VINES: (5 Gal. Min.)

BOTANICAL NAME	COMMON NAME
BUTTERFLY BUSH	BUTTERFLY BUSH
CAMPIDUS MAUCAS	RED TULIPET VINE
GENISTA LYDIA	DWARF BROOM
PHOTINIA FRAXES	REDTWIG DOGWOOD
STRONGIA VULGARIS	COMMON LILAC

## PERENNIALS: (1 Gal.)

BOTANICAL NAME	COMMON NAME
ECHEMACIA PURPUREA	PURPLE CORNFLOWER
GALLARDA ARISTATA	INDIAN BLANKET FLOWER
ROCKY MOUNTAIN PENSTEMON	ROCKY MOUNTAIN PENSTEMON
CEBRASTHEM TOMENTOSUM	SNOW-IN-JULIUM
PEROVSKIA ATRIPLEXIFOLIA	RUSSIAN SAGE

## LANDSCAPE LEGEND:



SHRUB PLANTING AREA w/ROCK MULCH COVER - (30,340 SF)  
Shrub along, varieties and quantities to meet code requirements.  
Place mulch @ 4" min. depth, over weed barrier fabric

## LANDSCAPE CALCULATIONS:

**ZONING:** GENERAL COMMERCIAL  
**SITE AREA:** 7.28 AC.  
**IMPERVIOUS AREA:** 281,341 S.F.  
**LANDSCAPE SUMMARY:**  
**LANDSCAPE AREA REQUIRED =** 46,288 S.F. (26% of Impervious Area)  
**LANDSCAPE AREA PROVIDED =** 50,525 S.F. (24.6 %)  
**TREE/SHRUB REQUIREMENTS:**  
**1 TREE/400 S.F. (= 141 TREES)**  
**Includes: 1 TREE/10 PARKING SPACES (7 SPACES = 1 TREE)**  
**and 1 TREE/80 LF STREET FRONTAGE (487 LF. = 17 TREES)**  
**TOTAL TREES REQUIRED =** 141 TREES  
**TREES PROVIDED =** 141 TREES  
**6 SHRUBS per TREE REQUIRED = 846 SHRUBS**



AIRPORT ROAD  
(PUBLIC)

REVISIONS	BY

TreeHugger Studio, LLC  
landscape architecture  
and site planning services  
140 West Guffey Drive  
Washoe Valley, NV 89704  
(775) 530-0665



**JOB INFORMATION**  
Preliminary landscape plan for:  
SIERRA TAHOE RV, BOAT and SELF STORAGE  
Airport Road, Carson City, NV APN: 00-041-76

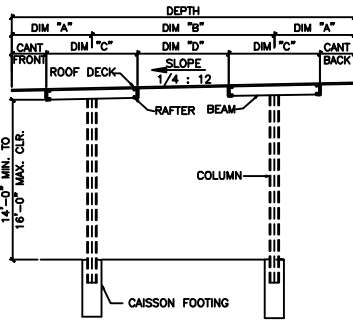
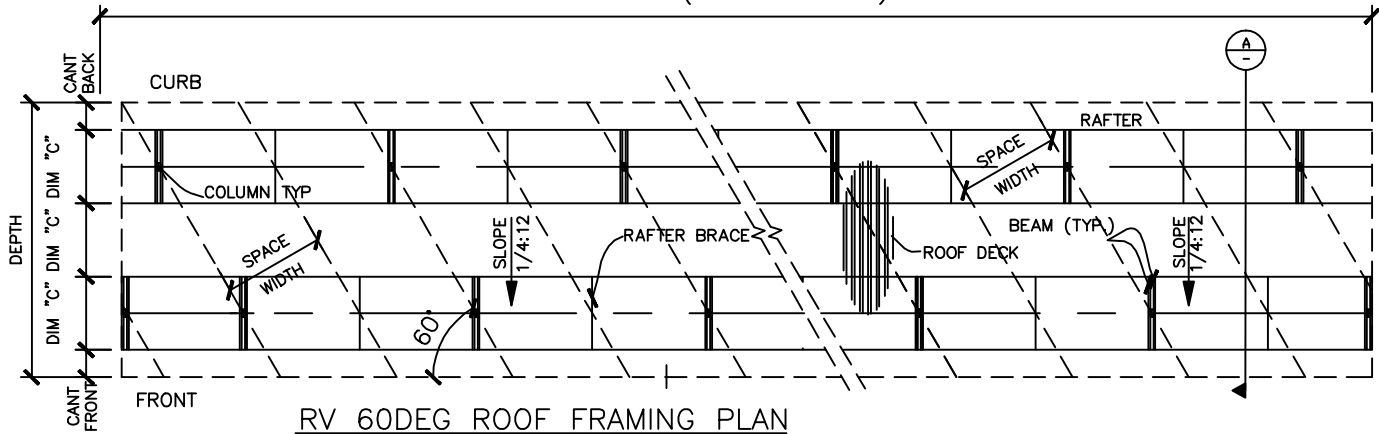
**SHEET INFORMATION**  
**PRELIMINARY  
LANDSCAPE PLAN**

<b>DATE:</b>	May 2018, REV Sept 2018
<b>SCALE:</b>	1" = 30'-0"
<b>DRAWN BY:</b>	N. SHOCK
<b>CHECKED BY:</b>	
<b>PROJECT NUMBER:</b>	228-15-400

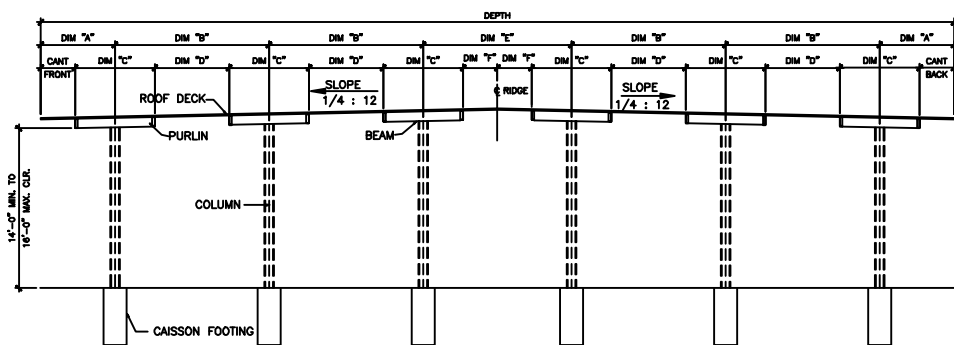
L.1



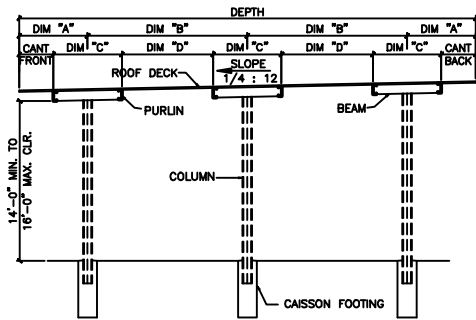
VARIES (SEE SITE PLAN)



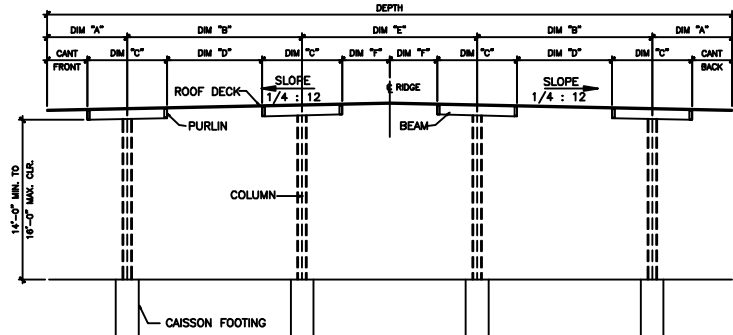
**A** CROSS SECTION  
11x30



**A** CROSS SECTION  
11x80



**A** CROSS SECTION  
11x40



**A** CROSS SECTION  
11x60

# SCHEDULE

SIZE	DEPTH	SPACE WIDTH	"A" DIM	"B" DIM	"C" DIM	"D" DIM	"E" DIM	"F" DIM	CANT Front DIM	CANT Back DIM
11'X30'	30'	11'	7'	16'	8'	8'			3'	3'
11'X40'	40'	11'	6'	14'	6'	6'			3'	3'
11'X60'	60'	11'	7'	15'-4"	7'	8'-4"	15'-4"	4'-2"	3'-6"	3'-6"
11'X80'	80'	11'	6'-6"	13'-6"	7'	6'-6"	13'-0"	3'	3'	3'

BAJA STANDARD

RV 60DEG STANDARD TYPES

**BAJA**

CONSTRUCTION CO., INC.  
223 FOSTER ST., MARTINEZ CA 94553  
1-800-366-9600 FAX: (925) 229-0161

SHEET

Page 1 of 2