

## STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF NOVEMBER 19, 2019

FILE NO: SUP-19-162

AGENDA ITEM: E.4

STAFF CONTACT: Hope Sullivan, AICP, Planning Manager

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request for a Special Use Permit to allow for a 6 foot tall wall within five feet of the property line on the street side of a property, zoned Multi-Family Apartment (MFA), located at 150 East Roland Street, 009-197-02. (Hope Sullivan, hsullivan@carson.org)

**STAFF SUMMARY:** The applicant is seeking to install a 6 foot tall sight-obscuring fence or wall along the south property line fronting Roland Street and a portion of the west property line fronting Oak Street. The south wall is to be located along the back of the proposed sidewalk adjacent to Roland Street, and the west wall approximately 9 feet behind the proposed sidewalk adjacent to Oak Street. Per the City's Development Standards, sight obscuring walls are limited to three feet in height when located within the front yard setback or within five feet of the property line on the street side. However, fences within the setbacks may be permitted in excess of the ordinance requirements by approval of a special use permit. The Planning Commission has the authority to approve a Special Use Permit.

### RECOMMENDED MOTIONS:

"I move to approve SUP-19-162 based on the ability to make the required findings and subject to the conditions of approval."

### VICINITY MAP:



**RECOMMENDED CONDITIONS OF APPROVAL:**

1. All development shall be substantially in accordance with the plans presented to the Planning Commission.
2. All on and off-site improvements shall conform to city standards and requirements.
3. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, 1 year extension of time must be requested in writing to the planning and community development department 30 days prior to the 1 year expiration date. Should this permit not be initiated within 1 year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the notice of decision for conditions of approval within 10 days of receipt of notification. If the notice of decision is not signed and returned within 10 days, then the item will be rescheduled for the next planning commission meeting for further considerations.
5. The fence/wall must be entirely on private property.
6. The fence/wall must meet minimum intersection clear sight distances.
7. The fence/wall must not inhibit surface drainage.
8. The site obscuring portion of the fence/wall may not exceed a height of four feet. An open style railing may be mounted on fence/wall to realize an overall height not to exceed six feet.
9. Right-of-way improvements along Roland Street must be designed so as to allow for a two foot planter area between the sidewalk and the fence/wall. Plants that will reach a mature height of at least three feet tall are to be planted in this area at the time of roadway improvements. The property owner will be responsible for maintenance of the plants. An encroachment permit must be obtained prior to the installation of the plantings.
10. Plantings must be installed between sidewalk and the fence/wall along Oak Street at the time of roadway improvements. Plantings must include plants that will reach a maturity height of at least three feet. The property owner will be responsible for maintenance of the plants. An encroachment permit must be obtained prior to the installation of the plantings.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permit); Carson City Development Standards 1.13 (Fences, walls and hedges)

**MASTER PLAN DESIGNATION:** High Density Residential (HDR)

**ZONING DISTRICT:** Multi-Family Apartment (MFA)

**KEY ISSUES:** Will the requested six foot wall meet the required findings for a Special Use Permit?

## **SURROUNDING ZONING AND LAND USE INFORMATION**

NORTH: Multi-Family Duplex / Multi-family Residential  
SOUTH: Single Family 1 Acre / Single Family Residential  
WEST: Multi-Family Apartment / Single Family Residential  
EAST: Multi-Family Apartment / Single Family Residential

## **ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: Zone X (area of Minimal Flooding)  
SLOPE: Generally flat  
SEISMIC ZONE: Fault is beyond 500 feet

## **SITE DEVELOPMENT INFORMATION:**

SUBJECT SITE AREA: 2.99 acres  
EXISTING LAND USE: Church  
APPROVED LAND USE: 51 condominium units

## **SITE HISTORY:**

U-80-34: Mobile home on site removed

U-90/91-16: Church expansion

ZMA-16-104: Zoning map amendment from SF1A to MFA

TSM-19-126 & SUP-19-125: Approval of a 51 unit condominium complex

## **BACKGROUND / DISCUSSION:**

The subject property is currently improved with a church. In 2017, the subject property and the single family home located to the east of the property were re-zoned from Single Family One Acre to Multifamily Apartment. The zoning map amendment created consistency with the Master Plan, in which the subject properties were designated for high density residential.

On September 19, 2019, the Board of Supervisors approved TSM-19-126 and SUP-19-125 for a 51 unit condominium complex on the subject parcel. The development is comprised of seventeen buildings which will include three units each. The development is proposed to have two points of vehicular access off of Oak Street, and will include 5,117 square feet of common open space, and 17,925 square feet of private open space. Each condominium unit will include a two car garage, and 20 guest parking spaces are provided on site.

Each building is proposed to be two stories, with two three bedroom units, and one two bedroom unit. Building materials are proposed to be a stucco base with horizontal cement fiber siding as an accent on the second floor. The roof is proposed to utilize composition shingles, and white vinyl windows are proposed. Three different color schemes are proposed. The two bedroom unit will have a second story deck, and the other two units will have patios.

The approval for the condominium project included a condition of approval that "As part of the building permit, the applicant shall demonstrate that the fences and walls will comply with the provisions of Development Standards 1.13."

Per the provisions of Development Standards 1.13.5, site obscuring walls located in the front yard or within five feet of the property line on the street side may not exceed three feet. For the condominium complex, the front is considered Oak Street, and the required front setback is 10 feet. Along Oak Street, the applicant is proposing to locate the fence one foot behind the

property line, which would be nine feet behind the sidewalk. Of note, the neighboring wrought iron fencing is nine feet behind the sidewalk. The applicant proposes to locate a six foot site obscuring wall on the property line at back of sidewalk along Roland Street. The purpose of the fencing is to provide for privacy for the rear yards of the proposed residential units.

Per Development Standards 1.13.7, “fences within setbacks may be permitted in excess of ordinance requirements by approval of a special use permit.” The Planning Commission is authorized to issue a special use permit upon making the seven required findings in the affirmative.

**PUBLIC COMMENTS:** Public notices were mailed to 32 property owners within 600 feet of the subject site pursuant to the provisions of NRS and CCMC for the Tentative Subdivision Map application and for a Special Use Permit. As of the completion of this staff report, no comments have been received. Any written comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting depending upon their submittal date to the Planning Division.

**OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS:** The following comments were received from City departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

### **Engineering Division**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The wall must be entirely on private property.
- Construction of the wall must meet Carson City Development Standards including but not limited to the following:
  - The wall must meet minimum intersection clear sight distances.
  - The wall must not inhibit surface drainage.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

#### C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

#### C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

#### C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The wall will not interfere with pedestrian or vehicular traffic if the above conditions of approval are met.

#### C.C.M.C. 18.02.080 (5d) - Public Services

The wall will have no impact on sewer or water services. The wall will have no impact on storm drainage if the above conditions are met.

#### C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

#### C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property  
Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

**SPECIAL USE PERMIT FINDINGS:** Staff recommends approval of the Special Use Permit based on the findings below and in the information contained in the attached reports and documents, pursuant to CCMC 18.02.080.5 (Findings), subject to the recommended conditions of approval, and further substantiated by the applicant's written justification. In making findings for approval, the Planning Commission must consider:

**1. *Will be consistent with the objectives of the Master Plan elements;***

Goal 6.2 of the Master Plan is to promote compatible infill and redevelopment. Policy 6.2a addresses Neighborhood Compatibility, and states "Ensure that infill and redevelopment is of a scale and character that is compatible with and enhances the surrounding development context through the use of appropriate height and density transitions, similar setbacks and lot coverage, garage and loading area locations and configuration, connectivity to surrounding development, and other neighborhood specific design considerations."

Property to the north on Oak Street has a four foot tall wrought iron fence located nine feet behind the sidewalk, with landscaping between the sidewalk and the fence. Southwest of the subject property across Oak Street is a six foot chain link fence with slats, setback at least ten feet from the road with substantial landscaping between the road and the fence. Across Roland Street, a home has a three foot tall wood and wire fence. Staff finds a standard has been established in that fencing should be setback, with landscaping incorporated.

Staff finds a 6 foot tall site obscuring wall, particularly adjacent to the sidewalk on Roland, will not be compatible with the area. When the tentative map was presented, the applicant indicated a four foot solid wall with a two foot open style railing mounted to it. Staff finds this style of wall, which is site obscuring for a maximum height of four feet, will be more compatible than a 6 foot tall site obscuring wall. Additionally, staff finds that landscaping should be installed between the sidewalk and the fence/wall to be compatible with the neighborhood. Roland Street has a 60 foot right-of-way, and will need 58 feet to accommodate a sidewalk on each side, parking on each side, curb on each side, and two travel lanes. Staff would recommend that as part of the roadway improvements on Roland Street, the improvements accommodate a two foot planting strip between the sidewalk and the fence/wall, and that the area between the sidewalk and the fence/wall on both Roland Street and Oak Street be planted at the time the roadway improvements are installed, with plants that reach a minimum height of three feet. Plantings are to be maintained by the property owner.

With the proposed modification to the site obscuring wall/fence height and the inclusion of plantings, staff finds the proposal will be consistent with the Master Plan.

**2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to***

***adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity;***

As noted in finding #1, staff finds the proposal, as submitted, will not be compatible with the character of the neighborhood. Staff does find that a site obscuring fence/wall with a maximum height of four feet and an open railing above it, with plantings between the sidewalk and the fence/wall will be compatible.

**3. *Will have little or no detrimental effect on vehicular or pedestrian traffic;***

To make this finding, the fence/wall must be designed to meet the minimum intersection clear sight distance.

**4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements;***

The proposed fence/wall will not overburden public services and facilities. However, it must be designed so as to not inhibit surface drainage.

**5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district;***

The applicant is seeking a fence/wall that is taller than allowed per the City's Development Standards. If the Planning Commission can make the seven required findings in the affirmative, it may approve a Special Use Permit authorizing the taller fence wall.

**6. *Will not be detrimental to the public health, safety, convenience and welfare; and***

Staff finds that the proposed fence/wall not be detrimental to public health, safety, convenience, and welfare. The fence will be ancillary to the entitled condominium complex, and is intended to provide the residents of the condominiums with privacy.

**7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.***

Staff does not find that the site obscuring fencing/wall, as proposed to be mitigated, will result in material damage or prejudice to other property in the vicinity of the site.

Attachments  
Application

<b>Carson City Planning Division</b> <b>108 E. Proctor Street • Carson City NV 89701</b> <b>Phone: (775) 887-2180 • E-mail: planning@carson.org</b>		<b>FOR OFFICE USE ONLY:</b> <b>CCMC 18.02.080</b>
<b>FILE # SUP - -</b>		
<b>APPLICANT</b> <b>Teramont, LLC</b> <b>MAILING ADDRESS, CITY, STATE, ZIP</b> <b>15155 Redmond Loop, Reno, NV 89511</b>		<b>PHONE #</b> <b>(530) 448-6210</b>
<b>EMAIL ADDRESS</b> <b>roger@rempfer.com</b>		
<b>PROPERTY OWNER</b> <b>Teramont, LLC</b> <b>MAILING ADDRESS, CITY, STATE, ZIP</b> <b>15155 Redmond Loop, Reno, NV 89511</b>		<b>PHONE #</b> <b>(530) 448-6210</b>
<b>EMAIL ADDRESS</b> <b>roger@rempfer.com</b>		
<b>APPLICANT AGENT/REPRESENTATIVE</b> <b>Resource Concepts, Inc.</b> <b>MAILING ADDRESS, CITY STATE, ZIP</b> <b>340 N. Minnesota St., Carson City, NV 89703</b>		<b>PHONE #</b> <b>(775) 883-1600</b>
<b>EMAIL ADDRESS</b> <b>Rachel@rci-nv.com</b>		
<p><b>Project's Assessor Parcel Number(s):</b> <u>009-197-02</u>      <b>Street Address:</b> <u>150 E. Roland St.</u></p> <p><b>Project's Master Plan Designation:</b> <u>High Density Residential</u>      <b>Project's Current Zoning:</b> <u>MFA</u>      <b>Nearest Major Cross Street(s):</b> <u>Snyder Ave. and Oak St.</u></p> <p>Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.</p> <p><b>Construction of a 6-ft tall wall along the property line (back of sidewalk) fronting Roland St.</b></p> <p><b>PROPERTY OWNER'S AFFIDAVIT</b></p> <p>I, <u>Frank Salema</u>, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.</p> <p><u>Frank Salema</u>      <u>15155 Redmond Loop</u>      <u>Sept 16-19</u>  Signature      Address      Date  <u>Reno, NV 89511</u></p> <p>Use additional page(s) if necessary for additional owners.</p> <p>STATE OF NEVADA  COUNTY <u>Carson City</u>      )  On <u>September 16, 2019</u>, <u>Frank Salema</u>, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.</p> <p><u>Frank Salema</u>  Notary Public  No. 19-2069-3      DAWN MARAGON  NOTARY PUBLIC  STATE OF NEVADA  My Appt. Exp. April 19, 2023</p> <p><b>NOTE:</b> If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.</p>		

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

**ACKNOWLEDGMENT OF APPLICANT**

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Frank Saletta

Print Name



Date



**Resource Concepts Inc**

Engineering • Surveying • Water Rights  
Resource & Environmental Services

[www.rci-nv.com](http://www.rci-nv.com)

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## Memorandum

**DATE:** September 18, 2019

**TO:** Carson City Planning Division

**FROM:** Rachel Kryder, P.E.

**RCI PROJECT:** Teramont LLC (19-205.4A)

**SUBJECT:** Silver Crest Condominiums Special Use Permit (SUP) Project Description  
Master Plan Policy Checklist  
SUP – 6 ft tall wall on property line

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*Rachel Kryder*

### EXISTING SITE DESCRIPTION

The proposed condominium complex is located at 150 East Roland Street, APN 009-19-702. The project site is bordered on all sides by existing development. Developments to the north are zoned Multi Family Duplex. The property to the east is zoned Multi Family Apartments but is developed as a single-family residence. To the south is East Roland Street and 1-acre single family residences. To the West is Oak Street and multifamily apartments.

The project property encompasses approximately 2.99 acres. The existing site consists of a church building and parking area (no longer in use), landscaped areas, undisturbed soil and vegetation, trees, and some unpaved areas of disturbed soils with minimal vegetative growth. A septic tank and leach field were part of the original development of the site in the late 1970s, but the property connected to public sewer in the late 1990s. It is assumed that the original septic tank and leach field were abandoned in place and will be removed during construction. All existing aboveground and subsurface improvements are to be demolished with the development of the Silver Crest Condominiums. Existing topography in the area is generally gently sloping, with an overall on-site slope of approximately 2.3% from the northwest to southeast.

Adjacent developments include multifamily duplexes and apartments to the north and west, and single-family residences to the east and south. Overall drainage in the area is conveyed to the south and east both by surface and subsurface infrastructure, as well as natural drainage channels.

### General Site Characteristics

The site is located on the northeast corner of East Roland Street and Oak Street. The current development on-site includes an existing building and parking lot. There is landscaping around the building and roughly half of the site is covered with native vegetation. The portion of the site that is developed has surface

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improvements which include asphalt, gravel, shrubs, and many trees along the west and north sides of the site. The undeveloped portion is comprised mainly of sagebrush and other native vegetation.

There is existing utility infrastructure within the Roland Street and Oak Street rights-of-way, and the proposed development will require all new connections to the existing utility mains. Existing service connections will be abandoned during construction.

## FEMA Flood Zone

The property is located entirely outside of the Federal Emergency Management Agency (FEMA) Special Flood Hazard Area, classified as Zone X (unshaded). Based on information provided by Carson City, there is a draft Voltaire and Saliman flood zone remapping study currently under review, which modifies the area to Zone X (shaded), which is not classified as a special flood hazard area. The proposed development is designed to convey on-site drainage via surface flow to the southeast corner of the property, where it will enter a proposed storm drain, which will connect to existing storm drain infrastructure at Snyder Avenue and Roland Street.

## Utilities

Existing water, sanitary sewer, gas, and electric infrastructure exists within the rights-of-way of Oak Street and/or Roland Street. Existing on-site utility infrastructure will be abandoned, and new infrastructure installed as part of the project. A fire water main will be installed through the development to serve two new proposed fire hydrants and building fire sprinklers. A separate domestic water line will provide service to the development with a master meter and connections to each dwelling unit. Sanitary sewer mains will serve the project and will connect to existing sewer within the Roland Street right-of-way. Gas and electric service will be provided with separate meters to each unit. The original development was completed in the late 1970s and utilized a septic system on site. The property connected to sanitary sewer in the late 1990s and it is assumed the septic tank and leach field was abandoned in place. The existing septic system components, if present, will be removed as part of construction.

There is no storm drain infrastructure immediately adjacent to the site. This project includes installation of a storm drain line within the Roland Street right-of-way from the site to an existing drop inlet at the corner of Snyder Avenue and Roland Street.

## Description of Proposed Development

The purpose of this Special Use Permit (SUP) is to allow Teramont, LLC to construct a 6 ft tall sight-obscuring fence or wall along the south property line fronting Roland Street and a portion of the west property line fronting Oak Street, in conjunction with a 51-unit condominium development. The proposed condominium complex, Silver Crest Condominiums, will have 17 three-plex condominium buildings with associated roadways, landscaping, parking, recreation facilities, signage, and utilities. The south wall is to be located along the back of the proposed sidewalk adjacent to Roland Street, and the west wall approximately 9 ft behind the proposed sidewalk (and less than 1 ft behind the property line) adjacent to portions of Oak Street, to be constructed in conjunction with the Silver Crest Condos. The purpose of the wall is to provide privacy for rear yards for the ten individual condo units that have rear yards facing Roland Street and additional three condo units along Oak Street. Several potential fence/wall examples

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have been provided with the site plan for this project. All examples include architectural detail to soften the appearance from the exterior of the development.

### Access

The subject property is proposed to be accessed from Oak Street at two locations. This will provide resident access as well as for emergency and waste collection vehicles. No vehicle access is proposed from Roland Street.

### Zoning and Modifications

The proposed project site is zoned Multifamily Apartment (MFA), in which a condominium development is an allowed use with a SUP. Each condominium building is under the 45 feet tall requirement and all setbacks are shown with no buildings constructed within the setbacks. The purpose of this SUP is to allow for a 6 ft tall sight-obscuring fence or wall along the property lines fronting Roland Street and portions of Oak Street, rather than adhering to a 5 ft setback as required by Carson City Development Standard 1.13.

## MASTER PLAN POLICY CHECKLIST

### Purpose

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

### Development Checklist

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

#### ***Chapter 3: A Balanced Land Use Pattern***

The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ✓ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?  
*The Silver Crest Condominiums will meet the provisions of the city ordinance for growth management, as they will provide additional residential units in an infill area with existing infrastructure adjacent to the property. Water and sewer sizing and analysis of the effects (if any) on the existing adjacent infrastructure will be analyzed during the development of the Tentative Map and/or Improvement Plans. The proposed project is estimated to use less than 15,000 gallons of water per day. A Traffic Study*

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***was completed and included in the Tentative Map application to analyze the effects of additional traffic in the area and traffic modifications or mitigation measures required.***

***The project location is in an area easily accessible by first responders and no additional patrol area will be needed as this is an existing area that is already monitored. The proposed development is approximately 500 ft from Carson City Fire Station 53.***

***The proposed 6 ft tall sight-obscuring fence/wall will not impact the provisions of the Growth Management Ordinance.***

- ✓ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?

***Building designs are not final but will be designed to be water and energy efficient per current building codes. Landscaping will be designed and installed to be water efficient. The placement of the 6 ft tall sight-obscuring fence/wall will not affect the construction materials or water or energy efficiency.***

- ✓ Located in a priority infill development area (1.2a)?

***The project is not located in a priority infill development area.***

- ✓ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

***This project includes sidewalk improvements along the frontage of Oak Street and Roland Street, which will connect to existing sidewalk north of the development. The project does not border open lands. The placement of the 6 ft tall sight-obscuring fence/wall will not affect pathway connections.***

- ✓ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

***Trees that were planted previously as landscaping for the former church will be replaced by new landscaping. None of the existing landscaping is character-defining.***

- ✓ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access, and amenities (1.5a, b)?

***The project is not adjacent to any county boundaries or public lands.***

- ✓ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?

***The project is not located within any identified mixed-use areas.***

- ✓ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?

***The proposed project meets setback standards for buildings. The purpose of this SUP application is to obtain approval to construct a 6 ft tall sight-obscuring fence/wall along the property line fronting Roland Street and a portion of Oak Street.***

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- ✓ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?

***There are no environmentally sensitive areas on or adjacent to the project site.***

- ✓ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?

***The entirety of the site is outside any delineated FEMA flood zone. There are no known geologic hazard areas on the site. Based on information provided by Carson City, there is a draft Voltaire and Saliman flood zone remapping study currently under review, but no changes to the subject site's FEMA designation are proposed. The placement of the 6 ft tall sight-obscuring fence/wall will not affect any mitigation measures that may be necessary.***

- ✓ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?

***The site has access to existing water, sewer, and improved roadways. Half-street road improvements with bike lane, curb, gutter, and sidewalk are proposed along the frontage of the project on Oak Street and Roland Street. No negative effects to levels of service are anticipated. The placement of the 6 ft tall sight-obscuring fence/wall will not affect levels of service.***

- ✓ If located within an identified Specific Plan Area (SPA), meet applicable policies of that SPA (Land Use Map, Chapter 8)?

***The site is not located within a Specific Plan Area.***

***Chapter 4: Equitable Distribution of Recreational Opportunities***

The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ✓ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?

***On-site outdoor recreation will be provided for residents. Ross Gold Park, which has recreation amenities, is within walking distance of the complex. The placement of the 6 ft tall sight-obscuring fence/wall will not affect parks or recreation facilities.***

- ✓ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

***The project does not affect city-wide public open space and is not near the Carson River.***

***Chapter 5: Economic Vitality***

The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, including broader range

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of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to successful community.

Is or does the proposed development:

- ✓ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?

*This project is a new condo development (not a conversion) and will not be displacing existing rental unit residents. The placement of the 6 ft tall sight-obscuring fence/wall will provide privacy for condo owners and will not affect the type of housing made available as part of the development.*

- ✓ Encourage the development of regional retail centers (5.2a)?

*This project does not include retail sales on-site but does support existing retail centers in the area, based on having additional residents nearby.*

- ✓ Encourage the reuse or redevelopment of underused retail spaces (5.2b)?

*This project does help support existing businesses, but not specifically redevelopment of underused spaces that will bring more residences to support nearby businesses.*

- ✓ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?

*This project will not have a direct impact on tourism.*

- ✓ Promote revitalization of the Downtown core (5.6a)?

*This project will not have a direct impact on the revitalization of downtown.*

- ✓ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

*This project provides housing, but not in the downtown area.*

**Chapter 6: Livable Neighborhoods and Activity Centers**

The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ✓ Use durable, long-lasting building materials (6.1a)?

*The buildings on-site will be attractive and constructed of durable materials, consistent with new construction condominiums. The 6 ft tall sight-obscuring fence/wall will be constructed of durable, long-lasting building materials.*

Project Description

Silver Crest Condominiums, SUP 6-ft wall

September 18, 2019

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- ✓ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?

***The project will include attractive new buildings with articulation and interesting architectural features. The proposed 6 ft tall sight-obscuring fence/wall will be architecturally attractive. Example elevations are provided on Sheet 2 of the Plans included with this SUP application.***

- ✓ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?

***The project will include attractive new buildings with articulation and interesting architectural features. The proposed 6 ft tall sight-obscuring fence/wall will be architecturally attractive. Pedestrian paths, connections, and building entrances will be clear and well-marked.***

- ✓ Provide appropriate height, density, and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b, 9.4a)?

***The project will include buildings of appropriate height and project density, including setbacks to ensure compatibility with surrounding development. Placement of the 6 ft tall sight-obscuring fence/wall will not affect connectivity to surrounding development.***

- ✓ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

***The project is not located within an Identified Mixed-Use Activity Center area.***

- ✓ If located Downtown:

Integrate an appropriate mix and density of uses (8.1a, e)?

Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?

Incorporate appropriate public spaces, plazas and other amenities (8.1d)?

***The project is not located Downtown.***

- ✓ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

***This project does not include a variety of building models and densities on less than 3-acres but does include three different sized and configured condos within each building.***

### ***Chapter 7: A Connected City***

The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

Project Description

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- ✓ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

*The project is located along an existing paved street and is close to major arterials. The site is suitable to facilitate future transit options. The nearest existing public transit bus stop is located less than 1/3 mile to the east on Silver Sage Drive and to the north on East Clearview Drive. The proposed 6 ft tall sight-obscuring fence/wall will not affect transit-supportive development patterns.*

- ✓ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

*The project is adjacent to an existing paved road and near major arterials. Oak Street and Roland Street will both be improved on the project-side of the street, including bike lane, parking lane, curb, gutter, and sidewalk. Placement of the 6 ft tall sight-obscuring fence/wall will not affect roadway connections.*

- ✓ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

*The project includes pathways throughout the site, which connect to the proposed sidewalks on Oak Street and Roland Street. The sidewalk on Oak Street will connect to existing sidewalk immediately north of the site, which extends to and along a portion of Snyder Avenue, directly across from Ross Gold Park. Placement of the 6 ft tall sight-obscuring fence/wall will not affect pathways through the development.*



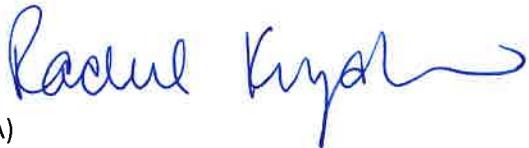
Engineering • Surveying • Water Rights  
Resource & Environmental Services

[www.rci-nv.com](http://www.rci-nv.com)

**CARSON CITY OFFICE**  
340 N. Minnesota St.  
Carson City, NV 89703-4152  
Ph: 775 / 883-1600  
Fax: 775 / 883-1656

## Memorandum

**DATE:** September 18, 2019  
**TO:** Carson City Planning Division  
**FROM:** Rachel Kryder, P.E.  
**RCI PROJECT:** Silver Crest Condominiums (19-205.4A)  
**SUBJECT:** Special Use Permit Application Findings – 6 ft Wall

A handwritten signature in blue ink that reads "Rachel Kryder". The signature is fluid and cursive, with a small arrow pointing to the right at the end of the last name.

### CCMC 18.02.080(5) FINDINGS

#### **1. Will be consistent with the objectives of the Master Plan elements**

The 6 ft tall sight-obscuring wall fronting Roland Street and a portion of Oak Street for Silver Crest Condominiums is consistent with the objectives of the Carson City Master Plan. Please refer to the Project Description for the Master Plan Policy Checklist

#### **2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

- A. The project location is zoned for Multi-family Apartments (MFA). The surrounding areas of the project location include several different zoning designations. To the east of the site are single residences, zoned for multi-family apartments. To the north of the project is zoned multi-family duplex (MFD) and is a duplex development. To the west are apartments, zoned for multi-family apartments (MFA). To the south of the project site there are several residences and undeveloped lots that include a zoning designation of Single Family, 1 Acre (SF1A).
- B. The project area is located near other single-family residences and a multi-family development. Developing this property will not decrease adjacent property values because it will provide an aesthetically pleasing development, while the current site is in a state of disrepair. This project is similar to the multi-family development to the north.

MEMORANDUM

Silver Crest Condominium Complex, SUP

September 18, 2019

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The condominium buildings and surrounding 6 ft sight-obscurring fence/wall will include architectural elements which will give the project a modern look that is appealing and attractive.

- C. The Silver Crest Condominiums will provide a modern housing development in place of the existing vacant building. The development will provide 51 condominium units which will be individually owned and will result in additional housing options in Carson City. The proposed development, including the proposed placement of the 6 ft tall sight-obscurring fence/wall will not be detrimental to the surrounding properties or general neighborhood, as it will be a new modern development consistent with surrounding properties on a currently abandoned site.
- D. The condominium complex will have downward-facing building lights consistent with typical multi-family residences. No light poles are proposed as part of this development. The lighting will not be facing any residential property and will not be on any property boundary.
- E. Due to the current abandoned nature of the parcel and the current state of existing vegetation, all landscaping will be an improvement to the parcel. Landscaping will be professionally designed and installed throughout the site in accordance with Carson City Development standards, including approximately 50% pollinator plant material. Landscaping locations are as shown on site plan and will be fully developed as part of improvement plans. Installation of landscaping within private back yard areas will be the responsibility of the individual property owners.
- F. The short-range benefits of the Silver Crest Condominiums are generated from the construction of the development providing employment opportunities in the area. The long-range benefit is a condominium complex provides current and future residents of Carson City with additional housing options. Attracting more residents will bring more tax revenue, retail spending, increased spending on food and gas, and money spent on entertainment in the Carson City area.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

A Traffic Analysis was performed by Paul Solaegui of Solaegui Engineers, Ltd, and was included with the Silver Crest Condominiums Tentative Map Application. From the analysis: Traffic generated by the Silver Crest Condominium Complex will have some impact on the adjacent street network. Recommendations to mitigate project traffic impacts include that any required signage, striping, or traffic control improvements comply with Carson City requirements. Conditions of Approval for the Tentative Map, TSM-19-126 includes the requirement that Silver Crest developers contribute 1.6% toward the cost of a traffic signal at the Carson Street/Appion Way intersection.

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- 4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**
  - A. The condominium complex will create 51 new residences in Carson City. The future residents of this development will potentially have school-aged children. The number of children that would live in the complex is not anticipated to overburden the school district.
  - B. The project will have minor effect on police and fire protection. While additional population and structures could potentially add a small additional demand for services, the development is in an infill area that would not require service outside the established service area for either police or fire.
  - C. The water supply will come from the Carson City water distribution network. The proposed water mains on site will be new and adequately designed.
  - D. There is currently no storm drain infrastructure immediately adjacent to the site. The onsite drainage will be conveyed via surface flow within the development to the southeast corner, where it will flow into a sediment pond and then into proposed storm sewer lines, which will connect to the city storm drain inlet at the corner of East Roland Street and Snyder Ave.
  - E. The original development in the 1970's utilized a septic system on site. The property connected to sanitary sewer in the late 1990's and is assumed the septic tank and leach field was abandoned in place. The existing septic components will be removed as part of the construction.
  - F. Streets adjacent to the proposed development are paved. Half-width improvements along the frontage of the project on Oak Street and Roland Street are included in the development, as required by Carson City, and as shown on the Tentative Map submitted previously. Placement of the 6 ft tall sight-obscuring fence/wall will not affect the quality of public infrastructure to be completed adjacent to the site.
  - G. Information provided in this application comes from various sources including information available to the public as well as from Carson City Community Development and Public Works
- 5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

**CCMC 18.01.405 Multifamily apartments (MFA) residential district – The MFA district is intended to provide for the development of a variety of multifamily units such as duplexes, townhouses and high-density apartments. The MFA district is consistent with the policies of the high-density residential category of the master plan.**

MEMORANDUM

Silver Crest Condominium Complex, SUP

September 18, 2019

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The project location is zoned for Multifamily Apartments (MFA). Silver Crest Condominiums will meet the purpose of the designated zoning requirements. It will provide 17 multifamily buildings of three (3) units each. Due to the floorplan layouts of the units within the buildings, the development is classified as condominiums rather than townhomes. The development is high density as it allows 51 separate residences on 2.99 acres.

The condominium complex adheres to the requirements stated in CCMC Section 18.04.190 (Residential). The project location is greater than 6,000 square feet. It meets the minimum lot width of 60 feet and depth of 150 feet. The structures will not exceed 45 feet tall. The development adheres to all minimum setback requirements for buildings. The purpose of this SUP application is to allow for construction of a 6 ft tall sight-obscuring fence/wall along the property line adjacent to Roland Street and a portion of Oak Street, rather than 5 ft from the property line, as required by Carson City Development Standard 1.13.

**6. Will not be detrimental to the public health, safety, convenience and welfare.**

This project is designed to provide a new modern residential development without negatively affecting the adjacent local residences. The project will not create any health issues for the general public, and the complex will be safe for residents and the public.

**7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**

The condominium complex is surrounded by developed land on all sides of the property. East Roland Street is to the south and Oak Street is to the west. The adjacent properties will not be affected or degraded during or after construction. Adjacent streets provide a buffer to the west and south, and common areas and open space will provide a buffer for the properties to the north and east. Decorative block walls will buffer the development on all sides. The condominium complex construction will adhere to all applicable regulations regarding dust, erosion control, traffic control, and times of construction to minimize disturbance to neighboring residents. The existing site has an abandoned church that will be removed and replaced with a modern housing development. Placement of the 6 ft tall sight-obscuring fence/wall will not result in damage to other properties in the vicinity.



# CARSON CITY

*Capital of Nevada*

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

## Secured Tax Inquiry Detail for Parcel # 009-197-02

Property Location: [150 E ROLAND ST](#)  
Billed to: [TERAMONT, LLC](#)  
% LAUGHLIN ASSOCIATES  
9120 DOUBLE DIAMOND PKWY  
RENO, NV 89521-0000

Tax Year: 2019-20  
Roll #: 017703  
District: 1.6  
Tax Service:  
Land Use Code: 400

[Code Table](#)

### Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

No Prior Year Taxes

### Current Year

08/19/19	3,261.42		3,261.42	3,261.42	.00	<a href="#">--Pay</a>
10/07/19	3,261.00		3,261.00	.00	3,261.00	<a href="#">--Pay</a>
01/06/20	3,261.00		3,261.00	.00	6,522.00	<a href="#">--Pay</a>
03/02/20	3,261.00		3,261.00	.00	9,783.00	<a href="#">--Pay</a>
<b>Totals:</b>	<b>13,044.42</b>	<b>.00</b>	<b>13,044.42</b>	<b>3,261.42</b>		

[Payment Cart](#)[History](#)

### Additional Information

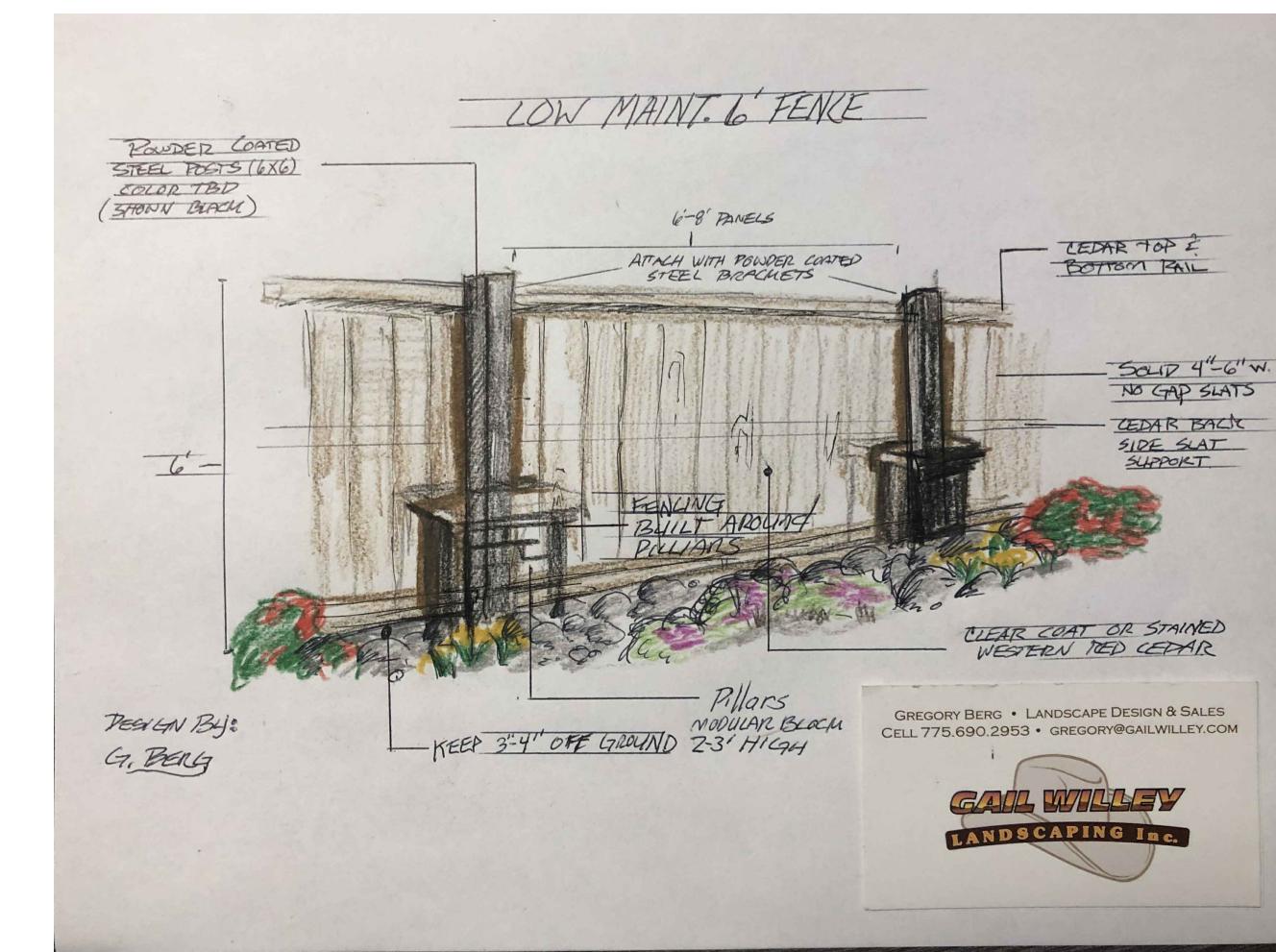
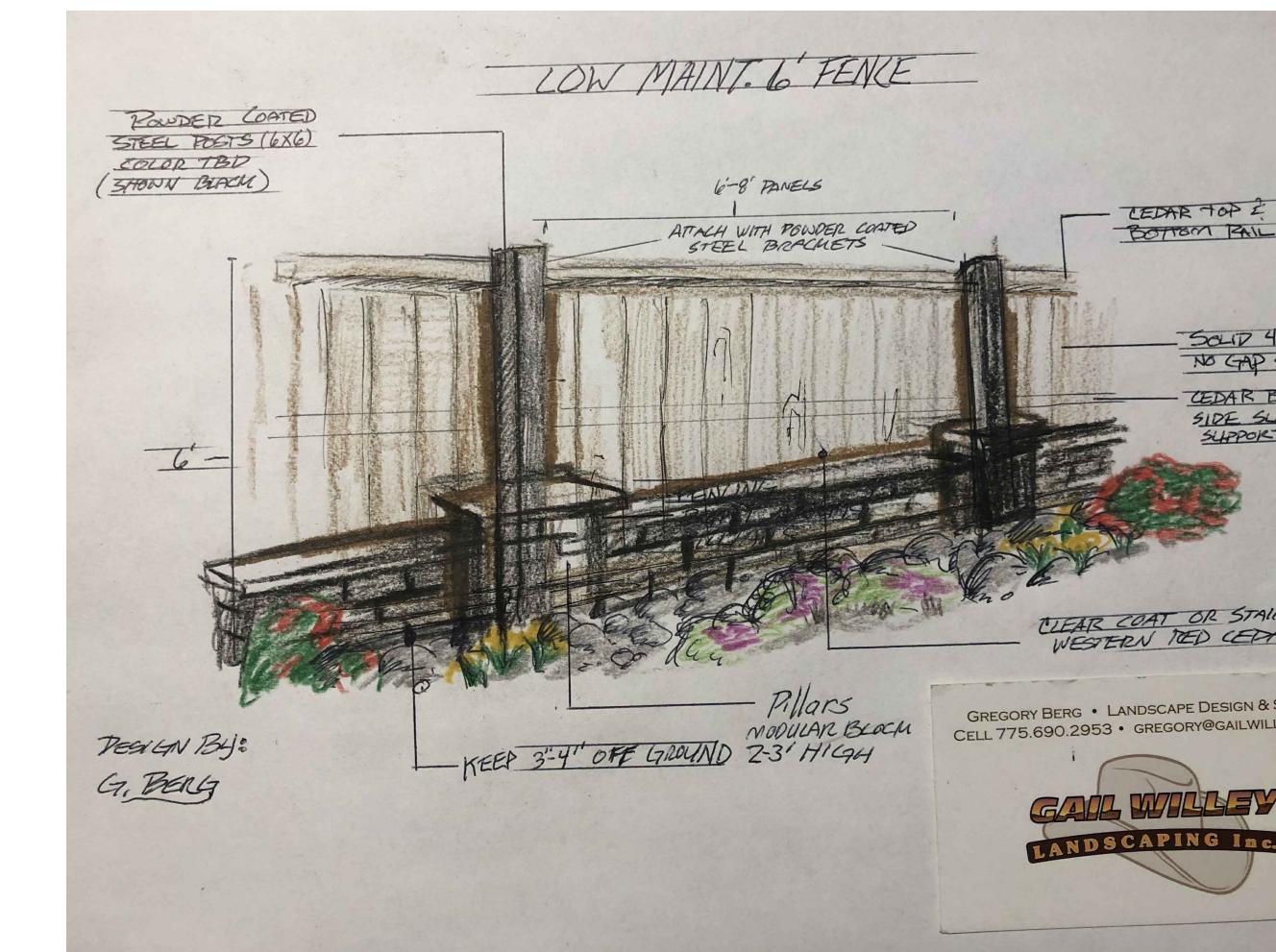
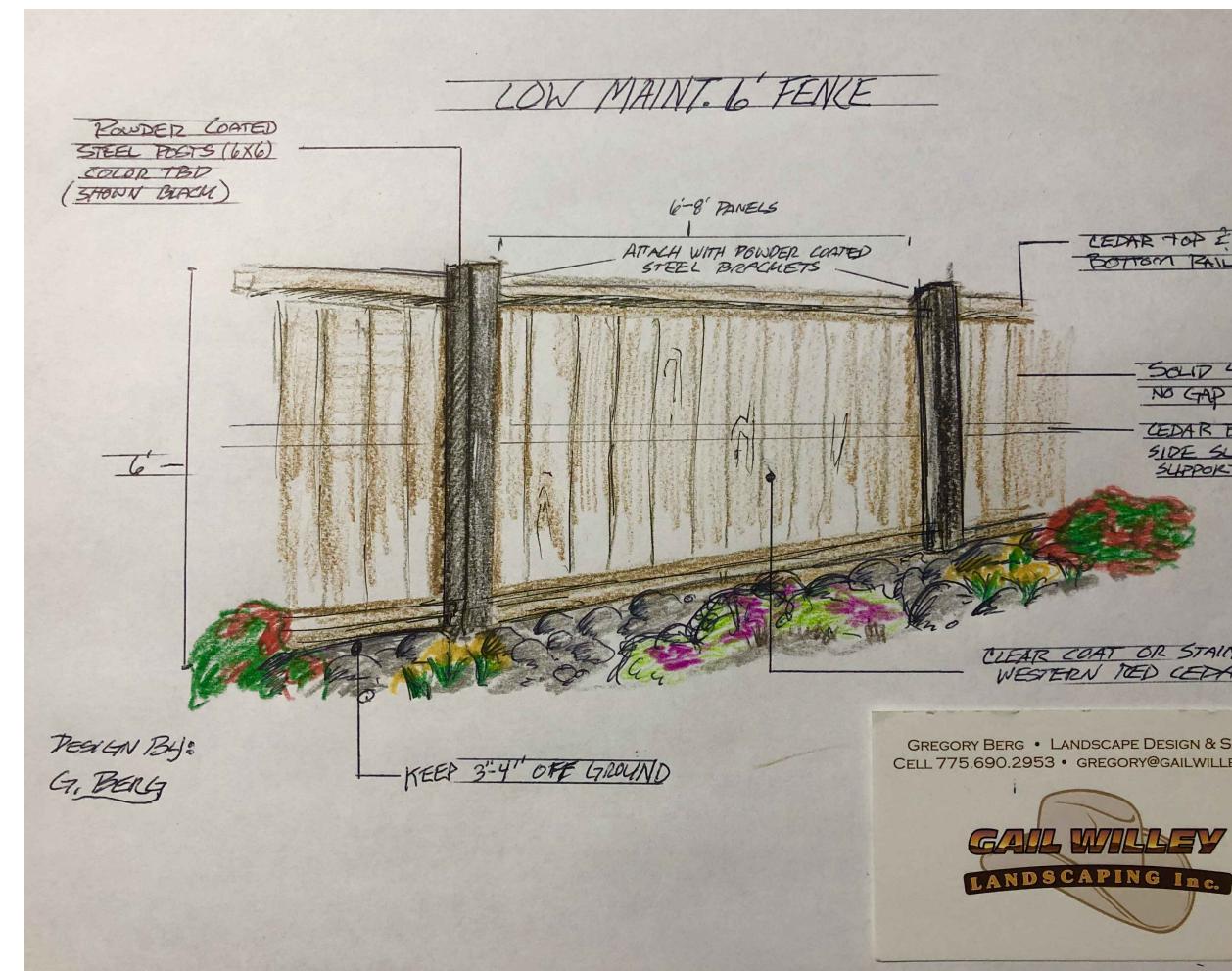
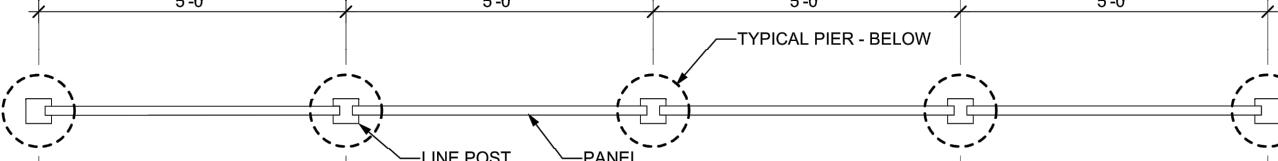
	2019-20	2018-19
Tax Rate	3.5700	3.5700
Tax Cap Percent	4.8	4.2
Abatement Amount	85.28	

# SPECIAL USE PERMIT

# SILVER CREST CONDOMINIUMS

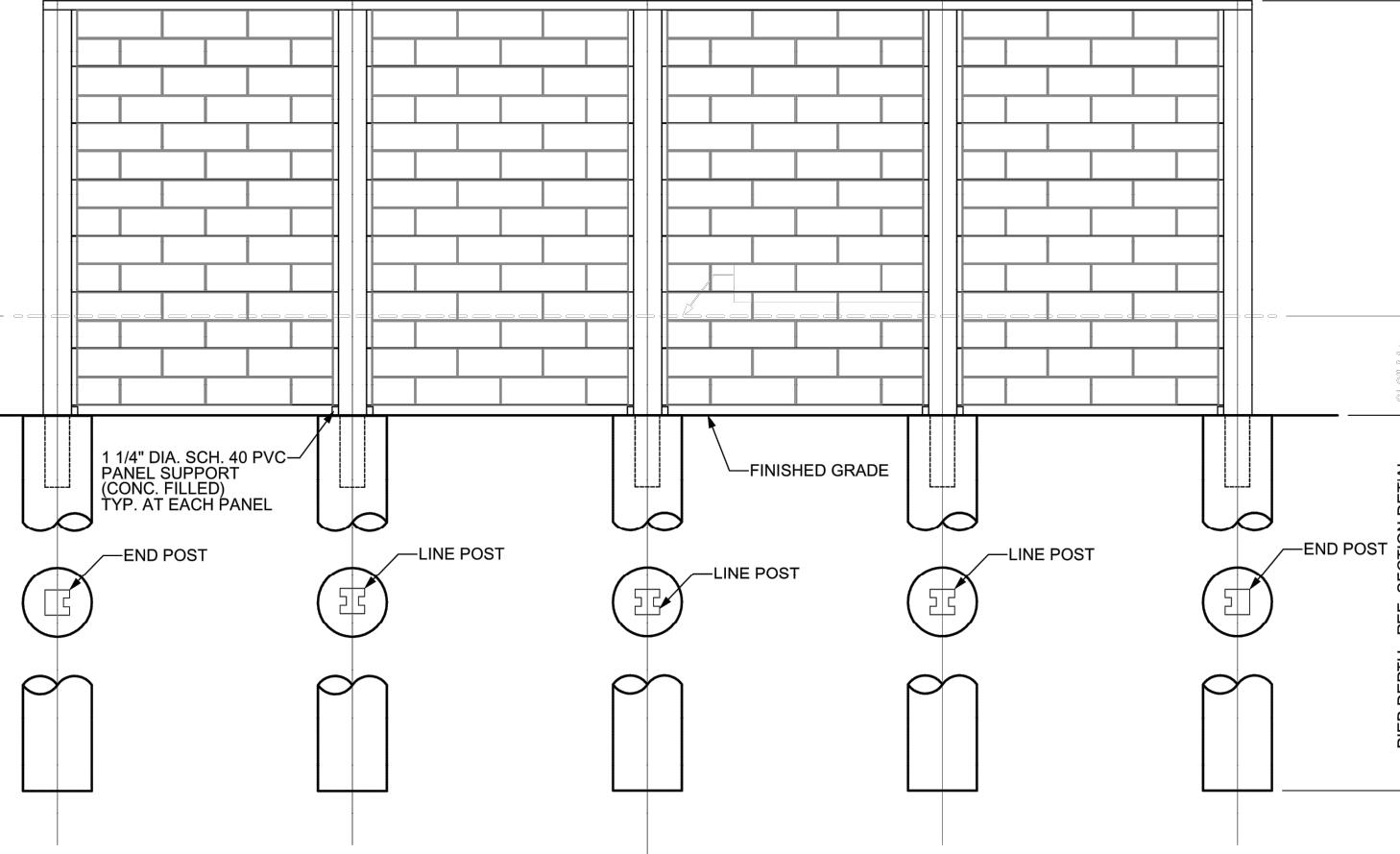
150 EAST ROLAND STREET  
CARSON CITY, NEVADA 89701  
APN 009-197-02





### CONCEPTUAL OPTIONS - COMBINATION BLOCK AND CEDAR

NO SCALE

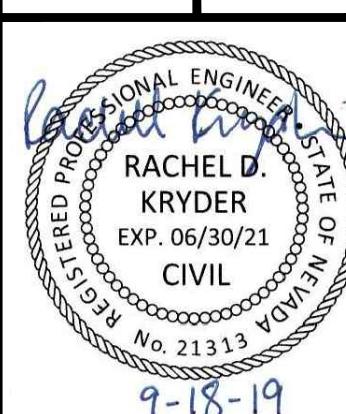


### EXAMPLE CONSTRUCTION - BLOCK WALL AT JACKSON VILLAGE, CARSON CITY, NV

NO SCALE

### CONCEPTUAL OPTION - BLOCKCRETE

NO SCALE



JOB NO.: 19-205.4A  
DATE: 9-16-19  
DESIGNED: HM/RDK  
DRAWN: MLM  
CHECKED: HM/RDK