

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF NOVEMBER 19, 2019

FILE NUMBER: AB-19-168

AGENDA ITEM: E.6

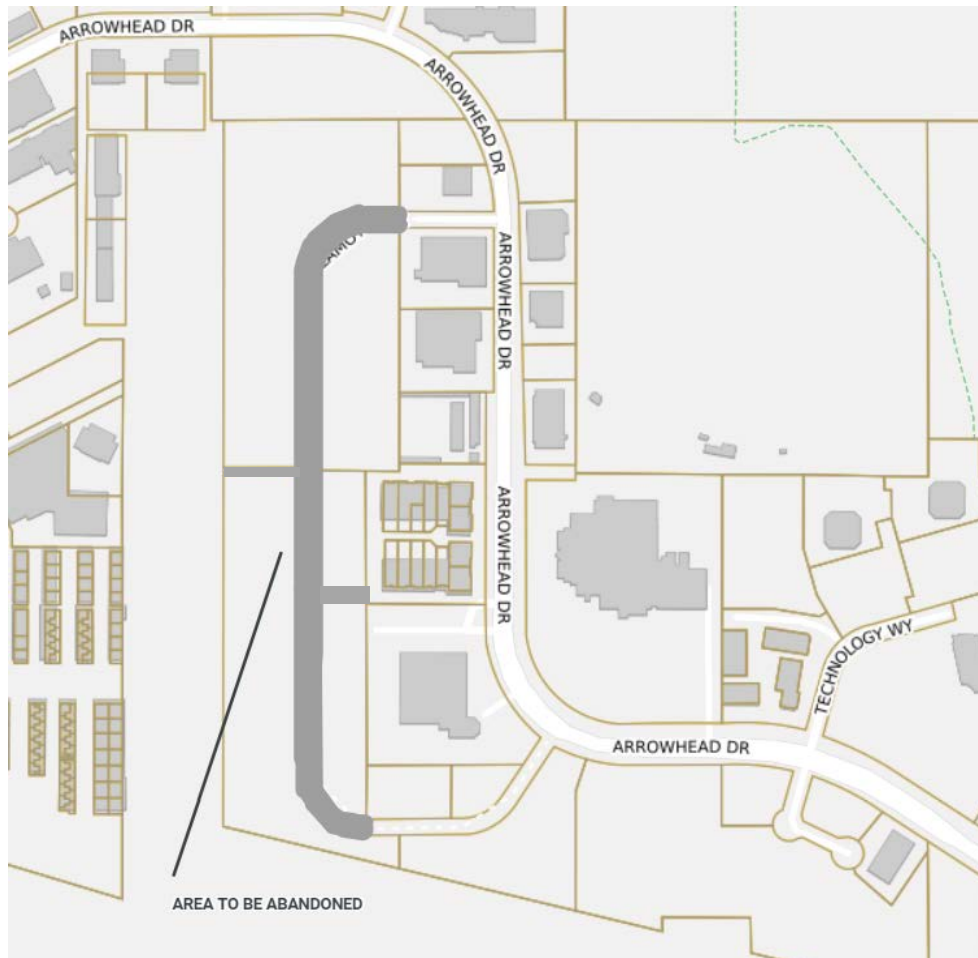
STAFF CONTACT: Kathe Green, Assistant Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for an abandonment of a Public Right-of-Way, specifically a portion of LaMotte Drive beginning at the rear property lines of 3493 Arrowhead Drive (APN 005-052-03) and 3505 Arrowhead Drive (APN 005-053-03), and extending to approximately the eastern property line of 3321 La Motte Drive (APN 005-053-12).)

STAFF SUMMARY: La Motte Drive has a horseshoe shape, and connects at both ends to Arrowhead Drive. The applicant is proposing to abandon a portion of roadway in the middle, and to retain the ends, specifically starting at a point approximately 355 feet west of Arrowhead Drive on the north and ending approximately 820 feet west of Arrowhead Drive on the south. Abandonment of an access easement from La Motte Drive east toward Arrowhead Drive is also proposed. The Board of Supervisors is authorized to abandon a right-of-way. The Planning Commission makes a recommendation to the Board.

PROPOSED MOTION: "I move to recommend that the Board of Supervisors approve AB-19-168, based on seven findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. Prior to the recordation of abandonment, the applicant shall be responsible for the submittal of all necessary legal documentation and title search materials as required by the Planning Division in order to fully complete the abandonment process.
2. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further considerations (this Notice of Decision will be mailed to the applicant for signature after approval by the Board of Supervisors).
3. This item will not be agendized for the Board of Supervisors until submission of all required documentation related to the abandonment.
4. Prior to consideration by the Board of Supervisors, the applicant must dedicate right-of-way or public access easements for fire turn around bulbs at the two ends of the public right-of-way. These bulbs must be improved to public local street standards with curb and gutter and "no parking" signs, or 150% of the cost of this improvement must be bonded for prior to recordation of the abandonment.
5. Construction of the southern portion of La Motte Drive must be completed, or 150% of the cost of this improvement must be bonded for prior to recordation of the abandonment. The remaining items to be finished are as follows:
 - Existing valve to water service vault on north west side of Lamotte Drive, (approximately station # 11+80), valve riser is stuck, cannot operate nut.
 - Station # 12+00 approximately, fire service valve for the lumber yard is paved over.
 - Station #13+81.95, 35.31 LT, Fire hydrant valve riser is off center so much that the valve extension cannot be used to operate valve nut.
 - Station #16+00 approximately, existing in line water valve can is full of debris, nut cannot be operated.
 - Station #17+00 approximately, fire service line valve going into lumber yard is paved over. Check valve vault in the approach is paved over.
 - Station #17+57.57, 27.39 LT, Fire Hydrant valve riser is off center so much that the valve extension cannot be used to operate valve nut.
6. Water main and sewer main easements must be retained over the existing water and sewer mains in the right-of-way. These must be 30 feet wide centered on the mains. Exhibit(s) must be provided to show sufficient detail for this retention.
7. Reference to the documentation of the abandonment of the original alignment of La Motte Drive must be provided. Research of this right-of-way revealed dedication of the current alignment, but not abandonment of the original alignment.
8. Referenced Document 7482 is not a Carson City document number, please correct.
9. New 10 foot wide public utility easements must be dedicated along the new shared lot lines centered on the lot line.
10. Several of the line segments in the legal description of the Resultant Parcel APN 005-053-11 do not match the exhibit. The legal description and/or exhibit must be corrected prior to presentation to the Board of Supervisors.

11. Conditional approval for the requested abandonment shall expire four years after Board of Supervisors approval of the original application, unless an extension of time has been granted by the Board of Supervisors.

LEGAL REQUIREMENTS: Nevada Revised Statutes (NRS) 278.480 (Vacation or Abandonment of Streets, Easements or Maps; Reversion of Divided Land) and Carson City Municipal Code (CCMC) Title 17 Division of Land, Subdivision of Land, Chapter 17.15 Abandonment of Right-of-Way.

Adjacent MASTER PLAN DESIGNATION: Industrial (I)

Adjacent ZONING General Industrial (GI)

KEY ISSUES: Will the City or public be materially injured by the approval of the abandonment of the public right-of-way and access easement?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: vacant land zoned General Industrial (GI)

SOUTH: vacant land zoned General Industrial (GI)

WEST: vacant land zoned General Industrial (GI)

EAST: vacant land zoned General Industrial (GI)

PREVIOUS REVIEWS REGARDING SURROUNDING PROPERTIES:

MPR-15-074 Certified site program review

DISCUSSION:

The proposed area of abandonment totals approximately 3.29 acres and 18,856 square feet, more or less, and is more particularly described in the Order of Abandonment and exhibits. This right-of-way abandonment request pertains to the center portion of the horseshoe shape of La Motte Drive, which would leave connections at both ends attached to Arrowhead Drive. The proposed abandonment starts at a point approximately 355 feet west of Arrowhead Drive on the north and ending approximately 820 feet west of Arrowhead Drive on the south. The original dedication of La Motte Drive included a 20 foot strip that went westerly stubbing out at the airport. This strip is included in the abandonment. An additional area to be abandoned is a private access easement from La Motte Drive to 3665 Arrowhead Drive. This easement is for the benefit of a single property owner, and does not go into effect until La Motte Drive is constructed. As La Motte Drive is proposed to be abandoned, this easement will not go into effect. None of the right-of-way proposed to abandonment has been improved, with the exception of a temporary fire turn-around bulb on the southern portion.

Prior to approval of the abandonment, staff is recommending dedication of right-of-way or public access easements to accommodate turn around “bulbs” at the end of the street “stubs.” These bulbs should be designed to meet local street standards and fire code requirements. The dedication and improvements, or bonding, must be complete prior to recordation of the abandonment.

It is noted several corrections and modifications to the submitted documents will be required prior to presentation of the request to the Board of Supervisors to abandon a portion of La Motte Drive. This request to the Planning Commission is proposed to solicit a recommendation to the Board of Supervisors for approval of the abandonment of a section of La Motte Drive pending receipt of these corrections and modifications. This application will not be presented to the Board, however, until all of the required information has been received.

Pursuant to NRS 278.480 Vacation or Abandonment of a Street or Easement: If upon public hearing by the Board of Supervisors, the Board is satisfied that the public will not be materially injured by the proposed vacation it shall order the street or easement vacation.

Per CCMC 17.15, the Board of Supervisors is authorized to abandon a public right-of-way. The Planning Commission makes a recommendation to the Board of Supervisors based on the ability to make the seven required findings in the affirmative.

PUBLIC COMMENTS: A public notice was sent by certified mail to the adjacent property owner per Nevada Revised States on October 24, 2019. At the writing of this report, there have been no comments received in opposition or support of the proposed abandonment.

CITY DEPARTMENT/OUTSIDE AGENCY COMMENTS: The following comments were received from City departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Fire Department:

1. Project must comply with the 2018 IFC and northern Nevada fire code amendments as adopted by Carson City.
2. Project must provide a cul-de-sac complying with Figure D103.1 in International Fire Code (IFC) Appendix D.
3. The cul-de-sac must be constructed to Carson City standards.
4. The cul-de-sac must be constructed and accepted prior to the abandonment recording.

Engineering Division: The Engineering Division recommends APPROVAL of the proposed abandonment provided that the following conditions of approval are met:

1. Fire turn around bulbs must be provided at the two ends of the public right of way. These must be paved to public local street standards with curb and gutter and "No Parking" signs, or 150% of the cost of this improvement must be bonded for prior to recordation of the abandonment.
2. Private access and emergency access easements must be dedicated over the above fire turn around bulbs.
3. Construction of the southern portion of La Motte Drive must be completed, or 150% of the cost of this improvement must be bonded for prior to recordation of the abandonment. The remaining items to be finished are as follows:
 - a. Existing valve to water service vault on north west side of Lamotte Drive, (approximately station # 11+80), valve riser is stuck, cannot operate nut.
 - b. Station # 12+00 approximately, fire service valve for the lumber yard is paved over.
 - c. Station #13+81.95, 35.31 LT, Fire hydrant valve riser is off center so much that the valve extension cannot be used to operate valve nut.
 - d. Station #16+00 approximately, existing in line water valve can is full of debris, nut cannot be operated.
 - e. Station #17+00 approximately, fire service line valve going into lumber yard is paved over. Check valve vault in the approach is paved over.
 - f. Station #17+57.57, 27.39 LT, Fire Hydrant valve riser is off center so much that the valve extension cannot be used to operate valve nut.
4. Water main and sewer main easements must be retained over the existing water and sewer mains in the right of way. These must be 30' wide centered on the mains. Exhibit(s) must be provided to show sufficient detail for this retention.

5. Reference to the documentation of the abandonment of the original alignment of La Motte Drive must be provided. Research of this right-of-way revealed dedication of the current alignment, but not abandonment of the original alignment.
6. Referenced Document 7482 is not a Carson City document number, please correct.
7. New 10 foot wide public utility easements must be dedicated along the new shared lot lines centered on the lot line.
8. Several of the line segments in the legal description of the Resultant Parcel APN 005-053-11 do not match the exhibit. The legal description and/or exhibit must be corrected prior to recordation.

RIGHT-OF-WAY ABANDONMENT FINDINGS: In accordance with Title 17.15.010, the staff recommendation is based upon the following findings, which are substantiated in the public record.

1. Will the abandonment result in material injury to the public?

There will be no landlocked parcels created as a result of the proposed abandonment of La Motte Drive and the private easement between La Motte Drive and 3655 Arrowhead Drive. The portion of La Motte Drive has not been constructed and only exists on paper. Therefore, staff does not find the abandonment will result in material injury to the public.

2. What is the history regarding the street being dedicated or not?

Carson City Engineering has provided detail regarding the Chain of Title:

- a. La Motte Drive was dedicated to the City with portions of Arrowhead Drive and with "Emergency Access Right Of Way" on October 8, 1981, per the City Recorder's Book 309 Pages 652-654, for \$1.00.
- b. The current alignment of the southern portion of La Mote Drive was dedicated per Document 137561 on December 4, 1992. Abandonment of the original alignment of this section could not be found.
- c. The middle leg of La Motte Drive, which extended between the current APN's 005-053-02 and 005-053-11, was abandoned per Document 221534 on August 5, 1998. A 10 foot wide public utility easement was retained on the new lot line.

3. What should the reasonable consideration be if the street was not dedicated?

The street was dedicated with other right-of-way for a cost of \$1.00. It is recommended that there be no financial consideration for gaining the abandoned right-of-way as a portion of the original right-of-way is being retained as public right-of-way.

4. If abandonment has a public benefit, how much of the public benefit should be offset against the determination of reasonable consideration?

The abandonment does not have a public benefit, and no financial consideration is recommended for the abandonment of the right-of-way.

5. What is the applicability of the parking value analysis applied to this request?

The abandonment will not result in the elimination of parking spaces. No value is assigned for parking to this location. The area under review is undeveloped and is not available for travel or traffic, with the exception of the temporary fire turn-around bulb on the southern portion. The turn-around has not been signed "no parking" and is not paved.

6. Should utility easements be reserved, continued or vacated?

It is requested that water main and sewer main easements be retained. The order of abandonment will acknowledge the retention of these easements. In addition, new 10 foot wide public utility easements must be dedicated along the new shared lot lines centered on the lot line.

7. Are any conditions of approval by the Board of Supervisors or recommendations by the Planning Commission or staff included?

Staff has included within this staff report conditions of approval, which relate to the responsibilities of the applicant in the event this application is approved. In addition, it is noted several exhibits and documents will need to be corrected or provided prior to the presentation of this application to the Board of Supervisors.

Attachments:
Draft Order of Abandonment
Application (AB-19-168)

APN(s): 005-052-04, 005-05-02-, 005-053-11 and 005-054-10

AN ORDER ABANDONING A PORTION OF LA MOTTE DRIVE RIGHT-OF-WAY AND ACCESS EASEMENT, IN THE WEST HALF (W1/2) OF SECTION 3 OF TOWNSHIP 15 NORTH, RANGE 20 EAST, M. D. M. AS DESCRIBED IN "DEDICATION OF LAND FOR PUBLIC PURPOSES" DOCUMENT RECORDED OCTOBER 19, 1981 IN BOOK 309 IN PAGES 652 THROUGH 655 AND FILE NO. 7482 IN THE OFFICE OF THE COUNTY RECORDER OF CARSON CITY, NEVADA, BEING MORE PARTICULARLY DESCRIBED IN THE ATTACHED EXHIBIT "A1", CONTAINING APPROXIMATELY 3.29 ACRES; INCLUDING THERETO A PORTION OF LA MOTTE DRIVE IN THE WEST HALF (W1/2) OF SECTION 3 OF TOWNSHIP 15 NORTH, RANGE 20 EAST, M. D. M. AS DESCRIBED IN RIGHT OF WAY DEDICATION IN THE DOCUMENT RECORDED DECEMBER 4, 1992 IN DOCUMENT NO. 137561 IN THE OFFICE OF THE COUNTY RECORDER OF CARSON CITY, NEVADA, BEING MORE PARTICULARLY DESCRIBED IN THE ATTACHED EXHIBIT "A1", CONTAINING APPROXIMATELY 18,856 SQUARE FEET; ALSO INCLUDING THERETO THE 60 FOOT WIDE BY APPROXIMATELY 450 FEET LONG ACCESS EASEMENT LOCATED IN APN 005-053-11, BETWEEN LA MOTTE DRIVE AND THE SOUTHWEST CORNER OF APN 005-081-15, DESCRIBED IN EXHIBIT B OF A GRANT OF EASEMENT DOCUMENT RECORDED JUNE 24, 1998 IN FILE NO. 219612 IN THE OFFICE OF THE COUNTY RECORDER OF CARSON CITY, NEVADA.

WHEREAS, on September 19, 2019, CC Note Investment Group LLC duly filed a written application seeking vacation and abandonment of a portion of La Motte Drive right-of-way beginning at the rear property lines of 3493 Arrowhead Drive (APN 005-052-03) and 3505 Arrowhead Drive (APN 005-053-03), and extending to approximately the eastern property line of 3321 La Motte Drive (APN 005-053-12), being approximately 60 feet wide by approximately 2,460 feet long, approximately 3.29 acres plus 18,856 square feet, more or less, located approximately 355 feet west of Arrowhead Drive on the north and ending approximately 820 feet west of Arrowhead Drive on the south, being within the West Half (W1/2) of Section 3 of Township 15 North, Range 20 East, M. D. M.

adjacent to APN(s) 005-052-04, 005-053-02, 005-053-11 and 005-054-10, in Carson City, Nevada; and including thereto a portion of La Motte Drive in the West Half (W1/2) of Section 3, of Township 15 North, Range 20 East, M. D. M, as described in Right of Way Dedication in a document recorded December 4, 1992 in Document No. 137561 in the office of the County Recorder of Carson City, Nevada, and also including thereto, the 60 foot wide by approximately 450 foot long Access Easement located in APN 005-053-11, between La Motte Drive and the southwest corner of APN 005-081-15, described in Exhibit "B" of a Grant of Easement document recorded June 24, 1998 in File No. 219612 in the Office of the County Recorder of Carson City, Nevada, and;

WHEREAS, the application was thereafter referred to the Carson City Planning Commission and a public hearing was thereafter duly noticed and held before the Planning Commission on October 30, 2019. At the public hearing testimony was taken and the Commission, after discussion and deliberation, recommended approval of abandonment of the subject right-of-way and access easement to the Carson City Board of Supervisors by a vote of **** to ***, finding that the public would not be materially injured by the vacation; and

WHEREAS, the Carson City Board of Supervisors, at their regular and duly noticed meeting of _____, 2019, found that the public would not be materially injured by the proposed vacation, and accordingly ordered the abandonment of the public right-of-way in question subject to the conditions of approval included in this order and pursuant to the provisions of NRS 278.480, which among its provisions, requires a written order to be prepared and recorded in the office of the Carson City Recorder; and

WHEREAS, the vacation and abandonment of the right-of-way and access easement is more particularly described on the attached Exhibit(s) "A1" and "B1" of written and diagramed descriptions of the right-of-way and access easement abandonment, resultant parcels are described on Exhibits "A" and "B", and the attached utility statements are shown as Exhibits "C".

NOW, THEREFORE, the Board of Supervisors hereby orders:

1. That the above-described right-of-way and access easement is hereby abandoned according to the provisions of NRS 278.480.
2. Utility companies have a utility or an easement over or under the property hereby vacated and abandoned by this order, and said easement or easements shall be continued and shall be affected by this abandonment.

ORDERED this ____ day of _____, 2019, by the Carson City Board of Supervisors.

ROBERT L. CROWELL, Mayor

ATTEST:

AUBREY ROWLATT, Clerk-Recorder

Carson City Planning Division 108 E. Proctor Street, Carson City, NV 89701 Phone: (775) 887-2180 Email: planning@carson.org		FOR OFFICE USE ONLY: CCMC 17.15	
FILE # AB - -		ABANDONMENT OF PUBLIC RIGHT-OF-WAY	
APPLICANT CC NOTE INVESTMENT GROUP LLC, 775-882-7777		FEE*: \$2,450.00 + noticing fee *Due after application is deemed complete by staff	
MAILING ADDRESS, CITY, STATE, ZIP 500 MOUNTAIN ST., CARSON CITY, NV 89703		<input type="checkbox"/> SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including: <input type="checkbox"/> Application Form <input type="checkbox"/> Written Project Description <input type="checkbox"/> Justification Statement <input type="checkbox"/> Site Map/Exhibit <input type="checkbox"/> Legal Descriptions <input type="checkbox"/> Development Engineering Memo of Support <input type="checkbox"/> Utility Statements <input type="checkbox"/> Title Report <input type="checkbox"/> Documentation of Taxes Paid to Date <input type="checkbox"/> CD or USB DRIVE with complete application in PDF	
EMAIL ADDRESS viellion@gmail.com			
PROPERTY OWNER CC NOTE INVESTMENT GROUP LLC, 775-882-7777			
MAILING ADDRESS, CITY, STATE, ZIP 500 MOUNTAIN ST., CARSON CITY, NV 89703			
EMAIL ADDRESS viellion@gmail.com			
APPLICANT AGENT/REPRESENTATIVE LUMOS & ASSOC., DEAN NEUBAUER, 775-883-7077		Application Reviewed and Received By: <hr/>	
MAILING ADDRESS, CITY, STATE, ZIP 308 N. CURRY ST., SUITE 200, CARSON CITY, NV 89703		Submittal Deadline: Planning Commission application submittal schedule . Note: Submittals must be of sufficient clarity and detail to adequately review the request. Additional information may be required.	
EMAIL ADDRESS dneubauer@lumosinc.com			
Project's Assessor Parcel Number(s): 005-052-04, 005-053-02, 005-053-11, 005-054-10		Street Address LAMOTTE DRIVE	

Briefly describe the proposed right-of-way abandonment. If you are abandoning an access, explain how the parcel will be accessed:

The owner would like to abandon LaMotte Drive through these parcels and then follow up with a Boundary line Adjustment and reconfigure the parcels. All existing parcels will continue to have access from the un-abandoned portions of LaMotte Drive.

PROPERTY OWNER'S AFFIDAVIT

I, MICHAEL B. VIELLION, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

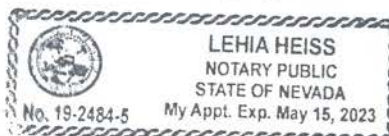
Date

Use additional page(s) if necessary for other names.

STATE OF NEVADA)
 COUNTY Carson City)

On Sept. 17th, 2019, Michael B. Viellion, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public




UTILITY STATEMENTS FOR ABANDONMENT OF PUBLIC RIGHT-OF-WAY

LOCATED AT: Lamotte Drive

(THE LOCATION, APN NUMBER AND ADDRESS MUST BE LISTED ABOVE PRIOR TO OBTAINING SIGNATURES)

1. We DO NOT have a utility in the right-of-way being abandoned and DO NOT desire continuation of said easement in its present location.

	<u>MATT GINGRICH</u>	<u>NV ENERGY</u>	<u>9-16-19</u>
Signature	Print Name	Company	Date

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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2. We DO have a utility in the right-of-way being abandoned and desire creation of a public utility easement (PUE) along the alignment of the existing utility.

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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3. OTHER: (Please type in a statement which applies to your situation): _____

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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THE FOLLOWING PUBLIC UTILITIES SHALL SIGN ONE OF THE ABOVE STATEMENTS

NV Energy
Charter Communications
Carson City Utilities (will sign during review)

Southwest Gas Corporation
AT&T Nevada

UTILITY STATEMENTS FOR ABANDONMENT OF PUBLIC RIGHT-OF-WAY

LOCATED AT: Lamotte Drive

(THE LOCATION, APN NUMBER AND ADDRESS MUST BE LISTED ABOVE PRIOR TO OBTAINING SIGNATURES)

1. We DO NOT have a utility in the right-of-way being abandoned and DO NOT desire continuation of said easement in its present location.

	Cliff Cooper	Nevada Bell Telephone CO	
Signature	Print Name	d/b/a AT&T Nevada	09/13/19
		Company	Date

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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2. We DO have a utility in the right-of-way being abandoned and desire creation of a public utility easement (PUE) along the alignment of the existing utility.

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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3. OTHER: (Please type in a statement which applies to your situation): _____

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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THE FOLLOWING PUBLIC UTILITIES SHALL SIGN ONE OF THE ABOVE STATEMENTS

NV Energy
Charter Communications
Carson City Utilities (will sign during review)

Southwest Gas Corporation
AT&T Nevada

UTILITY STATEMENTS FOR ABANDONMENT OF A PUBLIC UTILITY EASEMENT

LOCATED AT: LAMOTTE DRIVE

(THE LOCATION, APN NUMBER AND ADDRESS MUST BE LISTED ABOVE PRIOR TO OBTAINING SIGNATURES)

1. We DO NOT have a utility in the easement being abandoned and DO NOT desire continuation of said easement in its present location.

	<u>Brandon Thompson</u>	<u>Charter</u>	<u>9-17-19</u>
Signature	Print Name	Company	Date

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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2. We DO have a utility in the right-of-way being abandoned and desire creation of a public utility easement (PUE) along the alignment of the existing utility.

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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3. OTHER: (Please type in a statement which applies to your situation): _____

Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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Signature	Print Name	Company	Date
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THE FOLLOWING PUBLIC UTILITIES SHALL SIGN ONE OF THE ABOVE STATEMENTS

(make additional copies of this page if needed)

NV Energy
Charter Communications
Carson City Engineering (will sign during review)

Southwest Gas Corporation
AT&T Nevada
Carson City Utilities

UTILITY STATEMENTS FOR ABANDONMENT OF PUBLIC RIGHT-OF-WAY

LOCATED AT: Lamotte Drive

(THE LOCATION, APN NUMBER AND ADDRESS MUST BE LISTED ABOVE PRIOR TO OBTAINING SIGNATURES)

1. We DO NOT have a utility in the right-of-way being abandoned and DO NOT desire continuation of said easement in its present location.

<u>Amanda Marucci</u>	<u>Amanda Marucci</u>	<u>Southwest Gas Corp.</u>	<u>9/25/19</u>
Signature	Print Name	Company	Date

_____ Signature	_____ Print Name	_____ Company	_____ Date
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_____ Signature	_____ Print Name	_____ Company	_____ Date
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2. We DO have a utility in the right-of-way being abandoned and desire creation of a public utility easement (PUE) along the alignment of the existing utility.

_____ Signature	_____ Print Name	_____ Company	_____ Date
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_____ Signature	_____ Print Name	_____ Company	_____ Date
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_____ Signature	_____ Print Name	_____ Company	_____ Date
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3. OTHER: (Please type in a statement which applies to your situation): _____

_____ Signature	_____ Print Name	_____ Company	_____ Date
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_____ Signature	_____ Print Name	_____ Company	_____ Date
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_____ Signature	_____ Print Name	_____ Company	_____ Date
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THE FOLLOWING PUBLIC UTILITIES SHALL SIGN ONE OF THE ABOVE STATEMENTS

NV Energy
Charter Communications
Carson City Utilities (will sign during review)

Southwest Gas Corporation
AT&T Nevada

Abandonment Checklist

- | | |
|--|---|
| <input type="checkbox"/> TYPE OF ABANDONMENT REQUESTED:
<input type="checkbox"/> Government Patent Easement
<input type="checkbox"/> Public Drainage Easement
<input type="checkbox"/> Other type of abandonment (specify): _____ | <input type="checkbox"/> Public Utility Easement
<input type="checkbox"/> Non-Exclusive Utility Easement
<input checked="" type="checkbox"/> Public Access Easement |
|--|---|

GENERAL REQUIREMENTS:

Application packet in the appropriate number of copies (one original and three copies for administrative abandonments and the appropriate fee).

Each of the three packets shall contain:

- ☒ An application form, signed by the affected property owner(s) and notarized. (Use a Carson City addendum attachment form for each additional property owner).
- ☒ A narrative justification letter explaining the purpose of the project and pertinent details of the proposed abandonment.
- ☒ A Memo of support from Development Engineering (contact Engineering Manager at 887-2300).
- ☒ A Legal description of the proposed abandonment.
- ☒ Legal description(s) of the resulting abutting parcel(s).
- ☒ Site map exhibit(s) of the proposed abandonment to match the legal descriptions in (c) and (d) above.
- ☒ A Utility Statement signed by the appropriate authorities as indicated on the form.

Site Map/Exhibit Requirements

- ☒ Provide 8 1/2" by 11" (or 11" by 17") accurate map exhibits, drawn to scale, including date, north arrow and scale.
- ☒ The exhibits must include the name, address and phone number of the Professional Land Surveyor, licensed in the state of Nevada, who is responsible for the exhibits.
- ☒ The exhibits must include the stamp, signature, date and license expiration date of the surveyor.
- ☒ The exhibits shall indicate all parcels, rights-of-way and easements or reservations that abut the proposed abandonment.
- ☒ The exhibits (or supplemental documentation) shall indicate any parcel(s) of land that may rely upon access of any sort over the proposed abandonment. Alternative access to the same parcels may be indicated, but note shall be made as to whether they exist or are proposed.

One set of the following shall be provided:

- ☒ Title report for the abutting parcels.
- ☒ Copy (copies) of the document(s) that dedicated/established the right-of- way/easement, or a report of the document references approved by the Engineering/Planning Division prior to submittal.
- ☒ Documentation of taxes paid to date

EXHIBIT "A1"
LAMOTTE DRIVE AND 60' ACCESS EASEMENT ABANDONMENT

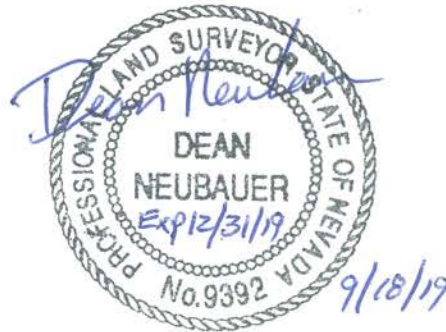
A portion of LaMotte Drive in the West Half (W1/2) of Section 3 of Township 15 North, Range 20 East, M. D. M., as described in "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada, being more particularly described as follows:

BEGINNING at the Southwest corner of Parcel 1 as shown on the map recorded in Book 4 Page 828 of the Official Records of Carson City, Nevada from which the Northwest corner of Section 3 bears N. 62°05'37" W. 742.14 feet; thence S. 0°49'13" W. 60.00 feet; thence N. 89°11'48" W. 91.75 feet; thence 345.47 feet along the arc of a curve to the left having a central angle of 89°58'19" and a radius 220.00 feet (chord bears S. 45°49'03" W. 311.05 feet); thence S. 0°49'53" W. 651.38 feet; thence S. 0°49'53" W. 60.00 feet; thence S. 0°49'53" W. 1096.21 feet to the north line of a Right of Way Dedication in a document recorded December 4, 1992 in Document No. 137561 in the office of the County Recorder of Carson City, Nevada; thence along said Right of Way N. 89°10'08" W. 60.00 feet; thence N. 0°49'53" E. 1116.67 feet; thence N. 88°43'37" W. 289.19 feet; thence N. 0°49'53" E. 20.00 feet; thence S. 88°43'37" E. 289.19 feet; thence N. 0°49'53" E. 670.91 feet; thence 439.69 feet along the arc of a curve to the right having a central angle of 89°58'19" and a radius of 280.00 feet (chord bears N. 45°49'03" E. 395.88 feet); thence S. 89°11'48" E. 91.76 feet to the **POINT OF BEGINNING**. Containing 3.29 +/- Acres.

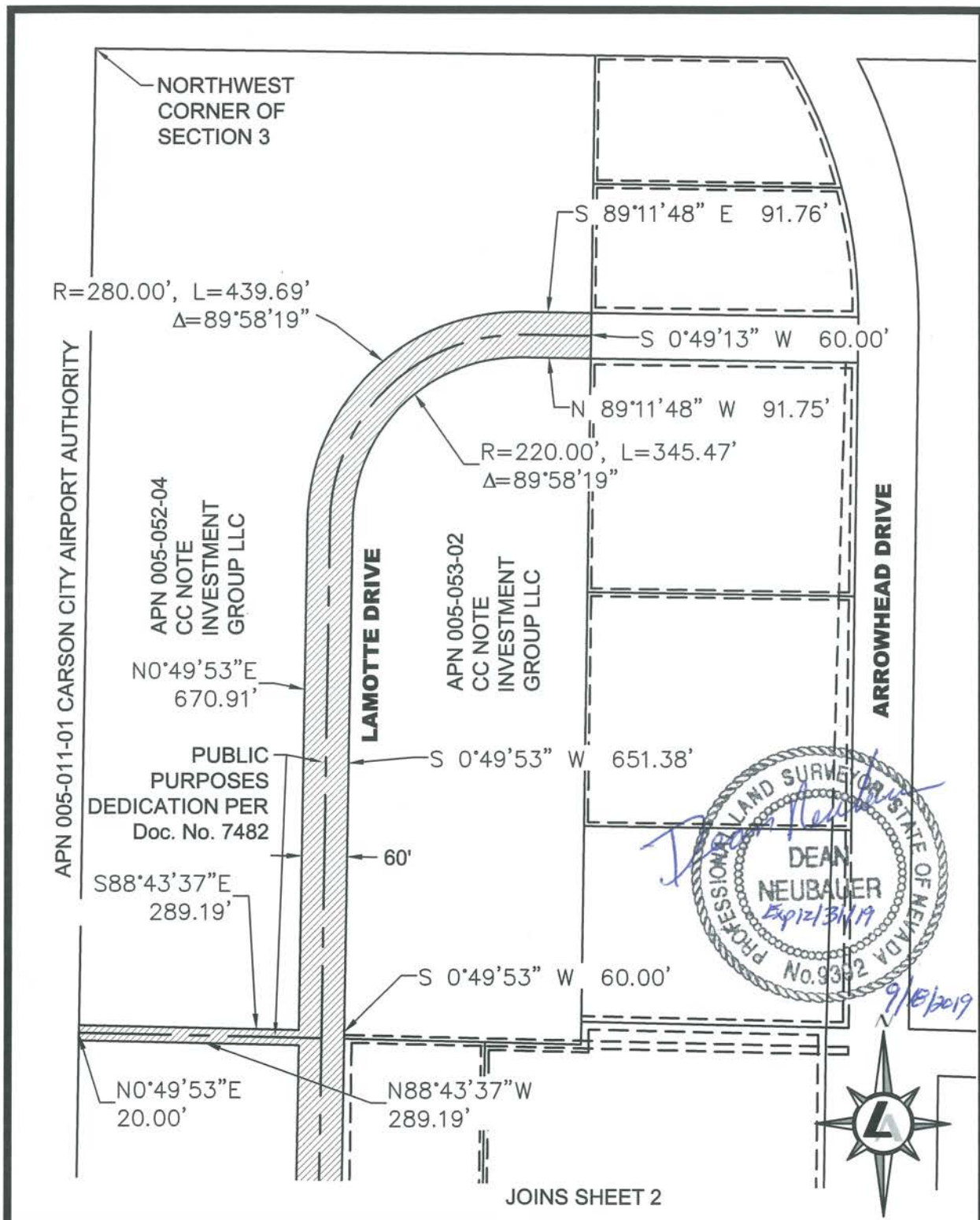
INCLUDING THERETO A portion of LaMotte Drive in the West Half (W1/2) of Section 3 of Township 15 North, Range 20 East, M. D. M., as described in Right of Way Dedication in a document recorded December 4, 1992 in Document No. 137561 in the office of the County Recorder of Carson City, Nevada, being more particularly described as follows:

BEGINNING at a Point of Tangent on the South line of the said Right of Way Dedication from which the Northwest corner of Section 3 bears N. 10°13'49" W. 2706.56 feet; thence from a tangent that bears N. 89°11'49" W. along a curve to the right 361.40 feet through a central angle of 90°01'42" having a radius of 230.00 feet; thence S. 89°10'08" E. a distance of 60.00 feet; thence from a tangent bearing S. 00°49'53" W. along a curve 267.12 feet to the left through a central angle of 90°01'42" having a radius of 170.00 feet; thence S. 0°48'13" W. 60.00 feet **POINT OF BEGINNING**. Containing 18,856 +/- Square Feet.

ALSO INCLUDING THERETO The 60' Access Easement described in Exhibit B of a Grant of Easement document recorded June 24, 1998 in File No. 219612 in the office of the County Recorder of Carson City, Nevada;



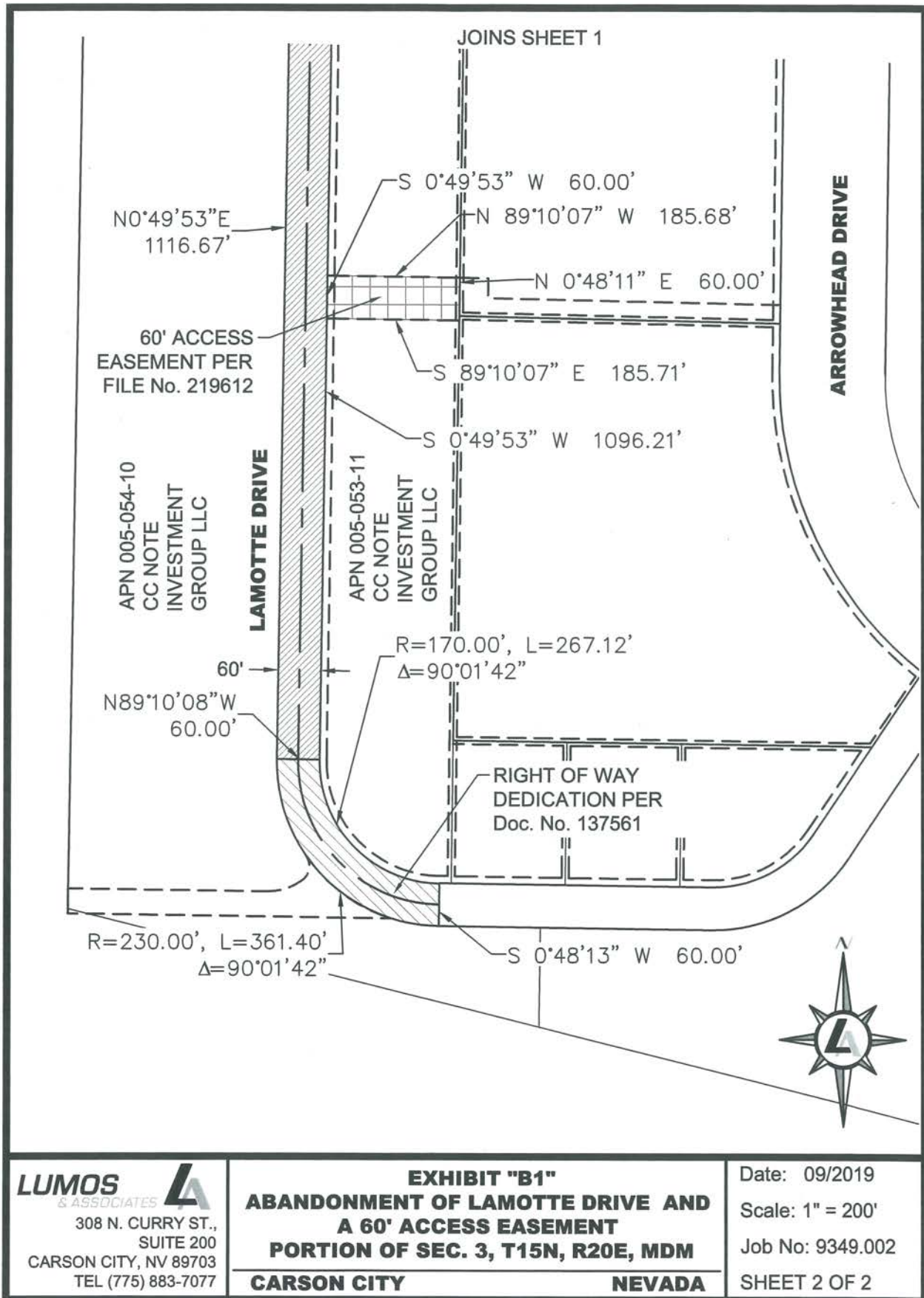
Prepared by
Lumos & Associates, Inc.
Dean Neubauer, PLS 9392
308 N. Curry Street, Suite 200
Carson City, NV 89703



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& ASSOCIATES
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TEL (775) 883-7077

EXHIBIT "B1"
ABANDONMENT OF LAMOTTE DRIVE AND A
60' ACCESS EASEMENT
PORTION OF SEC. 3, T15N, R20E, MDM
CARSON CITY NEVADA

Date: 09/2019
Scale: 1" = 200'
Job No: 9349.002
SHEET 1 OF 2



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EXHIBIT "B1"
ABANDONMENT OF LAMOTTE DRIVE AND
A 60' ACCESS EASEMENT
PORTION OF SEC. 3, T15N, R20E, MDM
CARSON CITY NEVADA

Date: 09/2019
Scale: 1" = 200'
Job No: 9349.002
SHEET 2 OF 2

EXHIBIT "A"
ABANDONMENT RESULTANT PARCELS

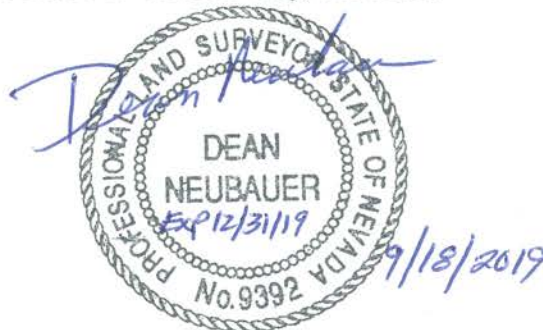
ABANDONMENT RESULTANT PARCEL APN 005-052-04

All that certain real property situate in Section 3, Township 15 North, Range 20 East, M.D.B. & M., City and County of Carson City, State of Nevada, more particularly described as follows:

COMMENCING at the Northwest corner of said Section 3, the **TRUE POINT OF BEGINNING**; **THENCE** along the north line of Section 3, South 89°16'47" East, a distance of 660.74 feet; **THENCE** South 00°49'15" West a distance of 369.07 feet to the centerline of LaMotte Drive as described in "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada; **THENCE** along said centerline North 89°11'48" West a distance of 91.74 feet; **THENCE** continuing along said centerline 392.76 feet along the arc of a tangent 250.00 foot radius curve to the left, through a central angle of 90°00'49"; **THENCE** continuing along said centerline South 00°49'53" West, a distance of 681.18 feet; **THENCE** along the centerline of a 20 foot wide portion of the above described "Dedication of Land For Public Purposes" North 88°43'37" West a distance of 319.19 feet to the west line of said Section 3; **THENCE** along said section line North 00°49'53" East a distance of 1296.74 feet to the **TRUE POINT OF BEGINNING**. Containing 12.71 Acres more or less.

Basis of Bearings for this legal is the "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada.

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ABANDONMENT RESULTANT PARCEL APN 005-053-02

All that certain real property situate in Section 3, Township 15 North, Range 20 East, M.D.B. & M., City and County of Carson City, State of Nevada, more particularly described as follows:

COMMENCING at the Northwest corner of said Section 3; **THENCE** along the north line of Section 3, South $89^{\circ}16'47''$ East, a distance of 660.74 feet; **THENCE** South $00^{\circ}49'15''$ West a distance of 369.07 feet to the centerline of LaMotte Drive as described in "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada and the **TRUE POINT OF BEGINNING**; **THENCE** South $00^{\circ}49'13''$ West, a distance of 904.04 feet to the north line of a 60 foot wide Public Right of Way abandoned by a document recorded August 05, 1998 under File No. 221534 in the office of the County Recorder of Carson City, Nevada; **THENCE** continuing South $00^{\circ}49'13''$ West, a distance of 30.00 feet to the centerline of said 60 foot wide Public Right of Way; **THENCE** along said centerline North $88^{\circ}43'37''$ West, a distance of 341.81 feet to the centerline of LaMotte Drive; **THENCE** along the centerline of LaMotte Drive North $00^{\circ}49'53''$ East a distance of 681.18 feet; **THENCE** continuing along the centerline of LaMotte Drive 392.76 feet along the arc of a tangent 250.00 foot radius curve to the right through a central angle of $90^{\circ}00'49''$; **THENCE** continuing along the centerline of LaMotte Drive South $89^{\circ}11'48''$ East, a distance of 91.74 feet to the **TRUE POINT OF BEGINNING**. Containing 7.01 Acres more or less.

Basis of Bearings for this legal is the "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada.

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ABANDONMENT RESULTANT PARCEL APN 005-053-11

Parcel 4, as shown on Parcel Map for CC Note Investment Group, LLC, a Nevada Limited Liability Company PM-18-017, recorded April 23, 2018, in Book 11 of Maps, Page 2940, as Document No. 484578, Official Records, Carson City, Nevada.

INCLUDING THERETO A portion of LaMotte Drive as described in "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 and a portion of LaMotte Drive as described in Right of Way Dedication in a document recorded December 4, 1992 in Document No. 137561 in the office of the County Recorder of Carson City, Nevada, more particularly described as follows:

BEGINNING at the southerly corner of the above described Parcel 4 also being the Point of Tangent on the north line of the said Right of Way Dedication; **THENCE** S. $0^{\circ}47'26''$ W., 30.00 feet to the centerline of LaMotte Drive; **THENCE** along said centerline from a tangent bearing N. $89^{\circ}12'34''$ W. along a curve 314.26 feet to the right through a central angle of $90^{\circ}01'42''$ having a radius of 200.00 feet; **THENCE** along the centerline of LaMotte Drive of "Dedication of Land For Public Purposes" N. $00^{\circ}49'08''$ E., 1126.66 feet; **THENCE** S. $88^{\circ}42'38''$ E., 30.00 feet to the Northwest corner of said Parcel 4; **THENCE** along the west line of Parcel 4 and the east line of LaMotte Drive S. $0^{\circ}49'08''$ W., 1126.42 feet; **THENCE** continuing along said lines along a curve 267.12 feet to the left through a central angle of $90^{\circ}01'42''$ having a radius of 170.00 feet to the **POINT OF BEGINNING**. Containing 0.98 Acres more or less.

Total Parcel Containing 6.36 Acres more or less.

Basis of Bearings for this legal is the Parcel Map for CC Note Investment Group, LLC, a Nevada Limited Liability Company PM-18-017, recorded April 23, 2018, in Book 11 of Maps, Page 2940, as Document No. 484578, Official Records, Carson City, Nevada.

Prepared by
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Dean Neubauer, PLS 9392
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Carson City, NV 89703



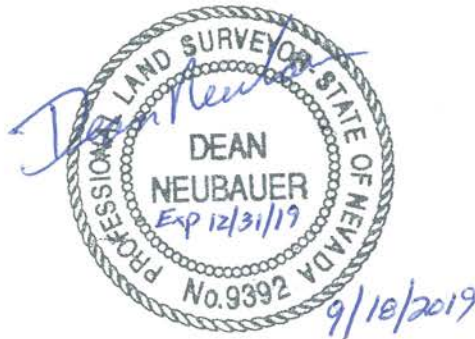
ABANDONMENT RESULTANT PARCEL APN 005-054-10

A parcel of land located within a portion of the West Half of Section 3, Township 15 North, Range 20 East, M.B.M., Carson City, Nevada, being more particularly described as follows:

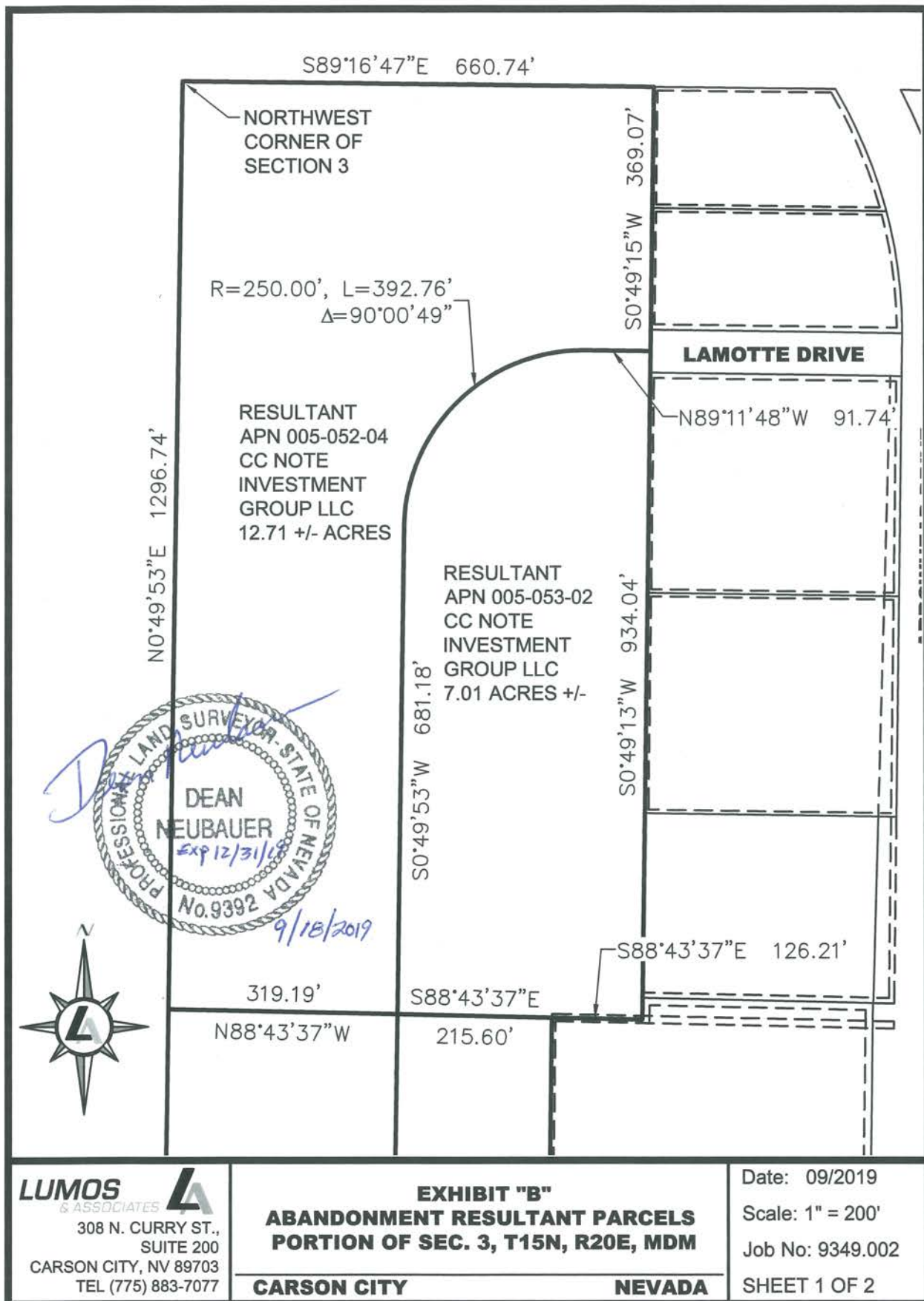
BEGINNING at the West Quarter corner of said Section 3; **THENCE** along the West line of Section 3, N. $00^{\circ}49'53''$ E., 1319.63 feet to the centerline of a 20 foot wide portion of the abandoned LaMotte Drive as described in "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada; **THENCE** along said centerline S. $88^{\circ}43'37''$ E., 319.19 feet to the centerline of said LaMotte Drive; **THENCE** along the centerline of LaMotte Drive S. $00^{\circ}49'53''$ W., 1126.44 feet to the northerly line of a Right of Way Dedication recorded December 04, 1992 under Document No. 137561 in the office of the County Recorder of Carson City, Nevada; **THENCE** along said centerline 314.26 feet along the arc of a curve to the left, having a central angle of $90^{\circ}01'45''$ and a radius of 200.00 feet; **THENCE** S. $0^{\circ}48'08''$ W. 30.00 feet to a point on the Southerly line of said Right of Way Dedication; **THENCE** along the south line of said Right of Way S. $89^{\circ}11'41''$ E. 142.07 feet; **THENCE** S. $0^{\circ}50'30''$ W. 139.13 feet; **THENCE** N. $75^{\circ}59'07''$ W. 679.26 feet to a point on the West line of said Section 3; **THENCE** along the west line of Section 3 N. $00^{\circ}52'34''$ E., 23.41 feet to the **POINT OF BEGINNING**. Containing 11.22 Acres more or less.

Basis of Bearings for this legal is the "Dedication of Land For Public Purposes" document recorded October 19, 1981 in Book 309 in Pages 652 through 655 and File No. 7482 in the office of the County Recorder of Carson City, Nevada.

EXCEPTING THEREFROM all that portion of land in that certain Partial Reconveyance, recorded September 14, 2006, as Document No. 358594.



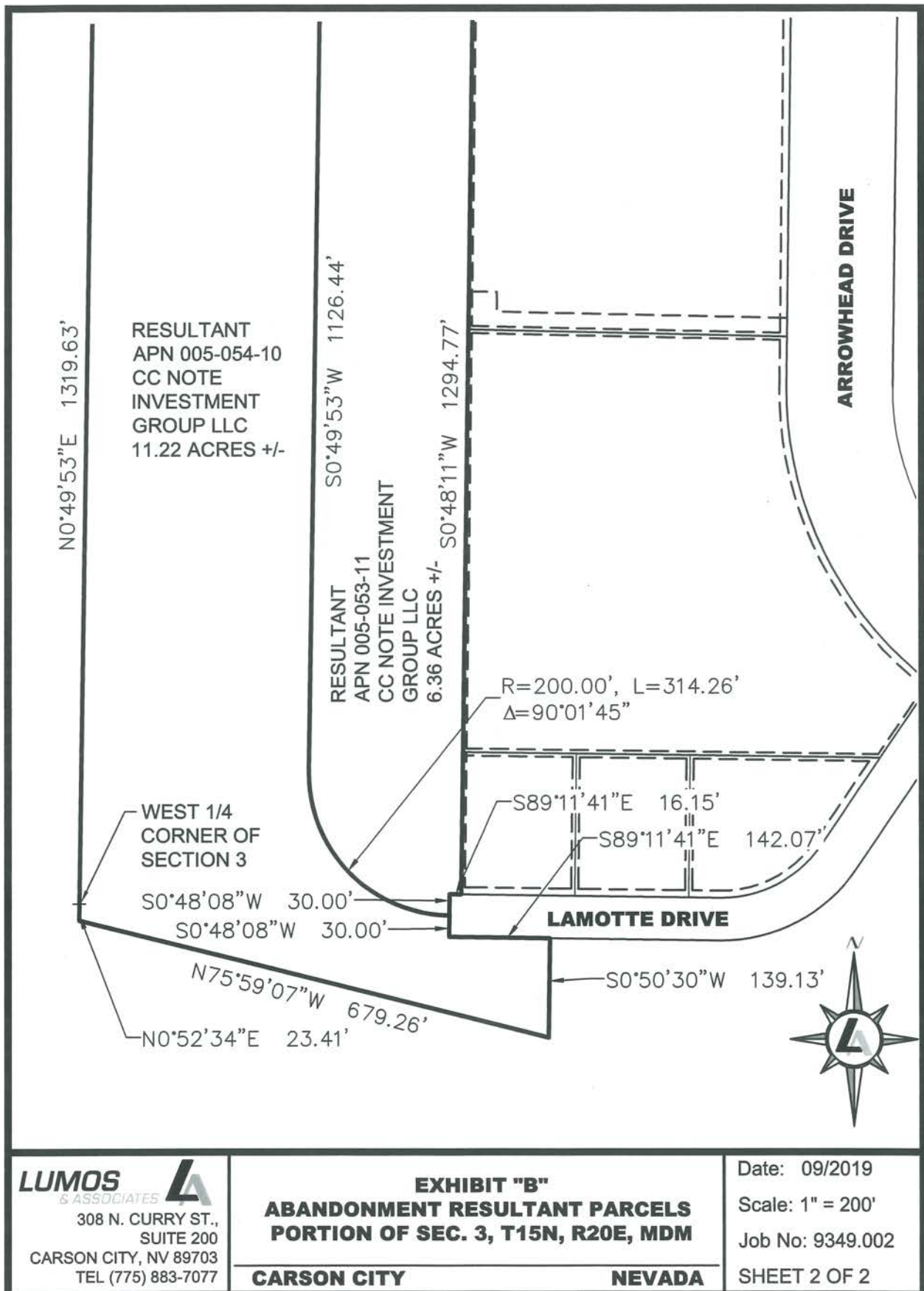
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EXHIBIT "B"
ABANDONMENT RESULTANT PARCELS
PORTION OF SEC. 3, T15N, R20E, MDM
CARSON CITY NEVADA

Date: 09/2019
 Scale: 1" = 200'
 Job No: 9349.002
 SHEET 1 OF 2



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EXHIBIT "B"
ABANDONMENT RESULTANT PARCELS
PORTION OF SEC. 3, T15N, R20E, MDM
CARSON CITY **NEVADA**

Date: 09/2019
Scale: 1" = 200'
Job No: 9349.002
SHEET 2 OF 2

LAMOTTE DRIVE ABANDONMENT



Prepared by:



September 19, 2019

LaMotte Drive Abandonment

Prepared for:

CC Note Investment Group, LLC

Carson City, NV

Prepared by:

Rubicon Design Group, LLC

1610 Montclair Avenue, Suite B

Reno, Nevada 89509

(775) 425-4800

and

Lumos & Associates, Inc.

800 E. College Parkway

Carson City, Nevada 89706

(775) 883-7077

September 19, 2019

LAMOTTE DRIVE ABANDONMENT

Table of Contents

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Figure 3 – Proposed Roadway Abandonment – Survey Map	3
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Appendix

Application Form
Owner/Applicant Affidavits
Proof of Tax Payment

Accompanying Documents

Site Map/Exhibit
Legal Descriptions
Utility Statements
Title Report

LAMOTTE DRIVE ABANDONMENT

Introduction

This application includes the following request:

- An application to abandon an unbuilt portion of LaMotte Drive, an associated 20'-wide access easement, and a 60'-wide access easement.

Project Location

The subject property is located west of Arrowhead Drive and east of airport property. Figure 1 shows the project location and vicinity.



Figure 1 Vicinity Map

The four parcels containing the proposed abandonment are:

APN	Acres	Zoning	Use
005-053-02	6.22	GI	Vacant
005-052-04	11.82	GI	Vacant
005-054-10	10.14	GI	Vacant
005-053-11	5.38	GI	Vacant

LAMOTTE DRIVE ABANDONMENT

Project Summary

The owner of the four parcels is interested in positioning the property for development. The existing road layout does not allow for an efficient or logical use of the property. The goal is to rationalize driving access to the area and allow for a more functional site layout. Access to all surrounding parcels will be maintained and access to the four project parcels will be maintained. Figure 2 provides a schematic of the roadway abandonment area.

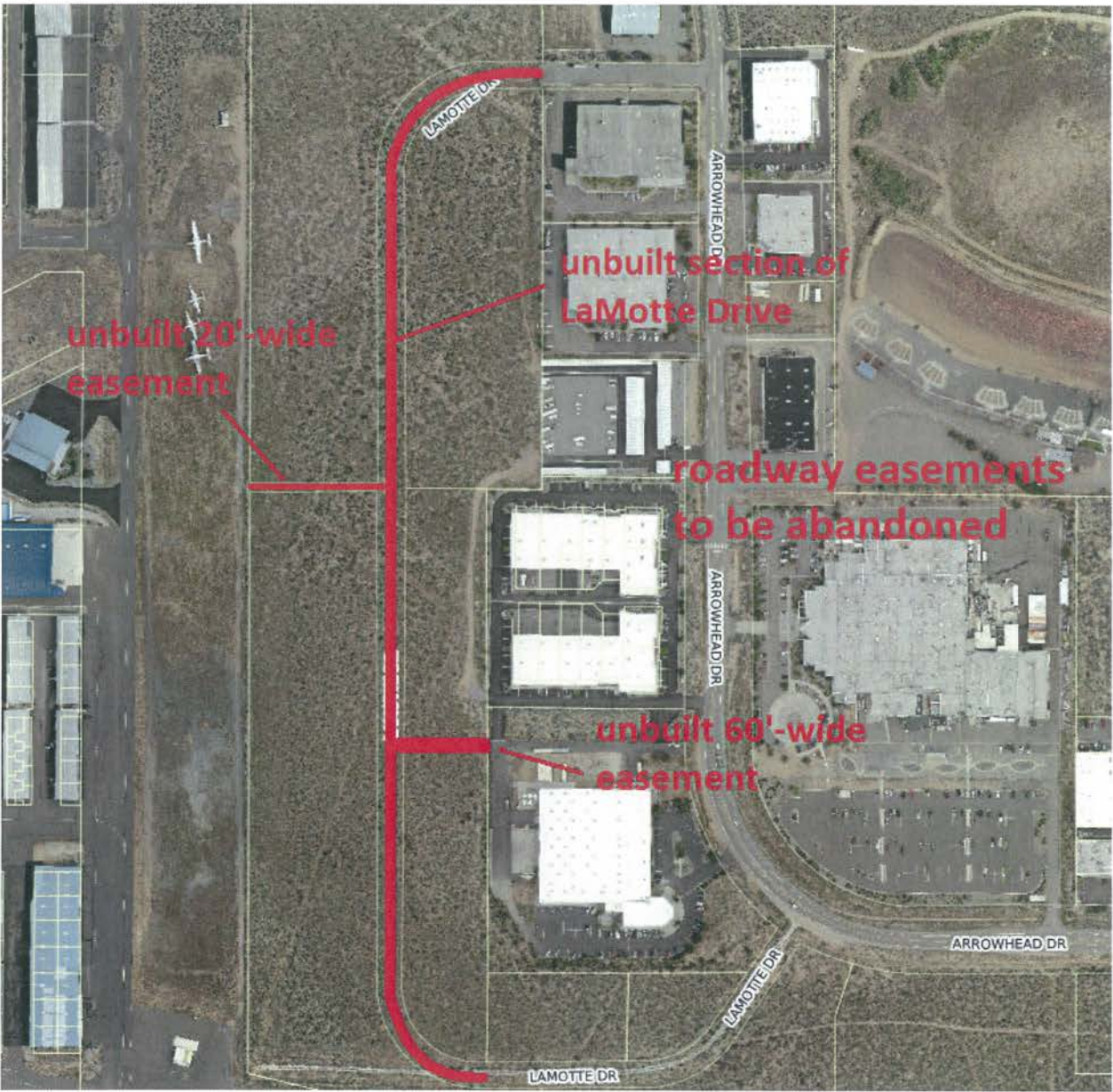


Figure 2 – Proposed Roadway Abandonment Schematic

LAMOTTE DRIVE ABANDONMENT

Figure 3 provides survey exhibits of the proposed abandonment area. These exhibits are also included as separate sheets attached to this application.

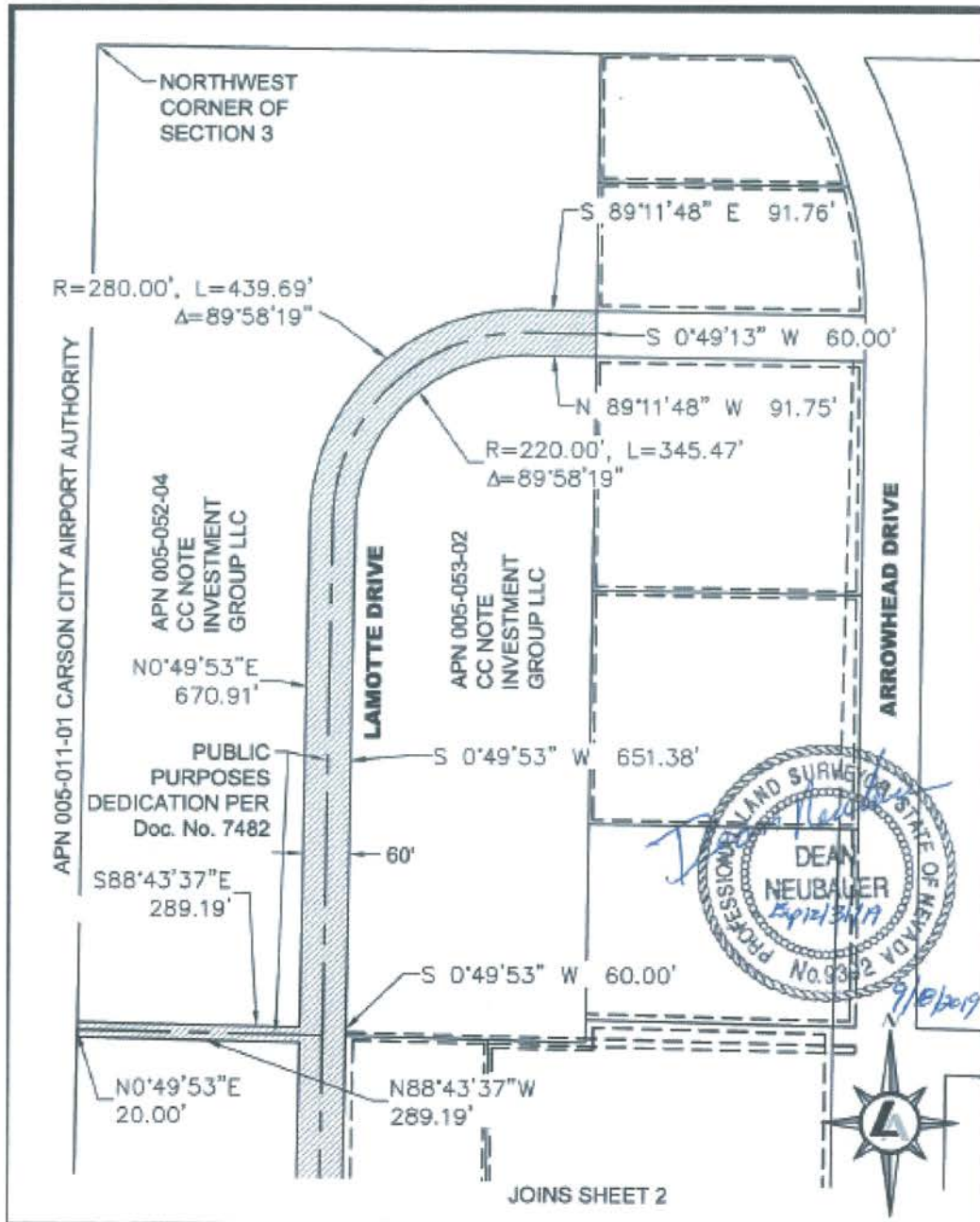


Figure 3 – Proposed Roadway Abandonment – Survey Map

LAMOTTE DRIVE ABANDONMENT

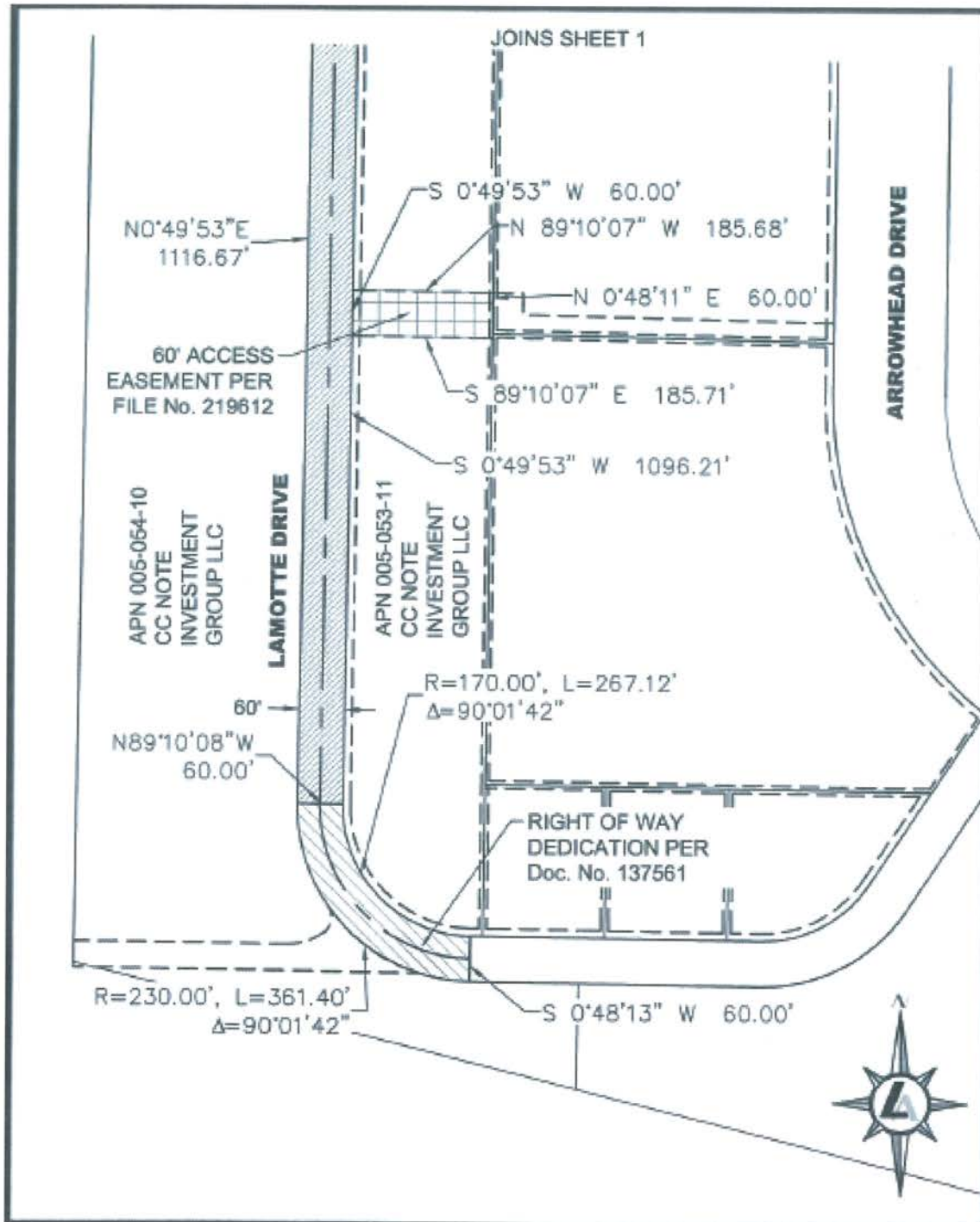


Figure 3 – (continued) Proposed Roadway Abandonment – Survey Map

LAMOTTE DRIVE ABANDONMENT

Impact to Area

The proposed abandonment will not impact driving access to surrounding parcels. Access to the project parcels will remain in place, via the remaining portion of LaMotte Drive. Note that the portion of LaMotte that is proposed to remain is the only built portion of the road.

The property to the west of the project area is not served by LaMotte Drive. This area is part of the airport and is designed to primarily serve air traffic not car traffic. There are no public streets serving the area to the west of this project site.

There is an emergency access easement from LaMotte Drive to the airport property to the west. This easement is proposed to be abandoned as part of this application. This easement is not in use and has never been constructed as a formal access point. There is no paving or other improvements in place.

As is demonstrated in Figure 4, existing access patterns will remain functional for all parcels in the area. This request does not change the access pattern for any parcel.



Figure 4 – Parcel Access

LAMOTTE DRIVE ABANDONMENT

Abandonment Findings

Section 17.15.010 of the Carson City Municipal Code includes findings that must be made to approve an abandonment. These findings are listed below *in italics* with responses following.

Will the abandonment result in material injury to the public?

Response: The requested abandonment will not cause material injury to the public. Access to all parcels in the area is maintained as it is now. The lack of utility of the road section in question is evidenced by the fact that it has never been constructed and is not in use now.

The public will not experience any loss of function or utility with this abandonment since no actual travel routes are affected.

What is the history regarding the street being dedicated or not?

Response: As shown on the attached plans and legal descriptions, the following easements have been dedicated to the City under separate documents: the 20'-wide access easement; the southern curve of LaMotte Drive; and the northern curve and straight section of LaMotte Drive. The 60'-wide easement to the east has not been dedicated.

What should the reasonable consideration be if the street was not dedicated?

Response: This is only applicable to the 60'-wide easement to the east. This easement was only granted as a means of providing access to the never-built section of LaMotte. With the abandonment of LaMotte, there is no purpose to this 60'-wide easement. If the City is not in position to abandon an undedicated easement it may be reasonable for the City to state they have no interest in seeing it maintained.

If an abandonment has a public benefit, how much of the public benefit should be offset against the determination of reasonable consideration?

Response: There is little public interest in the proposed abandonment, either positive or negative, since the streets are unbuilt and do not provide any utility to residents. The only public interest would be in positioning the property for useful development rather than sitting vacant.

What is the applicability of the parking value analysis applied to this request?

Response: There is no applicability as the streets are unbuilt and therefore not used by the public.

Should utilities easements be reserved, continued or vacated?

Response: An accompanying application requests the abandonment of utility easements that follow these road easements. Both the streets and utilities remain unbuilt and statements/signatures have been

LAMOTTE DRIVE ABANDONMENT

obtained from relevant utility providers that they have no facilities in the area. There is no reason to maintain the utility easements. Should utility easements in fact be required on the site in the future, they could be recorded in conjunction with development.

Are any conditions of approval by the board of supervisors or recommendations by the planning commission or staff included?

Response: If the review process generates input from the above groups, the applicant will incorporate that input into this application.

Justification

As this application makes clear, the main justification for the abandonment is that the roadway areas in question are not in use and do not serve the public. The abandonment areas are entirely within the property boundaries of the applicant. Actual roads associated with the abandonment areas do not exist.

Carson City Municipal Code Section 17.15.035(5) requires a statement of justification for the abandonment, including the specific items listed below. Responses follow each item.

If the subject right-of-way was ever dedicated. If so, documentation is mandatory regarding the street's dedication.

Response: Materials attached to this application provide the legal status of the easements. This application and the included stamped exhibits were developed with the input of a licensed land surveyor.

How all adjacent parcels will have access, should the abandonment be approved.

Response: This application includes exhibits showing impacts to surrounding property. Figure 4 on page 5 shows how access will be maintained to all parcels. As this figure makes clear, the proposed abandonment does not alter the existing access to any parcel. The abandonment area is entirely within the four project parcels.

How the public at large will benefit from and not be injured from the proposed abandonment.

Response: The public will not be injured in that no existing roadways are being taken away. The proposed abandonment areas are unbuilt and unused. No existing travel patterns will be affected. The public benefit would be in converting a vacant, inefficient site into a usable site.

APPENDIX



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 005-052-04

Property Location: LA MOTTE DR, SEC 03 15/20
Billed to: CC NOTE INVESTMENT GROUP LLC
500 MOUNTAIN ST
CARSON CITY, NV 89703-0000

Tax Year: 2019-20
Roll #: 003442
District: 2.4
Tax Service:
Land Use Code: 150

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

Current Year

No Taxes Owing

08/19/19	735.17		735.17	735.17	.00
10/07/19	734.00		734.00	734.00	.00
01/06/20	734.00		734.00	734.00	.00
03/02/20	734.00		734.00	734.00	.00
Totals:	2,937.17	.00	2,937.17	2,937.17	

[History](#)

Additional Information

	2019-20	2018-19	2017-18	2016-17	2015-16
Tax Rate	3.5700	3.5700	3.5700	3.5200	3.5200
Tax Cap Percent	4.8	4.2	2.6	.2	3.2
Abatement Amount	14,433.41	14,567.93	2,135.72		



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 005-053-02

Property Location: LA MOTTE DR, SEC 03 15/20
Billed to: CC NOTE INVESTMENT GROUP LLC
500 MOUNTAIN ST
CARSON CITY, NV 89703-0000

Tax Year: 2019-20
Roll #: 003443
District: 2.4
Tax Service:
Land Use Code: 150

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
------------	-----	------------------	-------	-------------	-----------

Current Year

No Taxes Owing

08/19/19	387.79		387.79	387.79	.00
10/07/19	386.00		386.00	386.00	.00
01/06/20	386.00		386.00	386.00	.00
03/02/20	386.00		386.00	386.00	.00
Totals:	1,545.79	.00	1,545.79	1,545.79	

[History](#)

Additional Information

	2019-20	2018-19	2017-18	2016-17	2015-16
Tax Rate	3.5700	3.5700	3.5700	3.5200	3.5200
Tax Cap Percent	4.8	4.2	2.6	.2	3.2
Abatement Amount	7,595.22	7,666.00	1,123.88		



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 005-054-10

Property Location: LA MOTTE DR, SEC 03 15/20
Billed to: CC NOTE INVESTMENT GROUP LLC
500 MOUNTAIN ST
CARSON CITY, NV 89703-0000

Tax Year: 2019-20
Roll #: 003446
District: 2.4
Tax Service:
Land Use Code: 150

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
Current Year					
08/19/19	630.50		630.50	630.50	.00
10/07/19	630.00		630.00	630.00	.00
01/06/20	630.00		630.00	630.00	.00
03/02/20	630.00		630.00	630.00	.00
Totals:	2,520.50	.00	2,520.50	2,520.50	

No Taxes Owed

[History](#)

Additional Information

	2019-20	2018-19	2017-18	2016-17	2015-16
Tax Rate	3.5700	3.5700	3.5700	3.5200	3.5200
Tax Cap Percent	4.8	4.2	2.6	.2	3.2
Abatement Amount	12,385.60	12,501.03	1,832.69		



CARSON CITY

Capital of Nevada

[Treasurer Home](#)[Assessor Data Inquiry](#)[Back to Last Page](#)

Secured Tax Inquiry Detail for Parcel # 005-053-11

Property Location: LA MOTTE DR, SEC 03 15/20
Billed to: CC NOTE INVESTMENT GROUP LLC
500 MOUNTAIN ST
CARSON CITY, NV 89703-0000

Tax Year: 2019-20
Roll #: 003445
District: 2.4
Tax Service:
Land Use Code: 150

[Code Table](#)

Outstanding Taxes:

Prior Year	Tax	Penalty/Interest	Total	Amount Paid	Total Due
Current Year					
08/19/19	259.01		259.01	259.01	.00
10/07/19	256.00		256.00	256.00	.00
01/06/20	256.00		256.00	256.00	.00
03/02/20	256.00		256.00	256.00	.00
Totals:	1,027.01	.00	1,027.01	1,027.01	

No Taxes Owing[History](#)

Additional Information

	2019-20	2018-19	2017-18	2016-17	2015-16
Tax Rate	3.5700	3.5700	3.5700	3.5200	3.5200
Tax Cap Percent	4.8	4.2	2.6	.2	3.2
Abatement Amount	6,879.57	6,926.58	1,694.17		

FIRST CENTENNIAL TITLE COMPANY OF NEVADA

- ☐ 1450 RIDGEVIEW DR., SUITE 100 * RENO, NV 89519 (775) 689-8510
- ☐ 937 TAHOE BLVD., STE 130, INCLINE VILLAGE, NV 89451 (775) 831-8200
- ☐ 3700 LAKESIDE DR., SUITE 110 * RENO, NV 89509 (775) 689-1810
- ☐ 4870 VISTA BLVD., SUITE 110, SPARKS, NV 89436 (775) 689-8551
- ☐ 896 WEST NYE LANE, SUITE 104 * CARSON CITY, NV 89703 (775) 841-6580
- ☐ 3255 SOUTH VIRGINIA STREET SUITE B * RENO, NV 89502 (775) 800-1981
- ☐ 3748 LAKESIDE DRIVE, SUITE 100, RENO NV 89509 (775) 689-8235
- ☐ 500 DAMONTE RANCH PARKWAY, SUITE 820 RENO, NV 89521 (775) 737-5090

Issuing Policies Of
First American Title Insurance Company

Today's Date:
August 26, 2019

PRELIMINARY REPORT

Proposed Buyer: **FFLV Development LLC**
Property Address: **005-052-04; 005-053-02; 005-053-11; 005-054-10**
Carson City, NV 89706

RE/MAX North Lake
Brad Lewis
923 Tahoe Blvd, Suite 101
Incline Village, NV 89451

Your No.: /

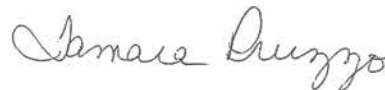
Escrow Officer: **Lynne Scott**

Our No.: **247716-LT**

The information contained in this report is through the date of
August 19, 2019 at 7:30 A.M.

In response to the above referenced application for a policy of title insurance, First Centennial Title Company of Nevada, Inc. hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, an American Land Title Association Standard Coverage Policy of Title Insurance describing the land and the estate or interest therein set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy form.

This report (and any supplements or amendments thereof) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.



by: _____
Tamara Pruzzo, Title Officer

SCHEDULE A

The estate or interest in the land hereinafter described or referred to covered by this report is:

Fee Simple

Title to said estate or interest at the date hereof is vested in:

CC NOTE INVESTMENT GROUP, LLC, a Nevada limited liability company

The land referred to in this Report is situate in the State of **NEVADA**, County of **Carson City**.

See Exhibit "A" Attached Hereto And Made A Part Hereof

SCHEDULE B

At the date hereof Exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

1. Any additional tax that may be levied against said land due to the supplemental tax roll, by reason of a change in ownership or completion of new construction thereon.
2. Any liens, charges or assessments levied by the Carson City water, sanitary sewer and storm water utility district by reason that the land is located within said district.
3. Discrepancies, conflicts in boundary lines, shortages in area and/or encroachments and/or other facts which a correct survey would disclose and which are not shown by the public record.
4. Easements for any and all ditches, pipe and pipe lines, conduits, transmission lines, poles, roads, trails, and fences on or traversing said land which would be disclosed and located by an accurate survey.
5. Except all water, claims or rights to water, in or under said land.
6. Terms and Conditions as set forth and contained in a document entitled "Agreement", executed by and between JohnD N. Winters and Kathleen M. Winters, as Co-Trustees of the JohnD Winters Family Trust and Carson City, a Nevada incorporated municipality recorded November 20, 1984, in Book 381, page 83, as Document No. 31687, of Official Records.
7. Provisions and covenants as contained in a Deed recorded December 14, 1984, in Book 382, Page 618, as Document No. 32276, Official Records, Carson City, Nevada.
8. An easement affecting a portion of said land and for the purposes stated therein, and incidental purposes in favor of Carson City, State of Nevada, for water, sewer and maintenance and any appurtenances thereto, recorded March 21, 1996, as Document No. 187006, Official Records, Carson City, Nevada. Affects Parcel 5
9. Easements, provisions, recitals and dedications as delineated and set forth on Record of Survey Map No. 2619.
10. Easements, dedications, reservations, provisions, relinquishments, recitals, building set back lines, certificates, and any other matters as provided for or delineated on Parcel Map No. 2940, as referenced in Parcel 3 of the legal description contained herein.

Reference is hereby made to said Plat for particulars. If one is not included herewith, one will be furnished upon request.

**SCHEDULE B
(Continued)**

11. We will require the following items from CC Note Investment Group, LLC, a Nevada Limited Liability Company:
- A. A copy of the Articles of Organization.
 - B. A copy of the company's operating agreement.
 - C. A current list of the names of the company members, if said company is member managed.
12. Proper showing that CC Note Investment Group LLC, a Nevada limited liability company is in good standing with the Secretary of State of the State of Nevada.

NOTE:

General and Special Taxes for proration purposes for the fiscal year 2019-2020 including any secured personal property and any district assessments, are PAID IN FULL.

Total Amount Taxed: \$2,937.17

Assessor's Parcel No.: 005-052-04

NOTE:

General and Special Taxes for proration purposes for the fiscal year 2019-2020 including any secured personal property and any district assessments, are PAID IN FULL.

Total Amount Taxed: \$1,545.79

Assessor's Parcel No.: 005-053-02

NOTE:

General and Special Taxes for proration purposes for the fiscal year 2019-2020 including any secured personal property and any district assessments, are PAID IN FULL.

Total Amount Taxed: \$1,027.01

Assessor's Parcel No.: 005-053-11

NOTE:

General and Special Taxes for proration purposes for the fiscal year 2019-2020 including any secured personal property and any district assessments, are PAID IN FULL.

Total Amount Taxed: \$2,520.50

Assessor's Parcel No.: 005-054-10

NOTE: APPLICABLE RATE – BASIC.

NOTE:

According to the public records there have been no conveyances of the property described in this Report within a period of 24 months prior to the date of this Report, except as follows:

NONE

EXHIBIT "A"
Legal Description

All that certain real property situate in the County of Carson City, State of NEVADA, described as follows:

Parcel 1:

All that certain real property situate in Section 3, Township 15 North, Range 20 East, M.D.B. & M., City and County of Carson City, State of Nevada, more particularly described as follows:

Commencing at the Northwest corner of said Section 3, the True Point of Beginning; thence South 89°16'47" East, a distance of 660.74 feet; thence south 00°49'15" West a distance of 330.07 feet; thence North 89°11'58" West a distance of 91.76 feet; thence 439.89 feet along the arc of a tangent 280.00 foot radius curve to the left, through a central angle of 89°58'19"; thence South 00°49'53" West, a distance of 670.91 feet; thence North 88°43'37" West a distance of 289.19 feet; thence North 00°49'53" East a distance of 1286.52 feet to the True Point of Beginning.

Excepting therefrom any portion of said land lying within Lamotte Drive.

Note: the above metes and bounds description previously appeared in document recorded January 9, 2015, as Document No. 450244, Official Records of Carson City, Nevada.

Assessor's Parcel No. 05-052-04

Parcel 2:

All that certain real property situate in Section 3, Township 15 North, Range 20 East, M.D.B. & M., City and County of Carson City, State of Nevada, more particularly described as follows:

Commencing at the Northwest corner of said Section 3; thence South 58°07'20" East a distance of 771.31 feet to the True Point of Beginning; thence South 00°49'13" West, a distance of 873.83 feet; thence, North 88°43'37" West, a distance of 311.82 feet; thence North 00°49'53" East, a distance of 651.38 feet; thence 345.47 feet along the arc of a tangent 220.00 foot radius curve to the right through a central angle of 89°58'19"; thence South 89°11'48" East, a distance of 91.75 feet to the True Point of Beginning.

Together with the Northerly 30 feet of that certain portion of land abandoned by document recorded August 5, 1998, as Document No. 221534, Official Records of Carson City, Nevada.

Excepting therefrom any portion of said land lying within Arrowhead Drive.

Note: the above metes and bounds description previously appeared in document recorded January 9, 2015, as Document No. 450244, Official Records of Carson City, Nevada.

Assessor's Parcel No. 05-053-02

Parcel 3:

Parcel 4, as shown on Parcel Map for CC Note Investment Group, LLC, a Nevada Limited Liability Company PM-18-017, recorded April 23, 2018, in Book 11 of Maps, Page 2940, as Document No. 484578, Official Records, Carson City, Nevada.

Assessor's Parcel No. 05-053-11

Parcel 4:

A parcel of land located within a portion of the Southwest $\frac{1}{4}$ of Section 3, Township 15 North, Range 20 East, M.B.M., Carson City, Nevada, being more particularly described as follows:

Beginning at the West $\frac{1}{4}$ corner of said Section 3; thence along the West line thereof; N. $00^{\circ}49'00''$ E., 1309.63 feet to the Northwest corner of APN 08-206-01 as shown on Record of Survey Map for Carson City, File No. 121482, Official Records, Carson City, Nevada; thence S. $88^{\circ}43'36''$ E., 289.23 feet to the Northeast corner of APN 08-206-01, said corner also being a point on the Westerly right of way line of that "Previously Dedicated Roadway", as shown on Record of Survey Map; thence along said right of way line the following three courses:

1. S. $00^{\circ}49'08''$ W., 1116.67 feet;
 2. 361.40 feet along the arc of a curve to the left, having a central angle of $90^{\circ}01'42''$ and a radius of 230.00 feet, (chord bears S. $44^{\circ}11'43''$ E., 325.35 feet);
 3. S. $89^{\circ}12'34''$ E., 142.07 feet to a point on the Westerly line of Lot 2A as shown on said Record of Survey Map;
- thence along the Westerly line thereof, S. $00^{\circ}49'37''$ W., 139.04 feet; thence N. $76^{\circ}00'00''$ W., 679.25 feet to a point on the West line of said Section 3; thence N. $00^{\circ}51'41''$ E., 23.41 feet to the Point of Beginning.

Excepting therefrom any portion of said land lying within Lamotte Drive.

Excepting therefrom all that portion of land in that certain Partial Reconveyance, recorded September 14, 2006, as Document No. 358594.

Note: the above metes and bounds description previously appeared in document recorded January 9, 2015, as Document No. 450244, Official Records of Carson City, Nevada.

Assessor's Parcel No. 05-054-10

End of Report

**JLM TITLE, LLC, a Nevada Limited Liability Company, dba FIRST
CENTENNIAL TITLE COMPANY**

PRIVACY POLICY

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information – particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information that you provide to us. Therefore, we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information which you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means.
- Information we receive from providers of services to us, such as appraisers, appraisal management companies, real estate agents and brokers and insurance agencies (this may include the appraised value, purchase price and other details about the property that is the subject of your transaction with us).
- Information about your transactions with us, our Affiliated Companies, or others; and
- Information we receive from a consumer reporting agency.

Use of Information

We request information from you for our own legitimate business purposes and not for benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

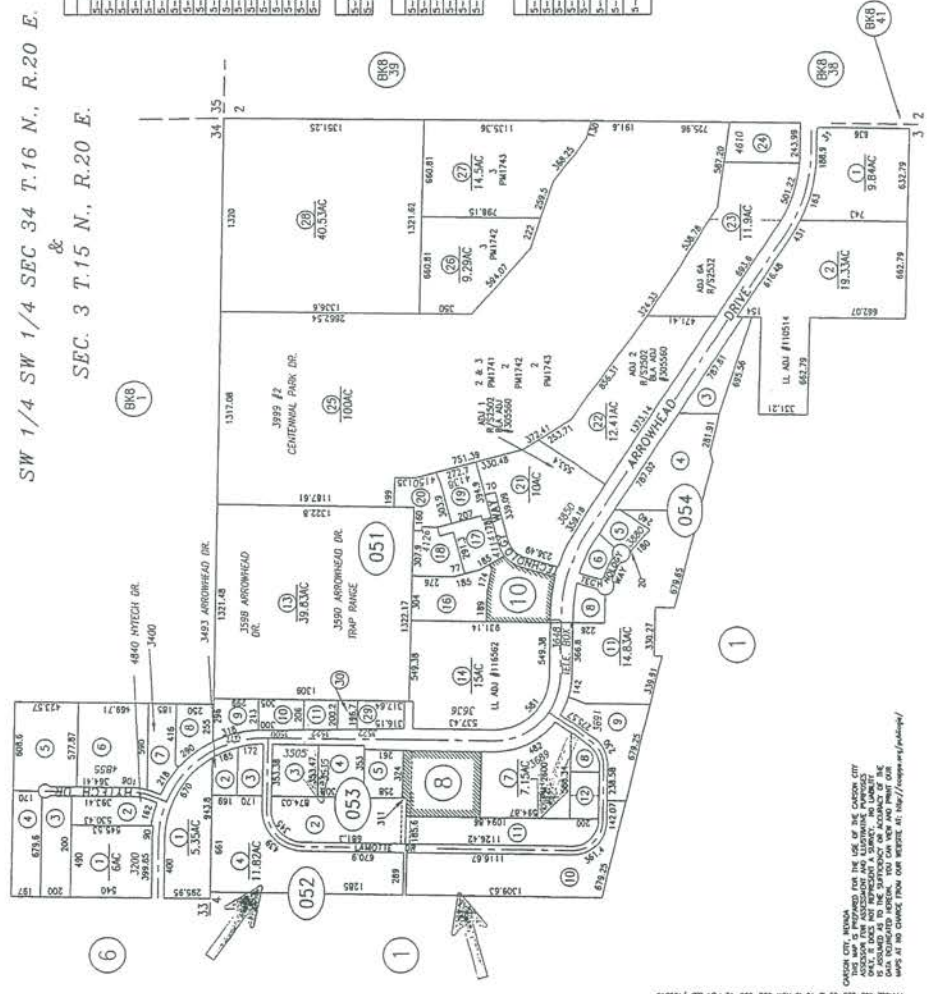
Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Other Important Information

We reserve the right to modify or supplement this Privacy Policy at any time. If our Privacy Policy changes, we will provide the new Privacy Policy and the ability to opt out (as required by law) before the new policy becomes effective.

SW 1/4 SW 1/4 SEC 34 T.16 N., R.20 E.
&
SEC. 3 T.15 N., R.20 E.



AREA	PARCEL DOCUMENT	LAND AREA AC
051-01	1	2.47
051-02	LL ADJ #200315	2.47
051-03	4	3.16
051-04	PH1561-R/W	3.22
051-05	LL ADJ #131964	5.74
051-06	2C	1.81
051-07	PH 1761	1.95
051-08	20	1.69
051-09	1A	1.69
051-10	PH2374	1.46
051-11	1B	1.05
051-12	R/2318(LL ADJ)	1.05
051-13	2A	2.19
051-14	1C	2.21
051-15	A	2.21
051-16	PH2286/224271	2.27
051-17	C	3.30
051-18	PH2286/224271	3.30
051-19	ADJ 7A	1.40
051-20	R/2533	0.60
051-21	2	1.40
051-22	PH 2890	0.60

AREA	PARCEL DOCUMENT	LAND AREA AC
052-01	1-A	1.15
052-02	1-B	1.35
052-03	1-C	1.35

AREA	PARCEL DOCUMENT	LAND AREA AC
053-01	2A	2.50
053-02	2B	2.50
053-03	PH 1657	2.50
053-04	R/2318(LL ADJ)	1.94
053-05	R/2318(LL ADJ)	1.94
053-06	4	5.38
053-07	PH 2940	5.38
053-08	LLD #492819	1.40

AREA	PARCEL DOCUMENT	LAND AREA AC
054-01	R/2318(LL ADJ)	2.59
054-02	R/2318(LL ADJ)	2.59
054-03	3A	1.24
054-04	2	1.00
054-05	PH 2752	1.21
054-06	1	1.21
054-07	R/2318 LL ADJ #35590	4.81
054-08	R/2318 LL ADJ #35590	10.14
054-09	R/2318 LL ADJ #35590	14.63
054-10	1525 R/2318 LL ADJ #35590	14.63
054-11	1525 R/2318 LL ADJ #35590	14.63



SCALE 1" = 600'
REVISED 06/28/2019

PLAT 051-02-03-04-05-06-07-08-09-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-12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