

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF MARCH 25, 2020

FILE NO: 2019-0000082

AGENDA ITEM: E.2

STAFF AUTHOR: Heather Ferris, Associate Planner

AGENDA TITLE: For Possible Action: For Possible Action: Discussion and possible action regarding a request to amend a Special Use Permit (SUP-19-082) for a booster pump station, to allow for an increase in height from 15 feet to 19 feet 2 inches for the approved facility on property zoned Single Family 21,000 Planned Unit Development, located approximately 390 feet east of Longview Way and 530 feet north of Waterford Place in the Long Ranch Planned Unit Development, APN 007-392-39. (Heather Ferris, h ferris@carson.org)

SUMMARY: On June 26, 2019 the Planning Commission approved a Special Use Permit (SUP-19-082) to allow for the construction of a booster pump station on the subject parcel. The booster pump station will provide adequate pressure to pump domestic water from the end of the 24-inch water transmission main located north of Long Ranch Estates to the Quill Treatment Plant Water Tank. The booster pump station will be housed in a prefabricated pump house of approximately 780 square feet with an interior emergency generator. The applicant has now finalized designs and has determined that the anticipated maximum height of 15 feet will not be sufficient to house the generator and muffler system; therefore, the applicant is proposing this amendment to increase the total height of the structure to 19 feet. Booster pump stations, and similar facilities, are allowed in the Single Family Residential 21,000 zoning district as a conditional use. As the increased height is not substantially the same as the height that was approved, an amendment to the Special Use Permit is required. The Planning Commission is authorized to approve an amendment to the Special Use Permit.

RECOMMENDED MOTION: "I move to approve an amendment to SUP-19-082 as presented based on the ability to make the required findings and subject to the conditions of approval included in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

Note: The base language in these conditions is the language from the conditions of approval approved on June 26, 2019 with SUP-19-082. Language proposed to be added appears in bold with an underline. Language proposed to be deleted appears with a strikethrough.

1. All development shall be substantially in accordance with the approved site plan.
2. All on and off-site improvements shall conform to City standards and requirements.
3. Building materials shall be consistent with the approved plans. All exposed metal surfaces shall be painted in flat, non-glossy paint to complement or match the color of the exterior.
4. The applicant shall provide color samples to the Planning Division for review and approval with the building permit. Building colors shall be neutral/earth tone colors to blend with the surrounding environment and complement the existing homes in the neighborhood.
5. The applicant shall submit exterior light fixture details for the two proposed fixtures with the building permit application. On-site, exterior lighting of the facility shall only be turned on during maintenance visits to the site. Lights must be shielded with a 90-degree full cutoff so that light is projected downward and not horizontally or upward. Light sources or refractors shall not extend below the bottom of the shield.
6. The applicant shall submit a landscape plan for review and approval by the Planning Division with the building permit application. The applicant shall coordinate the final plant material selection for the proposed landscaping around the booster pump station with the Parks, Recreation & Open Space Department and integrate the project's landscaping into the Long Ranch Park's existing drip irrigation system.
7. The backup generator shall be housed inside the facility and shall not be used except in the case of emergency, power outage or monthly maintenance and testing. Once monthly maintenance and testing shall only occur between the hours of 8:00 am and 5:00 pm.
8. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
9. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
- 10. The booster station building shall be no taller than 19 feet 6 inches, when measured to the peak of the roof.**

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.060 (Single-family 21,000)

MASTER PLAN DESIGNATION: Open Space

ZONING DISTRICT: Single-family 21,000- PUD

KEY ISSUES: Will the use be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Single-Family-1 acre / single family residences

EAST: Single-Family 1 acre & Single Family 12,000 / single family residence

WEST: Single-Family 21,000-PUD / single family residences

SOUTH: Single-Family 21,000-PUD & Public Neighborhood- PUD/ single family residences & park

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X shaded (0.2% Annual Chance Flood Hazard) & Zone AE

EARTHQUAKE FAULT: Zone II (Moderate)

SLOPE/DRAINAGE: Site is flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE (acres): 9.92 acres

STRUCTURE SIZE: Proposed structure approximately 780 square feet

VARIANCES REQUESTED: None

PREVIOUS REVIEWS:

- P-92/93-1- Long Ranch Estates Planned Unit Development.
- SUP-19-082- Special Use Permit for Booster Pump Station

DISCUSSION:

On June 26, 2019 the Planning Commission approved a Special Use Permit (SUP-19-082) for a booster pump station on a 9.92-acre parcel designated as Open Space 2 on the Long Ranch Estates Phase 4 final map. As approved, the booster pump station would be located in the western portion of the subject parcel and housed within a prefabricated booster station building approximately 780 square feet in size and approximately 15 feet in height (measured to the peak). The facility would also include an interior emergency generator.

The booster pump station is part of the East-West Transmission Main Project and will provide adequate pressure to pump domestic water from the end of a 24 inch water transmission main located north of Long Ranch Estates, to the Quill Treatment Plant Water Tank, located on the west side of the City. The East-West Transmission Main Project is part of a regional water transmission system that conveys water from Douglas County at the south end of Carson City, through the North-South Transmission main, then west to the Quill Water Tank located at the Quill Treatment Plant on the west side of Carson City. The East-West Transmission Main Project, once completed, will allow the City to convey water received from the North-South Transmission Main to all water zones throughout the City. The booster pump station will pump water uphill to the Quill Water Tank from the East-West Transmission Main.

The applicant has now completed the final design of the facility and has determined the overall height of the booster station building must be increased from 15 feet (measured to peak) to 19 feet 2 inches (measured to peak) in order to accommodate the "Hospital Grade" muffler on the emergency generator. The muffler will reduce the noise levels to approximately 45 dBA from the previously anticipated 70 dB. For comparison, a normal conversation is measured at approximately 60 dB.

Booster pump stations, and similar facilities, are allowed in the Single Family Residential 21,000 zoning district as a conditional use. As the increased height is not substantially the same as the height that was approved, an amendment to the Special Use Permit is required. The Planning Commission is authorized to approve an amendment to the Special Use Permit.

PUBLIC COMMENTS:

Public notices were mailed to 161 property owners within 600 feet of the subject site on March 6, 2020. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on March 25, 2020 depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

Engineering Division

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is needed as part of the City's Master Plan for water production and distribution.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The pump station will have a negligible impact on traffic.

C.C.M.C. 18.02.080 (5d) - Public Services

The project will increase the City's water production capacity and make the system more reliable.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

FINDINGS:

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the objectives of the Master Plan elements.

The overall project is consistent with the City's Master Plan for water production and distribution. The project is the final phase of the north-south and east-west transmission main projects which conveys water from the Douglas County line at the south of Carson to the Quill water treatment plant on the west side of Carson City. The booster pump station will increase the redundancy of the water system for the surrounding neighborhoods as well as the entire Carson City Water System and provide the necessary pressure to pump the water to the Quill Tank.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

The increase in height from 15 feet to 19 feet 2 inches is below the maximum height of 26 feet allowed in the Single Family 21,000 zoning district. The additional height is needed in order to install the "Hospital Grade" muffler which will reduce the noise levels from the interior generator to 45 dBA. It was previously estimated the noise levels from the generator would be approximately 70 dB. For comparison, a normal conversation is measured at approximately 60 dB. The square footage, orientation, and location of the facility is substantially the same as approved in June 2019. The approval includes conditions to ensure colors and materials are similar to homes in the area. Landscaping will be required to blend with the existing landscaping in the open space area and help to screen the facility from neighboring property owners. Exterior lighting is limited to use during maintenance visits to the site; and lights are required to be shielded with a 90-degree full cutoff so that light is projected downward and not horizontally or upward. As designed and conditioned, the project will maintain compatibility with the character and integrity of the neighborhood and will not be detrimental to the use, peaceful enjoyment, economic value, or development of the surrounding properties.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The pump station is anticipated to have a negligible impact on vehicular and pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The booster pump station will not overburden existing public services and facilities. The facility will result in an increase in the City's water production capacity and make the water system more reliable. The facility will be required to comply with the currently adopted Carson City Fire Code and northern Nevada fire code amendments.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

As designed and conditioned, the project will meet the specific standards outlined in Title 18. The increase in height to 19 feet 2 inches (measured to the peak) is below the maximum height limitation of 26 feet in the Single Family 21,000 zoning district.

6. Will not be detrimental to the public health, safety, convenience and welfare.

As designed and conditioned, the project will not be detrimental to the public health, safety, convenience and welfare. The building will be designed in accordance with all Carson City Municipal codes which consider building safety. In the case of an equipment failure, the pump station will be equipped with automated controls and alarms (non-audible) that will stop the operation of the pump station and notify City staff about any failure. The project will result in an increase in water production capacity and make the existing Carson City water system more reliable.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The additional height is needed in order to install the "Hospital Grade" muffler which will reduce the noise levels from the interior generator to 45 dBA. It was previously estimated the noise levels from the generator would be approximately 70 dB. For comparison, a normal conversation is measured at approximately 60 dB. The square footage, orientation, and location of the facility is substantially the same as approved in June 2019. The approval includes conditions to ensure colors and materials are similar to homes in the area. Landscaping will be required to blend with the existing landscaping in the open space area and help to screen the facility from neighboring properties owners. Exterior lighting is limited to use during maintenance visits to the site; and lights are required to be shielded with a 90-degree full cutoff so that light is projected downward and not horizontally or upward. As designed and conditioned the increase in height from 15 feet to 19 feet 2 inches will not result in material damage or prejudice to other property in the vicinity.

Attachments:
Application (2019-0000082)

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE

APPLICANT **Carson City Public Works** PHONE # **775-887-2355**
MAILING ADDRESS, CITY, STATE, ZIP
3505 Butti Way, Carson City, NV 89701

EMAIL ADDRESS
belder@carson.org

PROPERTY OWNER **Carson City** PHONE # **775-883-2355**
MAILING ADDRESS, CITY, STATE, ZIP
3505 Butti Way, Carson City, NV 89701

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE **Brian Elder** PHONE # **775-283-7586**
MAILING ADDRESS, CITY STATE, ZIP
3505 Butti Way, Carson City, NV 89701

EMAIL ADDRESS

belder@carson.org

Project's Assessor Parcel Number(s): **007-392-39** Street Address **NA**

Project's Master Plan Designation **Carson City Open Space** Project's Current Zoning **SF21-P** Nearest Major Cross Street(s) **Longview Way**

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

PROPERTY OWNER'S AFFIDAVIT

I, Daniel Stucky, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature 

Address 3505 Butti Way, Carson City, NV 89701

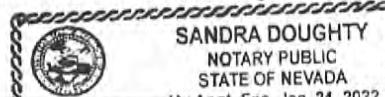
Date 2/24/2020

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY Carson }

On February 24, 2020, Daniel Ling Stucky, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public 



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled with the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.



CARSON CITY NEVADA

Consolidated Municipality and State Capital

PUBLIC WORKS

February 21, 2020

TO: Carson City Planning Division
108 E. Proctor Street
Carson City, Nevada 89701

RE: Amendment to Special Use Permit # 19-082 - Ormsby Booster Pump Station Height Increase From 15 feet to 19 feet.

Carson City Public Works is currently under construction of the East-West Water Transmission Main Phase 2B and the Ormsby Booster Pump Station. This project is part of the final phase of the North-South and East-West Water Transmission Main Projects which conveys water from Douglas County to the Quill Water Treatment Plan on the west side of Carson City. The Ormsby Booster Pump Station is a critical component of the water system and is necessary in order to provide adequate pressure to pump the water from the end of the 24-inch water transmission main (located north of the Long Ranch Estates), to the Quill Treatment Plant Water Tank. SUP-19-082 - Ormsby Booster Pump Station was approved at the June 26, 2019 Planning Commission Meeting. Carson City is requesting approval to increase the height of the booster station building from 15 feet to 19 feet, 2 inches. No other changes will be made as part of this amendment. All other site work will remain in substantial accordance with the approved site plan.

The request for the increased height of the structure is necessary in order to install the "Hospital Grade" muffler on the emergency generator, which has a 45 dBA sound attenuation. For comparison, 60 dB is the approximate noise level of normal conversation. In order to mitigate concerns of noise by residents in the area, Carson City specified the Hospital Grade Muffler to further dampen noise while the generator is running during monthly maintenance and during power outages. Due to the size of the muffler, the roof will need to be raised from the original estimated height of 15 feet to approximately 19 feet and 2 inches.

If you have any questions please feel free to call or email me.

Sincerely,

Brian Elder, P.E.
Project Manager
Carson City Public Works Department
775-283-7586
belder@carson.org

STATEMENT OF FINDINGS

APPLICATION FOR SPECIAL USE PERMIT - AMENDMENT

ORMSBY BOOSTER PUMP STATION

Please see the following Statement of findings. All statements from the original Special Use Permit Application are also included in the responses. Additional statements for the requested amendment are in ***blue italicized font***.

Question 1: Will be consistent with the objectives of the Master Plan elements.

The Ormsby Booster Pump Station Project will be in accordance with the Master Plan Goals 1.1a, 1.1d, 1.4a, 1.4c, 3.3d, 3.3e, 6.1a, 6.1c, 6.2a, 9.3b and 12.1a.

1.1d - Meet the requirement of the Growth Management Ordinance – Municipal Code 18.12.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

The Booster Pump Station Project (BPS) will increase redundancy of the water system for the surrounding neighborhoods as well as the entire Carson City Water System. The project is the final phase of the North-South and East-West Transmission Main Projects, which conveys water from the Douglas County line at the south of Carson, to the Quill water treatment plant on the west side of Carson City. The BPS is required to achieve the necessary pressure head to pump the water up to the Quill water tank. Once water reaches the Quill Water Tank, the water can be distributed to the entire Carson City water system. This will give the water system a much higher reliability due to the increased redundancy and increase in supply capacity.

1.4a – Provide pathway connection and easements consistent with the adopted pathway master plan and maintain access to adjacent public lands.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

As part of the BPS project, Carson City will be reconstructing existing pathway in the area of construction. Approximately 1,750 feet of asphalt trail will be reconstructed and widened in order to keep pathway connectivity and replace any damaged path with a new asphalt path.

1.4c – Protect existing site features, as appropriate, including mature trees or other character-defining features.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

As part of the BPS project there may be 1 or 2 trees that will be removed; however, Carson City plans to plant a landscape barrier of evergreen trees around the building. Although Carson City does not anticipate the pump station noise to be noticeable to adjacent property owners, the landscaping will provide for additional sound barrier and help the structure blend in with the surrounding neighborhood.

3.3d, 3.3e – Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item. The approved location of the booster station, which is considered critical infrastructure, is located outside of the 100 year floodplain, which is required by Carson City Municipal Code (CCMC) 12.09.080.

The location of the BPS has been identified and approved by the Chief Storm Water Engineer for Carson City. The location will be out of the 100 year flood zone, which is located adjacent to the project site. The project is also located out of geologic hazard areas.

Provide for levels of service (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

The BPS project will increase reliability of the water system in the area (See 1.1d above) as well as for the rest of Carson City. In addition to the improvement to the water system, the project also will address damaged pathway by reconstructing approximately 1,750 of asphalt path. The project will also include the replacement of multiple ADA curb ramps in the area to bring them up to current ADA standards. Also, the East-West Transmission Main Project, which will be constructed as part of the BPS project under a separated contract, will include sidewalk, curb ramps, curb and gutter and roadway construction on Washington Street between Phillips and Ormsby. This will help with pedestrian traffic, roadway traffic and also improve storm drainage on Washington Street.

6.1a – Use durable, long-lasting building materials.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item. All building materials will remain the same for the entire structure.

The structure will be built using durable building materials, which require little maintenance. The roof will be a metal gable roof, the exterior wall finish is required to be Hardiplank style siding which will need minimal maintenance and has a longer usable life than other building materials. The colors chosen will match as close as possible the color of homes in the surrounding neighborhood in order to make the structure blend in as part of the neighborhood as much as possible.

6.1c – Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards.

In addition to the statement below, Carson City will be starting design on landscaping plans in order to make the booster pump station blend in better with surrounding homes. The area currently has a large amount of vegetation including various sizes and species of trees. Carson City plans to incorporate many trees with a few smaller plants to enhance the aesthetics around the building.

The exterior siding and colors specified by the City will match as close as possible the aesthetics and colors of existing homes in the adjacent neighborhood.

6.2a – Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods.

The booster station height of 19 feet will be less than the maximum height limit of 26 feet, which is required in the surrounding neighborhood. The set back from the nearest property line has increased slightly from the original 20-30 feet to 30-36 feet.

The BPS station will have a set-back of approximately 20-30 feet off the nearest property line.

Carson City Water Resource Report

The BPS project is also part of the Carson City Water Resource Report plan which included the East-West Water Transmission main project. As part of the Carson City Water Resource Report, the water being conveyed from Douglas County through the transmission main will allow for water to be distributed throughout the entire water system in Carson City, as well as allow for future water blending from wells located near Western Nevada College. In order for these wells to be used as needed, Carson City will be blending the well water with the East-West Transmission Main at the BPS. Blending of the well water with the water from Douglas County is necessary in order to bring the existing well water into compliance with safe drinking water standards.

Question 2: Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhood or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise vibrations, fumes, odors, dust, glare or physical activity.

A. Describe the general types of land uses and zoning designations adjoining your property.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

North: Single family homes, zoned SF1A.

South: Single family homes, zoned SF21-P.

East and West: Open Space with multi-use pathways.

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.

In addition to the statement below from the original application, the increased height of the structure will allow for the larger muffler in order to reduce the noise coming from the generator during routine maintenance and during power outages. The increased height of the structure will reduce the backyard view for some adjacent properties, but the building has been designed to match as close as possible the adjacent homes in the neighborhood. Carson City is also in the process of designing a landscape plan to further mitigate the site of the building and help blend in with the surrounding environment.

The proposed project is a booster pump station that will be the final phase of a city wide water transmission main project that will bring water from Douglas county to the Quill Water Tank on the west side of Carson City. This will

give the city water system a higher reliability of service and add needed redundancy to the water system for the adjacent neighborhood, as well as the City as a whole. The BPS is being designed to match the existing homes in the area as much as possible. The exterior siding and color of the homes in the area will be matched as close as possible in order to make the BPS blend in with the surrounding neighborhood. As part of the design of the building, Carson City has required the building to be constructed using high quality insulation in order to prevent objectionable noise. The building will have an emergency generator located on the interior of the building and will also be required to have a "Hospital Grade" muffler to further reduce the decibels outside the structure. The emergency generator will only run in the case of a power outage and on a monthly basis when started for periodic testing and maintenance needs. All testing and maintenance will be done during daytime hours. In addition to the building insulation and generator muffler, the city will install trees surrounding the structure to further block any noise. At approximately 20 feet from the building the sound is expected to measure around 70 dB and at 100 feet around 60dB. For comparison, a normal conversation, or an air conditioning unit is approximately 60 dB. There are no foreseen issues such as dust, odors vibration or glare with this project.

While the pump station is under normal conditions the sound is expected to be contained in the building and will not be noticeable from outside the building.

C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

In addition to the statement below, please see the response to question 2.B above.

The BPS will be located in the Carson City Open Space located between adjacent neighborhoods. The current use, which primarily pedestrian traffic on the multi-use path, will not be affected by the installation of the BPS installation. All areas of construction will be brought back to the current conditions. Any disturbed area will be reseeded and the multi-use path will be reconstructed.

D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

There will be a small light that will be located on the front of the building. This light will be wired to a switch and will only be used when City Crews or others are performing night work at the pump station. The light will be off at all other times.

E. Describe the proposed landscaping, including screening and arterial landscape areas. Include a site plan with existing and proposed landscape shown on the plan which complies with the City ordinance requirements.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item. Carson City Public Works is currently working with the Parks and Recreation Department on a landscaping design for the booster pump station site. Construction of landscaping is planned to begin in May of 2020.

Carson City will design and install landscaping that will serve as both a screen and a sound barrier from the pump station, although the sound levels will be very low during normal operations. The landscape plan will be completed

after the completion of the BPS install and will consist of evergreen type trees that will match existing trees in the area to further help the building to blend in with the surrounding structures.

F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

As described in previous explanations above, the City water system will benefit greatly from this project, which is also part of the City Water Resource Report plan. It will add a level of redundancy to the water system in the neighborhoods surrounding the project area, as well as the entire City water system.

Question 3: Will have little or no detrimental effect on vehicular traffic or pedestrian traffic.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

This project is located in an open space area and will have no impact on vehicular traffic or pedestrian traffic. If anything, it will benefit pedestrian traffic with the installation of pedestrian ADA curb ramps and reconstruction of the multi-use pathway.

Question 4: Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

The BPS station will not overburden any public services or facilities. There will be no impact to schools, police, sewer, roads or storm drainage. The project will only increase the water supply in all areas of Carson City, as well as increase the fire protection of surrounding developments as well as undeveloped land near the project site and along the water main project site by increasing the water capacity to the system.

Question 5: Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

The proposed new BPS project located in Carson City Open Space Property will be in conformance with the requirements of Carson City Municipal Code and all related standards. The pump station will provide better water system reliability for the citizens of Carson City. Although the land use differs from the surrounding areas, it will benefit all who live adjacent to the project site.

Question 6: Will not be detrimental to the public health, safety, convenience and welfare.

The below statement from the original SUP application still applies. The height change of the structure will not affect this item.

This project will not be detrimental to the public health, safety, convenience and welfare. The project will have a positive impact on all of the above by increasing the Carson City water supply, increasing the fire protection abilities near undeveloped land and at the same time adhering to Carson City Water Resource Report plan.

Question 7: Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

In addition to the statement below from the original application, the increased height of the structure will allow for the larger muffler in order to reduce the noise coming from the generator during routine maintenance and during power outages. The increased height of the structure will reduce the backyard view for some adjacent properties, but the building has been designed to match as close as possible the adjacent homes in the neighborhood. Carson City is also in the process of designing a landscape plan to further mitigate the site of the building and help blend in with the surrounding environment.

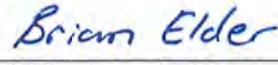
As explained in the above responses, Carson City has taken into consideration many different possible scenarios and has come up with mitigation measures to eliminate any detrimental effects to adjacent properties. The project will be a great asset to the City and benefit Carson City as a whole. The project will not result in prejudice or infringe on the property rights of any surrounding properties.

ACKNOWLEDGMENT OF APPLICANT

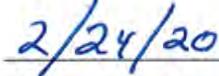
I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature



Print Name



Date

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: ORMSBY BOOSTER PUMP STATION

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- Encourage the development of regional retail centers (5.2a)?
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY

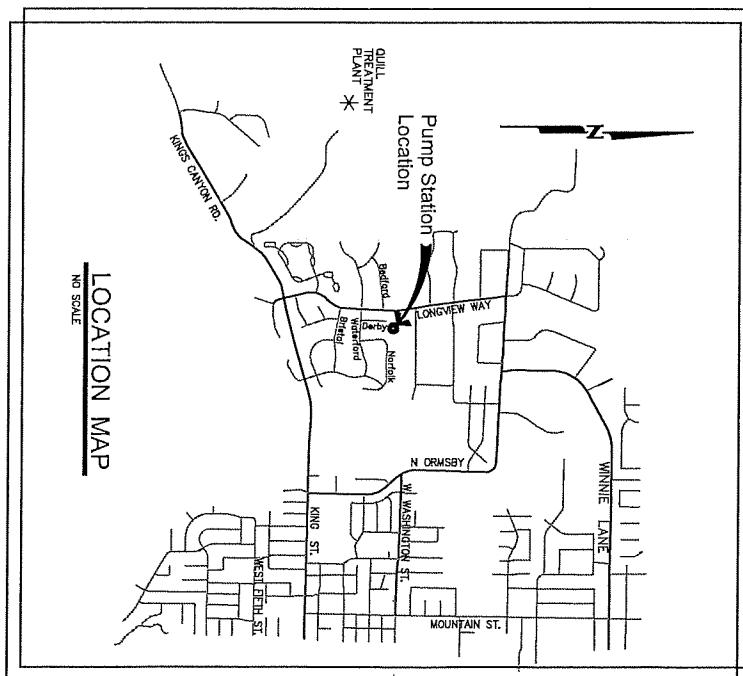
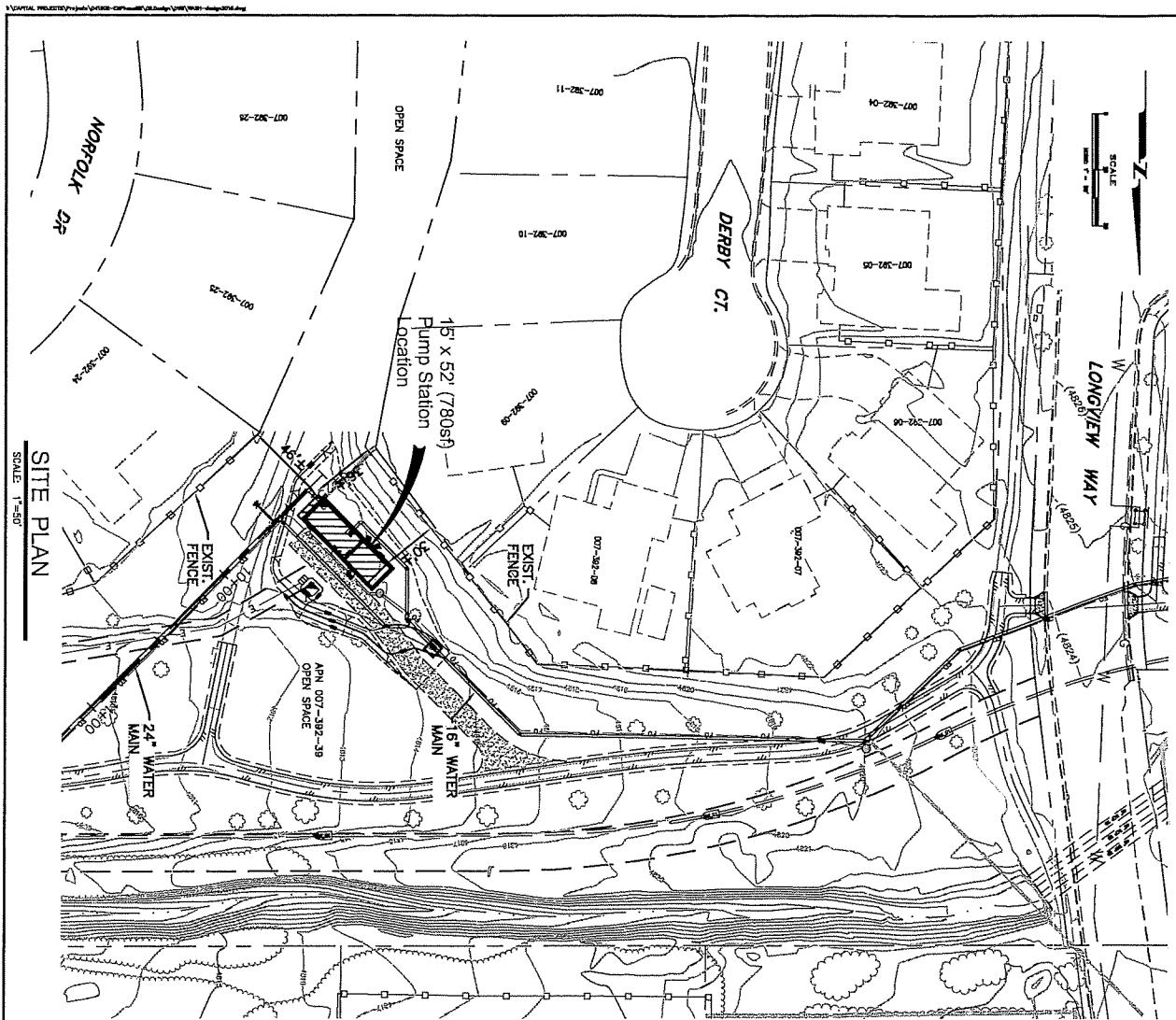


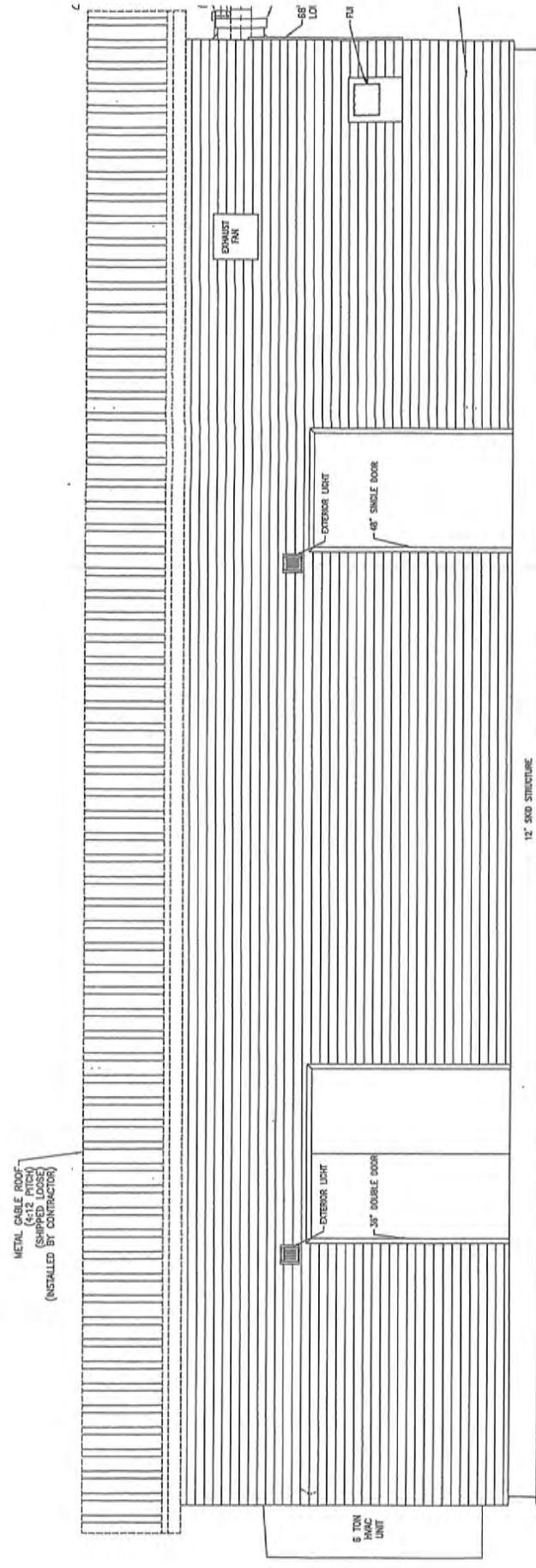
The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

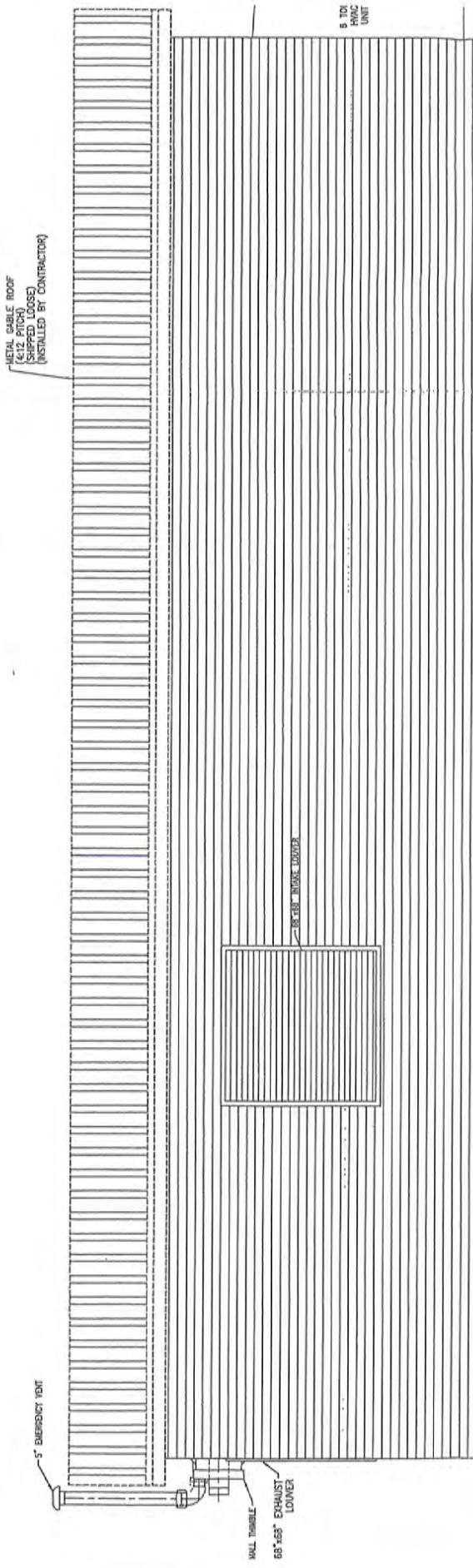
Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

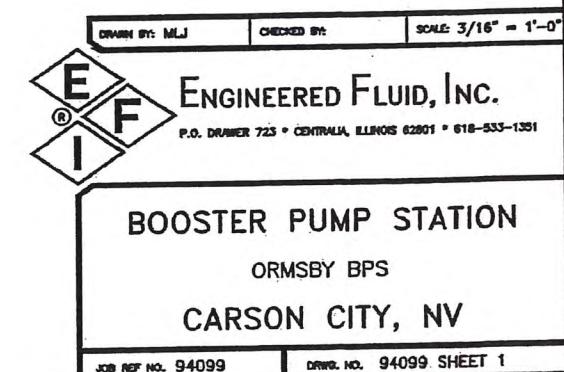
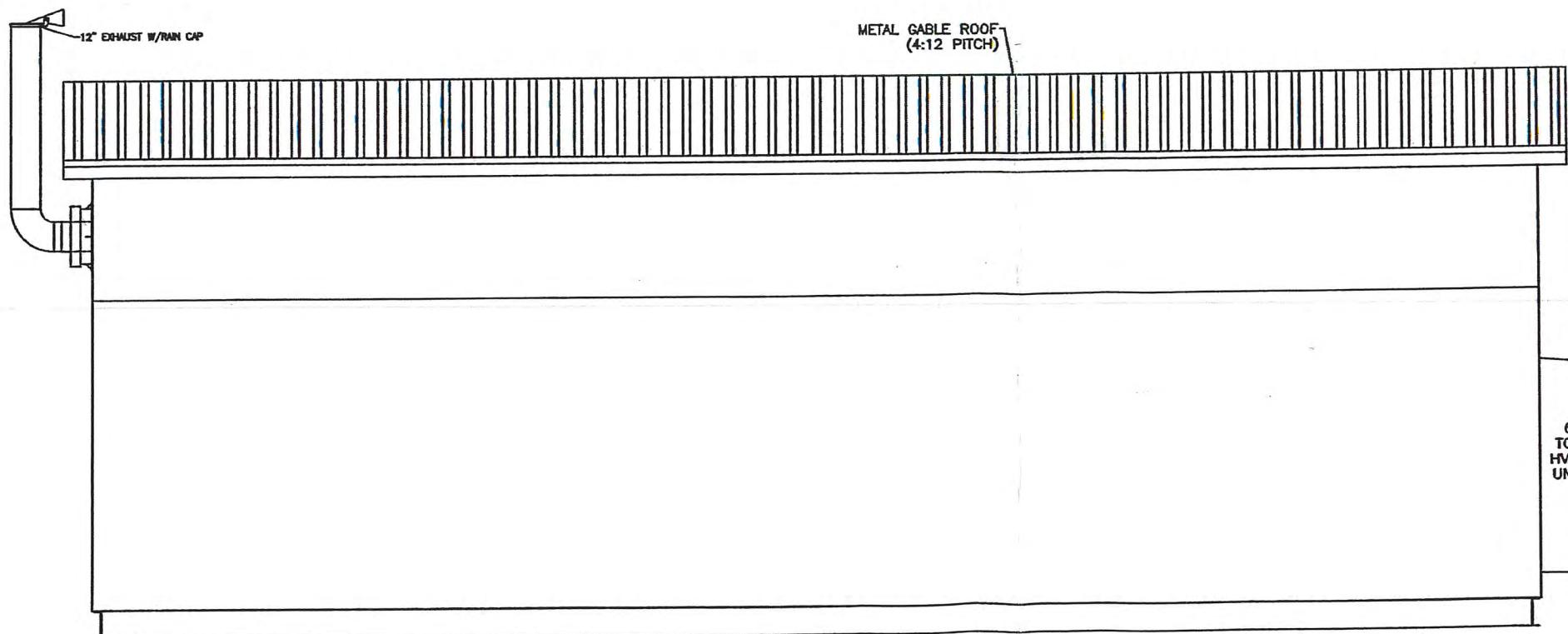
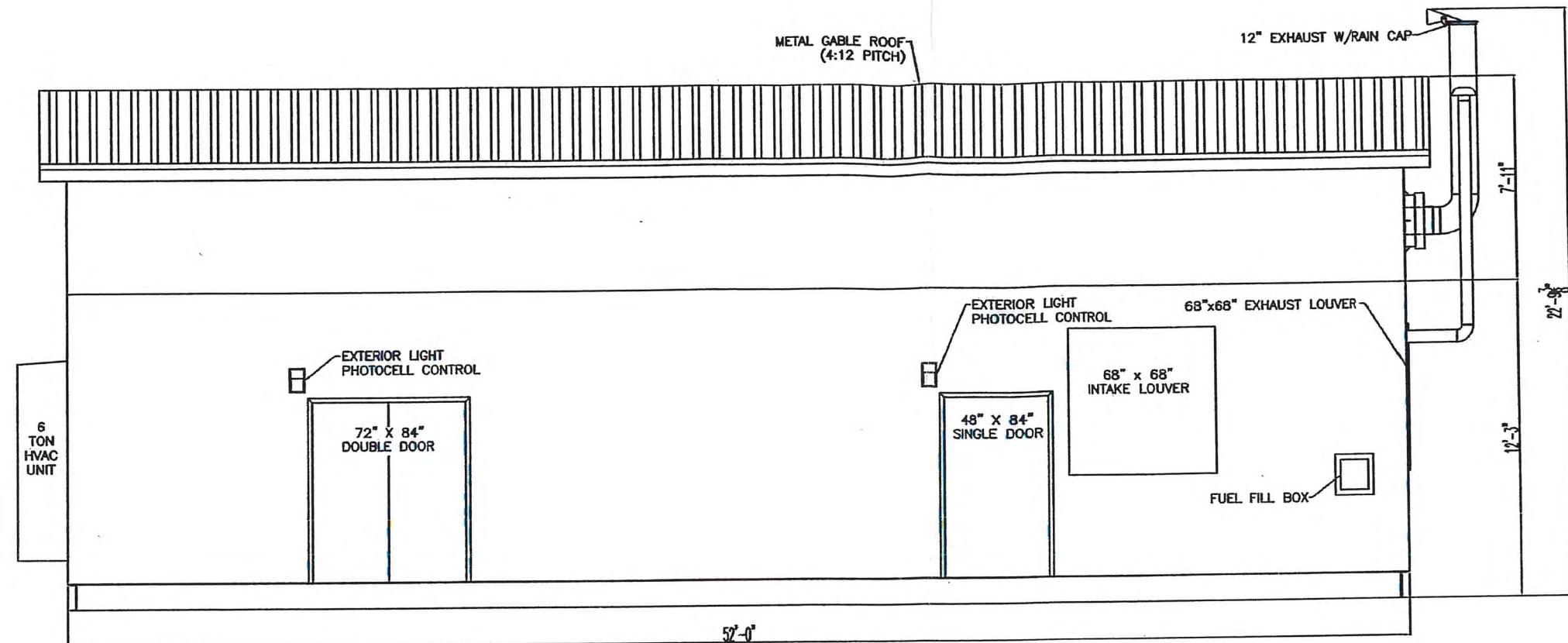


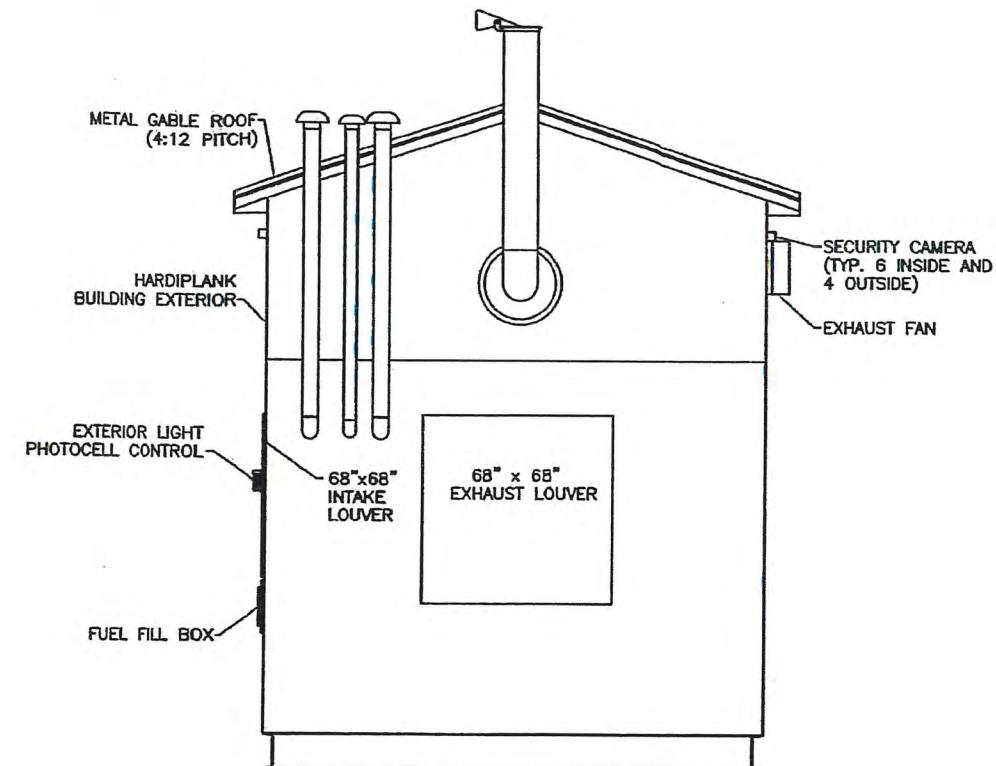
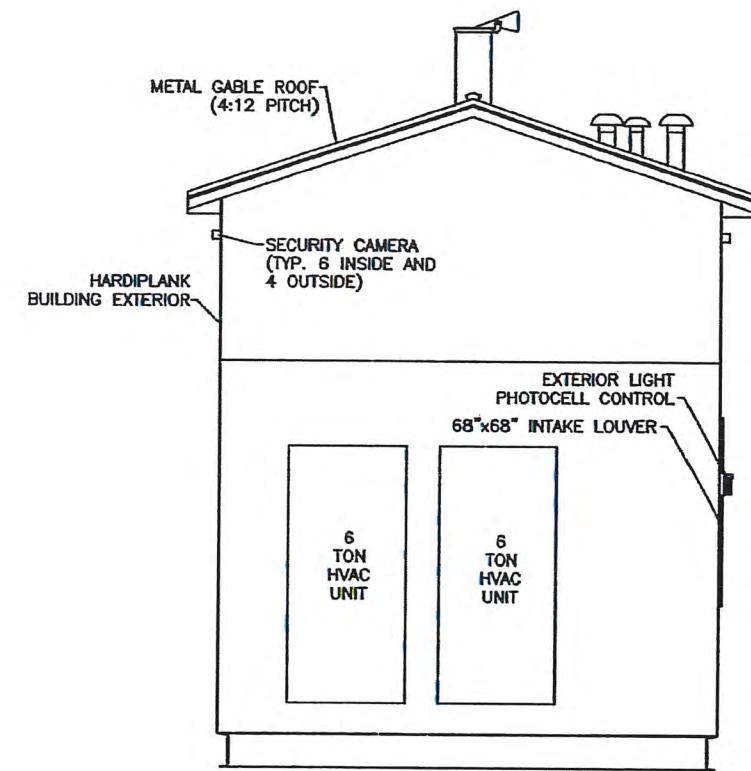


FRONT VIEW



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LEFT ELEVATION

