

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF MARCH 25, 2020

FILE NO: LU-2020-0003 & VAR-2020-0001

AGENDA ITEM: E.3 & E.4

STAFF CONTACT: Hope Sullivan, AICP, Planning Manager

AGENDA TITLE:

For Possible Action: Discussion and possible action regarding a request for a Special Use Permit for a duplex on a corner lot on property zoned Single Family-6000 (SF6), located at 501 Thompson Street, APN 003-101-01.

For Possible Action: Discussion and possible action regarding a request for a Variance to reduce the front yard setback from 20 feet to 10 feet for on property zoned Single Family-6000 (SF6), located at 501 Thompson Street, APN 003-101-01.

STAFF SUMMARY: The applicant is seeking to construct a duplex on a corner lot in the SF6 zoning district. Per CCMC 18.04.075.3, a duplex on a corner lot is a conditional use, subject to a Special Use Permit. The Planning Commission is authorized to issue a Special Use Permit.

Due to the presence of a fault line on the subject property, the applicant is seeking a variance to utilize a ten-foot front setback rather than a twenty-foot front setback. The Planning Commission has the ability to grant a variance.

PROPOSED MOTIONS:

"I move to approve LU-2020-0003 based on the ability to make the required findings, and subject to the conditions of approval contained in the staff report."

"I move to approve VAR-2020-0001 based on the ability to make the required findings, and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL: LU-2020-0003

1. All development shall be substantially in accordance with Special Use Permit plans and application materials on file with the Carson City Planning Division.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. Prior to issuance of a building permit, the applicant shall demonstrate that the architectural design is consistent with the architectural guidelines identified in Division 1 of the Development Standards.
6. If the domestic sewer needs to be pumped, the private sewer lateral must transition from a pressurized force main to a gravity line at or before the property line, and a sanitary sewer cleanout must be installed at the property line.
7. The geotechnical investigation found groundwater at approximately 6 feet below existing grade. If the foundation is 5 feet below existing grade or deeper, it must be designed with the ability to passively drain in high groundwater conditions.
8. The project must meet all applicable Carson City Development Standards including but not limited to the following:
 - a. The project must install an ADA pedestrian curb ramp at the corner of Thompson Street and West Fifth Street.
 - b. The project must install sidewalk along the West Fifth Street frontage as shown, and must install curb, gutter, sidewalk, and asphalt pavement to finish the Thompson Street street section as shown. The pavement structural section must meet the existing pavement section on Thompson Street, or the standard detail for a local urban street, whichever is greater.
 - c. The driveway must be at least 18 feet and 6 inches long to meet the standard minimum depth for a parking space, exclusive of the sidewalk.
 - d. The structure must not encroach into the public utility easements along the property lines, as shown.

RECOMMENDED CONDITIONS OF APPROVAL: VAR-2020-0001

1. All development shall be substantially in accordance with the proposed site plan.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of

the date of final approval. A single, one (1) year extension must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.

4. The applicant must sign and return the Notice of Decision within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. Prior to issuance of a construction permit, the applicant shall install temporary fencing to protect the vegetation in the rear of the property. This fencing shall include signage indicating that materials are not to be stored in this area, and the area is not to be disturbed during the construction process. The intent of this condition is to recognize that the vegetation avoids erosion of the steep slope. Selective thinning may occur after construction.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), CCMC 18.02.085 (Variances) CCMC 18.04.065 Single Family 6,000 (SF6); CCMC DS 1.1 Architectural Design

MASTER PLAN DESIGNATION: High Density Residential (HDR)

PRESENT ZONING: Single Family 6 (SF6)

KEY ISSUES: Will the proposed duplex be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code? Will the requested setbacks meet the findings for a variance?

SURROUNDING ZONING AND LAND USE INFORMATION:

- EAST: Multi-Family Duplex / Duplex
- WEST: Single Family 6000 / Single Family Residence
- NORTH: Residential Office / Office
- SOUTH: Single Family 6000/ Single Family Residence

ENVIRONMENTAL INFORMATION:

- FLOOD ZONE: X Shaded
- EARTHQUAKE FAULT: On site
- FAULT ZONE: Zone 2 Moderate
- SLOPE/DRAINAGE: Site is primarily flat

SITE DEVELOPMENT INFORMATION:

- LOT SIZE: 8189 square feet
- EXISTING DEVELOPMENT: vacant
- PROPOSED DEVELOPMENT: 1 duplex
- PROPOSED PARKING: 2 per unit

PREVIOUS REVIEWS: None

DISCUSSION:

The subject property is a vacant, corner lot. A fault line runs along the eastern portion of the

property. The applicant is proposing to construct a duplex, with each unit having two bedrooms. The applicant is proposing a ten foot front setback where a twenty foot setback is required per the zoning.

Per CCMC 18.04.075, a two-family duplex unit on a corner lots is a conditional use in the Single Family 6000 zoning district, and may be established subject to the approval of a Special Use Permit. The Planning Commission may approve a Special Use Permit upon making each of the seven required findings in the affirmative.

Per CCMC 18.04.190, the front setback in the Single Family 6000 zoning district is 20 feet. The applicant is seeking variance to allow for a front setback of 10 feet. Per CCMC 18.02.085, the Planning Commission may approve a variance upon making each of the three required findings in the affirmative.

PUBLIC COMMENTS: Public notices were mailed to 35 property owners within 300 feet of the subject property. As of the writing of this report, one comment has been received. Any additional comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Fire Department:

1. Project must comply with the International Fire Code and northern Nevada fire code amendments as adopted by Carson City.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

1. If the domestic sewer needs to be pumped, the private sewer lateral must transition from a pressurized force main to a gravity line at or before the property line, and a sanitary sewer cleanout must be installed at the property line.
2. The geotechnical investigation found groundwater at approximately 6 feet below existing grade. If the foundation is 5 feet below existing grade or deeper, it must be designed with the ability to passively drain in high groundwater conditions.
3. The project must meet all applicable Carson City Development Standards including but not limited to the following:
 - a. The project must install an ADA pedestrian curb ramp at the corner of Thompson Street and West Fifth Street.
 - b. The project must install sidewalk along the West Fifth Street frontage as shown, and must install curb, gutter, sidewalk, and asphalt pavement to finish the Thompson Street street section as shown. The pavement structural section must meet the existing pavement section on Thompson Street, or the standard detail for a local

urban street, whichever is greater.

- c. The driveway must be at least 18 feet and 6 inches long to meet the standard minimum depth for a parking space, exclusive of the sidewalk.
- d. The structure must not encroach into the public utility easements along the property lines, as shown.

SPECIAL USE DISCUSSION:

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

See Variance finding 5b, below.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The project will improve driving and pedestrian facilities. The structure does not encroach into the required sight distance triangle.

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

VARIANCE DISCUSSION:

Development Engineering has reviewed the request within our areas of purview relative to adopted standards and practices and to the provisions of C.C.M.C. 18.02.085, Variances:

C.C.M.C. 18.02.085 (2a) - Adequate Plans

The information submitted by the applicant is adequate for this analysis.

C.C.M.C. 18.02.085 (5a) – Site Constraints

There is a site constraint imposed by a fault line which was mapped by the United States Geological Survey as being near the east side of the property. A geotechnical investigation has been completed and the proposed location of the duplex was determined to be adequate by the geotechnical engineer.

C.C.M.C. 18.02.085 (5b) – Preservation and Enjoyment of Property Rights

The proposed design requires a variance to the setback on Thompson Street. This will have no negative impact to engineering standards which protect preservation and enjoyment of property rights provided that the above conditions of approval are met.

C.C.M.C. 18.02.085 (5c) - Adverse Effects to the Public

From an engineering point of view, granting this request will not adversely affect to a material degree the health and safety of persons residing or working in the neighborhood of the subject property and will not be materially detrimental to the public welfare or materially injurious to property or improvements in the neighborhood of the subject property provided that the above conditions of approval are met.

SPECIAL USE PERMIT FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the master plan elements.*

The subject property is designated as High Density Residential. This designation is designed to create opportunities for higher density neighborhoods in an urban and suburban setting. The primary uses are apartments, condominiums, townhomes, fourplexes, and duplexes. The proposed duplex is consistent with this designation.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.*

This use will not be detrimental to the use, peaceful enjoyment, or economic value of surrounding properties. The property to the east of the subject property is a duplex, and the property to the north is an office. The proposed location is at the convergence of various land uses.

The duplex will consist of two residences, each with two bedrooms. The impacts will be typical of a residential use, and will not result in objectionable noise, vibrations, fumes, odors, dust, glare, or physical activity.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The proposed use will not have a detrimental effect on vehicular or pedestrian traffic. The proposed use will construct improvements to Thompson Street including widening the pavement section, and installing curb, gutter, and sidewalk, as well as install a sidewalk on Fifth Street. This will improve travel conditions on Thompson Street where the unimproved street section results in a reduced pavement width, and will improve pedestrian travel as the pedestrians can remain on the sidewalk.

The traffic generation will be consistent with that of a duplex and is not anticipated to have a detrimental effect on vehicular traffic.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project. Staff has recommended that if the domestic sewer needs to be pumped, the private sewer lateral must transition from a pressurized force main to a gravity line at or before the property line, and a sanitary sewer cleanout must be installed at the property line.

The proposed development must meet the Fire Code.

5. *Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.*

A duplex is a conditional use in accordance with CCMC 18.04.065 Single Family 6,000 and requires a Special Use Permit.

The project does not meet the required front setback of 20 feet. Rather, the applicant is seeking a variance to have a setback of 10 feet. The approval of this special use permit is conditioned on the approval of the variance.

Division 1 of the City's Development Standards address architectural design. Section 1.1.1 states that "the architectural style, massing and proportion of a building should be compatible with and complement its surroundings and environmental characteristics of the community."

Section 1.1.3 states "Variations of building details, form, line, color and materials shall be employed to create visual interest. Variations in wall, planes, roof lines and direction are encouraged to prevent monotonous appearance in buildings. Large expanses of walls devoid of any articulation or embellishment shall be avoided. Similarly vertical variation in the roof line is encouraged ..."

The subject property is across Fifth Street from the Historic District, and across the street from contributing properties in the district. The north elevation of the building, which would face the historic district, lacks the variation suggested in Section 1.1.3, and is not compatible with and complementary with its surroundings to the north. Staff recognizes that the elevations are preliminary, and recommends that all elevations, particularly the north elevation, be modified prior to issuance of a building permit to be consistent with the City's architectural standards.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

As conditioned, the proposed duplex will not be detrimental to public health, safety, convenience and welfare. The use is compatible with other uses in the neighborhood.

7. *Will not result in material damage or prejudice to other property in the vicinity.*

The proposed duplex will not result in material damage to other property in the vicinity. Conditions are recommended to ensure that the proposed development will not result in material damage to other property in the vicinity.

VARIANCE FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

- 1. That because of special circumstances applicable to the subject property, including shape, size, topography or location of surroundings, the strict application of the zoning ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity or under identical zone classification;***

The subject property has a fault line in the rear of the property, as well as steep slopes in the rear. Per the geotechnical report, a structure should not be built within 25 feet of this fault. The normal rear setback is 20 feet from the property line for any portion of the building over twenty feet. Due to the presence of the on-site fault, the building envelope is pushed farther forward than if the normal setbacks were applied. Additionally, the steep slope in the rear contributes to the need to move this building forward so the natural slope can stay intact.

- 2. That the granting of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant;***

The presence of the on-site fault and steep slopes is compromising the building envelope on this 8189 square foot lot. The applicant is seeking a front setback of ten feet on Thompson Street so as to avoid natural constraints in the rear of the lot.

- 3. That the granting of the application will not, under the circumstances of the particular case, adversely affect to a material degree the health or safety of persons residing or working in the neighborhood of the subject property and will not be materially detrimental to the public welfare or materially injurious to property or improvements in the neighborhood of the subject property.***

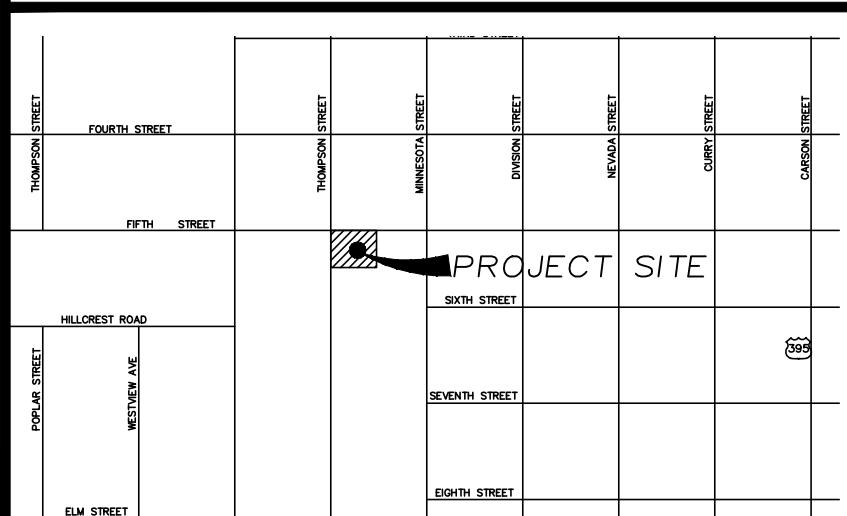
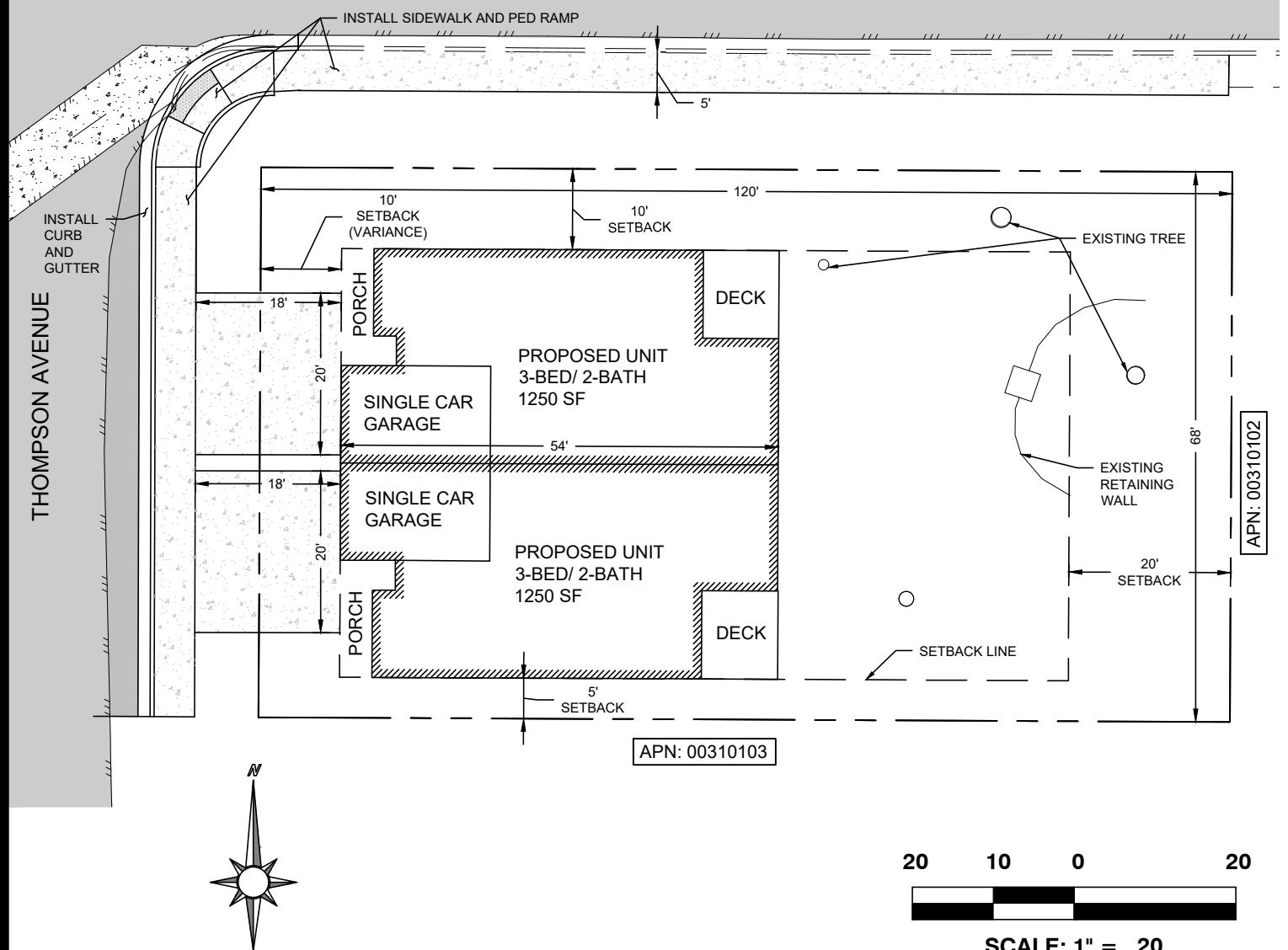
The property to the south of the subject lot is a through lot, with the home built fronting Minnesota Street. The portion of the lot to the south that fronts on Thompson Street has a steep downslope and mature trees. Staff finds that the lot to the south is the one property that could be potentially impacted by the variance, but will not be due to the on-site slopes.

Additionally, if the building fronted on West Fifth Street, the street side setback on Thompson would be ten feet. Therefore, the impact of the proposed massing and location is similar to the massing that could exist without a variance.

Attachments:

Application LU-2020-0003
Application VAR-2020-0001
Public Correspondence

FIFTH STREET



VICINITY MAP

OWNER/APPLICANT:

Micah and Jessie Laack
100 Lewers Creek Rd
Carson City, NV 89704
(775)230-5831

LOCATION:

501 Thompson St.
APN: 00310101

REQUEST:

Special Use Permit to build a duplex on an SF6 corner lot. Variance to reduce front yard setback from 20' to 10'.

ZONING:

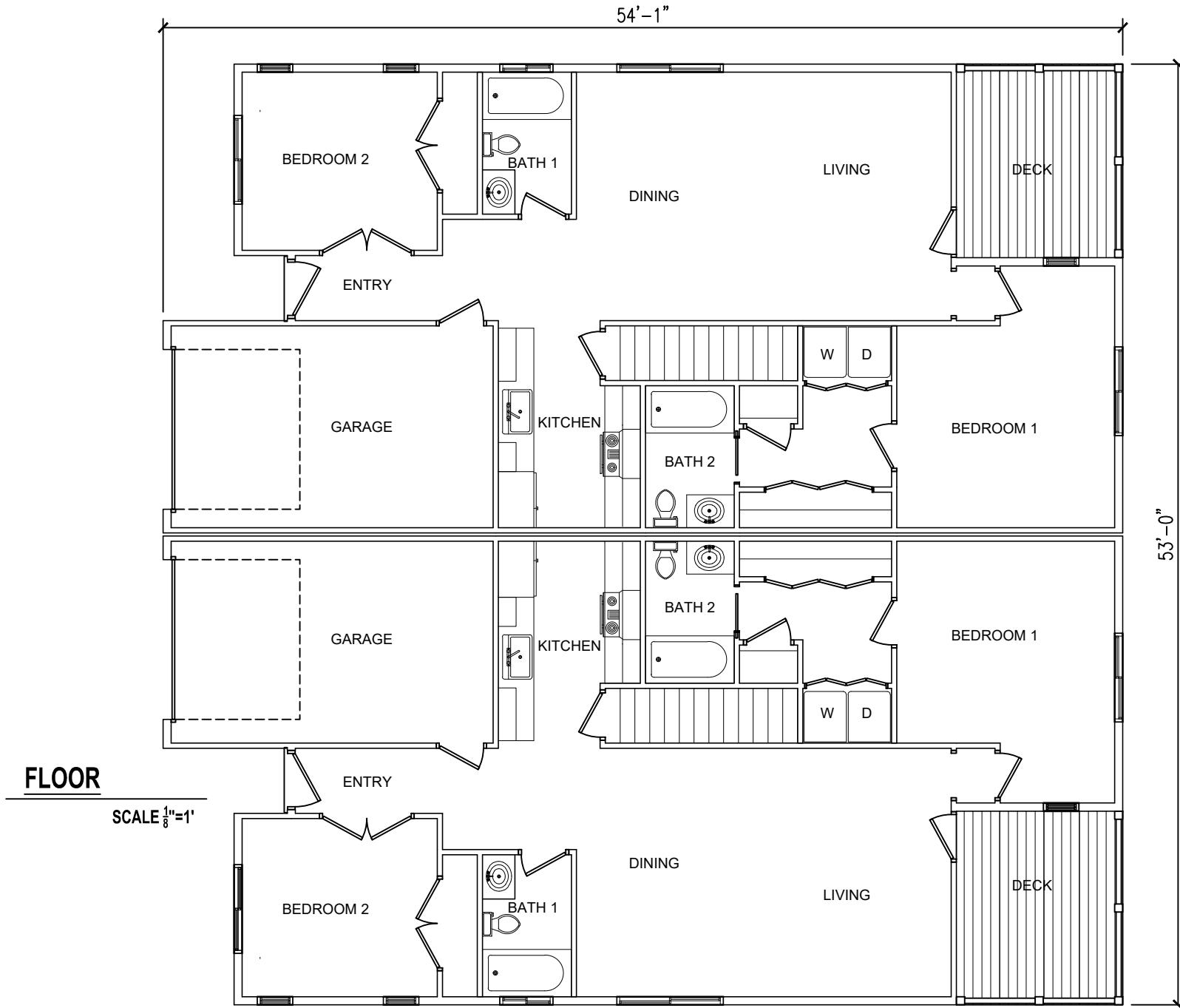
Single Family- 6000 sf

MASTER PLAN LAND USE:

High Density Residential

PREPARER:

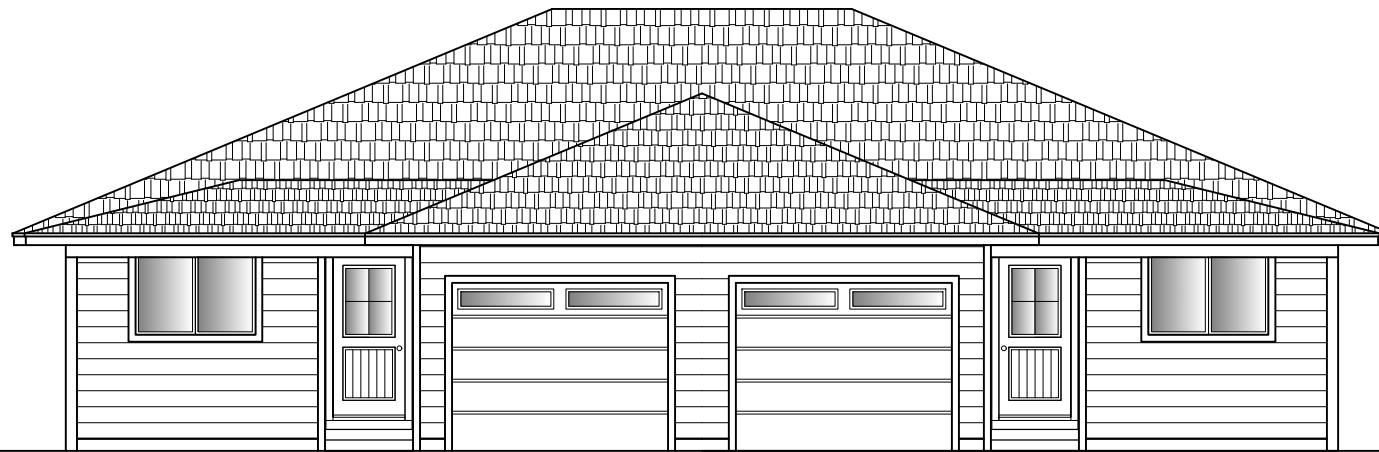
Micah Laack, P.E.



PROJECT: 501 Thompson St.
 Carson City, NV
 APN: ..310101

DATE: 02/12/20
 REVISED: 02/12/20
 DRAWN BY: G LAACK
 CHECKED BY: GL
 SHEET TOTAL: 3
 JOB NO.: 111
 DRAWING: FLOOR
 SCALE: $\frac{1}{8}''=1'$

SHEET NO.:
A-101



WEST ELEVATION

SCALE $\frac{1}{8}$ "=1'

PROJECT: 501 Thompson St.
Carson City, NV
APN: ..310101

DATE:
02/12/20
REVISED:
07/03/18

DRAWN BY:
G LAACK

CHECKED BY:
GL

sheet total:

3

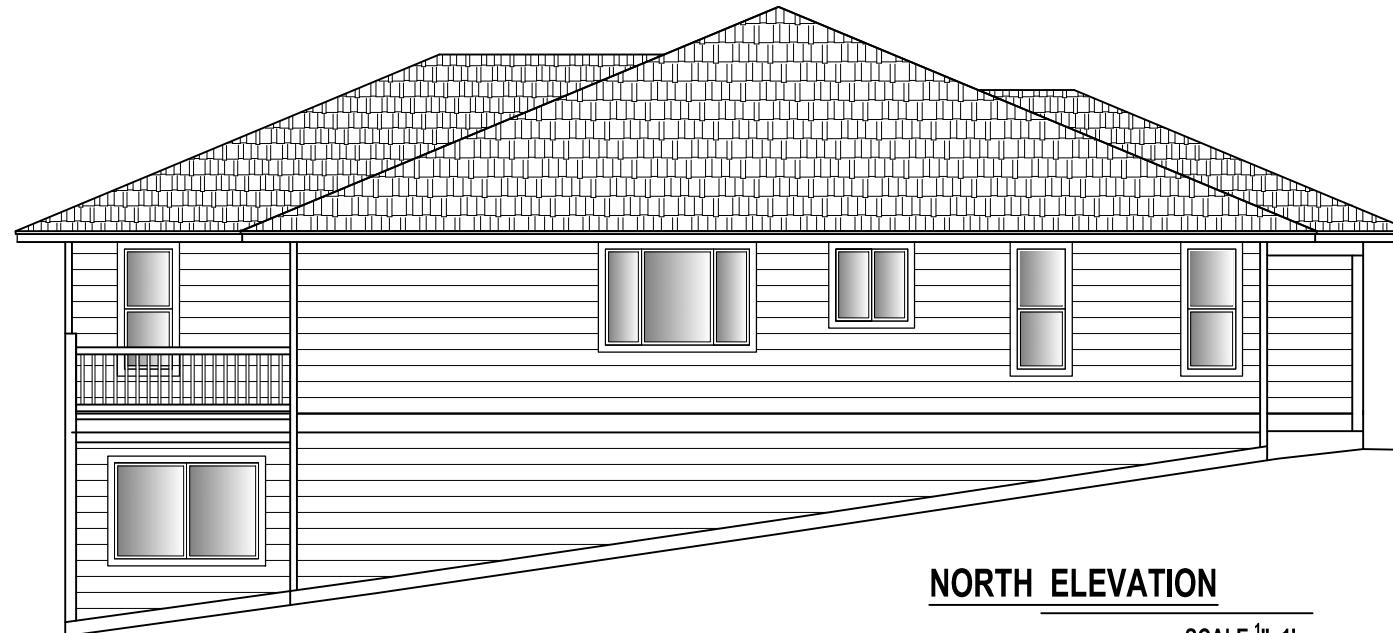
Job No.: 111

Drawing:
W ELEV

Scale:
1/8"=1'

SHEET NO.: A-102
FILE PATH: LAACK CONST. DOCUMENTS/JOBs BY NAME/THOMPSON/DRAWINGS

Gary Laack Construction, Inc.
100 levens creek rd. washoe valley, nv. 89704
(775) 742-5905
nevada license no. 2002944
limit 3000,000



NORTH ELEVATION

SCALE $\frac{1}{8}$ "=1'

PROJECT: 501 Thompson St.
Carson City, NV
APN: ..310101

DATE:
02/12/20
REVISED:
02/12/20

DRAWN BY:
G LAACK

CHECKED BY:
GL

SHEET TOTAL:
3

JOB NO.:
111

DRAWING:
N ELEV

SCALE:
1/8"=1'

SHEET NO.:

A-103

Special Use Permit Findings:

Below are applicant responses to the findings required to be supported for a Special Use Permit:

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

- 1. Will be consistent with the objectives of the Master Plan elements. Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements.**

The property is designated as High Density Residential (HDR) in the Carson City Master Plan. Primary uses for the HDR land use include: Apartments, condominiums, townhomes, fourplexes, and duplexes. Approval of a duplex on this property would be directly in line with the Masterplan.

The project meets the Masterplan goals of a “Balanced Land Use Pattern, Economic Vitality, Livable Neighborhoods, and a Connected City” by prioritizing infill projects consistent with the Master Plan Land Use Map. This infill project promotes compact and efficient growth by providing higher density housing units close to the downtown corridor. By providing housing units within walkable distance to downtown, the project is promoting a more walkable and interconnected community. The project also achieves these goals by providing alternative housing models and densities within the urbanized area. A duplex would provide housing diversity from the many single family homes in the area.

Approval of this project would also extend sidewalk along Fifth Street and Thompson Street. This would enhance pedestrian circulation and safety along this well-traveled corridor, while encouraging pedestrian trips to the downtown restaurants and retail stores.

- 2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

This property is unique in that it is neighbored by three-separate zoning districts. Below is a list of the zoning and occupancy of each adjacent property (Also shown in **Figure 1**):

North: Residential Office (RO)- Multiple Offices
East: Multi-Family Duplex (MFD)- Duplex Unit
South: Single Family- 6000 sf (SF6)- Single Family Home
West: Single Family- 6000 sf (SF6)- Single Family Home



Figure 1

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties, but will rather provide an appropriate buffer between the adjacent zoning districts. High Density Residential units are often used to provide a transition from office/retail properties into single family neighborhoods. The unique location of this lot provides an opportunity to provide this zoning transition while achieving the housing diversity goals within the Master Plan.

The installation of pedestrian facilities, landscaping, and trees (both on-site and within the Right-of-Way) will update and enhance the neighborhood as well as the streetscape. Sidewalk, landscaping, and trees within the Fifth Street Right-of-Way will provide a welcomed upgrade to this corridor.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

This project will provide benefit to both safety and accessibility for pedestrian traffic. There is currently no sidewalk along Fifth Street or Thompson at this property. As part of this project, sidewalk will be extended across both frontages and a pedestrian ramp will be installed at the southeast intersection of Fifth and Thompson to provide a safe and accessible crossing.

Vehicular traffic safety will also be enhanced by this project. Thompson Street will be widened to meet city standards and curb and gutter will be installed across the Thompson Street frontage. This will provide a wider, well defined, and safer intersection. Traffic count increase will be minimal and will not be detrimental to current intersection Level of Service (LOS).

The pedestrian and intersection improvements are shown in **Figure 2**.

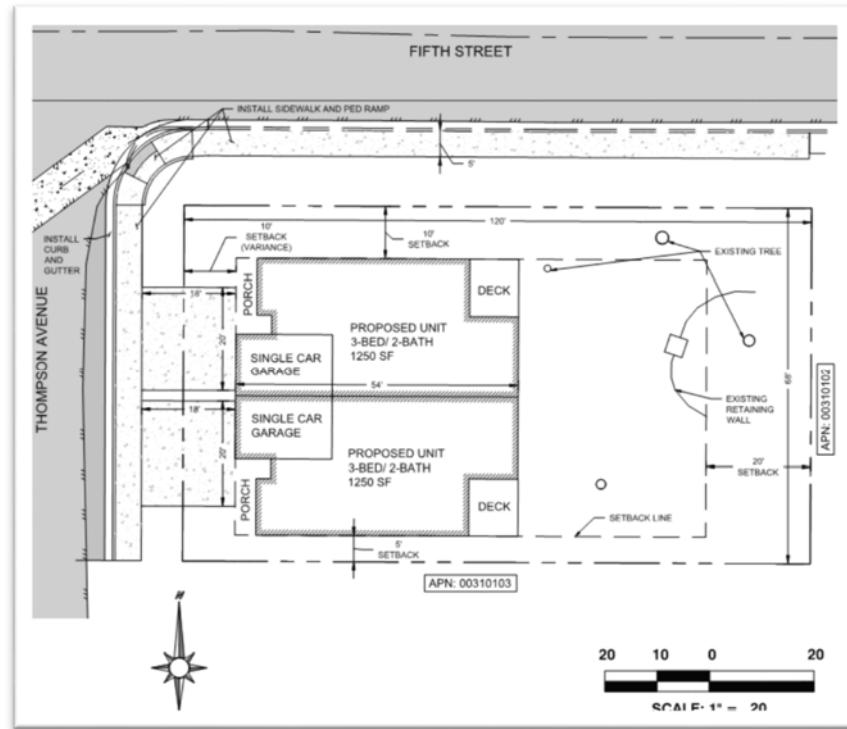


Figure 2

4. **Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**

Impact to public services and facilities would have been analyzed at the time this lot was created as part of a larger subdivision. A duplex (conditional use in SF6 zoning) would provide a negligible, if any, increase to these services as compared to an SF6 single family home. Meetings with the Development Engineering Division have confirmed the water, sanitary sewer, and storm sewer facilities have capacity to serve this project.

5. **Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

The property is zoned Single Family- 6000 square feet. Note 3 in Section 18.04.075 of the Carson City Municipal Code states:

"The conditional uses in the SF6 district which require approval of a special use permit are:

- *Bed and breakfast inn (only within the historic district and subject to the provisions of Title 18 (Bed and Breakfast Inns));*
- *Child care facility (accessory to residential use);*

- *Church;*
- *Guest building;*
- *Municipal well facility;*
- *School, k-12;*
- *Temporary tract sales office;*
- ***Two-family duplex unit on corner lot;***
- *Utility substation;*
- *Youth Recreation Facility, operated by youth-oriented organizations recognized as non-profit by IRS Tax Code Section 501(3)(c) only.”*

This project proposes a two-family duplex unit on a corner lot, which is specifically listed as a condition use which requires approval of a special use permit.

The duplex will meet the site development dimensional standards set forth in Section 18.04.1096 of Carson City Municipal Code unless specifically approved through a variance.

6. Will not be detrimental to the public health, safety, convenience and welfare.

This project will benefit public health, safety, and convenience by improving the intersection of Fifth and Thompson, installing pedestrian sidewalks, and constructing an accessibility ramp. This project also benefits public welfare by providing a more diverse and affordable housing option.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

This project will not provide material damage or prejudice to other properties in the vicinity. The street, intersection, right-of-way, and pedestrian improvements will provide a better neighborhood for all properties. The duplex is architecturally designed to be consistent with adjacent properties and to not affect view-sheds. This project will enhance both the property and the neighborhood from its current condition.

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Project Description:

Applicant: Micah and Jessie Laack
Address: 501 Thompson Street
APN: 00310101
Request: This is a request for a Special Use Permit for construction of a two-family duplex on the above listed property.
Zoning: Single Family- 6000 sf (corner lot)
Master Plan: High Density Residential

Site Conditions

The property at 501 Thompson Street sits at the SE corner of the intersection of Fifth Street and Thompson Street. The 8,160-sf corner lot is currently un-developed and contains a variety of mature trees and vegetation along the east half of the property. The property is located within walking distance to downtown Carson City in the beautiful west end. The lot provides a unique opportunity for an infill project that provides a more diverse housing product close to the downtown corridor.

The property slopes from west to east with steeper slopes occurring after a grade break near the center of the lot (see **Figure 1**).

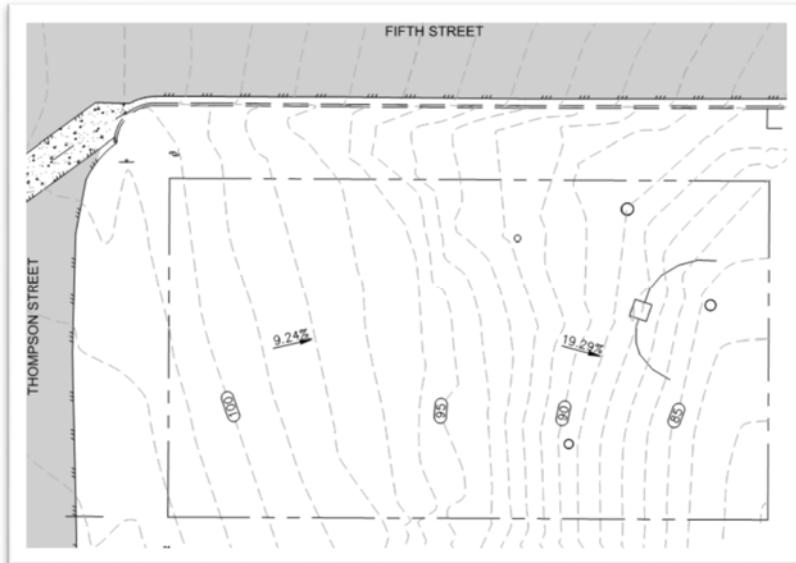


Figure 1

There is a mapped fault near the eastern property line. Lumos and Associates was hired to conduct a fault investigation on the site and recommend setbacks to building foundations. The Fault Investigation Study (dated August 8, 2019) is submitted with this application. As part of the study, a fault trench was

dug across the proposed building location and continued as far as possible to the eastern property line without effecting neighboring properties. No fault was identified within this trench. There are currently no sidewalks along either road frontage and no curb and gutter along the Thompson Street frontage.

Zoning and Master Plan Land Use

The property is zoned Single Family Residential- 6,000 sf and is unique in that it is neighbored by three separate zoning districts. Below is a list of the zoning and occupancy of each adjacent property (Also shown in **Figure 1**):

North: Residential Office (RO)- Multiple Offices

East: Multi-Family Duplex (MFD)- Duplex Unit

South: Single Family- 6000 sf (SF6)- Single Family Home

West: Single Family- 6000 sf (SF6)- Single Family Home



Figure 1

The property is designated with a land use of High Density Residential (HDR) in the Carson City Master Plan. Primary uses for the HDR land use include: Apartments, condominiums, townhomes, four-plexes, and duplexes.

Carson City Municipal Code Section 18.04.075 states:

"The conditional uses in the SF6 district which require approval of a special use permit are:

- *Bed and breakfast inn (only within the historic district and subject to the provisions of Title 18 (Bed and Breakfast Inns));*
- *Child care facility (accessory to residential use);*
- *Church;*
- *Guest building;*
- *Municipal well facility;*
- *School, k-12;*

- *Temporary tract sales office;*
- *Two-family duplex unit on corner lot;*
- *Utility substation;*
- *Youth Recreation Facility, operated by youth-oriented organizations recognized as non-profit by IRS Tax Code Section 501(3)(c) only.”*

In accordance with this section of the Carson City Municipal Code, this special use permit application is to build a two-family duplex on the corner lot at 501 Thompson St.

Proposed Duplex

The proposed development of this property consists of a two-family duplex as well as right-of-way improvements including:

- Widening of Thompson Street
- Installing curb and gutter along Thompson Street Frontage
- Installing Sidewalk along both Fifth Street and Thompson Street Frontage

Figure 3 shows the proposed site improvements. Please reference the site plan, floor plan, and building elevations submitted with this application for details regarding the proposed site improvements.

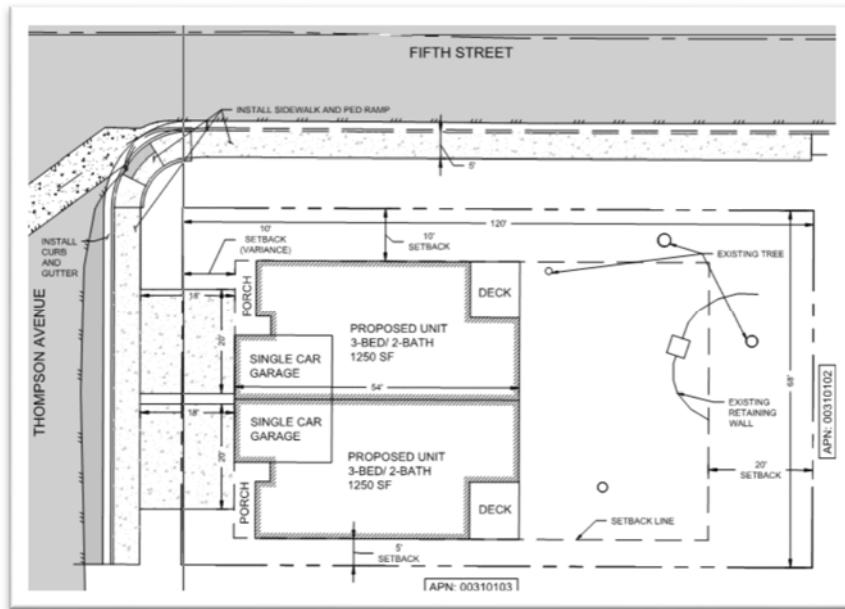


Figure 3

Summary

This special Use Permit request directly achieves the intent of the Carson City Master Plan while conforming to Carson City Municipal Code. The attached applicant responses to the Special Use Permit Findings show that this project not only achieves all the required findings, but will also achieve many goals set by the Carson City Master Plan.

Carson City

308 N. Curry Street, Suite 200
Carson City, Nevada 89703
775.883.7077

August 8, 2019

JN: 9700.096

Micah Laack
100 Lewers Creek Rd.
Washoe Valley, NV 89704

Re: 501 Thompson Street

Carson City, NV

This letter contains the results of Lumos & Associates, Inc. (Lumos) investigation into a potential earthquake fault located at the above address in Carson City, Nevada. A vicinity map is show as Plate A-1.

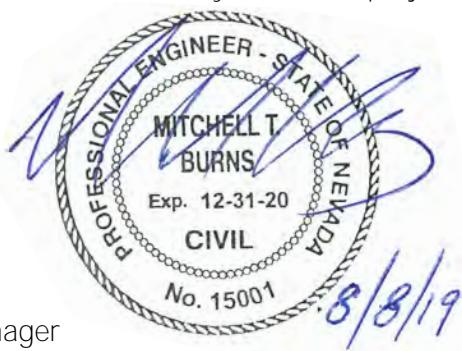
Lumos field personnel provided visual observation after the fault trench was excavated. The fault trench was orientated east west and excavated to approximately six (6) feet below existing grade. It extended west about five (5) feet into the proposed house pad location to approximately 25 to 30 feet east of the proposed house pad location (Plate A-2). The upper one (1) foot of the trench generally consisted of a lighter brown silty sand with roots in it, the remainder of the trench generally consisted of a dark brown silty sand with **roots to approximately 4'.** **Groundwater was noted in a couple** of locations at the bottom of the excavation. See Figures 1 and 2 for pictures of the fault trench and Figure 3 for a log of the fault trench.

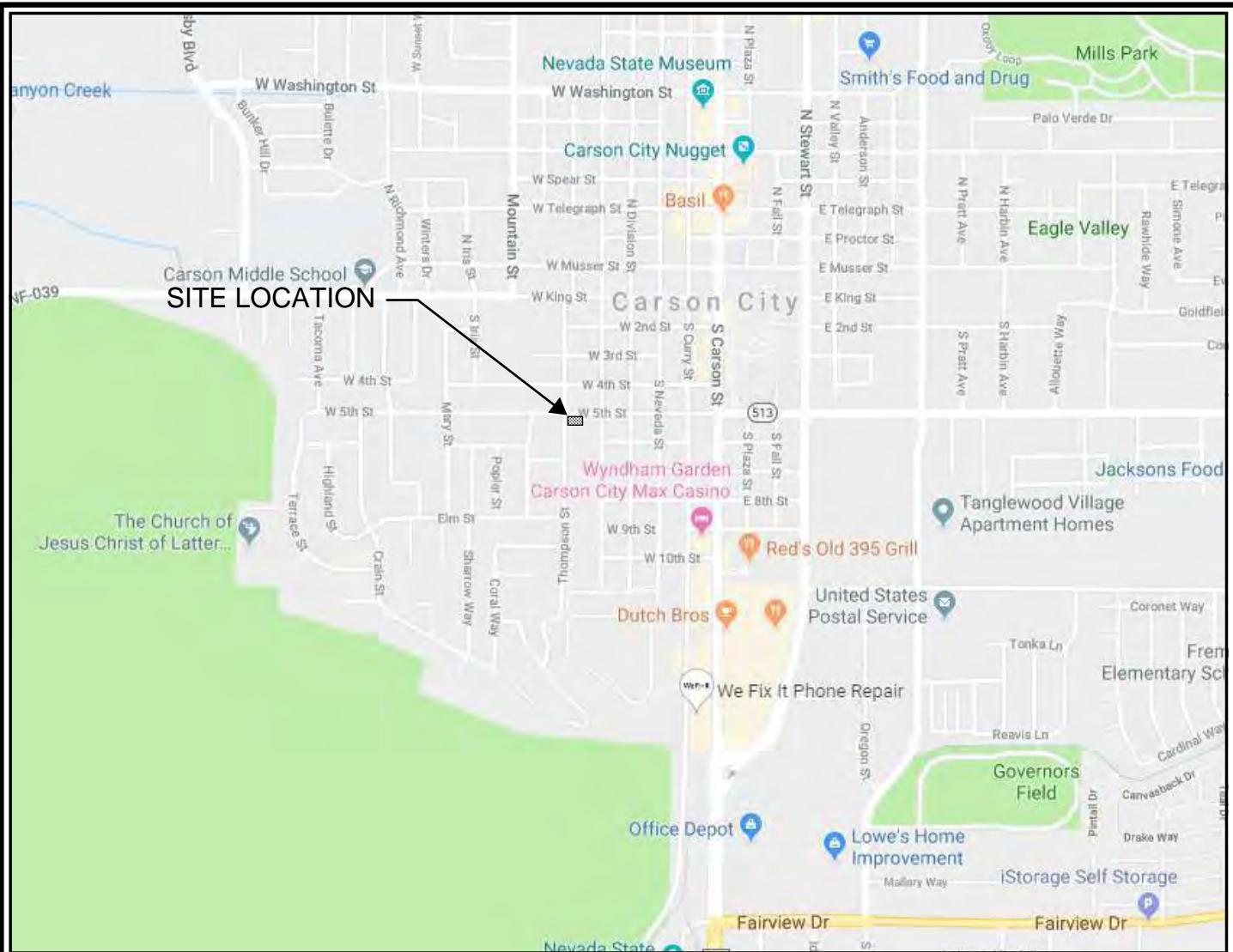
During our investigation no evidence of faulting was noted in the excavated fault trench. The Nevada Bureau of Mines and Geology Quaternary Faults in Nevada show a fault east of the site **and potentially in the "ditch" area** in the back of the property (Plate A-3). **According to the map and "Guidelines for Evaluating Potential Surface Fault Rupture/Land Subsidence Hazards in Nevada", this mapped fault is considered a "Late Quaternary Active Fault".** This is a fault that has moved within the last 130,000 years, but not during the last 10,000 years. The "ditch" area is over 25 feet from the proposed house pad location. Based on our observation of the trench sidewalls it is our opinion the location of the mapped fault is located at least 25 feet from the proposed house pad location. **According to the local building code amendments, "no critical facility shall be placed directly over the trace of a late Quaternary active fault".** However, our recommendation is to offset the proposed house pad from the mapped fault location a distance of at least 25 feet.

It has been a pleasure to be of service to you on this project. If you have any questions, please contact our office at (775) 883-7077.

Sincerely,

Mitch Burns, P.E., C.E.M.
Materials Engineering Manager
Lumos & Associates, Inc.





Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

501 Thompson St.

VICINITY MAP

Job Number: 9700.096

PLATE

A-1

Date: Aug., 2019



Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

Job Number: 9700.096

501 Thompson St.

SITE MAP

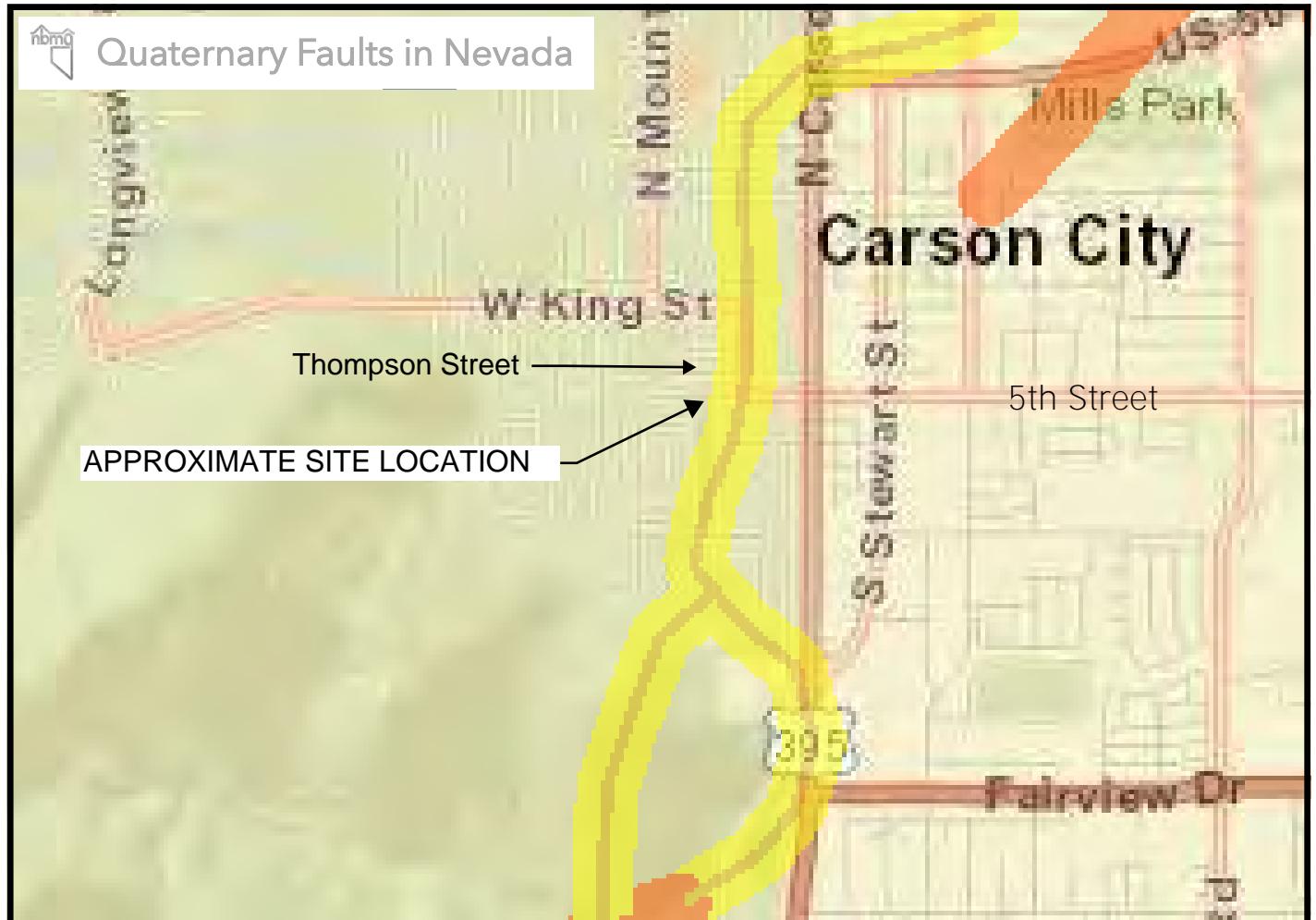
PLATE

A-2

Date: Aug., 2019



Quaternary Faults in Nevada



Legend

Quaternary Faults

Historical Ruptures

— <150 years

Quaternary Faults by Age

— <15,000 years

— <130,000 years

— <750,000 years

— <1.8 million years

— Class B faults

— Unclassified

100m Buffer

Historical Ruptures - 100m Buffer

— <15

Quaternary Faults by Age - 100m Buffer

— <15,000

— <130,000

— <750,000

— <1,800,000

— Class B faults

— Unclassified



Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

Job Number: 9700.096

501 Thompson St.

FAULT MAP

Date: Aug., 2019

PLATE

A-3



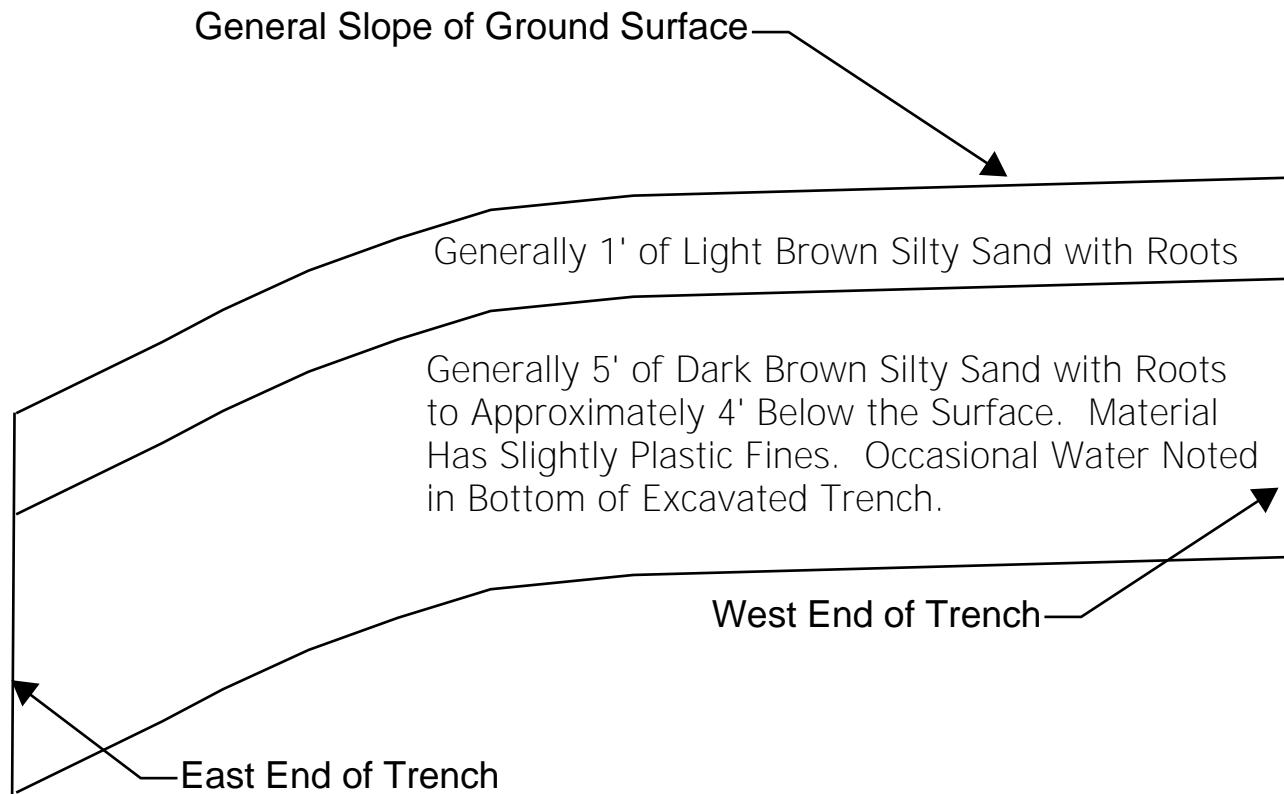
Figure 1: East end of fault trench, shows the surface going down hill. Upper 1' is lighter brown silty sand and lower 5' is dark brown silty sand with roots throughout. Middle of sidewall shows a lighter color, that is just sunlight shining through the trees.



Figure 2: West side of fault trench. Upper 1' is lighter brown silty sand and lower 5' is dark brown silty sand with roots throughout. Right side of sidewall shows a lighter color, that is just sunlight shining through the trees.

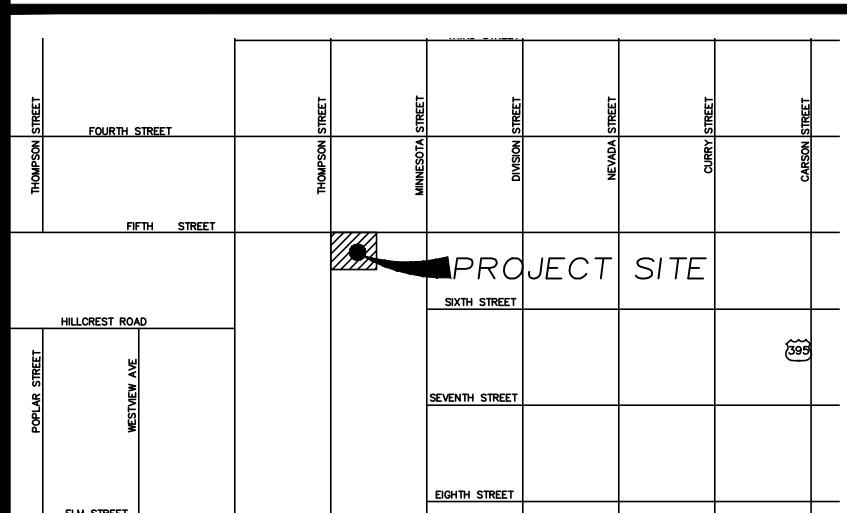
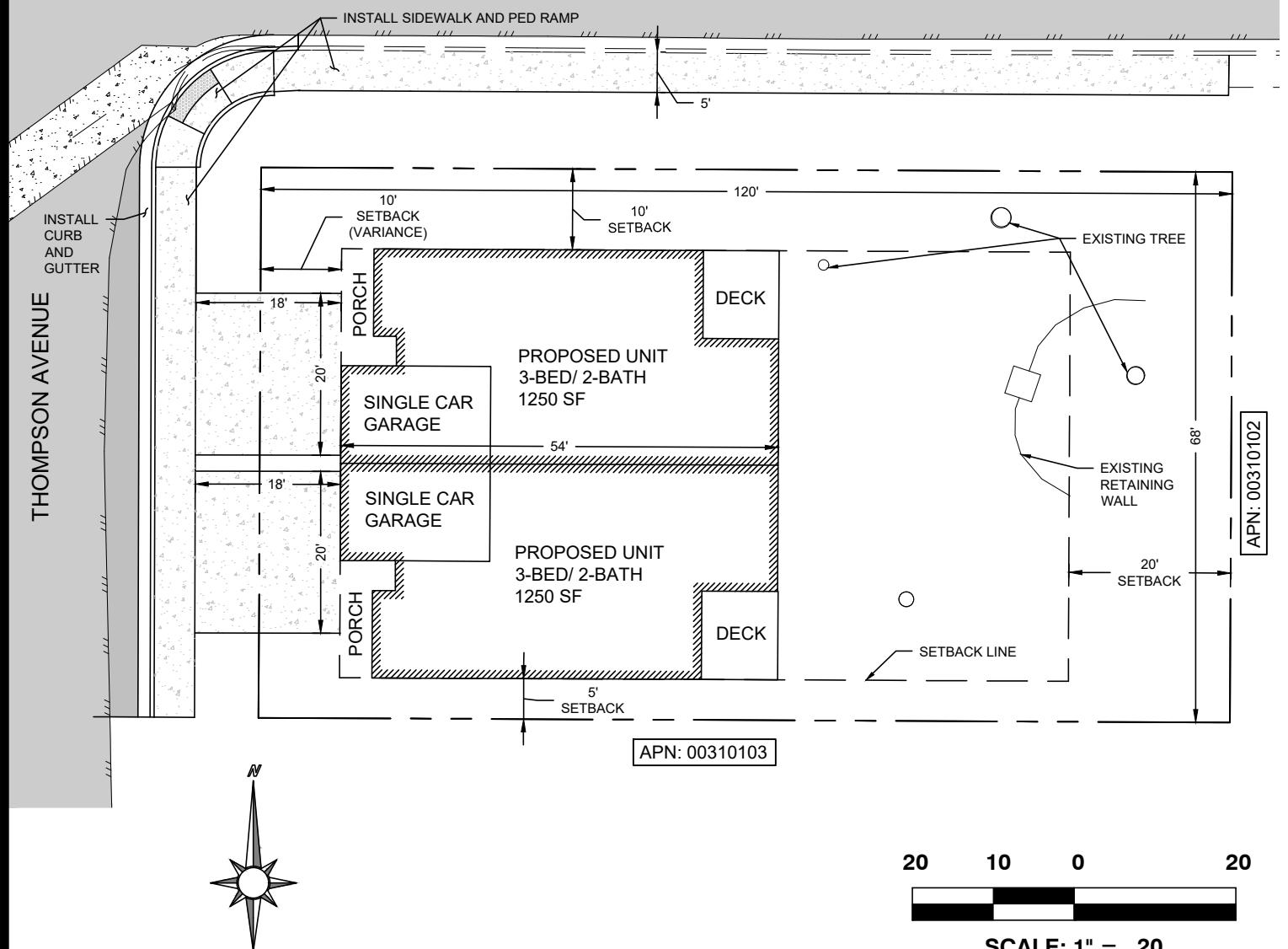
FAULT TRENCH PROFILE

Not to Scale



1. Trench Excavated Starting within the Proposed House Pad and Extended East to Approximately 25-30' Outside the Proposed House Pad.
2. No Fault Gouge or Other Notable Features Indicating the Presence of a Fault.

FIFTH STREET



VICINITY MAP

OWNER/APPLICANT:

Micah and Jessie Laack
100 Lewers Creek Rd
Carson City, NV 89704
(775)230-5831

LOCATION:

501 Thompson St.
APN: 00310101

REQUEST:

Special Use Permit to build a duplex on an SF6 corner lot. Variance to reduce front yard setback from 20' to 10'.

ZONING:

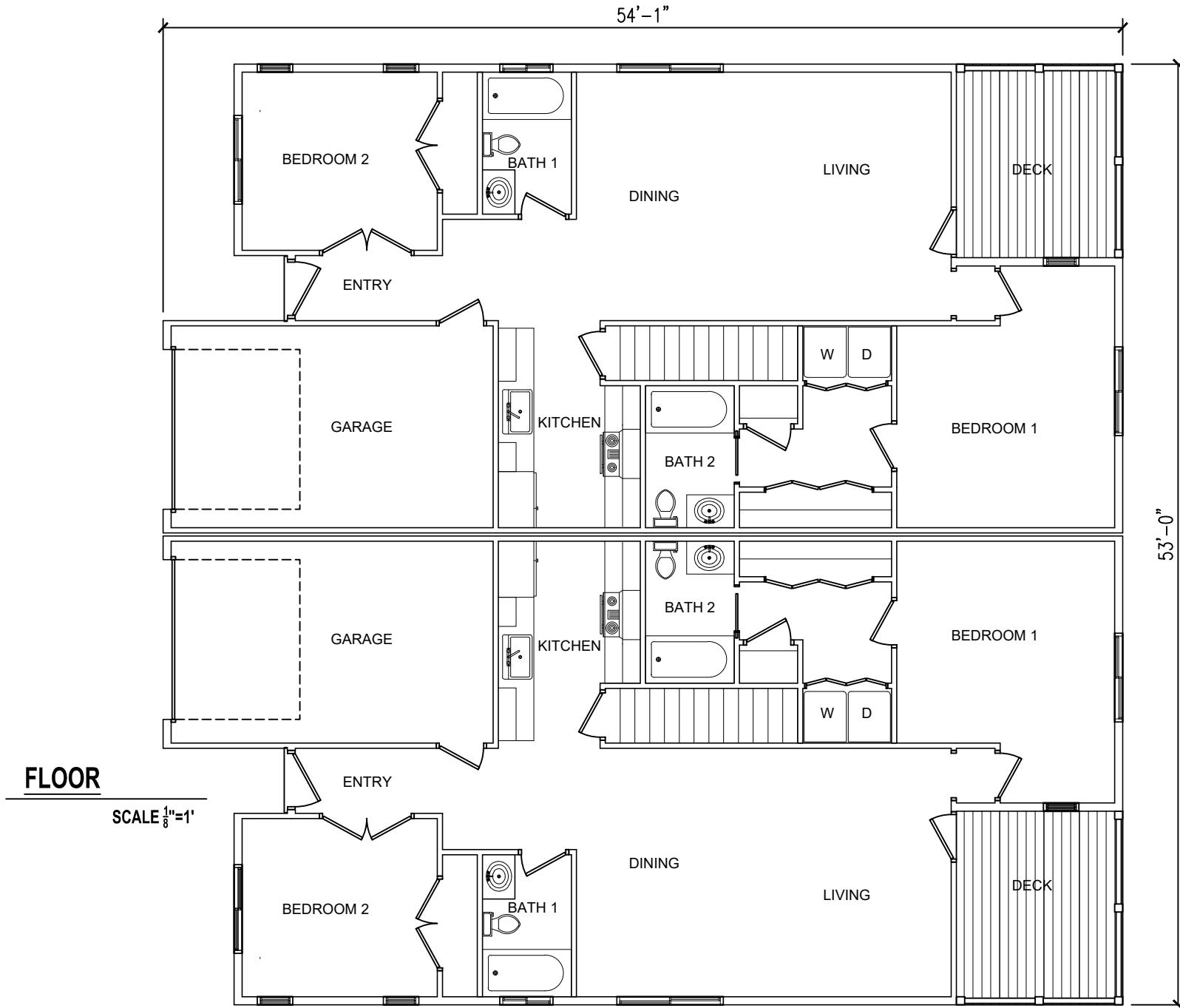
Single Family- 6000 sf

MASTER PLAN LAND USE:

High Density Residential

PREPARER:

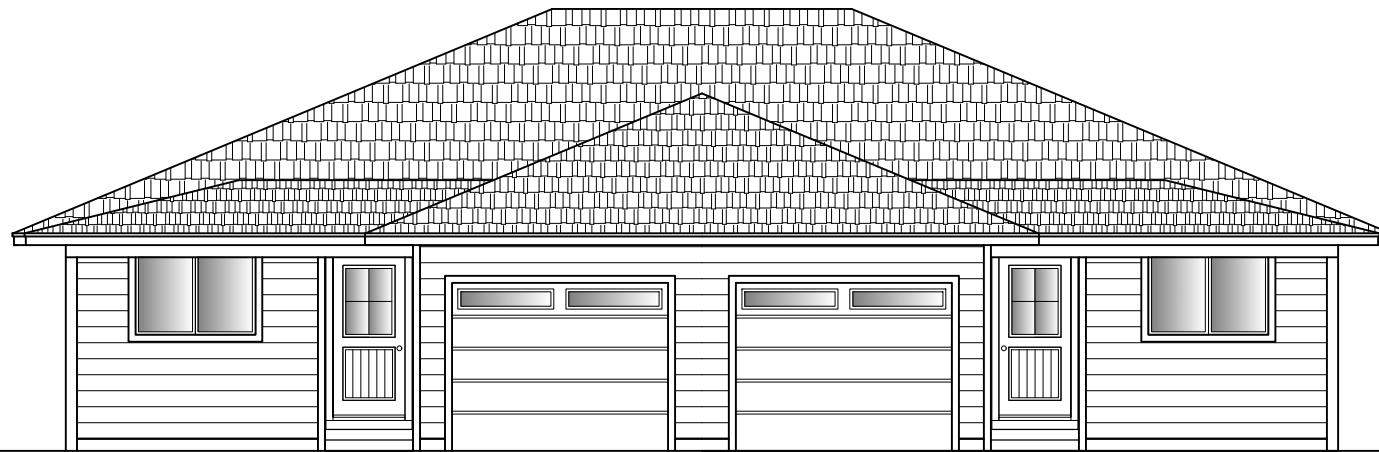
Micah Laack, P.E.



PROJECT: 501 Thompson St.
 Carson City, NV
 APN: ..310101

DATE: 02/12/20
 REVISED: 02/12/20
 DRAWN BY: G LAACK
 CHECKED BY: GL
 SHEET TOTAL: 3
 JOB NO.: 111
 DRAWING: FLOOR
 SCALE: $\frac{1}{8}''=1'$

SHEET NO.:
A-101



WEST ELEVATION

SCALE $\frac{1}{8}$ "=1'

PROJECT: 501 Thompson St.
Carson City, NV
APN: ..310101

DATE:
02/12/20
REVISED:
07/03/18

DRAWN BY:
G LAACK

CHECKED BY:
GL

sheet total:

3

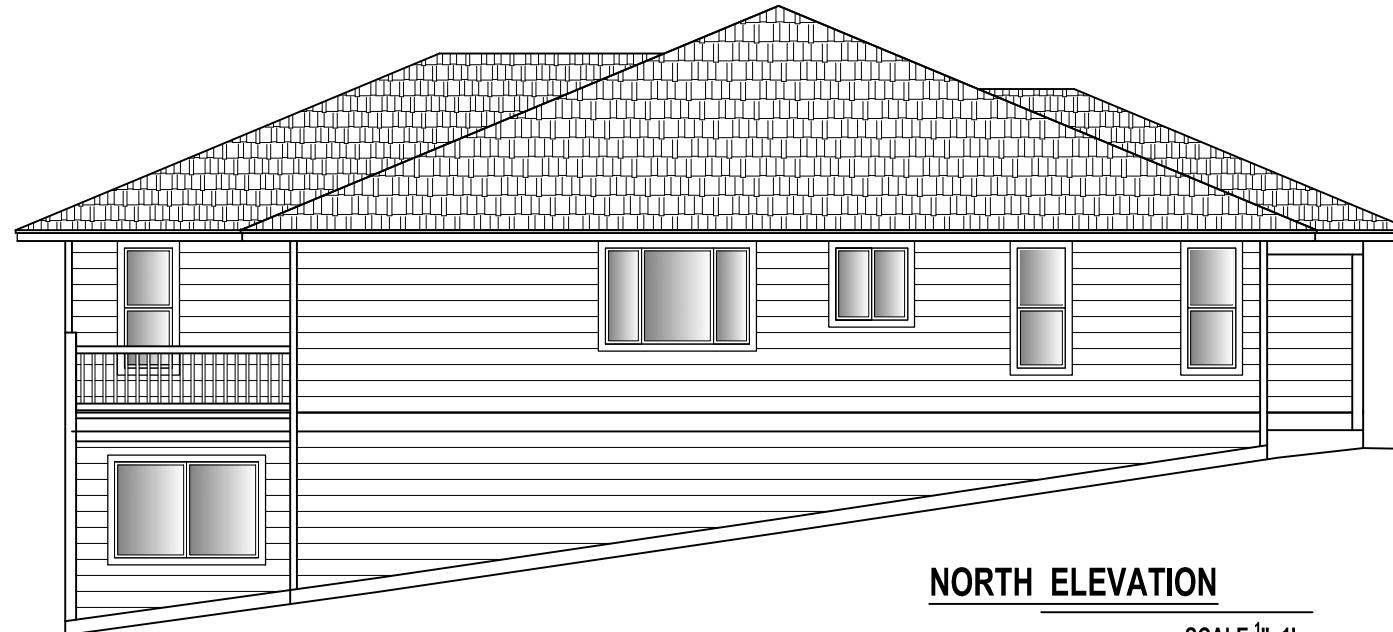
Job No.: 111

Drawing:
W ELEV

Scale:
1/8"=1'

SHEET NO.: A-102
FILE PATH: LAACK CONST. DOCUMENTS/JOBs BY NAME/THOMPSON/DRAWINGS

Gary Laack Construction, Inc.
100 levens creek rd. washoe valley, nv. 89704
(775) 742-5905
nevada license no. 2002944
limit 3,000,000



NORTH ELEVATION

SCALE $\frac{1}{8}$ "=1'

PROJECT: 501 Thompson St.
Carson City, NV
APN: ..310101

DATE:
02/12/20
REVISED:
02/12/20

DRAWN BY:
G LAACK

CHECKED BY:
GL

SHEET TOTAL:
3

JOB NO.:
111

DRAWING:
N ELEV

SCALE:
1/8"=1'

SHEET NO.:

A-103

Variance Findings:

Below are applicant responses to the findings required to be supported for a Minor Variance:

CCMC 18.02.085(5) FINDINGS:

- That because of special circumstances to the subject property, including shape, size, topography or location of surroundings, the strict application of the zoning ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity or under identical zone classifications.**

The variance to reduce the front yard setback from 20' to 10' is based upon two primary constraints specific to this lot: Geological Hazards and Topography.

Geological Hazard: Lumos and Associates was hired to conduct a fault investigation on the property and recommend setbacks to the building foundation. The fault study recommended that a structure should not be built within 25' of a mapped late quaternary fault near the east property line (shown in **Figure 1**). This renders ~30% of the lot not suitable for development. This special circumstance to the property deprives the lot of buildable area equal to lots of identical size and zoning. Due to the fault being located at the rear property line, a reduction in front yard setback would mitigate this un-useable area and allow for the lot to be developed safely and consistent with neighboring properties.

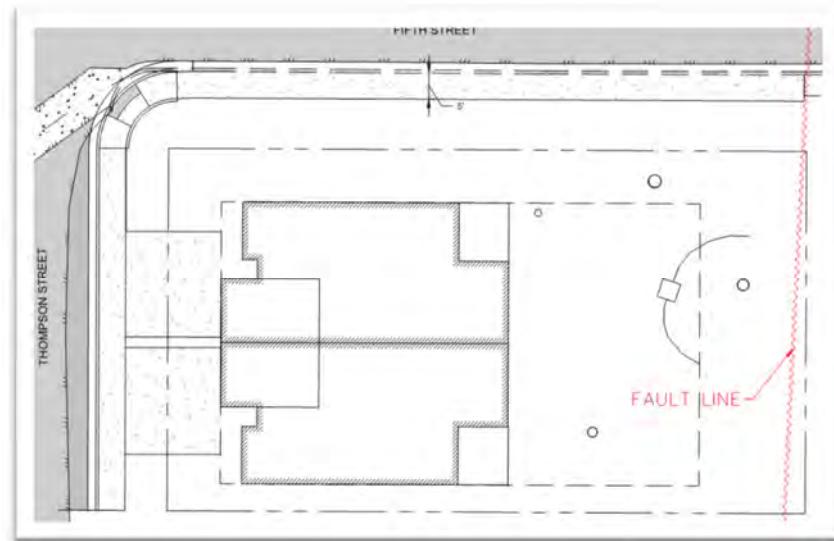


Figure 1

Topography: The variance to reduce the front yard setback would also allow for preservation of the natural slopes, topography and mature vegetation near the rear property line. The rear 60' of the lot consists of slopes from 15-30% and mature vegetation that has served as deer habitat for many years. Reducing the front yard setback would allow the development to minimally disturb the natural topography and habitat.

In addition, the large right-of-way width along Thompson Street provides a 13' parkway strip between back of curb and property line at the frontage. This large right-of-way combined with a 10' front yard setback equals a 23' separation between edge of street and the building (see **Figure 2**). This is similar to setbacks along streets in SF6 zoning with standard right-of-way widths.

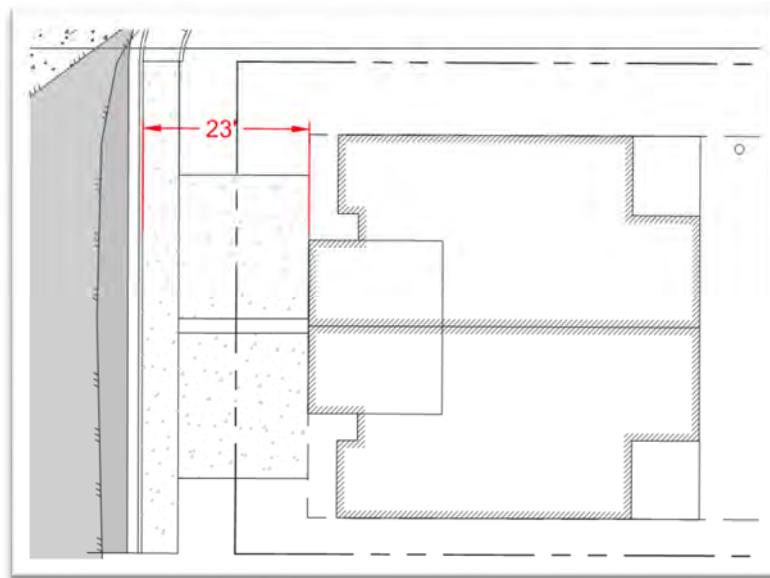


Figure 2

Lastly, at least five properties (APN's 00310115, 00310116, 00310106, 00310108, and 00310109) along the east side of Thompson Street between Fifth Street and Ridge Street have structures within the 20' front yard setback established by code. Approving this variance would allow for this property to be developed in a fashion compatible to the neighboring properties.

2. That the granting of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant

Granting of this variance will allow for the safe development of this previously subdivided residential lot. The late quaternary fault shown in **Figure 1** reduces the buildable envelope of this lot to an amount lower than intended when subdividing the SF6 lots of this neighborhood. The precedence set by other properties along Thompson Street having reduced front yard setbacks, coupled with the large Right-of-way width along Thompson, provides a basis for approval of this variance.

3. **That granting of the application will not, under the circumstances of the particular case, adversely affect to a material degree the health or safety of persons residing or working in the neighborhood of the subject property and will not be materially detrimental to the public welfare or materially injurious to property or improvements in the neighborhood of the subject property.**

Approval of this variance would not adversely affect the health and safety of the neighbors or their property. The reduced front yard setback will allow this lot to be developed in a way that maintains the natural topography, beauty, and mature vegetation that currently exists. Multiple public right-of-way improvements will be installed with this project, including curb and gutter, sidewalk, and ADA accessible pedestrian ramps. This will provide a direct benefit to the safety and health of persons in the neighborhood. Intersection site triangle requirements will continue to be met with approval of this variance. This will ensure the safety and health of vehicles using the intersection of Thompson Street and Fifth Street.

Project Description:

Applicant: Micah and Jessie Laack
Address: 501 Thompson Street
APN: 00310101
Request: This is a request for a variance to reduce the front yard setback from 20' to 10' for and SF6 lot
Zoning: Single Family- 6000 sf (corner lot)
Master Plan: High Density Residential

Site Conditions

The property at 501 Thompson Street sits at the SE corner of the intersection of Fifth Street and Thompson Street. The 8,160-sf corner lot is currently un-developed and contains a variety of mature trees and vegetation along the east half of the property. The property is located within walking distance to downtown Carson City in the beautiful west end. The lot provides a unique opportunity for an infill project that provides a more diverse housing product close to the downtown corridor.

The property slopes from west to east with steeper slopes occurring after a grade break near the center of the lot (see **Figure 1**).

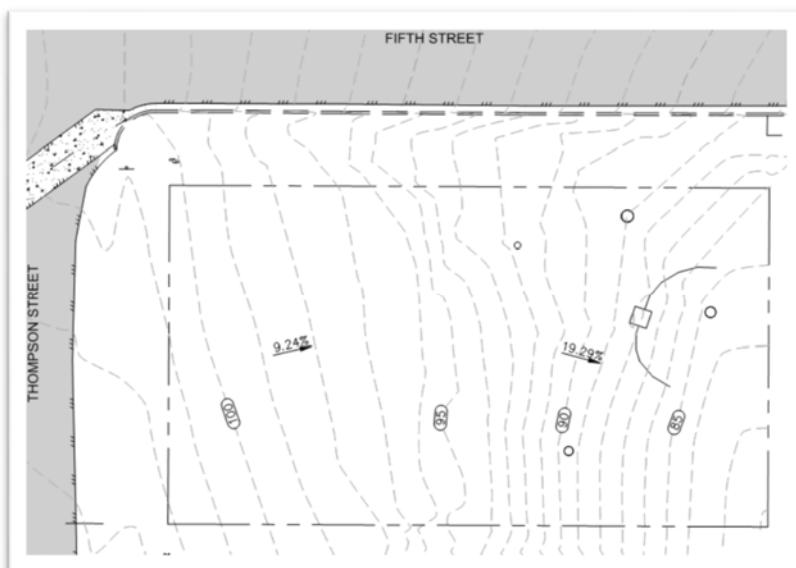


Figure 1

There is a mapped fault near the eastern property line. Lumos and Associates was hired to conduct a fault investigation on the site and recommend setbacks to building foundations. The Fault Investigation Study (dated August 8, 2019) is submitted with this application. As part of the study, a fault trench was

dug across the proposed building location and continued as far as possible to the eastern property line without effecting neighboring properties. No fault was identified within this trench. There are currently no sidewalks along either road frontage and no curb and gutter along the Thompson Street frontage.

Zoning and Master Plan Land Use

The property is zoned Single Family Residential- 6,000 sf and is unique in that it is neighbored by three separate zoning districts. Below is a list of the zoning and occupancy of each adjacent property (Also shown in **Figure 1**):

North: Residential Office (RO)- Multiple Offices

East: Multi-Family Duplex (MFD)- Duplex Unit

South: Single Family- 6000 sf (SF6)- Single Family Home

West: Single Family- 6000 sf (SF6)- Single Family Home



Figure 1

The property is designated with a land use of High Density Residential (HDR) in the Carson City Master Plan. Primary uses for the HDR land use include: Apartments, condominiums, townhomes, four-plexes, and duplexes.

Proposed Duplex

The proposed development of this property consists of a two-family duplex as well as right-of-way improvements including:

- Widening of Thompson Street
- Installing curb and gutter along Thompson Street Frontage
- Installing Sidewalk along both Fifth Street and Thompson Street Frontage

Figure 3 shows the proposed site improvements. Please reference the site plan, floor plan, and building elevations submitted with this application for details regarding the proposed site improvements.

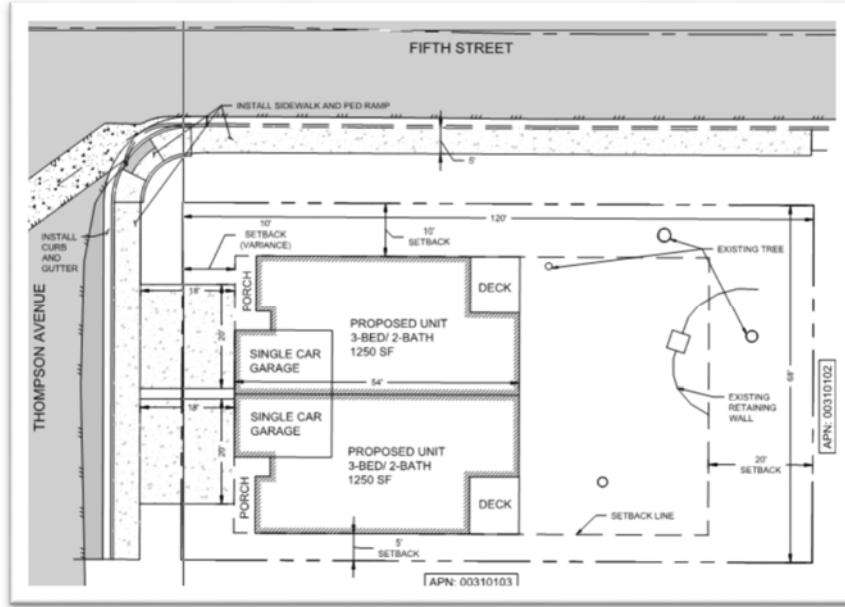


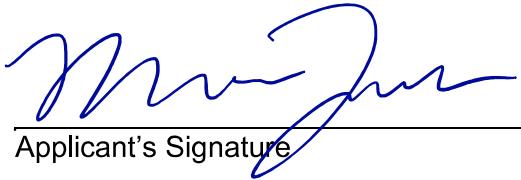
Figure 3

Summary

The attached applicant responses to the Variance Findings show that this project achieves all the required findings for granting of a variance. The unique circumstances described in the applicant responses show why the strict application of a 20' setback is not required in this instance. The granting of a variance to allow a 10' front yard setback will allow for a safer development as well as preserve the natural slopes and mature vegetation unique to this property.

ACKNOWLEDGMENT OF APPLICANT

I certify that the foregoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one year of the date of the Planning Commission approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City Code requirements.



Applicant's Signature

Micah Laack

Print Name

2/12/2020

Date

Carson City

308 N. Curry Street, Suite 200
Carson City, Nevada 89703
775.883.7077

August 8, 2019

JN: 9700.096

Micah Laack
100 Lewers Creek Rd.
Washoe Valley, NV 89704

Re: 501 Thompson Street

Carson City, NV

This letter contains the results of Lumos & Associates, Inc. (Lumos) investigation into a potential earthquake fault located at the above address in Carson City, Nevada. A vicinity map is show as Plate A-1.

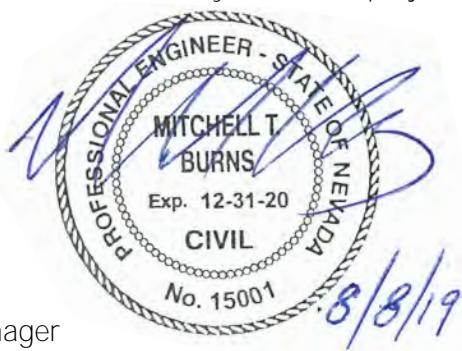
Lumos field personnel provided visual observation after the fault trench was excavated. The fault trench was orientated east west and excavated to approximately six (6) feet below existing grade. It extended west about five (5) feet into the proposed house pad location to approximately 25 to 30 feet east of the proposed house pad location (Plate A-2). The upper one (1) foot of the trench generally consisted of a lighter brown silty sand with roots in it, the remainder of the trench generally consisted of a dark brown silty sand with **roots to approximately 4'.** **Groundwater was noted in a couple** of locations at the bottom of the excavation. See Figures 1 and 2 for pictures of the fault trench and Figure 3 for a log of the fault trench.

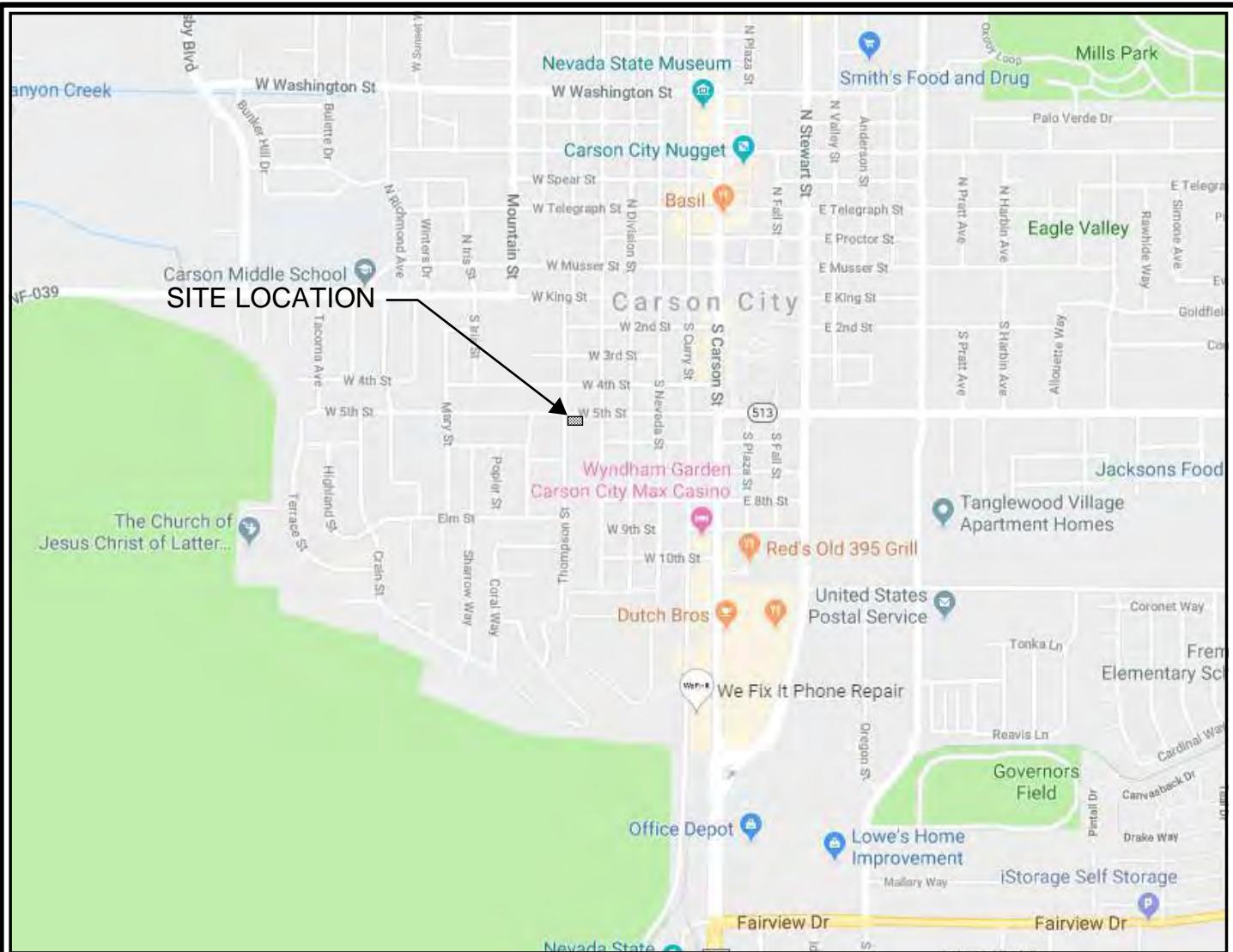
During our investigation no evidence of faulting was noted in the excavated fault trench. The Nevada Bureau of Mines and Geology Quaternary Faults in Nevada show a fault east of the site **and potentially in the "ditch" area** in the back of the property (Plate A-3). **According to the map and "Guidelines for Evaluating Potential Surface Fault Rupture/Land Subsidence Hazards in Nevada", this mapped fault is considered a "Late Quaternary Active Fault".** This is a fault that has moved within the last 130,000 years, but not during the last 10,000 years. The "ditch" area is over 25 feet from the proposed house pad location. Based on our observation of the trench sidewalls it is our opinion the location of the mapped fault is located at least 25 feet from the proposed house pad location. **According to the local building code amendments, "no critical facility shall be placed directly over the trace of a late Quaternary active fault".** However, our recommendation is to offset the proposed house pad from the mapped fault location a distance of at least 25 feet.

It has been a pleasure to be of service to you on this project. If you have any questions, please contact our office at (775) 883-7077.

Sincerely,

Mitch Burns, P.E., C.E.M.
Materials Engineering Manager
Lumos & Associates, Inc.





Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

501 Thompson St.

VICINITY MAP

Job Number: 9700.096

Date: Aug., 2019

PLATE

A-1



Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

Job Number: 9700.096

501 Thompson St.

SITE MAP

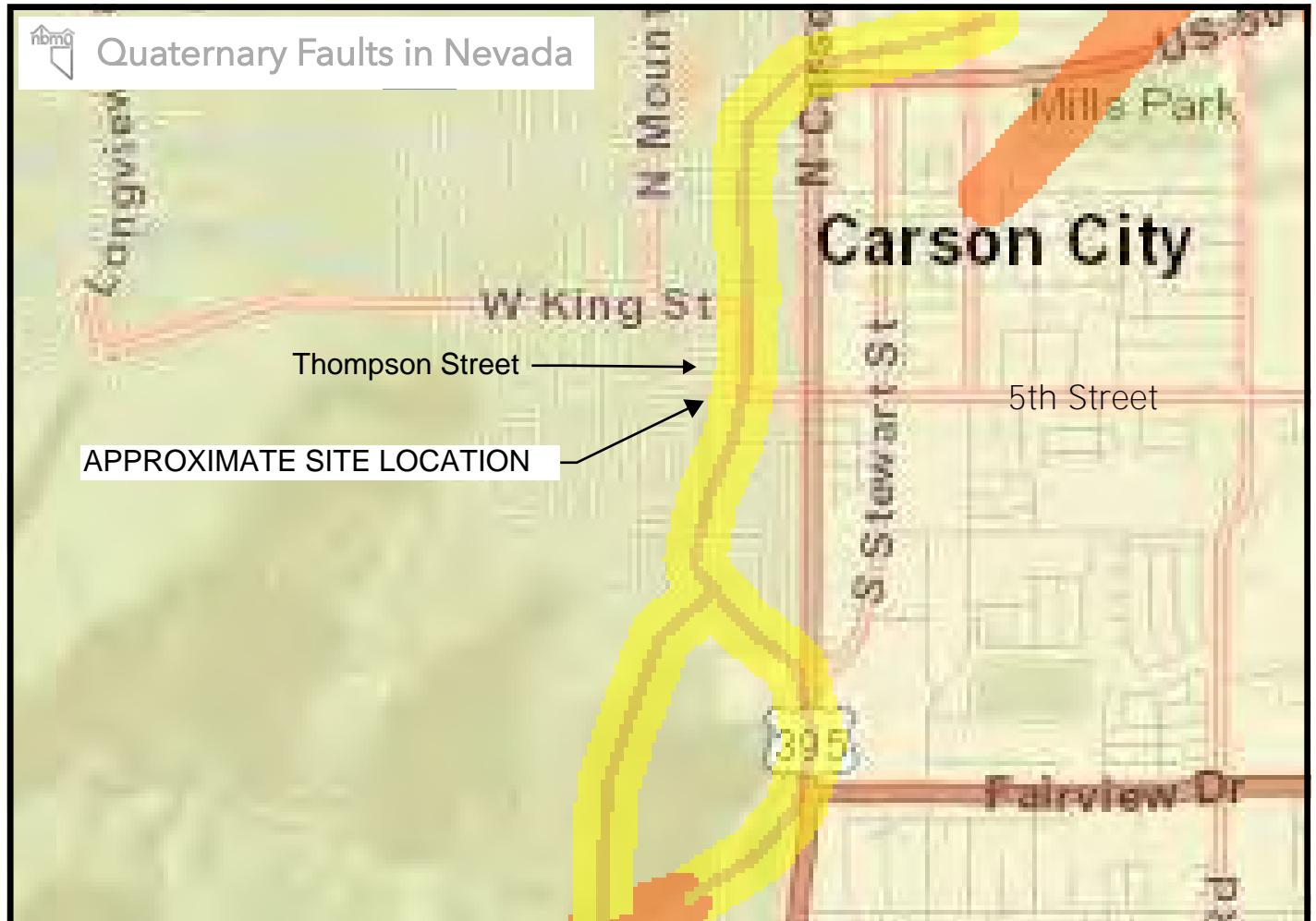
PLATE

A-2

Date: Aug., 2019



Quaternary Faults in Nevada



Legend

Quaternary Faults

Historical Ruptures

— <150 years

Quaternary Faults by Age

— <15,000 years

— <130,000 years

— <750,000 years

— <1.8 million years

— Class B faults

— Unclassified

100m Buffer

Historical Ruptures - 100m Buffer

— <15

Quaternary Faults by Age - 100m Buffer

— <15,000

— <130,000

— <750,000

— <1,800,000

— Class B faults

— Unclassified



Lumos & Associates

308 N. Curry Street Suite 200
Carson City, NV 89703
(775) 883-7077
Fax: (775) 883-7114

Job Number: 9700.096

501 Thompson St.

FAULT MAP

Date: Aug., 2019

PLATE

A-3



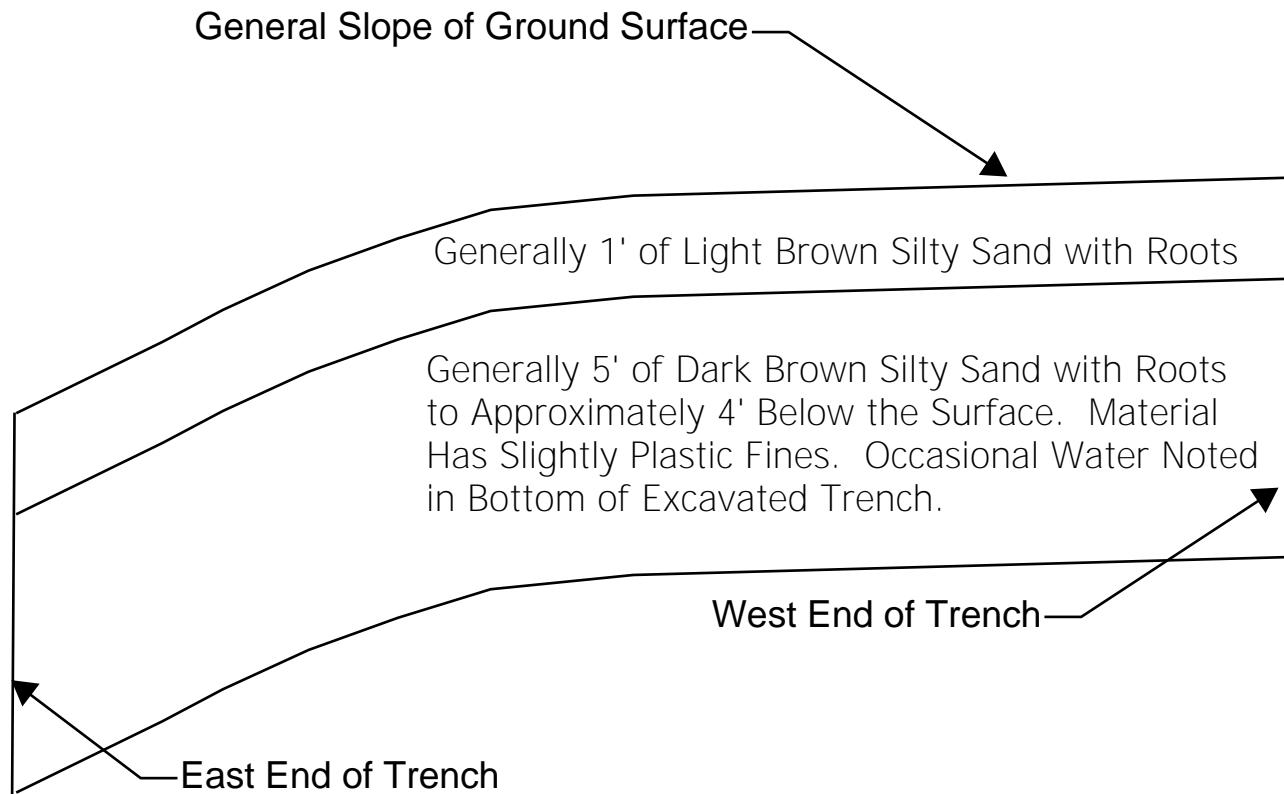
Figure 1: East end of fault trench, shows the surface going down hill. Upper 1' is lighter brown silty sand and lower 5' is dark brown silty sand with roots throughout. Middle of sidewall shows a lighter color, that is just sunlight shining through the trees.



Figure 2: West side of fault trench. Upper 1' is lighter brown silty sand and lower 5' is dark brown silty sand with roots throughout. Right side of sidewall shows a lighter color, that is just sunlight shining through the trees.

FAULT TRENCH PROFILE

Not to Scale



1. Trench Excavated Starting within the Proposed House Pad and Extended East to Approximately 25-30' Outside the Proposed House Pad.
2. No Fault Gouge or Other Notable Features Indicating the Presence of a Fault.

Glenbrook Company

March 12, 2020

MS HOPE SULLIVAN
PLANNING MANAGER
COMMUNITY DEVELOPMENT DEPARTMENT
108 E PROCTOR STREET
CARSON CITY NV 89701

Dear Hope:

Thank you for the notification concerning the Special Use Permit and Variance being requested by the owner of the vacant lot at the corner of W. Fifth and Thompson Street (APN 003-101-01). I have reviewed the elevations for the proposed duplex and would like to suggest that the design is not entirely in keeping with Carson City Development Standards.

The Standards emphasize the need to unify the community character. According to Section 1.1.1 "The architectural style, massing and proportion of a building should be compatible with and compliment its surroundings and the environmental characteristics of the community". In Section 1.1.3, dealing with Architectural Enhancements, the Standards require that "Variations of building details, form, line, color and materials shall be employed to create visual interest. Variations in wall planes, roof lines and direction are encouraged to prevent monotonous appearance in buildings" while "Large expanses of walls devoid of any articulation or embellishment shall be avoided. While the west elevation does have some character, the north side facing our Victorian office building at 504 W. Fifth Street is a little uninspiring.

Although it is not my desire to impose a lot of additional expense on the applicant, I do feel that a few extra embellishments to the elevation facing the southern edge of the Historic District are warranted especially in view of the concessions that the applicant is requesting from the City. Perhaps, when coupled with an aggressive landscaping plan along Fifth Street, these embellishments will help to break up the monotony of the north elevation which is, in part, due to the rather dramatic change in grade. Accompanying this letter is a picture of our building located directly across the road at 504 W. Fifth Street.

Thank you for the opportunity to comment.

Sincerely,

Shelly Aldean
President



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