

STAFF REPORT FOR PLANNING COMMISSION MEETING OF APRIL 29, 2020

FILE NO: LU-2020-0009

AGENDA ITEM: E.1

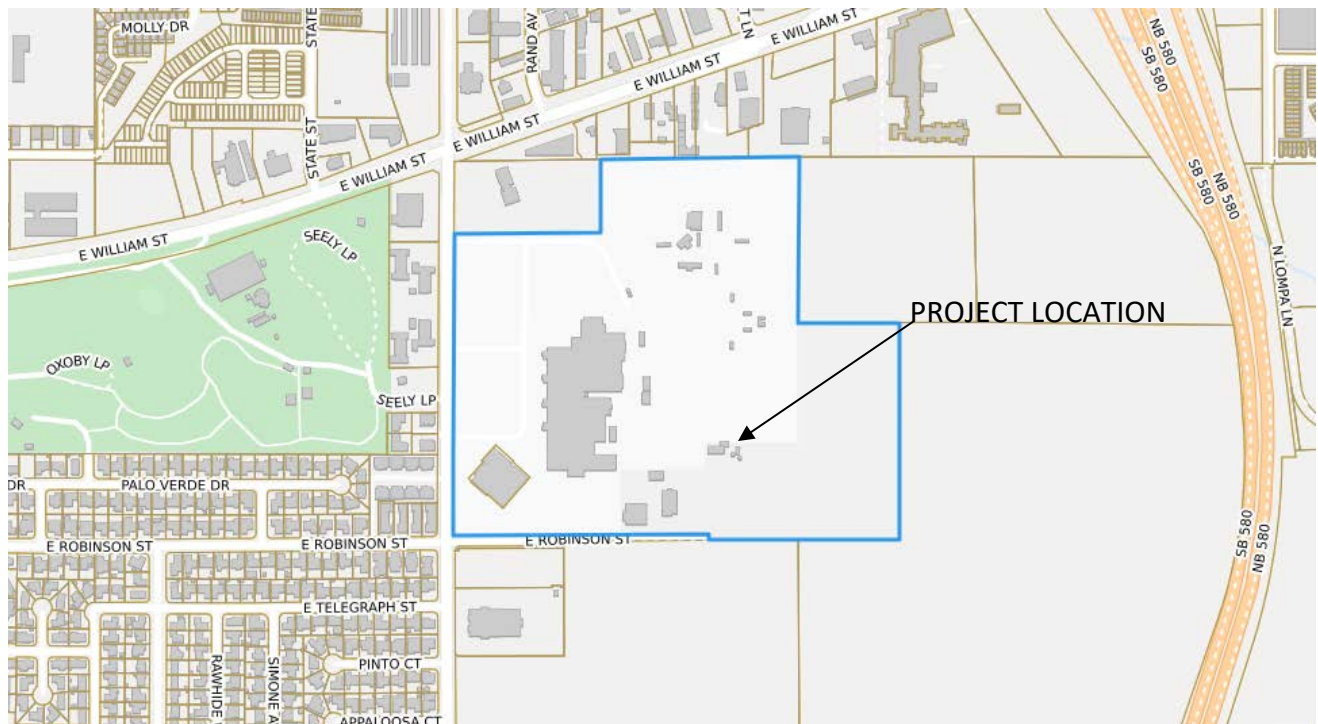
STAFF CONTACT: Heather Ferris, Associate Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request to amend a Special Use Permit (SUP-10-014) to allow for a 400 square-foot outdoor classroom and a 124 square-foot office addition to serve the existing greenhouse on property zoned Public (P), located at 1111 North Saliman Road, APN 010-041-64. (Heather Ferris, hferris@carson.org)

Summary: On March 31, 2010, the Planning Commission approved a Special Use Permit (SUP-10-014) to allow for the construction of a greenhouse at Carson High School. The proposed outdoor classroom and office additions are intended to supplement the students' outdoor learning experience and existing Greenhouse Project operation by providing additional space for classes to be held and office space for teachers. A school is a conditional use which requires a Special Use Permit in the Public zoning district (CCMC 18.04.170). The addition of the outdoor classroom and office were not included in the original Special Use Permit for the greenhouse, therefore, an amendment to the Special Use Permit is required. The Planning Commission is authorized to approve an amendment to the Special Use Permit.

PROPOSED MOTION: "I move to approve Special Use Permit LU-2020-0009, based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

Note: The base language in these conditions is the language from the conditions of approval approved on March 31, 2010 with SUP-10-014. Conditions that are code requirements have been stricken as they are required to be met and not part of the discretionary decision. Language proposed to be added appears in bold with an underline. Language proposed to be deleted appears with a strikethrough.

The following shall be completed prior to commencement of the use:
Standard Conditions of Approval per CCMC 18.02.105 (1):

1. The applicant must sign and return the Notice of Decision / conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. The applicant shall meet all the conditions of approval and commence the use (obtain and maintain a valid building permit) for which this permit is granted within twelve months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning and Community Development Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

~~Conditions required to be incorporated into the proposed development plan.~~

3. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
4. ~~All **exterior** lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent any spillover of light or glare on to adjacent properties.~~
- ~~4.5. All improvements shall conform to City standards and requirements.~~
6. ~~A Sign Permit is required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning and Community Development Division for information and standards. Development Standards, Division 4.~~
7. ~~Provide color swatches of proposed exterior colors. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color.~~
8. ~~Trash enclosures shall be designed to meet or exceed minimum size and location requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash, refuse or recycled material shall be stored in containers within its walled enclosure~~

The following shall be submitted or included as part of a building permit application:

~~9. The applicant shall obtain a building permit from the Carson City Building and Safety Division for the proposed construction.~~

~~510. The applicant shall submit a copy of the Notice of Decision / conditions of approval, signed by the applicant and owner.~~

~~614. Details of the any proposed exterior light standards must be submitted with the building permit. **All exterior lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent spillover of light or glare onto adjacent properties.**~~

~~12. Dust control measures must be employed during the construction period.~~

~~13. The applicant shall obtain a Certificate of Occupancy and/or final inspection and approval for all required improvements.~~

~~**7.14. Any domestic water laterals that do not have reduced pressure principal assembly backflow preventers must have them installed with this project.** The construction drawings must show more detailed information on the water and sewer connections, and there may be a reduced pressure assembly required, if none is on the site.~~

~~15. A completed commercial water and sewer connection fee worksheet will be required with submittal of the building permit application. The connection fees will be payable upon issuance of the building permit. Contact the Engineering Division to obtain the most current version (October 2009) of the worksheet.~~

~~16. A fire flow analysis is required with building permit submittal. Fire Department will require a fire hydrant within 250 feet and 1500 gpm minimum flow.~~

~~17. The site is identified on the FEMA flood map as being in an AE Flood Plain. All pertinent flood plain information must be submitted with the application for permit. The proposed greenhouse and restrooms and any appurtenances will comply with CCMC 12.09 Flood Protection Ordinance and will mitigate their impacts by balancing the cut and fill areas. This will create a zero net impact to the flood plain. The required vertical datum is NAVD 1988.~~

~~18. Food Regulation: Produce grown in the greenhouse will be subject to all requirements in Nevada Administrative Code (NAC) 446, regarding food establishments. A "Certified Growers Certificate" will be required to be obtained from the Nevada Department of Agriculture in order to distribute food from this site.~~

~~19. Facility requirements: The building itself will be required to adhere to all school regulation requirements as stated in the Nevada Administrative Code (NAC) 444.~~

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits); 18.04.170 (Public Zoning District); 18.04.195 (Non-Residential Districts Intensity and Dimensional Standards).

MASTER PLAN DESIGNATION: Public/Quasi-public

PRESENT ZONING: Public

KEY ISSUES: Will the proposed outdoor classroom and office have an adverse impact on the surrounding area?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: General Commercial/ retail uses
EAST: General Commercial SPA/ vacant
SOUTH: Single Family 1 Acre and Single Family 6,000 SPA/ vacant
WEST: General Commercial, Public Regional, Multifamily Apartments, and Residential Office/ retail uses, park, apartments.

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: X-shaded
2. EARTHQUAKE FAULT: Beyond 500 feet
3. SLOPE/DRAINAGE: Flat

SITE DEVELOPMENT INFORMATION:

1. LOT SIZE: 64.42 acres
2. PROPOSED STRUCTURE SIZE: 400 s.f. outdoor classroom; 144 s.f. office
3. PROPOSED STRUCTURE HEIGHT: 12 +/- feet
5. REQUIRED SETBACKS: Established with approval of the Special Use Permit
6. VARIANCES REQUESTED: None

DISCUSSION:

The subject property is zoned Public and is the site of the Carson City High School. A Special Use Permit is required prior to commencing uses within the Public zoning district. All development standards relative to the development of the use are to be established in the Special Use Permit.

On March 31, 2010 the Planning Commission approved a Special Use Permit for a Greenhouse Project at the existing high school. The greenhouse facility includes a 2,160 square foot greenhouse, restrooms, trash enclosure, and 3,050 square feet of garden. The facility is used for vocational education in horticulture as part of the high school's Career and Technical Education Program.

The applicant is seeking approval for a new outdoor classroom and office addition which will be used to supplement the existing greenhouse program. The proposed outdoor classroom will be 400 square feet and the proposed office will be 144 square feet in size. Both will be located adjacent to the existing greenhouse facility which is located in the southern portion of the Carson High School property.

As noted above, the Public zoning district (CCMC 18.04.170) requires approval of a Special Use Permit prior to commencing any use. The original Special Use Permit for the Greenhouse project did not include the proposed outdoor classroom and office, therefore, the applicant

has requested an amendment to the original Special Use Permit (SUP-10-014) to incorporate the proposed outdoor classroom and office buildings.

PUBLIC COMMENTS: Public notices were mailed to 146 property owners within 900 feet of the subject site on April 17, 2020. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on April 29, 2020 depending on the date of submission of the comments to the Planning Department.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

Engineering Division:

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all applicable municipal codes, development standards, and standard details including the following:
 - Any domestic water laterals that do not have reduced pressure principal assembly backflow preventers must have them installed with this project.

ENGINEERING DISCUSSION:

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The proposed project has a negligible impact on pedestrian and vehicle circulation.

C.C.M.C. 18.02.080 (5d) - Public Services

The project will have a negligible impact to existing sewer, water, and storm drain infrastructure.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

Project must comply with the 2018 IFC and northern Nevada fire code amendments as adopted by Carson City.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The primary uses in the Public/Quasi Public master plan designation primarily includes schools, government offices, community centers, and other similar facilities. The proposed outdoor classroom and office will enhance the existing greenhouse project which is part of Carson High School's Career and Technical Education Program; therefore, the proposed amendment to the special use permit is consistent with the master plan.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The school is existing with surrounding uses including apartments, a park, retail uses, and vacant parcels. The project is limited to the expansion of the greenhouse project to include a small outdoor classroom approximately 400 square feet in size and a 144 square foot office building. The project is limited in scope and is not anticipated to be detrimental to the use, peaceful enjoyment, economic value, or development of the surrounding properties or the general neighborhood. The project is required to be developed consistent with Carson City Development Standards.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The proposed project is a small expansion of the existing greenhouse facility. Due to the project's limited scope, there will be negligible effect on vehicular or pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The construction of an outdoor classroom and office in association with the school's greenhouse project will have little to no impact on existing public water or sewer services. The applicant is required to install reduced pressure principal assembly backflow preventers

on any domestic water laterals that do not currently have them. The project is required to meet the development standards related to storm drain runoff and will have negligible impact to the natural drainage ways that serve the area. The Fire Department currently serves this site. The building permit will be reviewed for compliance with the Carson City Fire Code, Northern Nevada amendments (2018 IFC) and the 2018 International Wildland Urban Interface Code and northern Nevada Wildland Urban Interface amendments as adopted by Carson City.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

Public uses such as schools, are a primary purpose of the Public zoning district. A school is a conditional use in the Public zoning district. As conditioned, the project will meet the definition and specific standards set forth in this title.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The proposed outdoor classroom and office is an expansion of the existing greenhouse project and will help to enhance the school's Career and Technical Education Program. The project will not be detrimental to the public health, safety, convenience and welfare. The structures will require a building permit to ensure that the buildings are constructed to current standards.

7. Will not result in material damage or prejudice to other property in the vicinity.

This is an amendment to an existing Special Use Permit for the Carson High School greenhouse facility. The project includes a 400 square foot outdoor classroom and 144 square foot office which will be located on the Carson High School Campus adjacent to the existing greenhouse. The project will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Application (LU-2020-0009)

Carson City Planning Division
 108 E. Proctor Street • Carson City NV 89701
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FILE #

FEE*: \$2,450.00 MAJOR
 \$2,200.00 MINOR (Residential zoning districts)
 + noticing fee - \$1,837.50
 *Due after application is deemed complete by staff

APPLICANT PHONE #
 Carson City Schools, Mark Johnson

MAILING ADDRESS, CITY, STATE, ZIP
 1402 W. King Street Carson City, NV 89703

EMAIL ADDRESS
 mjohnson@carson.k12.nv.us

PROPERTY OWNER PHONE #
 Carson City Schools, Mark Johnson

MAILING ADDRESS, CITY, STATE, ZIP
 1402 W. King Street Carson City, NV 89703

EMAIL ADDRESS
 mjohnson@carson.k12.nv.us

APPLICANT AGENT/REPRESENTATIVE PHONE #
 Mark Rotter, Manhard Consulting 775-887-5205

MAILING ADDRESS, CITY STATE, ZIP
 3476 Executive Pointe Way, Carson City, NV 89706

EMAIL ADDRESS
 mrotter@manhard.com

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submission Deadline: Planning Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

Project's Assessor Parcel Number(s): 010-041-64
Street Address: 1111 N Saliman Road

Project's Master Plan Designation: Public/Quasi-Public
Project's Current Zoning: Public
Nearest Major Cross Street(s): E William Street

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. A modification to the Carson High School Greenhouse Special Use Permit (SUP-10-014), which was unanimously approved by Planning Commission on March 31, 2010, to allow for a 400 square foot outdoor classroom and 124 square foot office addition in association with the existing Greenhouse.

PROPERTY OWNER'S AFFIDAVIT

I, MARK M. JOHNSON, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

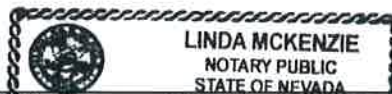
Signature: Mark M. Johnson Address: P.O. BOX 003, CARSON CITY NV 89702 Date: 3/17/2020

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA)
 COUNTY Carson City)

On March 17, 2020, Mark Johnson, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Linda M. Kenzie
 Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Malik W. Johnson

Print Name

3/17/2020

Date

CARSON HIGH SCHOOL OUTDOOR CLASSROOM & OFFICE ADDITION

SPECIAL USE PERMIT

MARCH 2020



Prepared For:



1402 West King Street Carson City, NV 89703

Prepared By:



241 Ridge Street, Suite 400 Reno, NV 89501

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APPENDICES

- SUP Application Form (includes Applicant’s Acknowledgement)
- Master Plan Policy Checklist
- Documentation of Taxes Paid-to-Date
- Project Impact Reports
- Site Plan
- Building Elevations

PROJECT LOCATION

Carson High School is located at the southeast corner of E. William Street and N. Saliman Road; APN 010-041-64. The proposed additions are located within the school's campus, adjacent to the existing greenhouse.

Figure 1: School Location

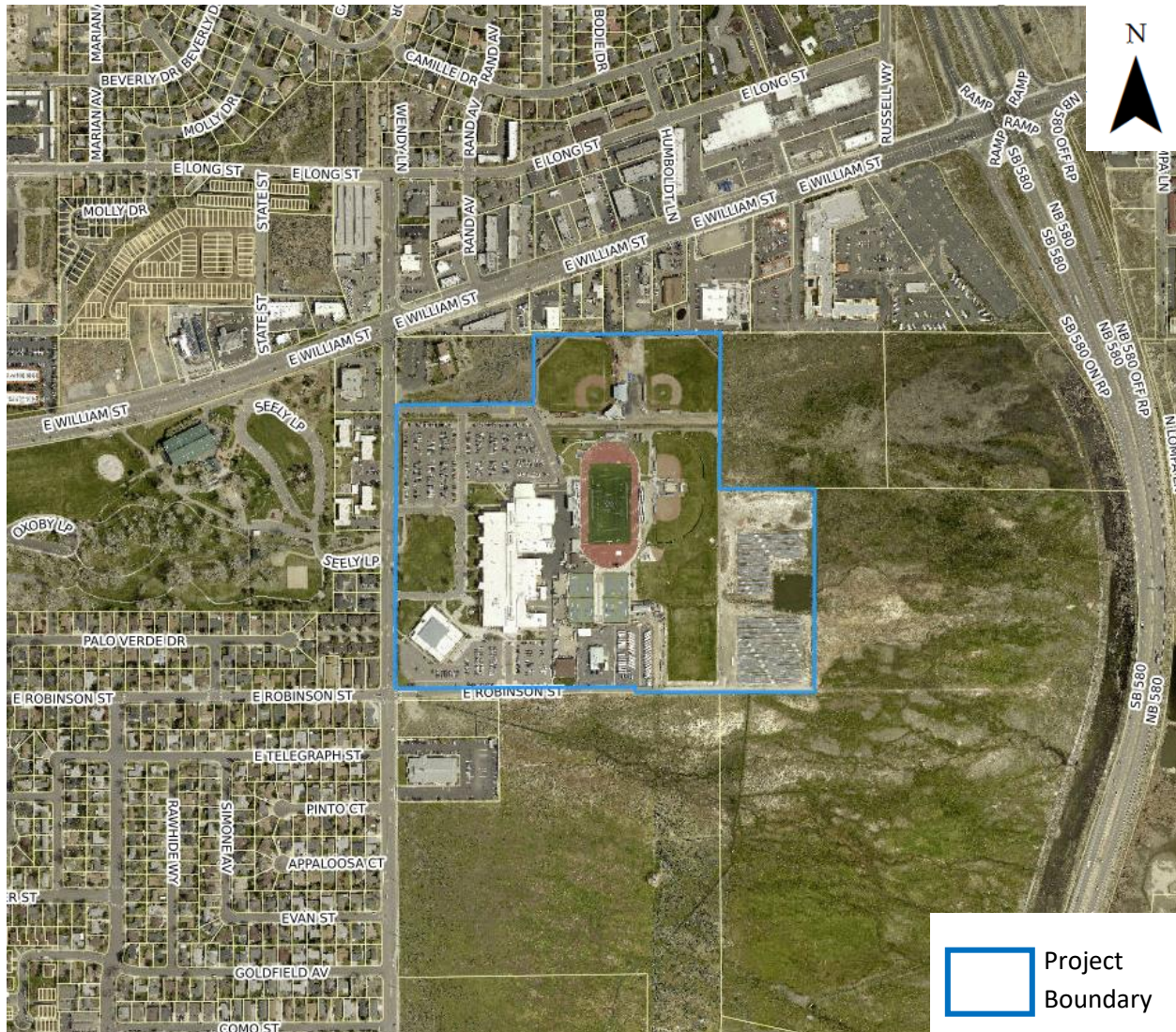
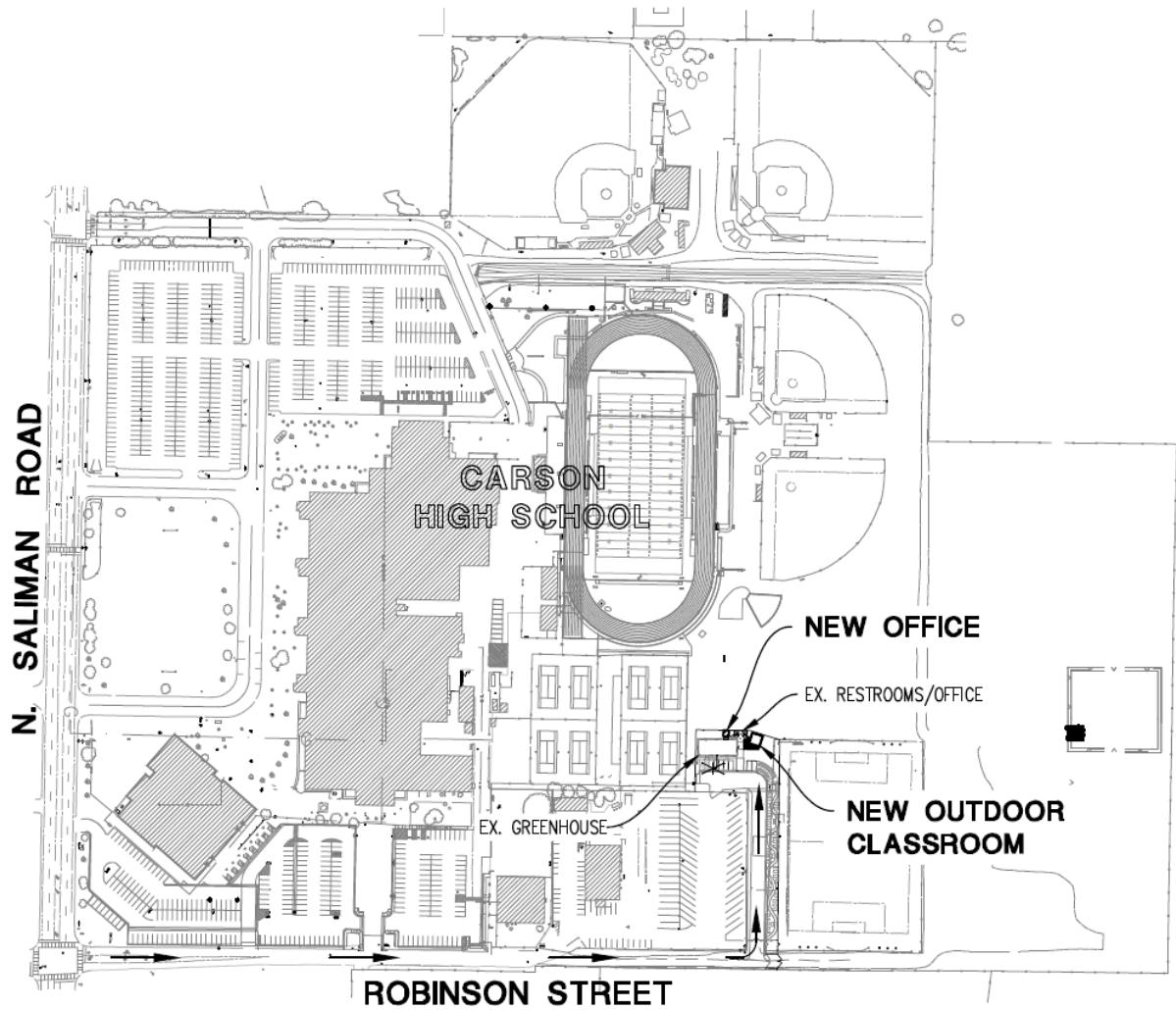


Figure 2: Project Location



EXISTING CONDITIONS

Carson High School is 306,479 sq. ft. (as of 2011) and was constructed after a bond was passed in 1970 allowing the Carson City School District to purchase the property. There are currently +/- 2,257 students attending Carson High School in grades 9 through 12, along with 151 teachers, administrators and support staff members. School hours are 7:15 a.m. to 2:30 p.m.



Figure 3: Surrounding Property Designations

Direction	Current Zoning	Master Plan	Current Land Use
North:	<ul style="list-style-type: none"> • General Commercial (GC) • General Commercial – SPA (GC-SPA) 	<ul style="list-style-type: none"> • Community/Regional Commercial • Mixed-Use Commercial 	<ul style="list-style-type: none"> • Church • Retail/Strip Mall • Restaurant • Automotive Repair
East:	<ul style="list-style-type: none"> • General Commercial – SPA (GC-SPA) 	<ul style="list-style-type: none"> • Mixed-Use Commercial • Open Space 	<ul style="list-style-type: none"> • Undeveloped
South:	<ul style="list-style-type: none"> • Single Family 6,000-SPA (SF6-SPA) • Single Family 1 Acre (SF1A) 	<ul style="list-style-type: none"> • Open Space • Medium Density Residential • Mixed-use Residential 	<ul style="list-style-type: none"> • Undeveloped • Church
West:	<ul style="list-style-type: none"> • Multi-Family Apartment (MFA) • Residential Office (RO) • Public Regional (PR) 	<ul style="list-style-type: none"> • High Density Residential • Parks and Recreation 	<ul style="list-style-type: none"> • Multi-Family Residential • Mills Park

MASTER PLAN AND ZONING DESIGNATIONS

The project site has a Master Plan designation of Public/Quasi Public and a zoning designation of Public (P). A school is a conditional use which requires a Special Use Permit in the Public zoning designation (Carson City Municipal Code Section 18.04.170). Carson High School has an existing SUP for the Greenhouse Project (SUP-10-014), which was unanimously approved by Planning Commission on March 31, 2010. This request is for a modification to the existing SUP.



Figure 4: Master Plan Designation

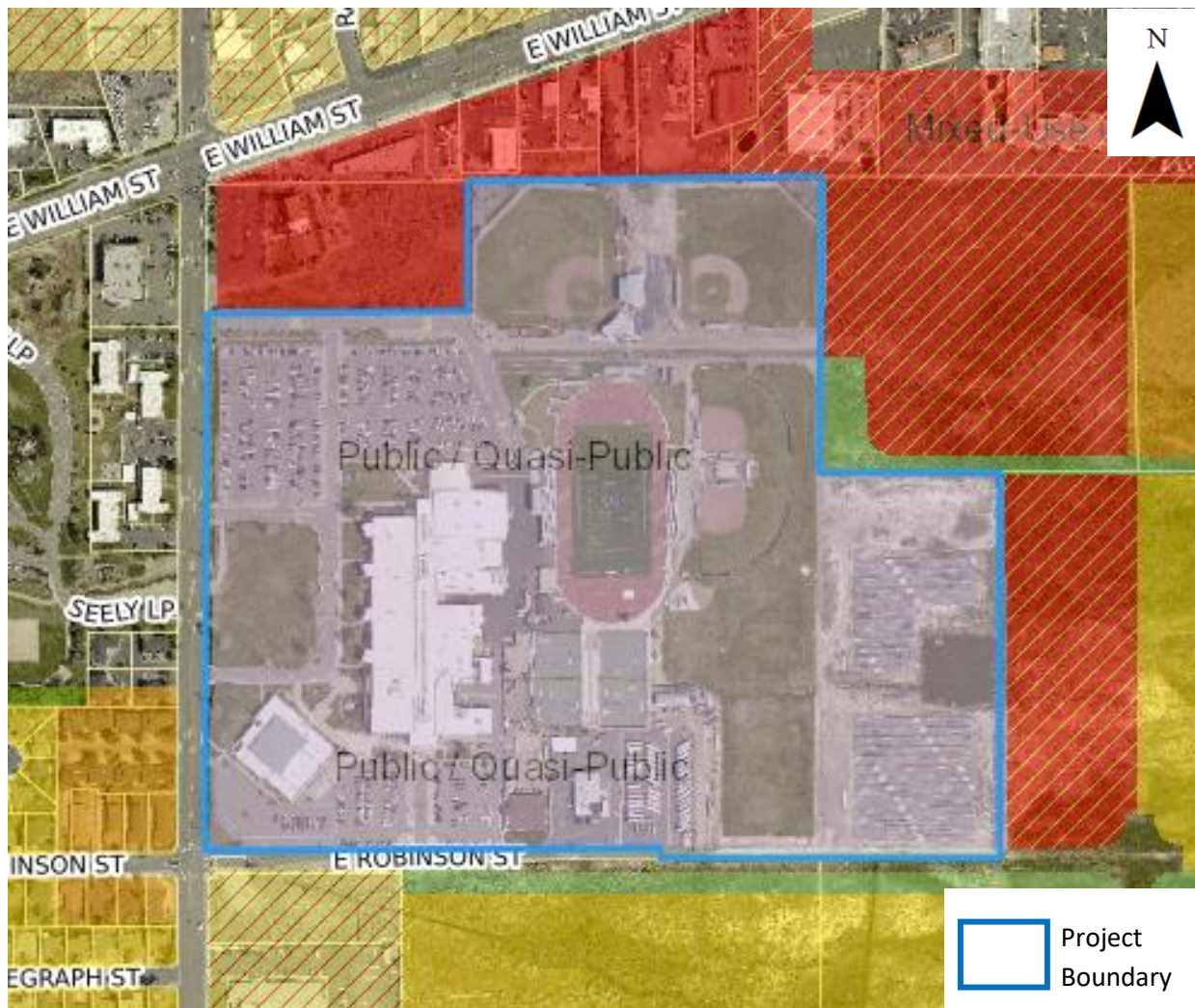
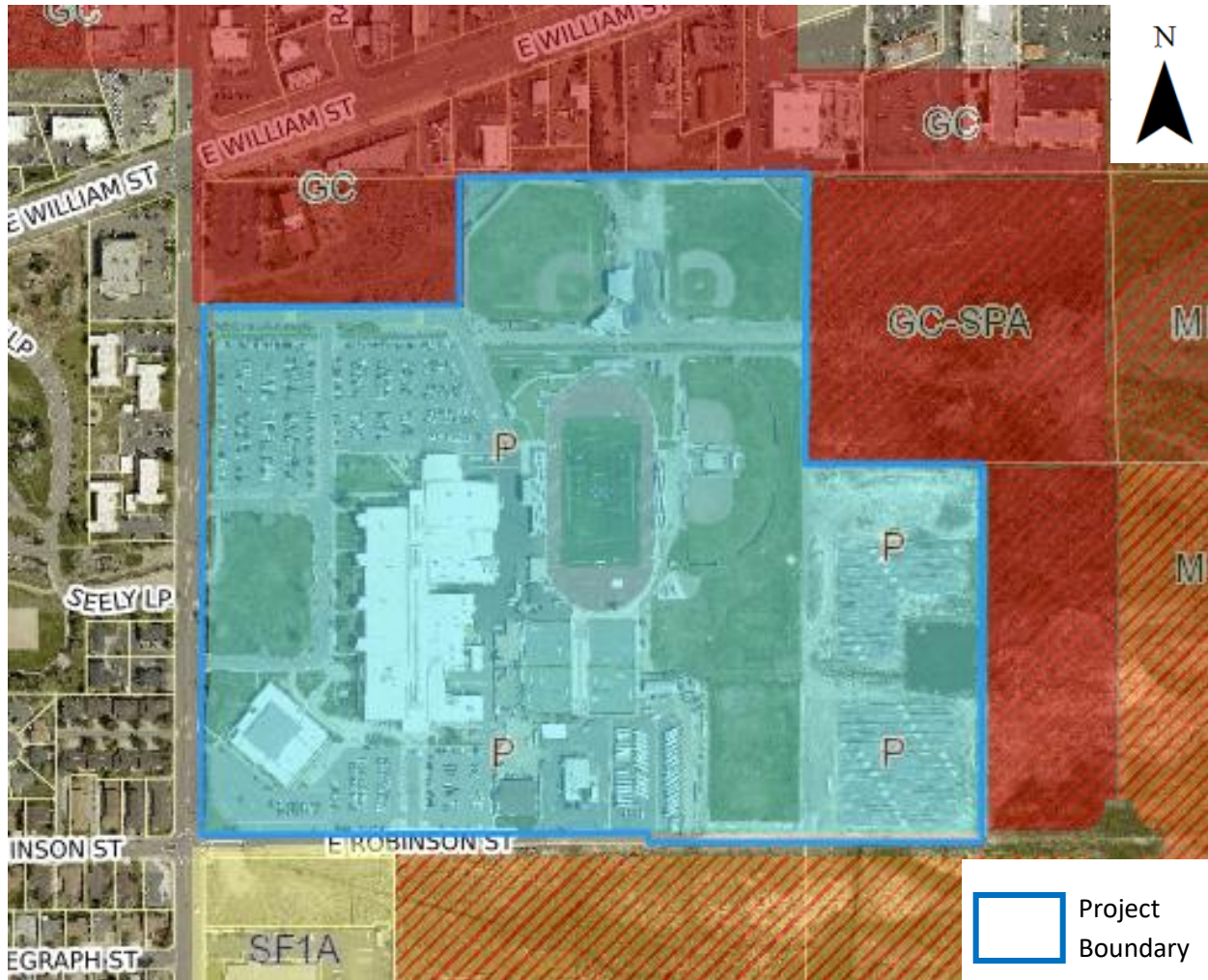


Figure 5: Zoning Designation



APPLICATION REQUEST

The enclosed application is for:

1. **SPECIAL USE PERMIT** for an outdoor classroom and office addition at Carson High School. A school is a conditional use in the Public (P) zoning designation (CCMC Section 18.04.170(3)).



PROJECT DESCRIPTION AND JUSTIFICATION

The request is for a modification to the Carson High School Greenhouse Project Special Use Permit (SUP-10-014), which was unanimously approved by Planning Commission on March 31, 2010. This modification to the SUP will allow for a 400 square foot outdoor classroom and 144 square foot office addition in association with the school's Greenhouse Project.

The existing greenhouse is part of Carson High School's Career and Technical Education (CTE) program, which has gained popularity among students and the community since its conception. The proposed outdoor classroom and office additions are intended to supplement the students outdoor learning experience and existing Greenhouse Project operation by providing additional space for classes to be held and office space for teachers. Students who participate in the Greenhouse CTE program receive a practical education in plant propagation, cultivation, harvesting, marketing and distribution. They also learn about nutrition and the rewards of civic engagement. The food produced is used in the school culinary program and local food banks. The flowers produced at the facility are sold at the Carson City Farmer's market and on campus in the student run floral shop.

The site is an infill site within the high school campus and is adjacent to the existing greenhouse. The greenhouse and outdoor classroom work together to promote water and energy conservation. The additions will not generate any additional faculty members or students, and will not have an impact on existing parking, traffic, or utilities. The outdoor classroom and office addition do not require water or sewer fixtures, and this project will use solar power, to promote energy conservation.

Please note that the site plan, building elevations, and floor plans may change slightly due to final design.



Figure 6: Site Plan

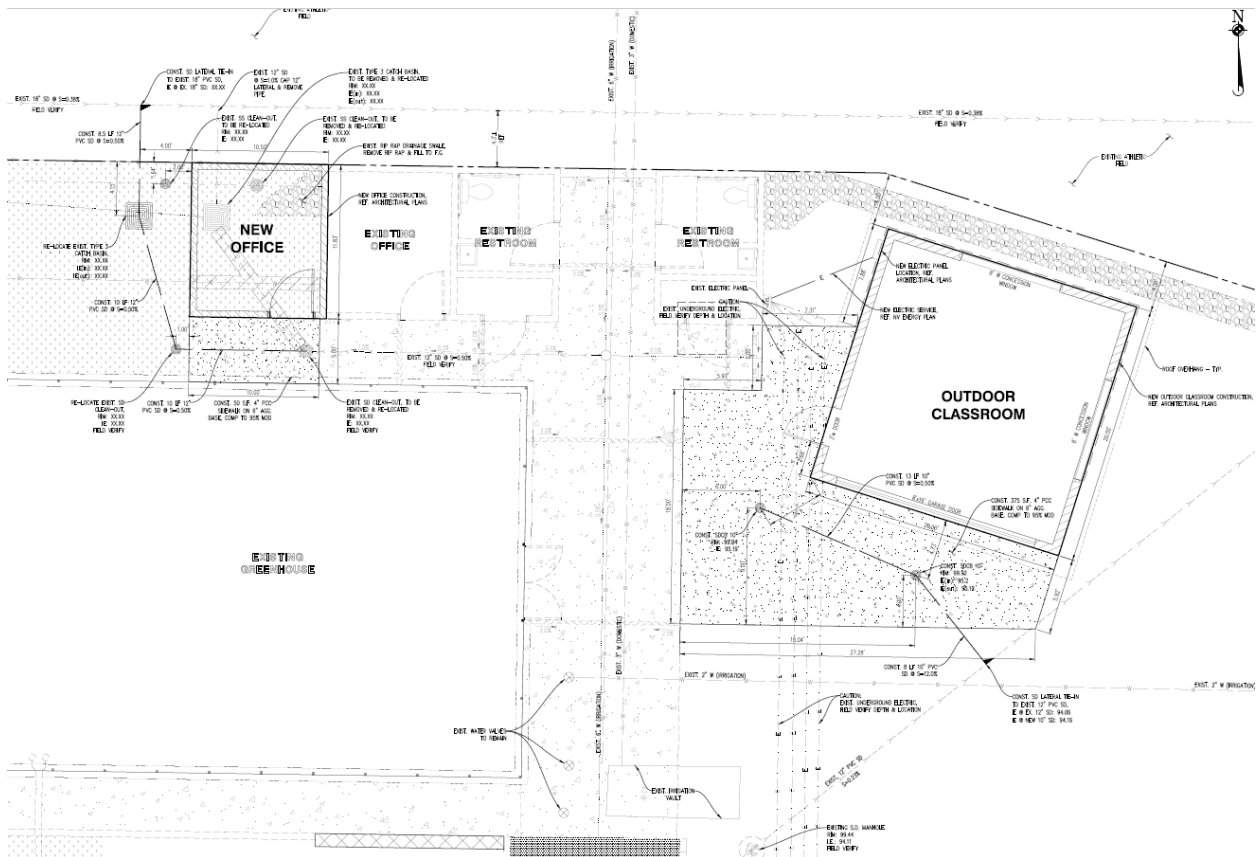
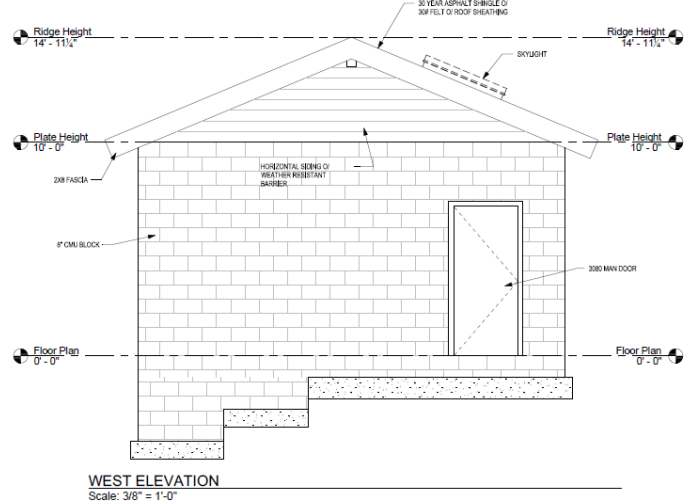
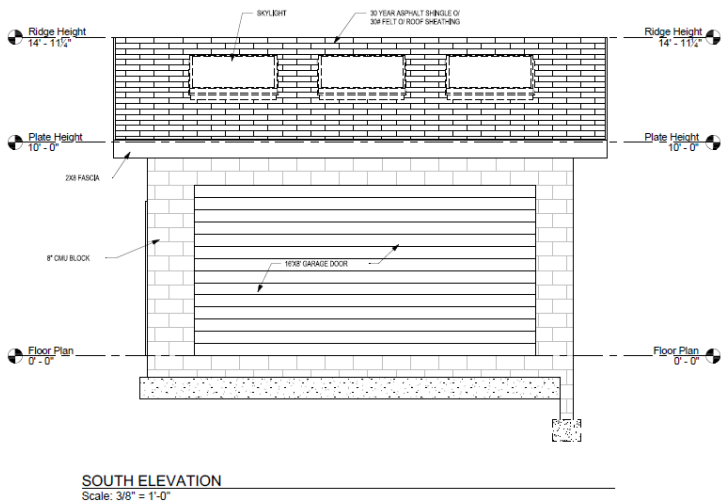
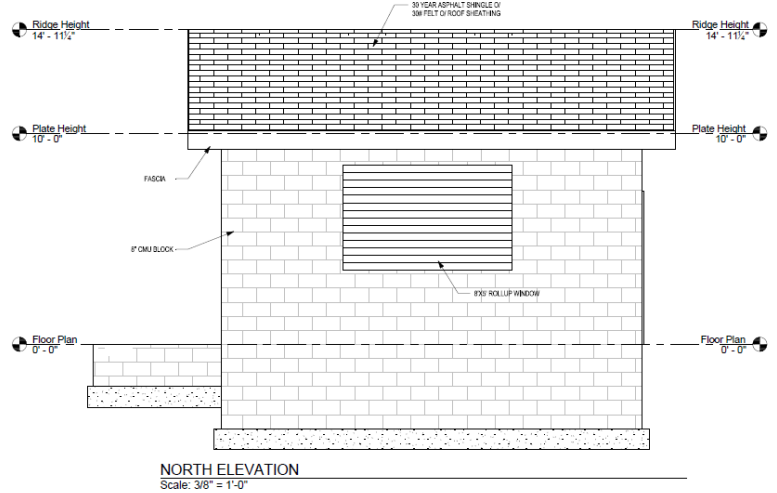
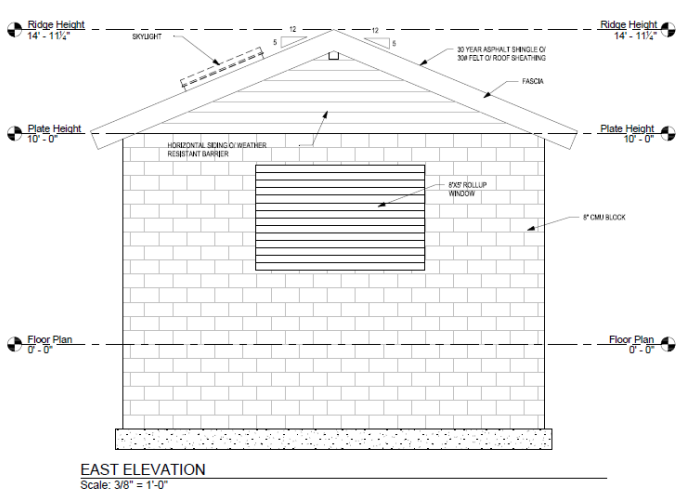


Figure 7: Building Elevations



Development Standards

The proposed additions will not impact existing setbacks because the additions are located within the High School campus, adjacent to the existing greenhouse. A vicinity map is provided in figure 2.

The Carson City Municipal Code does not set development standards in the Public zoning district (Section 18.04.195). Building height, building setbacks, minimum area, and maximum lot depth are determined by special use permit. The following development standards are based on the existing greenhouse structure constructed at the school site:

Building Height:..... +/- 15 ft. (as measured from the ridgeline of the roof)

Building Setbacks:

Front: +/- 1,200 ft. (existing building setback from N. Saliman Road)

Side: +/- 1,300 ft. (proposed setback to addition area)

Street Side:..... +/- 400 ft. (proposed setback to addition area)

Rear:..... +/- 800 ft. (proposed setback from addition area to rear property line)

Lot Area:..... 64.42 acres (existing parcel size)

Maximum Lot Depth: +/- 2,010 ft. (deepest parcel of the parcel)

Parking

The proposed project will not generate any additional faculty members or students and will not have an additional impact on parking. Staff and visitor parking is provided in three parking areas located along the west side of the school site along N. Saliman Road, and to the south along E. Robinson Street. The three parking lots include +/-793 off-street spaces. There are 6 additional off-street parking spaces adjacent to the existing greenhouse. and a drop off/pick up area also at the front of the school. Carson City Municipal Code requires “2 spaces for every 3 employees or faculty members plus 1 space for every 4 students” (CCMC Appendix Division 2, 2.2).

Landscaping

The additions do not propose additional landscaping and will not have an impact on existing landscaping. Public uses are required to comply with Division 3, Landscaping, of the Carson City Municipal Code. The existing Greenhouse Project includes a large amount of outdoor garden plots as part of its operation.

Utilities (Please see detailed Project Impact Statements included with this application)

Water- The proposed building additions for the Greenhouse Project consist of one 400 square foot outdoor classroom building and one 144 square foot office room. There are no planned additional sinks, toilets, hose bibb faucets, or fire hydrants. There will be no increase in water demand based on fixture units and therefore no increase in water demand.



Sewer- The new building additions are located east and west of the existing office room and restrooms. The proposed building additions do not require an increase in sewer fixtures therefore there is no increase in sewer flow.

Drainage- The new building additions are located east and west of the existing office room and restrooms. The additional drainage generated by the outdoor classroom building and office room will be mitigated by the existing drainage patterns. We do not anticipate any new site retention/detention as part of the proposed buildings.

FINDINGS

In accordance with Carson City Municipal Code Section 18.02.080, this project has been designed to consider the following:

Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

The addition of an outdoor classroom and office at Carson High School is consistent with the objectives of the Carson City Master Plan elements because it improves an existing public facility. The Master Plan Policy Checklist is included in this application package with additional information.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

The school use is existing in this location. The surrounding neighborhood is comprised of Multi-Family Residential, Residential Office uses, churches, Mills Park, General Commercial uses and undeveloped Single-Family Residential parcels. The project will not have additional impact or be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood.

Any outdoor lighting installed on the exterior of the building will be shielded from neighboring property through height, placement, and wattage. Outdoor lighting will be indicated on improvement plans.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The project will not have additional impact on the existing street network, sidewalks, or parking.



4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

As demonstrated in the Project Impact Reports, the project will not contribute to or overburden existing public services and facilities. The project is not expected to contribute any additional vehicular trips per day. Comments will be incorporated as appropriate in Improvement Plans to ensure that the facility does not overburden existing public services and facilities.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The addition of an outdoor classroom and office at Carson High School, part of the Carson City School District, meets the definition of a school as “an institution of learning which offers instruction in the several branches of learning required to be taught in public and private schools of the state of Nevada” (CCMC Section 18.03.010). A school is a conditional use in Public (P) zoning designation (CCMC Section 18.04.170(3)). The school use is existing in this location and the facility will be improved through this project.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Expanding the existing school facility will benefit the public health, safety, and welfare by providing an upgraded facility to Carson City School District students.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

The school is an existing use in the neighborhood. The improvements to the facilities will not result in material damage or prejudice to other property in the vicinity.

MASTER PLAN POLICY CHECKLIST

The purpose of the Master Plan Policy Checklist is to provide a list of answers that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to this SUP application. This project complies with the Master Plan and accomplishes the following objectives:

Chapter 3: A Balanced Land Use Pattern

1. N/A- the additions do not represent a level of growth. However, the location of the school is consistent with the Master Plan Land Use Map in location and density. (1.1a)
2. It promotes growth within areas already served by community water and wastewater facilities as it is already served by existing infrastructure. (1.1b)
3. It meets the provisions of the Growth Management Ordinance. (1.1d, Municipal Code 18.12)
4. The school facility is adequately served by city services including fire and sheriff services, and, as part of the School District, will serve to ensure adequate provision of schools in Carson City. (1.5d)



5. The existing school provides for a mix of uses in the neighborhood. (2.1a)
6. Friction Zones are not created. (2.1d)
7. The existing school facility is not located on a hillside. (3.2a)
8. Mitigation measures will be incorporated regarding floodplain development; the site is situated away from geologic hazards area. (3.3d,e)
9. Does not create land use conflicts; the existing school facility is situated in a neighborhood with single family residential and multi-family residential (duplexes).

Chapter 4: Equitable Distribution of Recreational Opportunities

1. The school facility does not create demand for new park facilities; the school provides additional recreational opportunities in the playground area. (4.1b)

Chapter 5: Economic Vitality

1. The school facility provides educational opportunities for the development and/or upgrade of skills required for employment, advancement, and entrepreneurship. (5.1e)
2. The school is a public service and facility necessary to sustain a high quality of life and attract business investment. (5.5e)
3. The school is an existing educational resource of the community that can be used as an economic development tool. (5.5g)

Chapter 6: Livable Neighborhoods and Activity Centers

1. Durable materials will be used in construction. (6.1a)
2. The project will promote variety and visual interest through the incorporation of building styles and colors, and other features in accordance with the Special Use Permit (6.1b).
3. The project will provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards. (6.1c)
4. It provides appropriate height, density, and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill project in accordance with the Carson City Municipal Code. (6.2a, 9.3b, 9.4a)
5. The proposed project is compatible with the surrounding development on the high school campus. (9.1a)
6. The proposed project is not spot zoned. It is higher density residential development among other areas of residential and commercial development and is compatible with existing development.

Chapter 7 A Connected City

1. Sidewalks are already constructed around the school and through the parking areas. Sidewalks connecting the entrance with the surrounding neighborhood. (12.1a, 12.1c)





CARSON CITY, NEVADA
 CONSOLIDATED MUNICIPALITY AND STATE CAPITAL
 DEVELOPMENT SERVICES

★ CLERK ★
FILED
 Time 11:40 AM

APR 16 2010

By *[Signature]*
 Deputy
 Carson City, Nevada

**PLANNING COMMISSION
 MARCH 31, 2010**

NOTICE OF DECISION

A request to review a Special Use Permit, SUP-10-014, was received from Manhard Consulting (property owner: Carson City School District) to allow a greenhouse at Carson High School on property zoned Public (P)/Agriculture (A), located at 1111 North Saliman, APN 010-041-64, pursuant to the requirements of the Carson City Municipal Code.

The Planning Commission conducted a public hearing on March 31, 2010, in conformance with City and State legal requirements, and approved SUP-10-014 to allow a greenhouse at Carson High School on property zoned Public/Agriculture, based on the findings contained in the staff report and subject to the following conditions of approval:

CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision / conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. The applicant shall meet all the conditions of approval and commence the use (obtain and maintain a valid building permit) for which this permit is granted within twelve months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning and Community Development Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

PLANNING DIVISION • 2621 Northgate Lane, Suite 62 • Carson City, Nevada 89706
 Phone: (775) 887-2180 Fax: (775) 887-2278 E-mail: plandiv@ci.carson-city.nv.us

Conditions required to be incorporated into the proposed development plan.

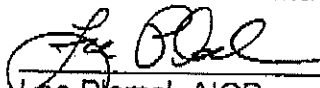
3. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
4. All lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent any spillover of light or glare on to adjacent properties.
5. All improvements shall conform to City standards and requirements.
6. A Sign Permit is required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning and Community Development Division for information and standards. Development Standards, Division 4
7. Provide color swatches of proposed exterior colors. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color.
8. Trash enclosures shall be designed to meet or exceed minimum size and location requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash, refuse or recycled material shall be stored in containers within its walled enclosure

The following shall be submitted or included as part of a building permit application:

9. The applicant shall obtain a building permit from the Carson City Building and Safety Division for the proposed construction.
10. The applicant shall submit a copy of the Notice of Decision / conditions of approval, signed by the applicant and owner.
11. Details of the proposed light standards must be submitted with the building permit.
12. Dust control measures must be employed during the construction period.
13. The applicant shall obtain a Certificate of Occupancy and/or final inspection and approval for all required improvements.

14. The construction drawings must show more detailed information on the water and sewer connections, and there may be a reduced pressure assembly required, if none is on the site.
15. A completed commercial water and sewer connection fee worksheet will be required with submittal of the building permit application. The connection fees will be payable upon issuance of the building permit. Contact the Engineering Division to obtain the most current version (October 2009) of the worksheet.
16. A fire flow analysis is required with building permit submittal. Fire Department will require a fire hydrant within 250 feet and 1500 gpm minimum flow.
17. The site is identified on the FEMA flood map as being in an AE Flood Plain. All pertinent flood plain information must be submitted with the application for permit. The proposed greenhouse and restrooms and any appurtenances will comply with CCMC 12.09 Flood Protection Ordinance and will mitigate their impacts by balancing the cut and fill areas. This will create a zero net impact to the flood plain. The required vertical datum is NAVD 1988.
18. Food Regulation: Produce grown in the greenhouse will be subject to all requirements in Nevada Administrative Code (NAC) 446, regarding food establishments. A "Certified Growers Certificate" will be required to be obtained from the Nevada Department of Agriculture in order to distribute food from this site.
19. Facility requirements: The building itself will be required to adhere to all school regulation requirements as stated in the Nevada Administrative Code (NAC) 444.

This decision was made on a vote of 6 ayes, 0 nays, 1 absent.



Lee Plemel, AICP
Planning Division Director

LP:jmb

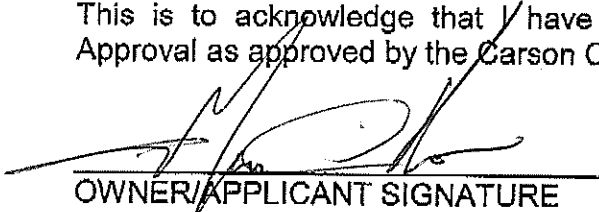
Mailed by: 4/16/10

By: RMT

SUP-10-014
Notice of Decision
March 31, 2010
Page 4

**PLEASE SIGN AND RETURN THIS NOTICE OF DECISION WITHIN
TEN DAYS OF RECEIPT**

This is to acknowledge that I have read and will comply with the Conditions of Approval as approved by the Carson City Planning Commission.


OWNER/APPLICANT SIGNATURE

4/22/10
DATE

MARK A. ROTTER
PLEASE PRINT YOUR NAME HERE

RETURN TO:

Planning Division
2621 Northgate Lane, Suite 62, Carson City, NV 89706

- Enclosures:
1. Planning Commission Notice of Decision (2 copies)-Please sign and return only one. The second one is for your records.
 2. Self-addressed stamped envelope

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- N/A Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- N/A Located in a priority infill development area (1.2a)?
- N/A Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- N/A Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- N/A At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- N/A In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- N/A Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- N/A If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- N/A Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- N/A Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- N/A Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- N/A Encourage the development of regional retail centers (5.2a)
- N/A Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- N/A Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- N/A Promote revitalization of the Downtown core (5.6a)?
- N/A Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- N/A If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- N/A If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- N/A Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- N/A Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- N/A Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- N/A Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Documentation of Property Taxes

APN 010-041-30 owned by the Carson City School District and are exempt from property taxes pursuant to NRS 361.065, "Property of school districts and charter schools exempted. All lots, buildings and other school property owned by any legally created school district, the Achievement School District or a charter school within the State and devoted to public school purposes are exempt from taxation."

The Carson High School Greenhouse Project is located within the limits of Carson City water system. The Greenhouse project is located east of the high school adjacent to the baseball fields, north of the solar array. There is a water main at the entrance to the existing Greenhouse that provides fire protection and domestic service to the existing restroom facilities.

Project Impact Report – Water

The proposed building additions for the Greenhouse Project consist of one 400 square foot outdoor classroom building and one 144 square foot office room. There are no planned additional sinks, toilets, hose bibb faucets, or fire hydrants.

There will be no increase in water demand based on fixture units and therefore no increase in water demand. There will be no change in the required fire flow demand because the building type is the same as the existing structures and the square footage increase is minimal with the addition of the outdoor classroom and office space.

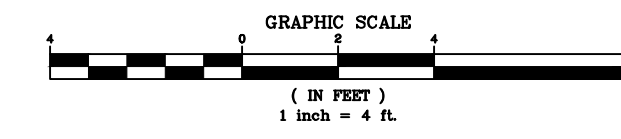
Project Impact Report – Sewer

The new building additions are located east and west of the existing office room and restrooms. The proposed building additions do not require an increase in sewer fixtures therefore there is no increase in sewer flow.

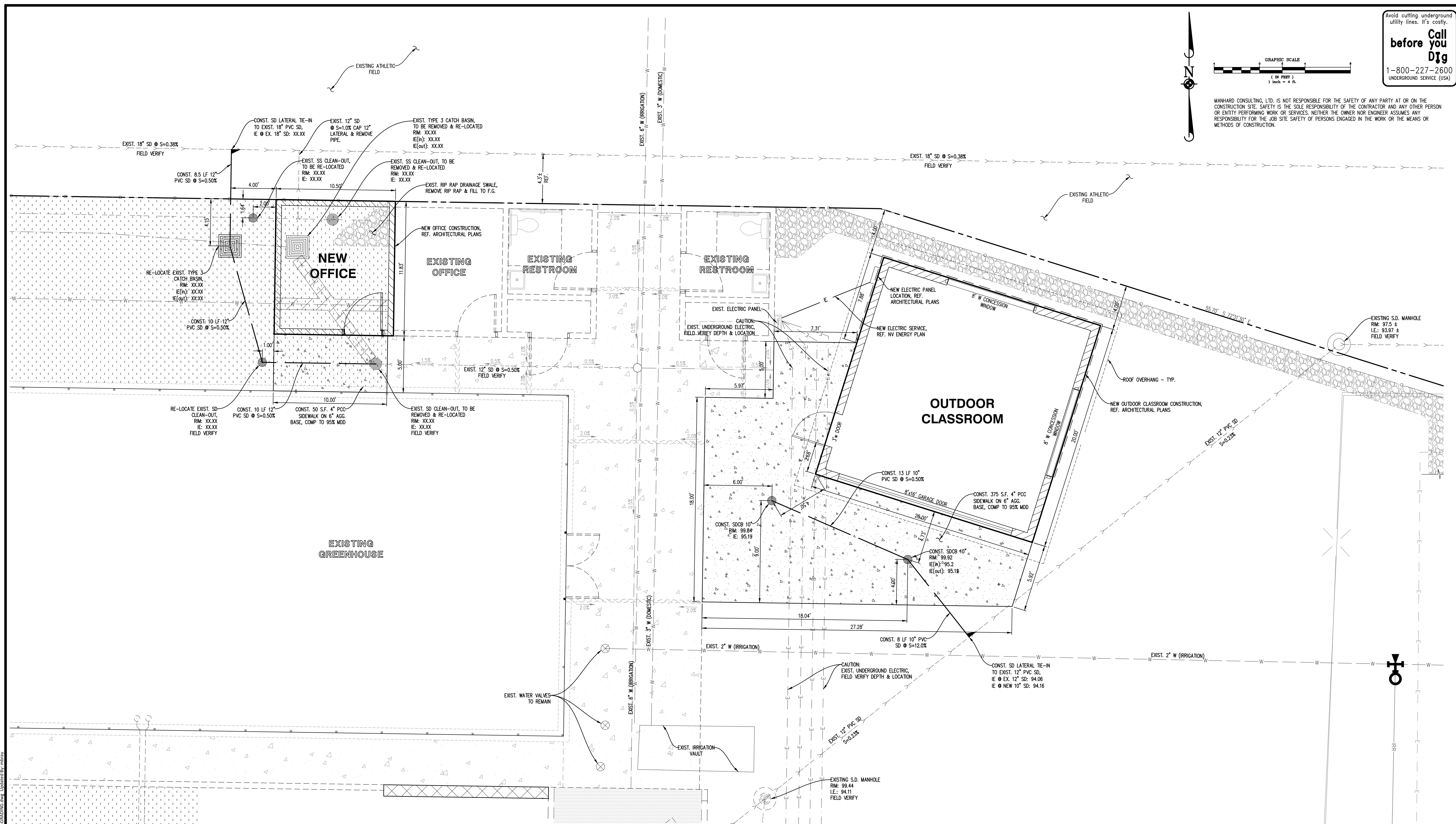
Project Impact Report – Drainage

The new building additions are located east and west of the existing office room and restrooms. The additional drainage generated by the outdoor classroom building and office room will be mitigated by the existing drainage patterns. We do not anticipate any new site retention/detention as part of the proposed buildings.

Avoid cutting underground utility lines. It's costly.
Call you DTg
 1-800-227-2600
 UNDERGROUND SERVICE (USA)



MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.



- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (ORANGE BOOK) SPONSORED BY CARSON CITY, DOUGLAS COUNTY, CITY OF FALLON, LANDER COUNTY, LYON COUNTY, NYE COUNTY, CITY OF RENO, CITY OF SPARKS, WASHOE COUNTY, AND CITY OF YERINGTON.
 - DETAILS NOT SHOWN ON THESE DRAWINGS SHALL BE CONTAINED IN THE BOOK OF "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" SPONSORED BY CARSON CITY, DOUGLAS COUNTY, CITY OF FALLON, LANDER COUNTY, LYON COUNTY, NYE COUNTY, CITY OF RENO, CITY OF SPARKS, WASHOE COUNTY AND CITY OF YERINGTON, OR THE LATEST VERSION OF THE CARSON CITY STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF NEVADA AIR POLLUTION CONTROL REGULATIONS. THE CONTRACTOR SHALL MAINTAIN AN ONGOING DUST CONTROL PROGRAM USING THE APPLICATION OF WATER AND/OR DUST PALLIATIVE.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE PLANS AND THE CONDITIONS EXISTING IN THE FIELD.
 - SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
 - ANY AND ALL CHANGES IN CONSTRUCTION, CONSTRUCTION METHODS, CONSTRUCTION MATERIALS, ETC. MUST BE APPROVED BY THE DESIGN ENGINEER, CARSON CITY, AND THE OWNER PRIOR TO COMMENCING THE CHANGES.
 - IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF PROPER SHORING OF TRENCHES IN ACCORDANCE WITH OCCUPATIONAL SAFETY LAWS.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION. PRIOR TO BEGINNING CONSTRUCTION, SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 - CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF MATERIAL SPILLED IN EXISTING ROADWAYS OUTSIDE THE CONSTRUCTION LIMITS ON A DAILY BASIS.
 - CONTRACTOR SHALL RESTORE ALL EXISTING SURFACE IMPROVEMENTS, WHICH ARE TO REMAIN, TO A CONDITION EQUAL TO OR BETTER THAN THE ORIGINAL CONDITION.
 - ALL CONCRETE FLAT WORK SHALL BE CONSTRUCTED PER THE STRUCTURAL SECTION AND SPECIFICATIONS PROVIDED IN DETAILS C-5.2.1 AND C-5.2.2.
 - ALL SITE GRADINGS SHALL CONFORM TO THE IBC.
 - AN AIR QUALITY PERMIT AND STORM WATER DISCHARGE PERMIT SHALL BE OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.
 - IF ANY DAMAGE TO EXISTING ROADS IS CAUSED BY THE TRANSPORTING OF CONSTRUCTION EQUIPMENT OR MATERIALS, THE CONTRACTOR SHALL REPAIR THE ROADS TO THEIR PRIOR CONDITION UPON NOTIFICATION IN WRITING BY THE CARSON CITY ENGINEERING DEPARTMENT.

DATE	
REVISIONS	
DRAWN BY	CHECK BY

Manhard CONSULTING
 3478 Executive Pointe Way, Suite 12, Carson City, NV 89709 tel: (775) 882-2630 fax: (775) 882-7282 manhard.com
 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
 Construction Managers | Environmental Scientists | Landscape Architects | Planners

OUTDOOR CLASSROOM & OFFICE ADDITION
CARSON CITY, NEVADA
SITE / UTILITY PLAN

PROJ. MGR:	MR
PROJ. ASSOC.:	BRW
DRAWN BY:	MB
DATE:	01.14.2020
SCALE:	1" = 4'

SHEET
C1

PRELIMINARY

March 12, 2020 - 15:24 Draw Name: P:\CarsonCity\New\EX\2019-OUTDOOR-CLASSROOM\02-03-SITE-GRADING.dwg Updated by: mbezy

