

STAFF REPORT FOR PLANNING COMMISSION MEETING OF JUNE 24, 2020

FILE NO: LU-2020-0016

AGENDA ITEM: E.3

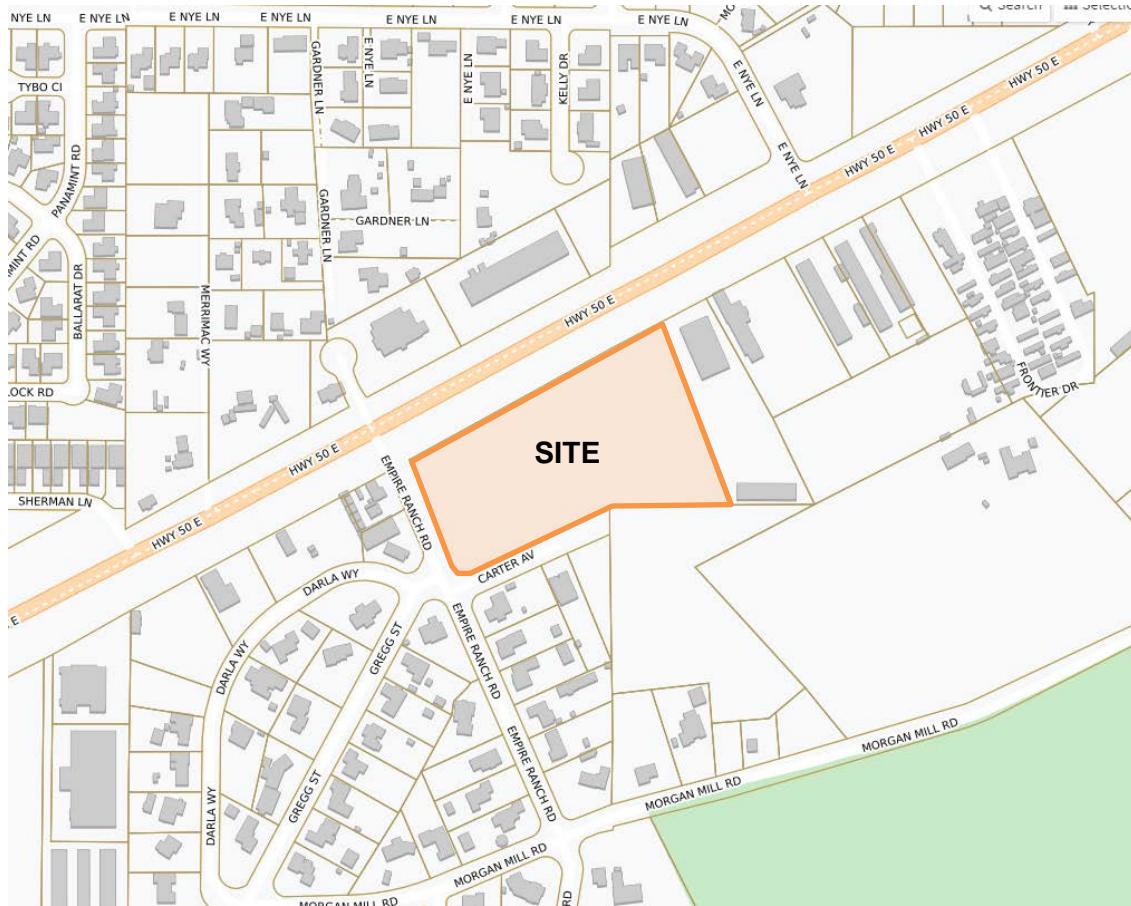
STAFF CONTACT: Heather Ferris, Associate Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for a Special Use Permit for RV and Boat Storage on properties zoned General Commercial, General Industrial, and Single Family 21,000 square feet, located at 4619, 4639, and 4719 Hwy 50 E, and 2477 Empire Ranch Road, APNs 008-283-01, 008-283-02, 008-294-01, and 008-371-01. (Heather Ferris, h ferris@carson.org)

STAFF SUMMARY: The applicant is proposing to construct an RV and Boat Storage facility on the 7.36 +/- acre project site. The applicant proposes a 900 square foot office building; 98 enclosed storage spaces along the north, west, and south of the project site; 77 covered storage spaces at the interior of the site; 36 uncovered spaces located along the eastern portion of the site; and a dump station, potable water station, and propane fill station. The property has three zoning districts. Given that the use is allowed in two of the three zoning districts, a Special Use Permit is required per Carson City Municipal Code 18.04.020.6.d. The Planning Commission is authorized to approve a Special Use Permit.

RECOMMENDED MOTION: "I move to approve LU-2020-0016 based on findings and subject to conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one year extension of time may be requested in writing to the Planning Division thirty days prior to the one year expiration date. Should this permit not be initiated (obtain a Building Permit) within one year and no extension granted, the permit shall become null and void.
5. Hours of operation shall be limited to the hours of 7 a.m. to 7 p.m. daily.
6. The USGS Earthquake Fault Map shows an earthquake fault line that runs through the site. A geotechnical report must be submitted with the building or engineering permit application. The report must give the location of the fault and any necessary design considerations including minimum setbacks.
7. A multi-use path must be installed along Highway 50 East.
8. Right-of-way along Empire Ranch Road must be dedicated to the City as shown in the application.
9. The project must meet Carson City Development Standards and Standard Details including but not limited to the following:
 - a. The water main must be extended along the Highway 50 East frontage.
 - b. The sewer main must be extended along the project frontage in Carter Avenue.
 - c. Backflow preventers are required at the property line and on-site mains will be privately owned and maintained.
 - d. Water main extensions will meet the minimum pipe diameter of 8 inches.
 - e. Hydrant flow test results must be provided to confirm that the water supply can meet the flow and pressure demand for fire flow.
 - f. A technical drainage study must be provided to properly size the detention pond.
 - g. Half street improvements must be installed along the Empire Ranch Road and Carter Avenue frontages, including curb, gutter, sidewalk, and any paving necessary to meet the standard width. This will include width for bike lanes along the Empire Ranch Road frontage.
 - h. Lighting must be installed where the entrance crosses the multiuse path and at the intersection of Empire Ranch Road and Highway 50 East.
10. If the LP-Gas container is greater than 2,000 gallons, a construction permit will be required.
11. A detailed landscaping plan demonstrating compliance with Division 3 of Carson City Development Standards, is required at the time of site improvement permit.
12. The City will not be responsible for any landscape or irrigation system maintenance on the

project. All landscaping and landscape maintenance, including landscaping within the rights-of-way, will be the sole responsibility of the property owner. The developer is required to maintain all common landscape and open space areas within the project site.

13. Carson City is a Bee City, USA. The developer shall use approximately 50% pollinator friendly plant material for any required landscaping on the project site. Any remaining landscape plant material selection must be consistent with the City's approved tree species list or other tree species, as approved by the City.
14. Deciduous trees must be planted a minimum of 5 feet from any city/public street, sidewalk, or pathway. Evergreen trees must be planted a minimum of 10 feet from any city/public street, sidewalk or pathway. Fruit bearing, non-fruiting flowering, or any other trees that drop debris such as seed pods will not be permitted near or placed where they will eventually hang over city/public sidewalks or pathways.
15. The developer is required to incorporate best management practices into their construction documents and specifications to reduce the spread of noxious weeds.
16. A detailed lighting plan is required at the time of site improvement permit and shall include a photometric survey demonstrating even lighting throughout the site, with no spillover lighting.

LEGAL REQUIREMENTS: CCMC 18.04.020 Determination of Districts, CCMC 18.02.080 (Special Use Permits), CCMC 18.04.135 General Commercial (GC); CCMC 18.04.150 General Industrial (GI).

MASTER PLAN DESIGNATION: Mixed Use Commercial, Community/Regional Commercial, and Low Density Residential.

PRESENT ZONING: General Industrial, General Commercial, and Single Family 21,000

KEY ISSUES: Does the application meet the required findings for approval of a Special Use Permit? Is the proposed use compatible with surrounding properties?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: General Commercial / Post Office and retail uses
EAST: General Industrial / Service repair garage and RV & mini-storage
SOUTH: Single Family 21,000 / Residences and vacant
WEST: General Commercial / Retail, mini-warehouse, and warehouse/storage

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: Zone X (areas of minimal flooding)
2. EARTHQUAKE FAULT: Zone II, Moderate Severity
3. SLOPE/DRAINAGE: Generally flat, draining to the southeast

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 7.36 +/- acres
EXISTING LAND USE: Vacant
VARIANCES REQUESTED: None

DISCUSSION:

The applicant is proposing an RV and Boat Storage facility on the 7.36 +/- acre project site. The facility would include a 900 square foot office building; 98 enclosed storage spaces along the north, west, and south of the project site; 77 covered storage spaces at the interior of the site; 36 uncovered spaces located along the eastern portion of the site; and a dump station, potable water station, and propane fill station.

The subject property is split zoned General Commercial, General Industrial, and Single Family 21,000. Indoor storage of boats and RVs (warehouse use) is allowed in both the General Commercial and General Industrial zoning districts and outdoor storage is considered an allowed accessory use subject to meeting the requirements of Division 1.12 of the Development Standards. The uses are not allowed in the Single Family 21,000 zoning district.

Per CCMC 18.04.020.6.d where a parcel of land is divided by a zoning district boundary, the following shall apply: "To utilize the entire parcel with a use that is only allowed in 1 of the 2 zoning districts, a zoning map amendment or special use permit is required for that portion of the property not zoned for the use." Therefore, a Special Use Permit is requested in order to establish the use.

Hours of operation are proposed to be 7:00 AM to 7:00 PM, with the office open from 8:00 AM to 6:00 PM daily. The site will be secured with fencing and electronic gates. Customers will have a gate code for access. No business activity will be allowed in individual units/spaces.

Per the provisions of 18.02.080, the Planning Commission has the authority to approve a Special Use Permit upon making each of the seven required findings in the affirmative.

PUBLIC COMMENTS: Public notices were mailed to 60 property owners within 600 feet of the subject property on June 12, 2020. As of the writing of this report, no comments have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 24, 2020, depending on the date of submittal of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations that are not code requirements have been incorporated into the recommended conditions of approval, where applicable.

Fire Department:

1. Project must comply with current International Fire Code (IFC) and Northern Nevada Fire Code Amendments as adopted by Carson City.
2. Enclosed structures will require fire sprinklers – deferred submittal.
3. Fire alarm system will be required – deferred submittal.
4. Additional hydrant will be required.
5. A Knox switch at the entrance gate and a Knox box for sprinklered buildings will be required.
6. If LP-Gas container is greater than 2000 gallons a construction permit will be required – deferred submittal

Engineering Department:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The USGS Earthquake Fault Map shows an earthquake fault line that runs through the site. A geotechnical report must be submitted with the building or engineering permit

application. The report must give the location of the fault and any necessary design considerations including minimum setbacks.

- A multiuse path must be installed along Highway 50 East.
- Right of way must be dedicated to the City as shown in the application.
- The project must meet Carson City Development Standards and Standard Details including, but not limited to, the following:
 - The water main must be extended along the Highway 50 East frontage.
 - The sewer main must be extended along the project frontage in Carter Avenue.
 - Backflow preventers are required at the property line and on-site mains will be privately owned and maintained.
 - Water main extensions will meet the minimum pipe diameter of 8 inches.
 - Hydrant flow test results must be provided to confirm that the water supply can meet the flow and pressure demand for fire flow.
 - A technical drainage study must be provided to properly size the detention pond.
 - Half street improvements must be installed along the Empire Ranch Road and Carter Avenue frontages, including curb, gutter, sidewalk, and any paving necessary to meet the standard width. This will include width for bike lanes along the Empire Ranch Road frontage.
 - Lighting must be installed where the entrance crosses the multiuse path and at the intersection of Empire Ranch Road and Highway 50 East.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if the above conditions are met.

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project if the above conditions are met.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Parks and Recreation:

- The City will not be responsible for any landscape or irrigation system maintenance on the project. All landscaping and landscape maintenance in the right of way will be the sole responsibility of the owner. The developer is required to maintain all common landscape and open space areas within the development including any landscaping in the street(s) right of ways in perpetuity.
- Carson City is a Bee City, USA. As a result, the developer shall use approximately 50% pollinator friendly plant material for any required landscaping on the project site. Also, any remaining landscape plant material selection needs to be consistent with the City's approved tree species list or other tree species, as approved by the City. The Carson City Pollinator Plant list and other plant selection resources can be found on the City's website.
- The developer is required to incorporate "best management practices" into their construction documents and specifications to reduce the spread of noxious weeds.
- Deciduous trees must be planted a minimum of 5' from any city/public street, sidewalk or pathway. Evergreen trees must be planted a minimum of 10' from any city/public street, sidewalk or pathway. Fruit bearing, "non-fruiting" flowering or any other trees that drop debris such as seed pods will not be permitted near or placed where they will eventually hang over city/public sidewalks or pathways.
- Carson City Municipal Code: Title 18, Division 3 should be reviewed by any/all parties involved in the proposed landscape design prior to landscape plans being submitted to the city for final approval of a building permit. Note: Special care and consideration should be taken in the protection of existing trees on-site.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the objectives of the Master Plan elements.

This application has been made consistent with CCMC 18.04.020.6.d which allows for a parcel with more than 1 zoning district to apply for a special use permit for the portion of the property that is not zoned for the use. The parcel is zoned General Commercial, General Industrial, and Single Family 21,000 and has Master Plan designations of Community/Regional Commercial, Mixed Use Commercial, and Low Density Residential. Chapter 3 of the Master Plan calls for achieving a more balanced land use pattern by encouraging infill and redevelopment within the City's existing urbanized area. The subject property is in an area develop with commercial and industrial uses to the north, east, and west. Single family residences are to the south of the project site. The site is currently vacant, and the development will be considered infill. The proposed development will provide appropriate height, density, and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects (Goal 6.2).

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

The subject property is surrounded by similar uses to the east and west and commercial uses to the north across Highway 50. There are single family residences located to the south of the project site. As proposed, the applicant has incorporated larger setbacks, fencing and landscaping along the southern boundary to ensure compatibility with the residentially zoned property. Staff has incorporated conditions of approval limiting hours of operation to 7 a.m. to 7 p.m. with office hours from 8 a.m. to 6 p.m.; and requiring a lighting plan to be submitted with the improvement plans to ensure lighting does not spill over onto adjacent properties. As conditioned, the project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or general neighborhood.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

Based on the Institute of Traffic Engineer's Trip Generation Manual, the project will generate 190 daily trips. The existing roadway network can accommodate these trips. The use is not anticipated to have a detrimental effect on pedestrian traffic. In fact, due to the extension of the multi-use trail, the use will have a positive effect on pedestrian traffic.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The proposed use will not overburden existing public services. The existing sewer, water and storm drain infrastructure are sufficient to provide service to the project. The use is commercial in nature and will not result in generating additional students to impact the schools. The Fire Department has also reviewed the development. The department currently serves this area. As noted in the Fire Department comments, the project must comply with the currently adopted edition of the International Fire Code and the Northern Nevada Fire Code Amendments as adopted by Carson City.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.*

The subject property is split zoned General Commercial, General Industrial, and Single Family 21,000. Indoor storage of boats and RVs (warehouse use) is allowed in both the General Commercial and General Industrial zoning districts and outdoor storage is considered an allowed accessory use subject to meeting the requirements of Division 1.12 of the Development Standards. The uses are not allowed in the Single Family 21,000 zoning district. Therefore, the use can only be established subject to a Special Use Permit (CCMC 18.04.020.6.d). The project was designed in keeping with the requirements of the General Commercial zoning district including setbacks and a maximum of 20% outdoor storage, including the covered storage area.

6. *The use will not be detrimental to the public health, safety, convenience and welfare.*

The proposed boat and RV storage is a fairly passive use and will not be detrimental of public health, safety, convenience and welfare. The project has been reviewed by pertinent departments including Fire and Engineering. At the time the applicant submits plans for a building permit, the plans will be reviewed for compliance with current codes.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

property in the vicinity. The subject property is surrounded by similar uses to the east and west and commercial uses to the north across Highway 50. There are single family residences located to the south of the project site. As proposed, the applicant has incorporated larger setbacks, fencing and landscaping along the southern boundary to ensure compatibility with the residentially zoned property. Staff has incorporated conditions of approval limiting hours of operation to 7 a.m. to 7 p.m. with office hours from 8 a.m. to 6 p.m.; and requiring a lighting plan to be submitted with the improvement plans to ensure lighting does not spill over onto adjacent properties.

Attachments:

Public Comment
Application: LU-2020-0016

From: Donna Tortorici <tortorlinies@yahoo.com>
Sent: Tuesday, June 16, 2020 7:58 PM
To: Planning Department <planning@carson.org>
Subject: special use permit file # LU-2020-0016

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

Dear Sirs/Madams:

My name is Donna Marie Tortorici and I reside at 2354 Gregg street, Carson City, Nv 89701. I am writing you in regards to the above file #Lu-2020-0016 for location at 4619, 4639 and 4719 Hwy 50 E and Empire Ranch Road. I am opposing this permit due to over developing of land.

Please note that there is Already an RV storage located less than 1/2 mile down Hwy 50 East located at 4755 Hwy 50 E., As well as for OVER 18 other RV storage facilities in or near Carson City.

I know a few lots/ parcels that are already developed and now sit empty, Which are eye sores. It makes our town look run down and neglected.

Please use other prior developed properties before ruining our undeveloped land!

I would appreciate a return email: tortorlinies@yahoo.com regarding the meetings minutes and outcome of the meeting. Thank you for your time and concerns in this matter.

Sincerely,
Donna Marie Tortorici.

EMPIRE RV & BOAT STORAGE

SPECIAL USE PERMIT

MAY 2020



Prepared For:

Mr. Kevin Hill

4291 Dant Boulevard
Reno, NV 89509

Prepared By:



241 Ridge Street, Suite 400 Reno, NV 89501

TABLE OF CONTENTS

Project Location	2
Existing Conditions.....	2
Application Request.....	4
Project Description and Justification	4
Findings	13
Master Plan Policy Checklist	14

LIST OF FIGURES

Figure 1: Project Location	2
Figure 2: Surrounding Property Designations.....	3
Figure 3: Existing Master Plan Designations.....	3
Figure 4: Existing Zoning Designations	4
Figure 5: Site Plan	6
Figure 6: Building Elevations	7
Figure 7: General Commercial Development Standards	9
Figure 8: Phasing Plan	11
Figure 9: Trip Generation.....	12

APPENDICES

- SUP Application Form (includes Applicant's Acknowledgement)
- Site Plan (Plan Set with Landscape Plan)
- Building Elevations/Floor Plans
- Master Plan Policy Checklist
- Documentation of Taxes Paid-to-Date
- Project Impact Reports

PROJECT LOCATION

The project site is located at the southeast corner of Empire Ranch Road and US Highway 50; APNs 008-283-01, 0085-283-02, 008-294-01, and 008-371-01. Please note that a Lot Line Deletion application has been submitted to merge the four parcels in this application into one parcel.

Figure 1: Location



EXISTING CONDITIONS

The project site is +/- 7.36 acres and is undeveloped, with a mix of groundcover that range from dense sagebrush and grasses on the western portion to compacted rock base on the eastern side. The parcels have Master Plan designations of Community/Regional Commercial, Mixed-Use Commercial, and Low Density Residential and zoning designations of General Commercial (GC), General Industrial (GI), and Single Family - 21,000 sq. ft. (SF21). Please note that a Lot Line Deletion application has been submitted to merge the four parcels into one parcel, which will create one split-zoned parcel (GC/GI/SF21).

North of the site, across US Highway 50, land is zoned GC and GI and is developed with commercial uses (US Post Office, strip mall). The property to the east is zoned GI and is developed with industrial uses



(auto body, outdoor storage). There is residential development to the south of the project, zoned SF21, and commercial development to the west, zoned GC.

Figure 2: Surrounding Property Designations

Existing Master Plan		Existing Zoning	Current Land Use
North	Community/Regional Commercial	General Commercial General Industrial	US Post Office Commercial (strip mall)
East	Mixed-Use Commercial	General Industrial	Industrial (auto body, outdoor storage)
South	Low Density Residential	Single Family 21,000 sq. ft. (SF21)	Single Family Residential
West	Community/Regional Commercial	General Commercial	Commercial (mini-storage)

Figure 3: Existing Master Plan Designations (C/RC, MUC, LDR)

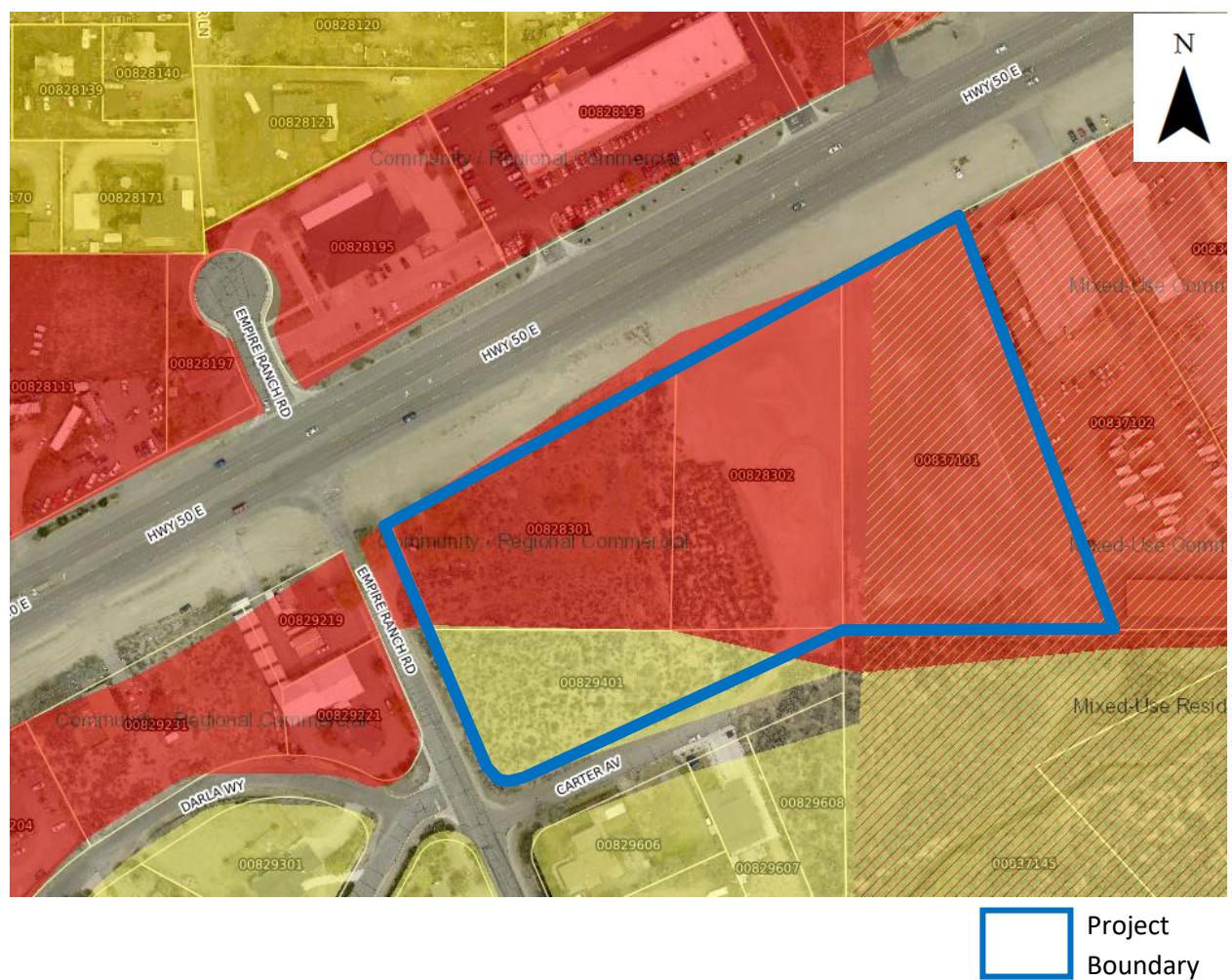
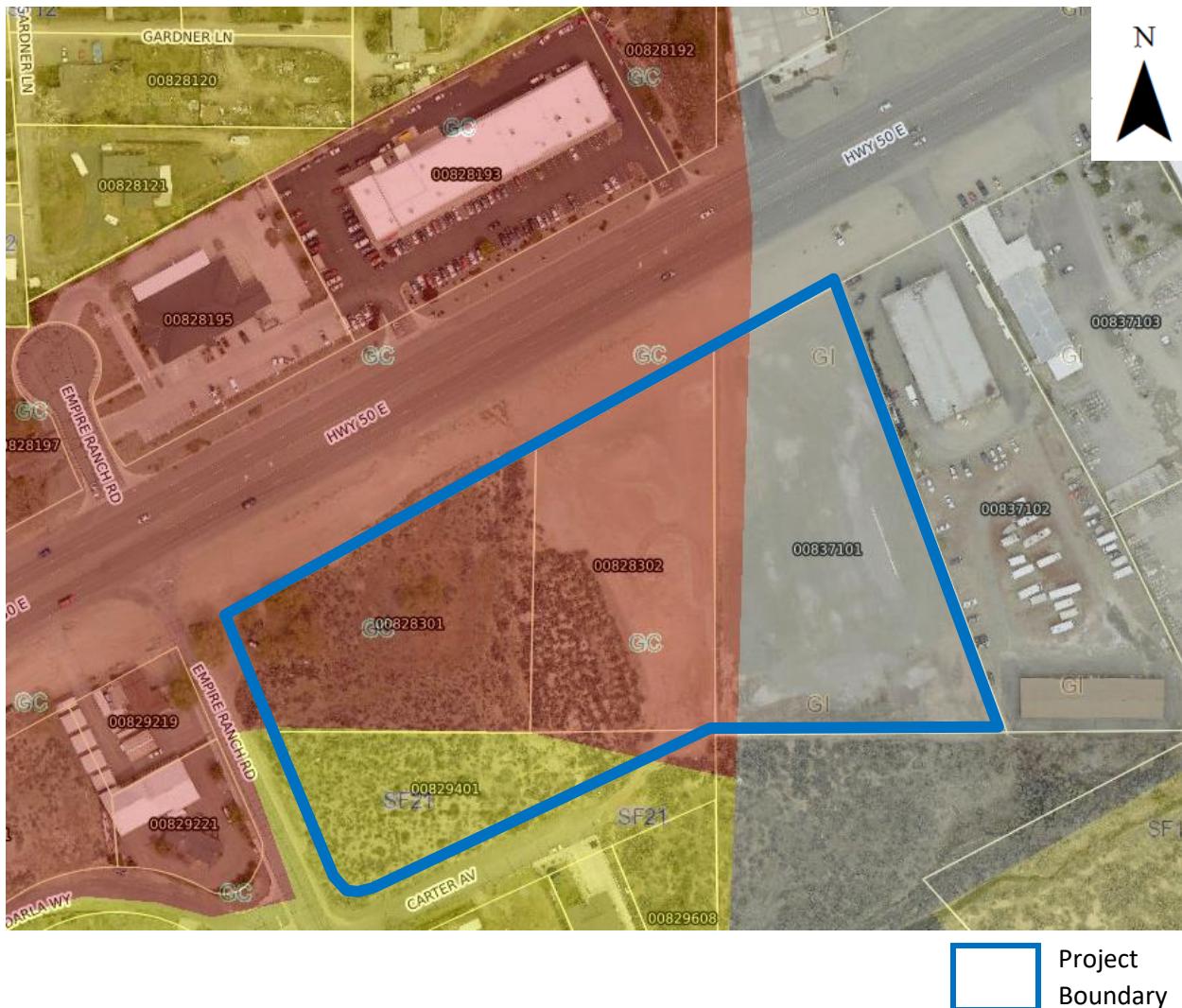


Figure 4: Existing Zoning Designations (GC, GI, SF21)



APPLICATION REQUEST

The enclosed application is for:

SPECIAL USE PERMIT to utilize the entire parcel with a use that is allowed in one of the zoning districts of a split-zoned parcel for the portion of the property not zoned for the use, pursuant to CCMC Section 18.04.020.6(d)

PROJECT DESCRIPTION AND JUSTIFICATION

Special Use Permit

The site is currently four parcels: two of the parcels are zoned GC; one is zoned GI; and one is zoned SF21. A Lot Line Deletion (LLD) application has been submitted so that the project site will be one parcel. The



resultant parcel will have a split zoning designation (GC/GI/SF21). The Carson City Municipal Code allows for utilization of the entire parcel with a use that is allowed in one of the zoning districts of a split-zoned parcel for the portion of the property not zoned for the use (CCMC Section 18.04.020.6(d)). This application is to request an approved GC use (Warehouse) on the entire project site, following recordation of the LLD.

Proposed Use and Design

The applicant is proposing to construct the Empire RV and Boat Storage facility. The +/- 7.36 acre project site will be used for enclosed RV and boat storage space, which is considered a warehouse use in the GI zoning designation with associated outside storage. As shown on the site plan, there are enclosed storage buildings along the north, west, and south borders of the project, a proposed covered storage area in the interior of the project, and an outside storage area in the southeast corner and along the eastern border of the project. There are a total of 98 enclosed storage spaces, ranging in size from 480 sq. ft. (16' x 30') to 960 sq. ft. (16' x 60'). The proposed covered storage area includes 77 spaces (540 sq. ft. each, 12' x 45'). There is an additional +/- 19,380 sq. ft. of outside storage space, intended to accommodate 36 spaces (540 sq. ft. each, 12' x 45'). There is also a 900 sq. ft. office building on site, associated landscaping (per CCMC Division 3) and associated off-street parking (per ITE standards). The site will also include a dump station, potable water station, and a propane fill station. Additional details are included in the Phasing, Landscaping, and Parking sections below. Please note that the proposed covered storage area in the interior of the project may alternately be constructed as enclosed storage buildings or as outside storage, depending on market conditions. The portion of the site used for outside storage will be developed in accordance with Carson City Municipal Code Appendix Section 1.12.

The office building will have exterior cement plaster, with cultured stone veneer, stucco trim, and dual-pane, energy-efficient windows. The storage buildings will be metal siding with a stucco trim band over a weather resistant barrier along the bottom portion of the buildings. Each unit will have a roll up door that is 14' high, facing the interior of the site. The buildings will function as walls around the edge of the site, along with security fencing and entrance gates so that the site will be fully enclosed and screened. The ridge height of the proposed buildings is +/- 18 ft. The maximum structure height in the GC zoning district is 45 ft. (CCMC Section 18.04.195).

The site has been designed so that it is compatible with the existing commercial and industrial development to the east and west, with a similar use and enhanced building design. To ensure compatibility with the residentially-zoned property to the south, there is a 30 ft. setback to the proposed buildings, a landscape buffer, and the site is fully enclosed. There will be gated access along Empire Ranch Road and gated secondary/emergency access along US Highway 50. To prevent a monotonous appearance, there will be 2' x 1' pop-out columns every 9 ft. on the buildings facing US Highway 50. The columns will have the same material as the buildings but painted a coordinating color. Additionally, there is a +/- 65 ft. right-of-way along US Highway 50 that will include a 12 ft. wide multi-use path that will be landscaped in accordance with NDOT requirements.

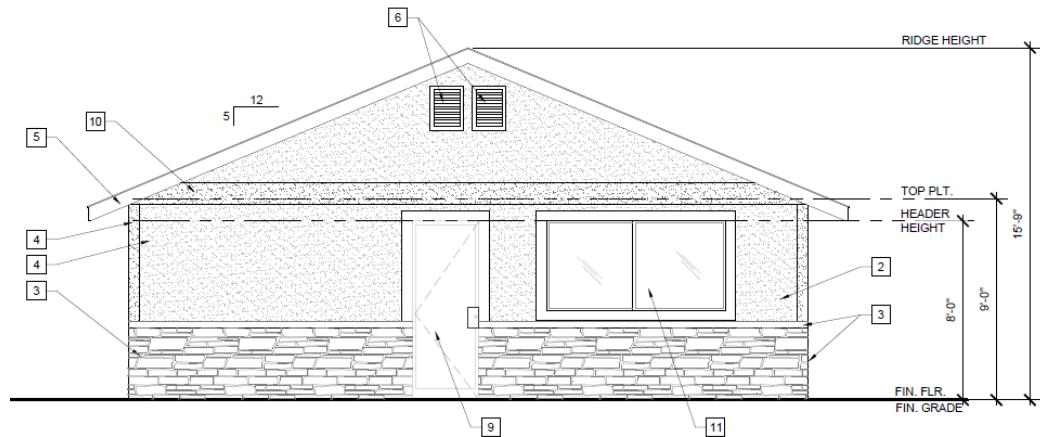
As this is a preliminary design, the applicant requests the ability to slightly modify the floor plan and site plan to accommodate site and design constraints.



Figure 5: Site Plan

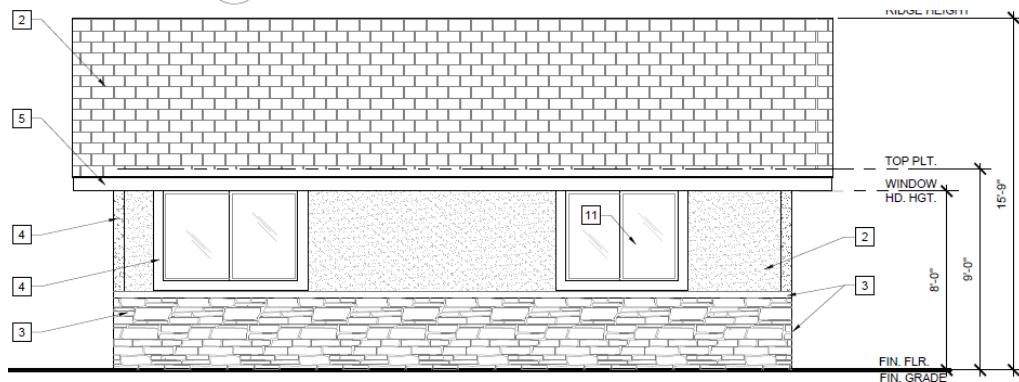


Figure 6: Building Elevations- Office Building (full size sheets in application package)



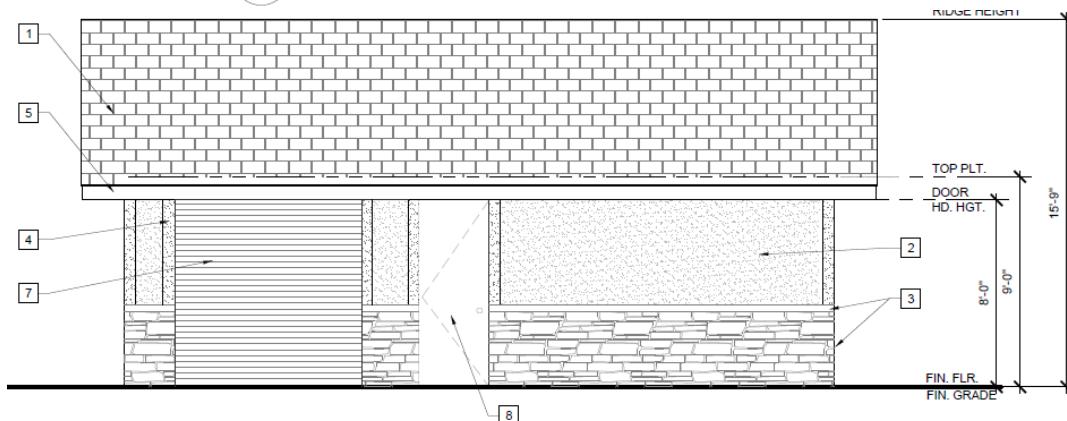
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION

SCALE: 1/4" = 1'-0"

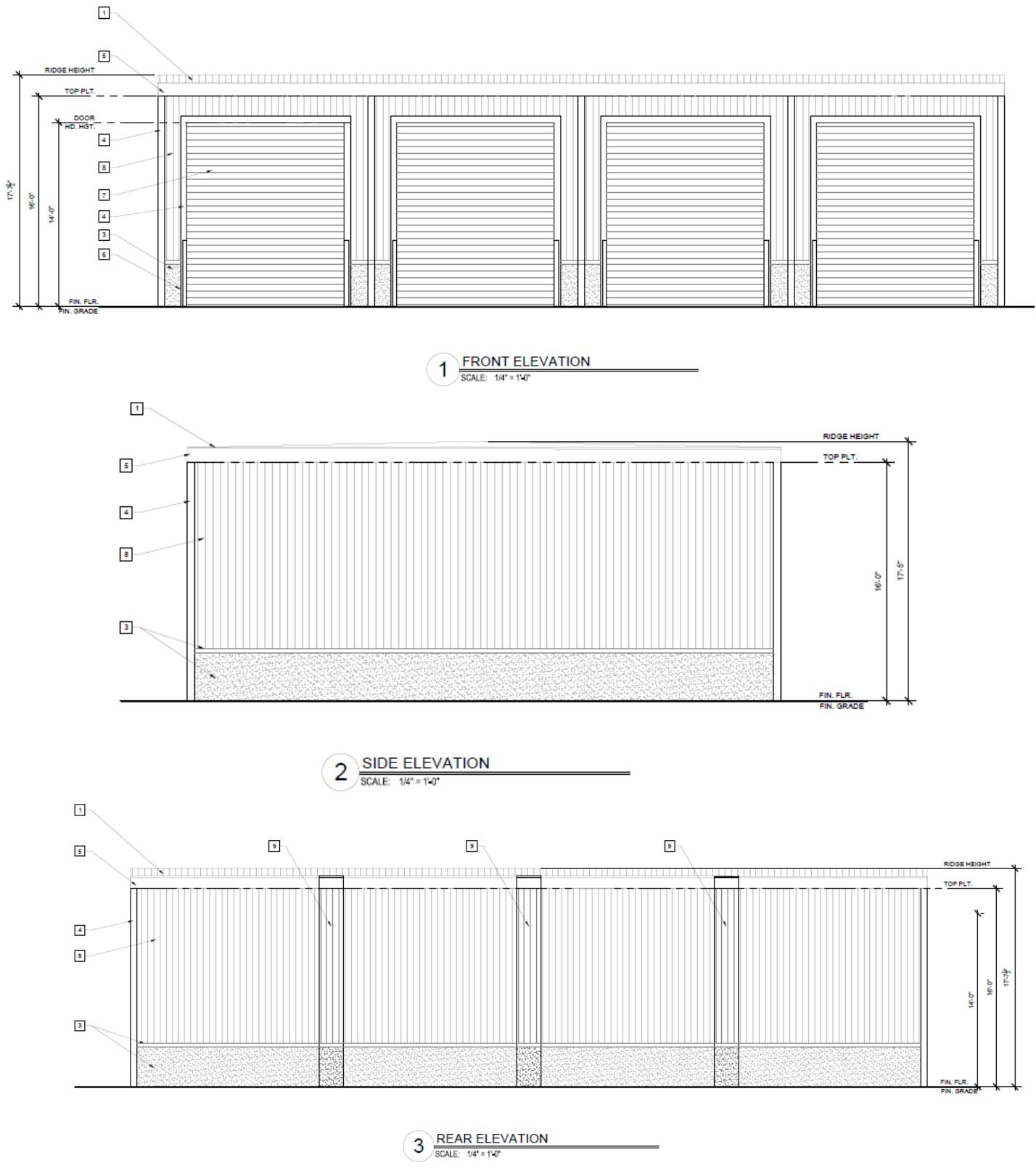


3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



Figure 6: Building Elevations- Typical Storage Building (full size sheets in application package)



Development Standards

The project has been designed to meet the development standards established in the General Commercial zoning designation and are consistent with CCMC Section 18.04.195 – Non-residential districts intensity and dimensional standards.

Figure 7: General Commercial Development Standards

GC Development Standard	CCMC Standard	Proposed
Minimum Area (SF or AC)	6,000 sq. ft.	7.36 acres (following recording the LLD)
Minimum Lot Width (Feet)	60 ft.	+/- 400 ft. avg.
Maximum Lot Depth (Feet)	N/A	N/A
Maximum Height (Feet)	45 ft * Additional height allowed by SUP	+/- 18 ft. proposed Ridge height
Minimum Setbacks (Feet): Front	0 ft. Corner lots required setback for sign distance. Business Arterial landscape setback requirement = 10 ft. average.	10 ft. proposed Including a 10 ft. landscape setback; building pop-out columns will extend into the landscape area.
Minimum Setbacks (Feet): Side	0 ft.	10 ft. proposed
Minimum Setbacks (Feet): Street Side	0 ft. Landscaping requirement for a 6 ft. wide landscape area provided along the frontage of the site adjacent to the street.	Min 6 ft. Includes landscaped setback
Minimum Setbacks (Feet): Rear	0 ft. Adjacent to Residential District, 30 ft. is required.	30 ft.

Proposed Phasing

The project may be constructed in two phases, with the phases designed to ensure that the requirements of the CCMC are met:

Phase 1:

- Project entrance, including security gate
- Office building
- Off-street parking adjacent to office building
- Enclosed storage buildings (approximately 52 units) located along the western portion of US Highway 50, Empire Ranch Road, and Carter Avenue
- Covered storage area (approximately 77 spaces). Please note that this interior area may alternately be constructed as enclosed storage buildings or as outside storage, depending on market conditions.
- Security fencing around project site, to ensure adequate screening



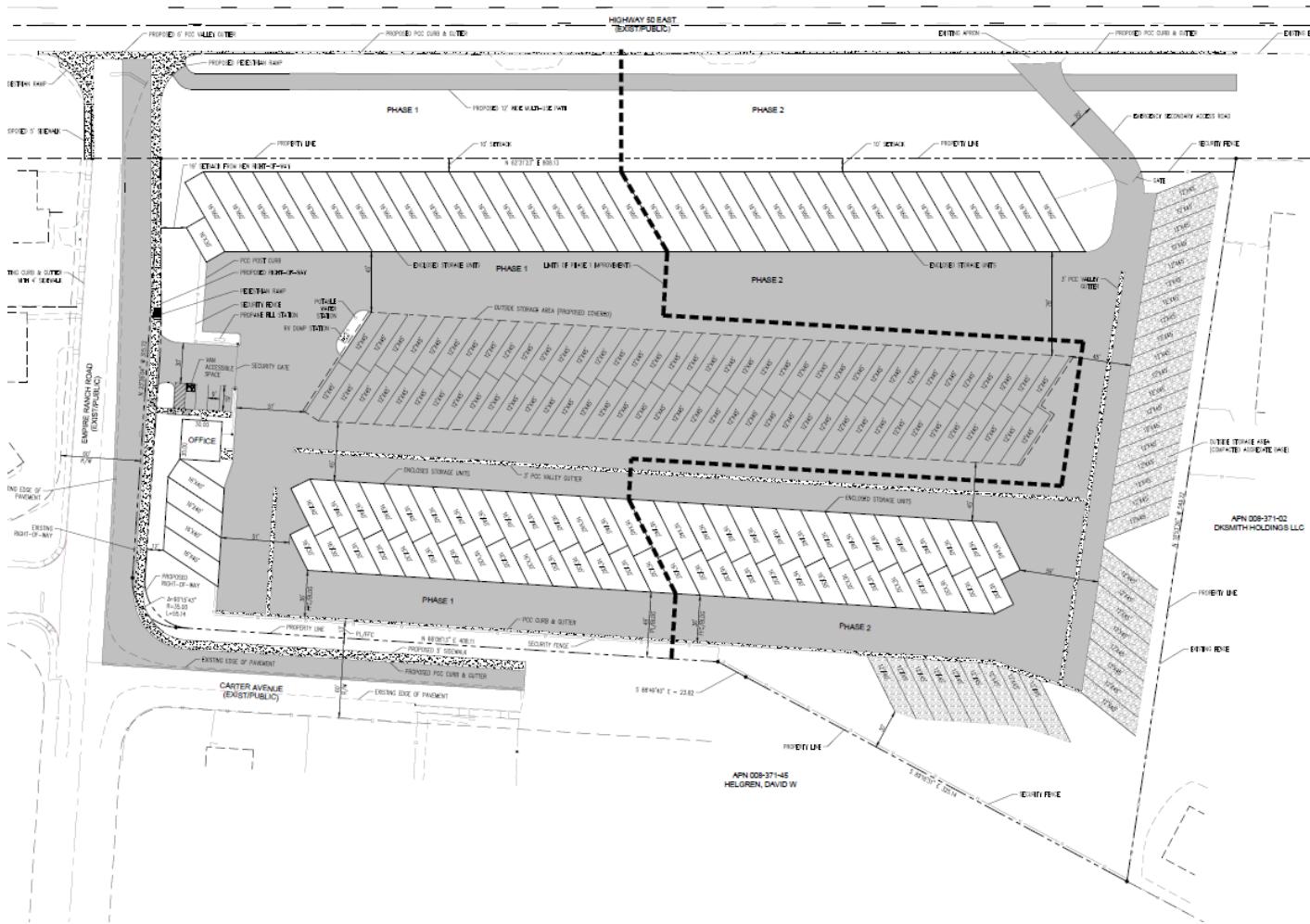
- Gated emergency/secondary access
- Associated interior circulation
- Associated landscaping, to ensure adequate screening
- Associated drainage improvements
- Required improvements along the western portion of US Highway 50
- Required improvements along Empire Ranch Road
- Required improvements along Carter Avenue

Phase 2:

- Enclosed storage building (approximately 46 units) located along the eastern portion of US Highway 50 and along the southeast portion of the site.
- Outside storage area (approximately 36 spaces in the southeast corner, and along the eastern border)
- Associated interior circulation
- Associated landscaping
- Associated drainage improvements
- Required improvements along the eastern portion of US Highway 50



Figure 8: Phasing Plan



Outside Storage

Outside storage as an accessory use is proposed along the eastern side of the project site, adjacent to existing industrial uses and in the interior of the project area (shown as covered storage units on the Site Plan). In accordance with CCMC Section 18.04.135.2, outside storage is permitted as an accessory use, but may not exceed 20% of the site. The total site is +/- 7.36 acres, so the maximum amount of outside storage would be 64,120 sq. ft.; +/- 64,120 sq. ft. of outside storage is shown on the Site Plan and will not exceed 20% of the site. As shown on the Site Plan, the outside storage area meets the development standards established in CCMC Division 1, Section 1.12 for outside storage, including:

- The storage area shall be enclosed by a 100% sight obscuring fence or wall permanently installed and maintained by a minimum height of 6 ft.
- Storage areas allowed as an accessory use shall not occupy more than 20% of the lot area unless a SUP is first obtained.

- Storage areas shall not be located within any required yard setback, or parking areas nor shall they be located in any way which interferes with normal traffic flow onto, within or from the lot, or which impedes sight distance at intersections, or which otherwise impedes driver visibility.

Project Access

Primary access to the project site will be from Empire Ranch Road, with gated emergency/secondary access provided from US Highway 50. As required by Carson City, half street improvements are provided along the project frontage on Empire Ranch Road and Carter Avenue, including curb, gutter, sidewalk, and paving necessary to meet the standard width. Along US Highway 50 project frontage, there will be curb and gutter improvements and a 12 ft. wide shared use path with landscaping in accordance with applicable NDOT requirements. Additionally, a pedestrian ramp and sidewalk is proposed on the western side of Empire Ranch Road within the existing US Highway 50 right-of-way to the property line. Bike lanes are included on Empire Ranch Road along the project frontage per the Unified Pathways Master Plan.

Traffic

The Institute of Transportation Engineers (ITE) Trip Generation Handbook, 10th Edition, indicates that trip generation for mini-warehouse (Land Use 151), the most closely associated use for enclosed RV and boat storage, is 1.51 average daily trips (ADT) per 1,000 sq. ft. of floor area (143,013 sq. ft. proposed, including enclosed, covered, and outside storage space). The total trip generation is 216; (1.51 x 143.013). Because the project will not generate more than 80 peak hour trips or more than 500 ADT according to ITE trip generation rates, a traffic impact study is not required.

Figure 9: Trip Generation

ITE Land Use	ITE Trip Generation per 1,000 sq. ft. of floor area	Proposed Floor Area	Project Trip Generation
Land Use 151: Mini-Warehouse	1.51 ADT x 143.013	143,013 sq. ft. <i>Total of enclosed, covered, and outside storage space</i>	216

Parking

Because the CCMC does not include an off-street parking requirement for a storage use, an associated ITE parking demand has been used to determine off-street parking. The ITE Parking Generation Handbook for mini-warehouse (Land Use 151), the most closely associated use for enclosed RV and boat storage, indicates that the average peak period parking demand is .11 vehicles per 1,000 sq. ft. floor area and .77 vehicles per 100 storage units. This indicates a parking need of 2 - 15 parking spaces (.77 vehicles x 2.11 (for 211 storage spaces), and .11 x 143.013 (for 143,013 sq. ft. floor area)). The Site Plan includes 4 parking spaces, including 1 handicapped accessible space, adjacent to the office building; additional parking is available throughout the site adjacent to the storage units to meet parking needs.



Landscaping

The Landscape design is consistent with Title 18, Division 3 Landscaping requirements. A minimum of 20 percent of the site's impervious surfaces excluding the building coverage will be pervious areas of landscape material; 35,323 sq. ft. landscape area (20% of impervious surface (176,615 sq. ft.)) is required and a total of 49,285sq. ft. is provided within the project site, with an additional 53,935 sq. ft. within the adjacent right-of-way, totaling 102,304 sq. ft. of landscape area provided. The area within the public right-of-way adjacent to a site may be counted for 25 percent of the total required landscaped area. Also in accordance with CCMC, one (1) tree per four hundred (400) square feet of landscape area will be provided (CCMC Division 3, Section 3.7.1), and 6 shrubs per tree are provided.

As shown on the Landscape Plan, a 12 ft. wide shared use path is provided along the US Highway 50 project frontage and will be landscaped in accordance with applicable NDOT requirements. In addition, a minimum 6 foot wide landscape area is provided along the frontage of the site adjacent to Empire Ranch Road and Carter Avenue.

Utilities

Please see detailed Project Impact Statements included with this application.

Water

There is an existing 6-inch waterline running north-south in Empire Ranch Road, and an 8-inch waterline running east-west in Carter Avenue that will serve the site. Main extensions are proposed as a part of this project and will include a new 6-inch waterline extended along the highway frontage of the property, and extension of the 6-inch waterline in Carter Avenue. The extension of the waterline in Carter Avenue will continue east for approximately 100 LF, and then turn 90-degrees to run northeast through the site and connect to the waterline extension along the highway.

Sewer

There is an existing 10-inch sewer line running west-east along the south side of US Highway 50 that will serve the site.

Drainage

The existing site currently drains to the southeast into an existing drainage ditch that leaves the property. This ditch drains to the southeast where it crosses vacant and single-family parcels and then under Morgan Mill Road where flows enter the Empire Ranch Golf Course. Flows are routed into ponds on the golf course and then outlet into the Carson River. For the proposed drainage, the storm water runoff from the proposed project site will be detained in an on-site detention pond. Flows from the pond will be controlled by an outlet structure and will release storm water flows under the pre-developed flow.



FINDINGS

In accordance with Carson City Municipal Code Section 18.02.080, this project has been designed to consider the following:

1. Will be consistent with the objectives of the Master Plan elements.

An enclosed RV and boat storage facility is consistent with the objectives of the Carson City Master Plan elements, specifically the Land Use Element with designations of Community/Regional Commercial and Mixed-Use Commercial. The proposed use implements the land use designations. The Master Plan Policy Checklist is included in this application package with additional information.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood. The site has been designed so that it is compatible with the existing commercial and industrial development to the east and west, with a similar use and enhanced building design. To ensure compatibility with the residentially-zoned property to the south, there is a 30 ft. landscaped setback, and the site is fully enclosed.

Any outdoor lighting installed on the exterior of the building will be shielded from neighboring property through height, placement, and wattage. Outdoor lighting will be indicated on improvement plans.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The project will have little additional impact on the existing street network, sidewalks, or parking. The total trip generation is 216; (1.51 x 143.013). Because the project will not generate more than 80 peak hour trips or more than 500 ADT according to ITE trip generation rates, a traffic impact study is not required. Primary access is provided from Empire Ranch Road, with secondary/emergency access from US Highway 50. As required by Carson City, half street improvements are provided along the project frontage on Empire Ranch Road and Carter Avenue, including curb, gutter, sidewalk, and paving necessary to meet the standard width. Along US Highway 50 project frontage, there will be curb and gutter improvements and a 12 ft. wide shared use path with landscaping in accordance with applicable NDOT requirements. Additionally, a pedestrian ramp and sidewalk is proposed on the western side of Empire Ranch Road within the existing US Highway 50 right-of-way to the property line. Bike lanes are included on Empire Ranch Road along the project frontage per the Unified Pathways Master Plan.



4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

As demonstrated in the Project Impact Reports for water, sewer, drainage, and traffic, the project will not contribute to or overburden existing public services and facilities. Comments will be incorporated as appropriate in Improvement Plans to ensure that the facility does not overburden existing public services and facilities. The commercial project will have no impact on schools and limited impact on police and fire services. Public improvements are required by Carson City are incorporated into the design of the project.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The project site will be used for enclosed RV and boat storage space, which is considered a warehouse use in the GC zoning designation, with associated outside storage. The Carson City Municipal Code allows for utilization of the entire parcel with a use that is allowed in one of the zoning districts of a split-zoned parcel for the portion of the property not zoned for the use (CCMC Section 18.04.020.6(d)). This application is to request an approved GC use (Warehouse) on the entire project site, following recordation of the LLD.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The proposed project incorporates appropriate measures and Carson City requirements to ensure that improvements to the site will benefit public health, safety, convenience and welfare.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

The improvements to the site will not result in material damage or prejudice to other property in the vicinity.

MASTER PLAN POLICY CHECKLIST

The purpose of the Master Plan Policy Checklist is to provide a list of answers that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to this SUP application. This project complies with the Master Plan and accomplishes the following objectives:

Chapter 3: A Balanced Land Use Pattern

1. The proposed project is located within the Carson City and it is served by community water and wastewater facilities as identified in the Water and Wastewater Master Plans. (1.1b)
2. The proposed project is expected to encourage water conservation efforts through low-water landscaping, low-flow fixtures, and/or other water saving devices. (1.1c)
3. The proposed project is expected to utilize sustainable building materials and construction techniques. (1.1e)



4. The site is located to be adequately served by city services including fire and sheriff services. (1.5d)
5. The proposed development is not within the 100-year floodplain or other hazardous areas. (3.3d)

Chapter 5: Economic Vitality

1. A RV and boat storage facility provides the public a service that contributes to a higher quality of life. (5.5e)

Chapter 6: Livable Neighborhoods and Activity Centers

1. The proposed project is expected to utilize durable, long-lasting building materials. (6.1a)
2. The proposed development will provide appropriate height, density, and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects in accordance with the Carson City Municipal Code. (6.2a, 9.3b, 9.4a)
3. The proposed project will not require “spot” rezoning of parcels and aims to conform more closely with Carson City Master Plan designations. (9.4b)

Chapter 7: A Connected City

1. Half street improvements are provided along the project frontage on Empire Ranch Road and Carter Avenue, including curb, gutter, sidewalk, and paving. Along US Highway 50 project frontage, there will be curb and gutter improvements and a 12 ft. wide shared use path with landscaping in accordance with applicable NDOT requirements. Additionally, a pedestrian ramp and sidewalk is proposed on the western side of Empire Ranch Road within the existing US Highway 50 right-of-way to the property line. Bike lanes are included on Empire Ranch Road along the project frontage per the Unified Pathways Master Plan. (12.1a, 12.1c)



SPECIAL USE PERMIT FOR EMPIRE RV AND BOAT STORAGE CARSON CITY, NEVADA

OWNER/DEVELOPER

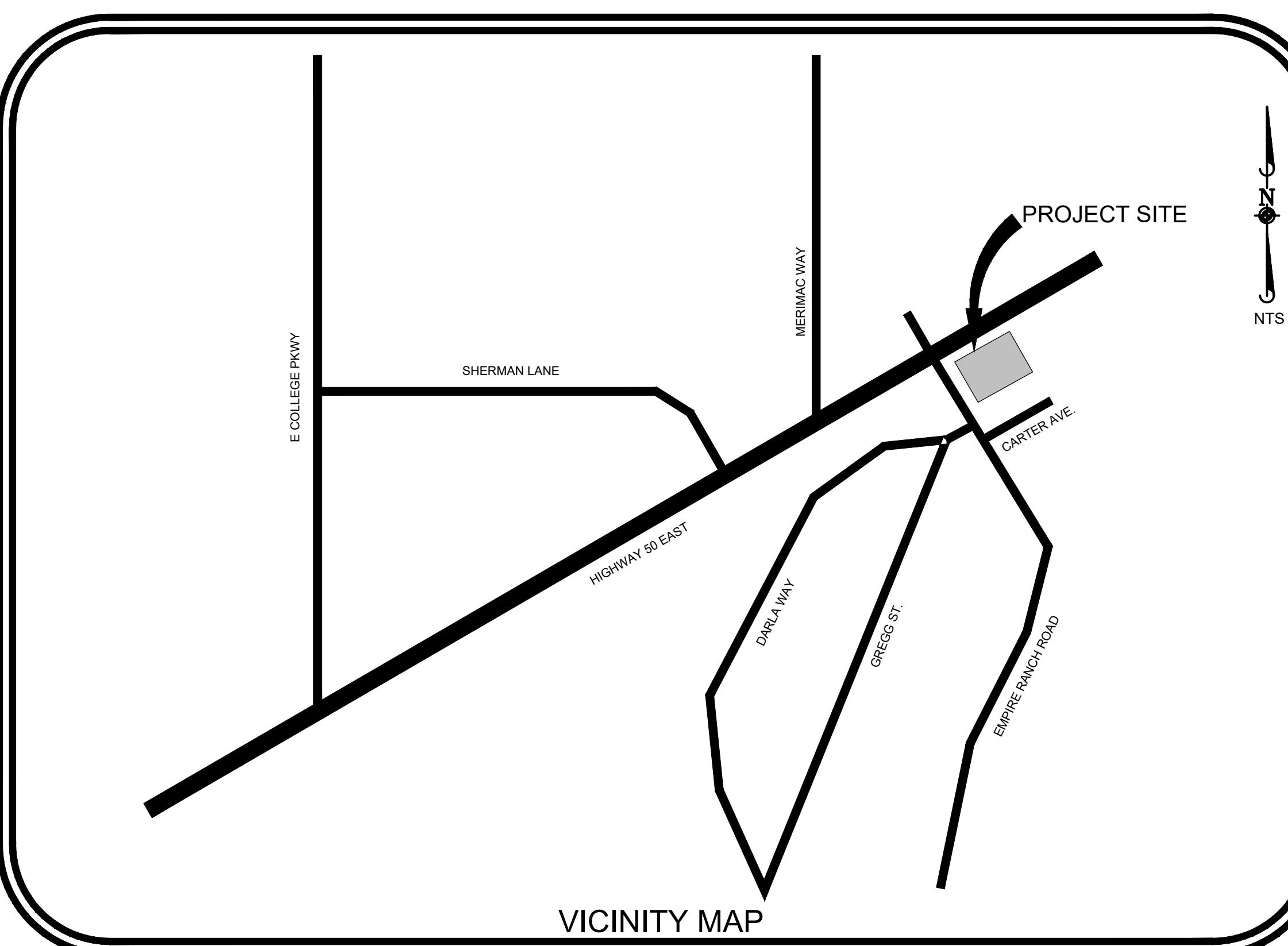
JANB LLC, C & A INVESTMENTS, LLC
PO BOX 1984
CARSON CITY, NEVADA 89702
CONTACT: NICOLE BALLARDINI
nicballardini@gmail.com

ENGINEER

MANHARD CONSULTING
241 RIDGE ST., SUITE 400
RENO, NV 89501
CONTACT: KEVIN KOSSOL, P.E.
kkossol@manhard.com

BASIS OF BEARINGS

GRID NORTH, NEVADA STATE PLANE COORDINATE SYSTEM OF 1983/1994 (NAD 83/94),
WEST ZONE 2703. SCALED BY A GRID TO GROUND FACTOR OF 1.0002.

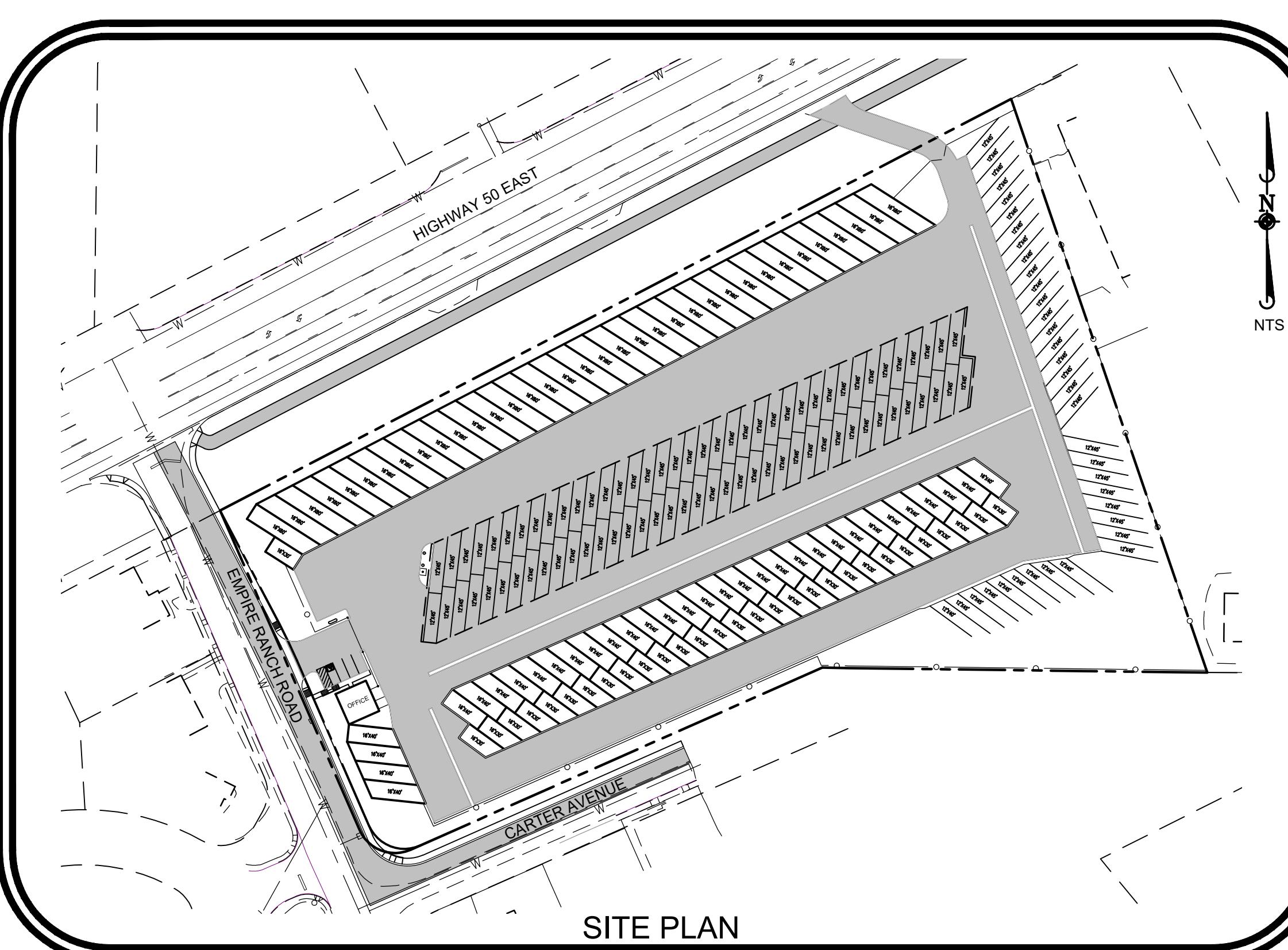


BASIS OF ELEVATION

CARSON CITY GPS CONTROL MONUMENT NO. "CC010 2010" LOCATED ON THE
NORTH SIDE OF US HWY 50 ON THE EAST SIDE CURB AT THE EAST ENTRANCE TO
THE POST OFFICE. NAVD 88 ELEV. 4627.87'

ABBREVIATIONS

±	APPROXIMATE
AC	ASPHALTIC CONCRETE
AP	ANGLE POINT
AWWA	AMERICAN WATER WORKS ASSOCIATION
BC	BEGIN CURVE
BLDG	BUILDING
BVC	BEGIN VERTICAL CURVE
CAP	CAPACITY
CB	CATCH BASIN
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLENOUT
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST.	CONSTRUCT
CP	CONCRETE PIPE
CR	CURB RETURN
DET	DETAIL
Δ	CURVE DELTA
Ø	DIAMETER
DI	DROP-INLET
DWY	DRIVEWAY
DR	DIAMETER RATIO
E	ELECTRICAL
EC	END OF CURVE
EG	EXISTING GRADE
ELEV	ELEVATION
EVC	END OF VERTICAL CURVE
(e)	EXISTING
EXIST	EXISTING
FES	FLARE END SECTION
FT	FINISHED FLOOR
FDC	FIRE DEPARTMENT CONNECTION
FFC	FRONT FACE OF CURB
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FT	FEET
G	GAS
GB	GRADE BREAK
HORIZ	HORIZONTAL
HP	HIGH POINT
HS	HOUSE SERVICE
IE	INVERT ELEVATION
INT	INTERSECTION
L	LENGTH
LF	LINEAL FEET
LP	LOW POINT
LT	LEFT
MH	MANHOLE
MDD	MAX DRY DENSITY
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
PCC	PORTLAND CEMENT CONCRETE
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PM	PARCEL MAP
POT	POINT OF TANGENT
PR	PRESSURE RATING
PSI	POUNDS PER SQUARE INCH
PUE	PUBLIC-UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
Q	VOLUME FLOW RATE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
REF	REFERENCE
RET	CURB RETURN
REQ	REQUIRED
RT	RIGHT
R/W	RIGHT OF WAY
S	SLOPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SUB	SUBDRAIN
SW	SIDEWALK
T	TRANSFORMER
t	TELEPHONE
TBC	TOP BACK OF CURB
TC	TOP OF CURB
TOP	TOP OF STEP
TP	TEST PIT
TW	TOP OF WALL
TYP	TYPICAL
VC	VERTICAL CURVE
VG	VALLEY GUTTER
VERT	VERTICAL
VPI	VERTICAL POINT OF INTERSECTION
W	WATER
WM	WATER MAIN



APNS & ADDRESSES

008-283-01	4619 HWY 50 E, CARSON CITY, NV 89701
008-283-02	4639 HWY 50 E, CARSON CITY, NV 89701
008-294-01	4719 HWY 50 E, CARSON CITY, NV 89701
008-371-01	2477 EMPIRE RANCH RD, CARSON CITY, NV 89701

SHEET INDEX

C1	TITLE SHEET
C2	BOUNDARY & ORTHO PHOTO
C3	PRELIMINARY SITE PLAN
C4	PRELIMINARY GRADING & UTILITY PLAN
A1.0	FLOOR PLAN - OFFICE BUILDING
A1.1	FLOOR PLAN - STORAGE UNITS
A1.2	FLOOR PLAN - STORAGE UNITS 16'x40' & 16'x30'
A1.3	FLOOR PLAN - COVERED UNITS 12'x45'
A1.4	FLOOR PLAN - STORAGE UNITS 16'x60'
A1.5	FLOOR PLAN - STORAGE UNITS (4) 15'x40'
A2.0	ELEVATIONS - OFFICE BUILDING
A2.1	ELEVATIONS - STORAGE UNITS 16'x40' & 16'x30'
A2.2	ELEVATIONS - COVERED UNITS 12'x45'
A2.3	ELEVATIONS - STORAGE UNITS 16'x60'
A2.4	ELEVATIONS - STORAGE UNITS (4) 16'x40'

PROJECT DATA

PROJECT AREA:	7.36± ACRES
EXISTING ZONING:	GENERAL INDUSTRIAL, GENERAL COMMERCIAL, SINGLE FAMILY 21,000 SF
ENCLOSED STORAGE AREA:	70,800± SF
OUTDOOR STORAGE AREA:	64,120± SF
OUTDOOR STORAGE AREA PERCENTAGE OF TOTAL SITE AREA:	20.0%
IMPERVIOUS PAVED AREA:	176,615± SF
LANDSCAPE AREA REQUIRED (20% OF IMPERVIOUS):	35,323± SF
LANDSCAPE AREA PROVIDED:	
ON-SITE:	54,085± SF
WITHIN RIGHT-OF-WAY:	53,935± SF

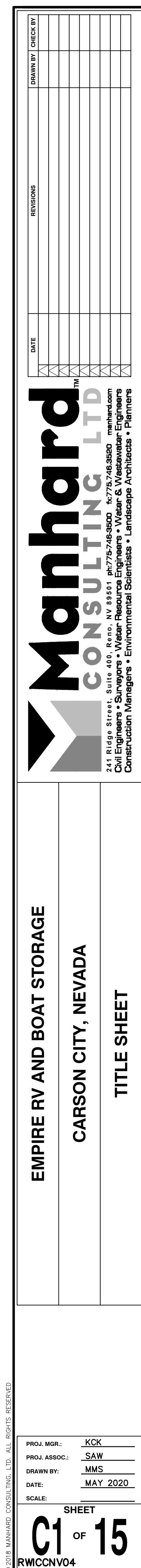
ENGINEER'S STATEMENT

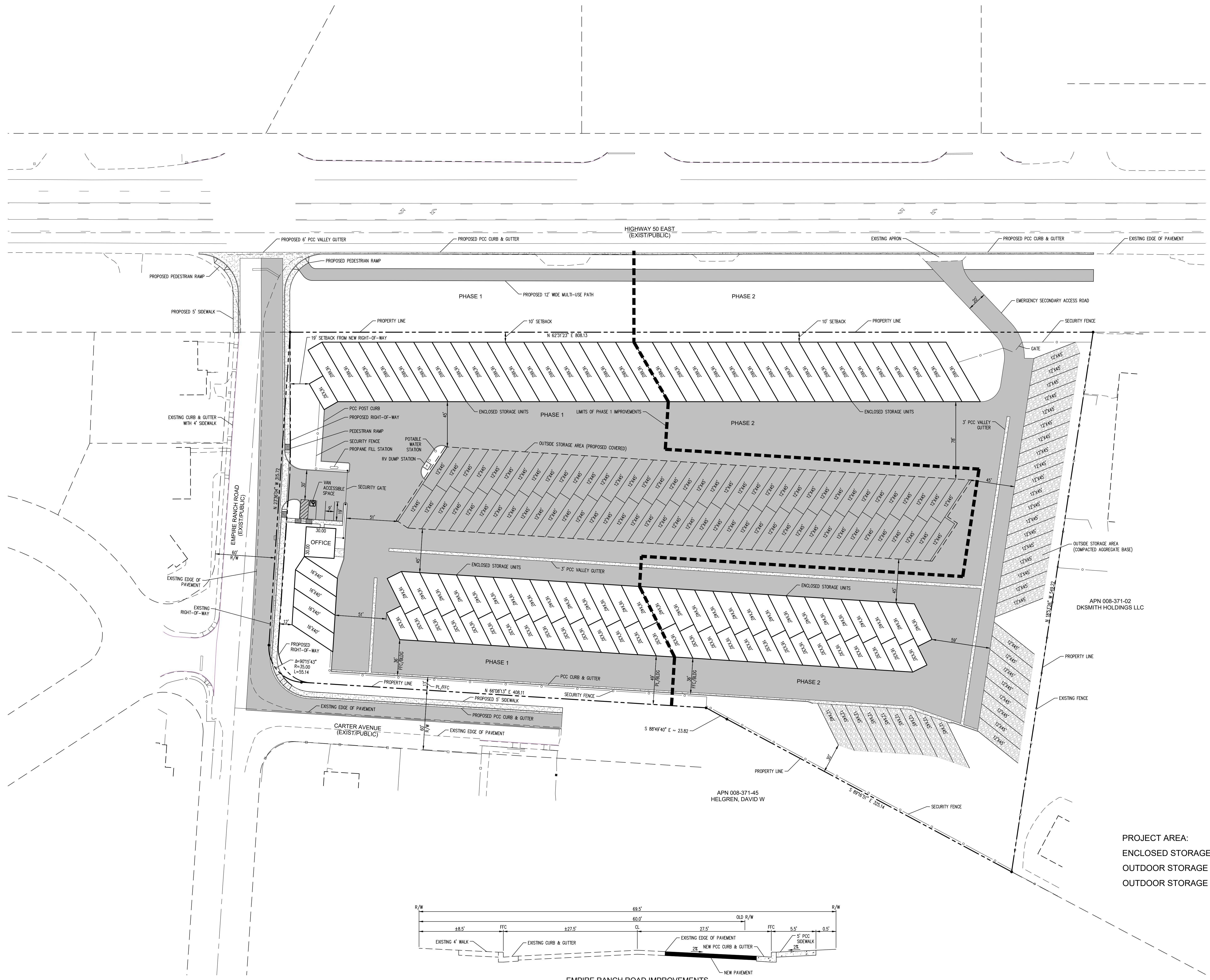
I, KEVIN C. KOSSOL, DO HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, AND WAS COMPLETED ON THIS 26TH DAY OF MAY, 2020.

KEVIN C. KOSSOL



P.E. #11509





PROJECT AREA:	7.36± ACRES
ENCLOSED STORAGE AREA:	70,800± SF
OUTDOOR STORAGE AREA:	64,120± SF
OUTDOOR STORAGE AREA PERCENTAGE OF TOTAL SITE AREA:	20.0%

	
6/5/2020	
PROJ. MGR.:	KCK
PROJ. ASSOC.:	SAW
DRAWN BY:	KCK
DATE:	MAY 2020
SCALE:	1"=40'
SHEET	
C3 OF 21	
RWICCNV04	

EMPIRE RV AND BOAT STORAGE

CARSON CITY, NEVADA

PRELIMINARY SITE PLAN

The logo for Manhard Consulting Ltd. is positioned on the left side of the page. It features a large, bold, black 'M' and a smaller, bold, black 'C' stacked vertically. To the right of the 'C', the word 'CONSULTING' is written in a smaller, bold, black sans-serif font. Above 'CONSULTING', the word 'LTD' is written in a bold, black sans-serif font. A small trademark symbol (TM) is located at the top right of the 'LTD' text. The entire logo is set against a white background with a thin black border.

241 Ridge Street, Suite 400, Reno, NV 89501 ph:775-746-3500 fx:775-746-3520


manhard.com

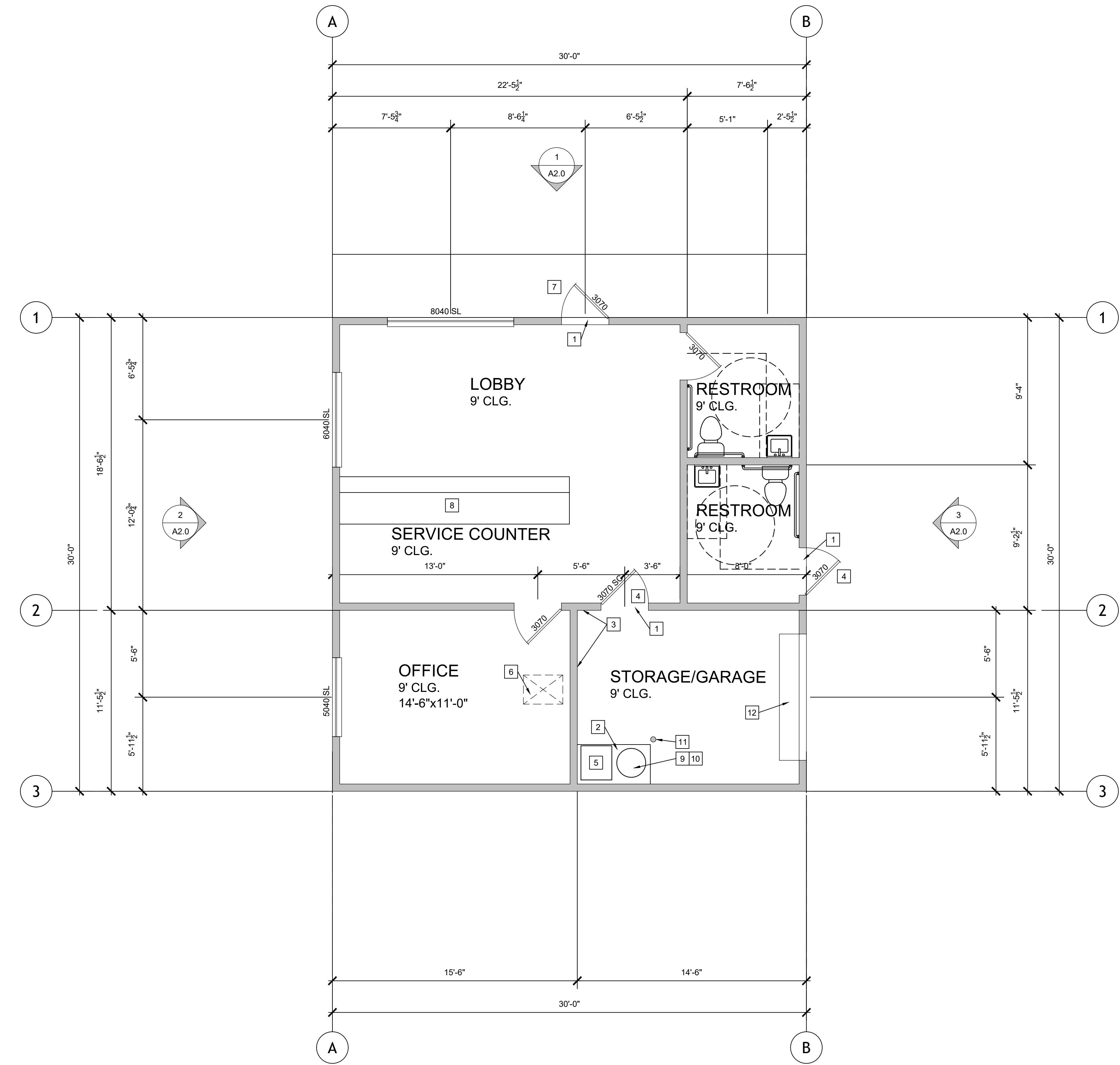
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers

Construction Managers • Environmental Scientists • Landscape Architects • Planners

The diagram shows a 3D perspective view of a structure. A horizontal scale bar is positioned at the top, with numerical markers at 60 and 120. The structure itself is composed of several intersecting lines and shaded regions, forming a complex geometric shape. A small circular feature with a cross inside is located on the left side of the structure.

June 5, 2020 - 09:48 Dwg Name: P:\Rwiccnv04\dwg\Eng\Preliminary\Plan Set\Empire Site SUP.dwg Updated By: Kkossol





WALL LEGEND	
INTERIOR WALLS TO BE 2x4 WOOD STUDS AT 16" O.C. UNO EXTERIOR WALLS AT GARAGE TO BE 2x6 WOOD STUDS AT 16" O.C. EXTERIOR WALLS AT HOUSE TO BE 2x6 WOOD STUDS AT 16" O.C.	

KEY NOTES	
SYMBOL	NOTES
1	WEATHERSTRIP & THRESHOLD
2	ELEVATED MECHANICAL PLATFORM FOR FAU AND WATER HEATER
3	PROVIDE 5/8" TYPE "X" GYP. BD. @ GARAGE SHARED WALL FOR 1-HR. PROTECTION
4	SOLID CORE SELF CLOSING DOOR
5	F.A.U. ON 18" HIGH FRAMED PLATFORM
6	22" X 30" ATTIC ACCESS
7	CONCRETE STOOP
8	36" HIGH GRANITE COUNTER
9	WATER HEATER ON 18" HIGH FRAMED PLATFORM W/ RECIRCULATING PUMP
10	OPTIONAL (2) TANKLESS WATER HEATERS W/ RECIRCULATING PUMPS
11	3" Ø CONCRETE FILLED STEEL BALLARD
12	8'-0"x8'-0" METAL ROLL UP DOOR

EMPIRE RANCH AND HWY 50, CARSON CITY, NEVADA

FLOOR PLAN - OFFICE BUILDING



Manhard Consulting

TM

2002

2003

2004

2005

2006

2007

2008

2009

2010

2011

2012

2013

2014

2015

2016

2017

2018

2019

2020

2021

2022

2023

2024

2025

2026

2027

2028

2029

2030

2031

2032

2033

2034

2035

2036

2037

2038

2039

2040

2041

2042

2043

2044

2045

2046

2047

2048

2049

2050

2051

2052

2053

2054

2055

2056

2057

2058

2059

2060

2061

2062

2063

2064

2065

2066

2067

2068

2069

2070

2071

2072

2073

2074

2075

2076

2077

2078

2079

2080

2081

2082

2083

2084

2085

2086

2087

2088

2089

2090

2091

2092

2093

2094

2095

2096

2097

2098

2099

20100

20101

20102

20103

20104

20105

20106

20107

20108

20109

20110

20111

20112

20113

20114

20115

20116

20117

20118

20119

20120

20121

20122

20123

20124

20125

20126

20127

20128

20129

20130

20131

20132

20133

20134

20135

20136

20137

20138

20139

20140

20141

20142

20143

20144

20145

20146

20147

20148

20149

20150

20151

20152

20153

20154

20155

20156

20157

20158

20159

20160

20161

20162

20163

20164

20165

20166

20167

20168

20169

20170

20171

20172

20173

20174

20175

20176

20177

20178


20179

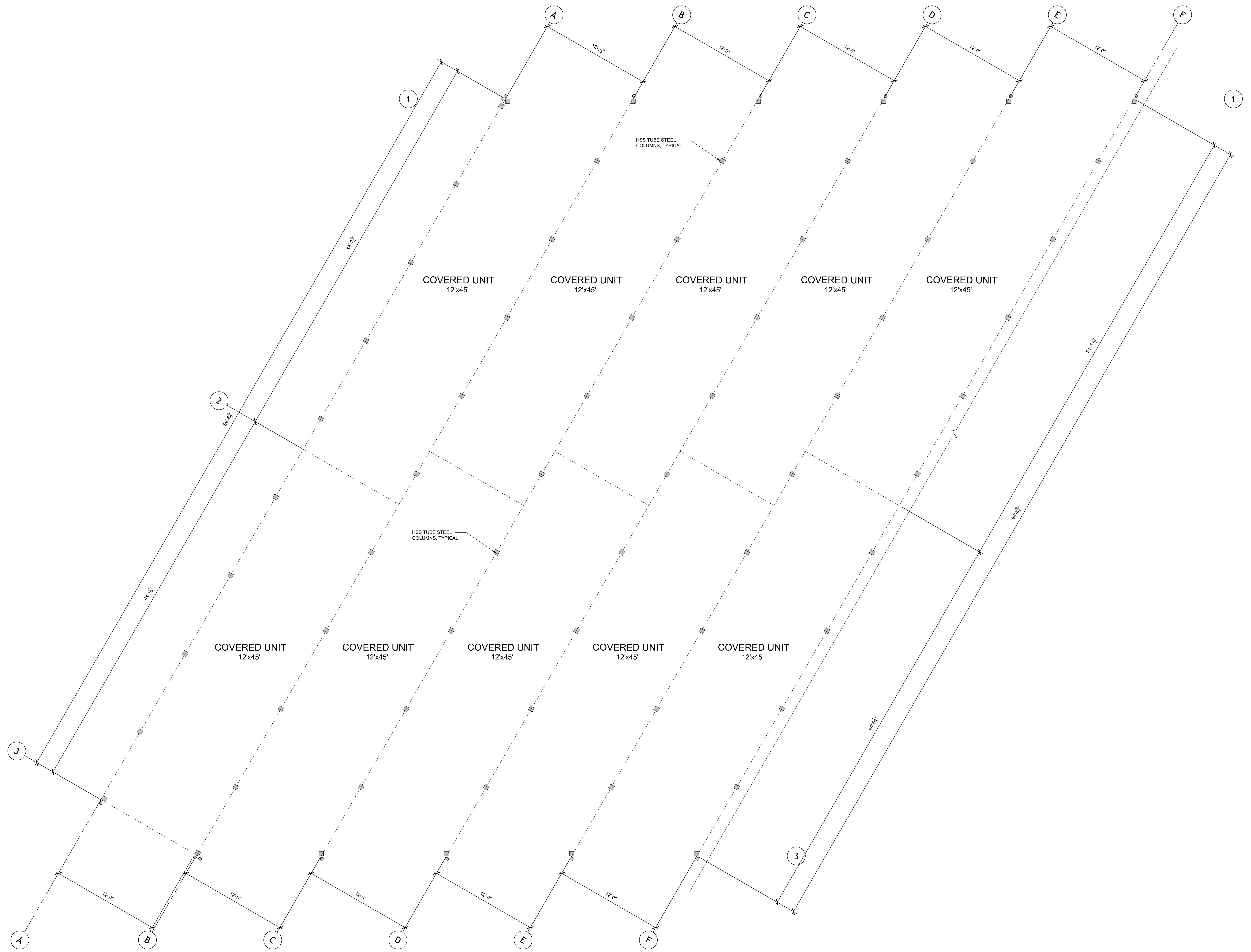
20180

20181

20182

20183





The logo for Manhaging Consulting. The word "Manhaging" is written vertically in a large, bold, black sans-serif font. The letter "g" is stylized with a small circle at the top. To the right of "Manhaging", the word "CONSULTING" is written in a smaller, gray, all-caps sans-serif font. Below the text is a graphic element consisting of three right-pointing triangles of increasing size from left to right, in black, white, and gray respectively.

EMPIRE RV AND BOAT STORAGE

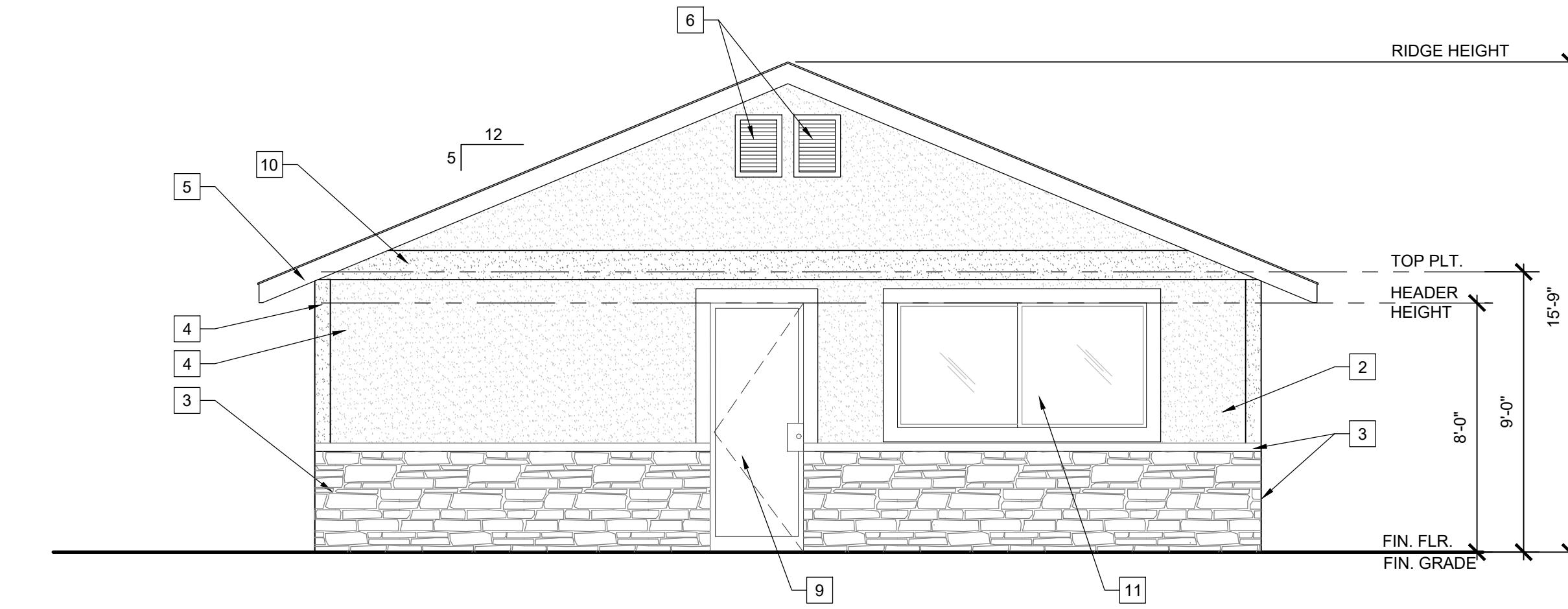
EMPIRE RANCH AND HWY 50, CARSON CITY, NEVADA

FLOOR PLAN - COVERED UNITS 12'x45' & 12'x45'

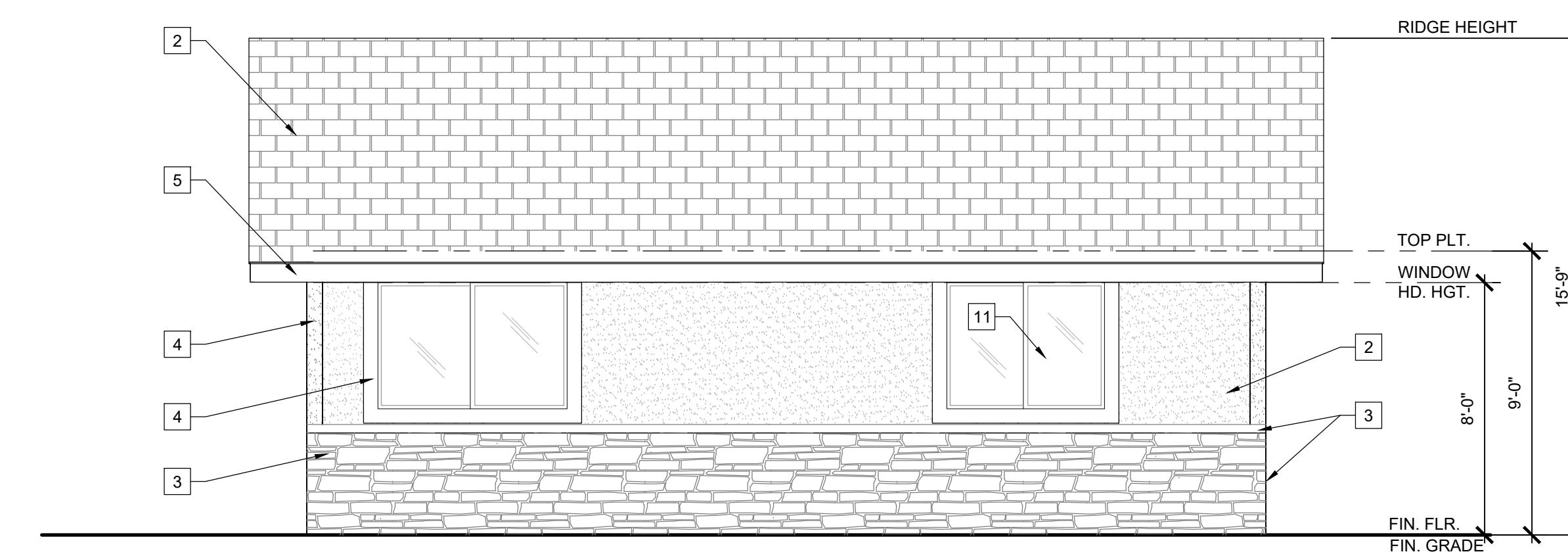
PROJ. MGR.: TJP
PROJ. ASSOC.: ADM
DRAWN BY: TJP
DATE: 5/26/2020
SCALE: 1/4"=1'-0"

SHEET
A1.3
RWI.CCNV04.01

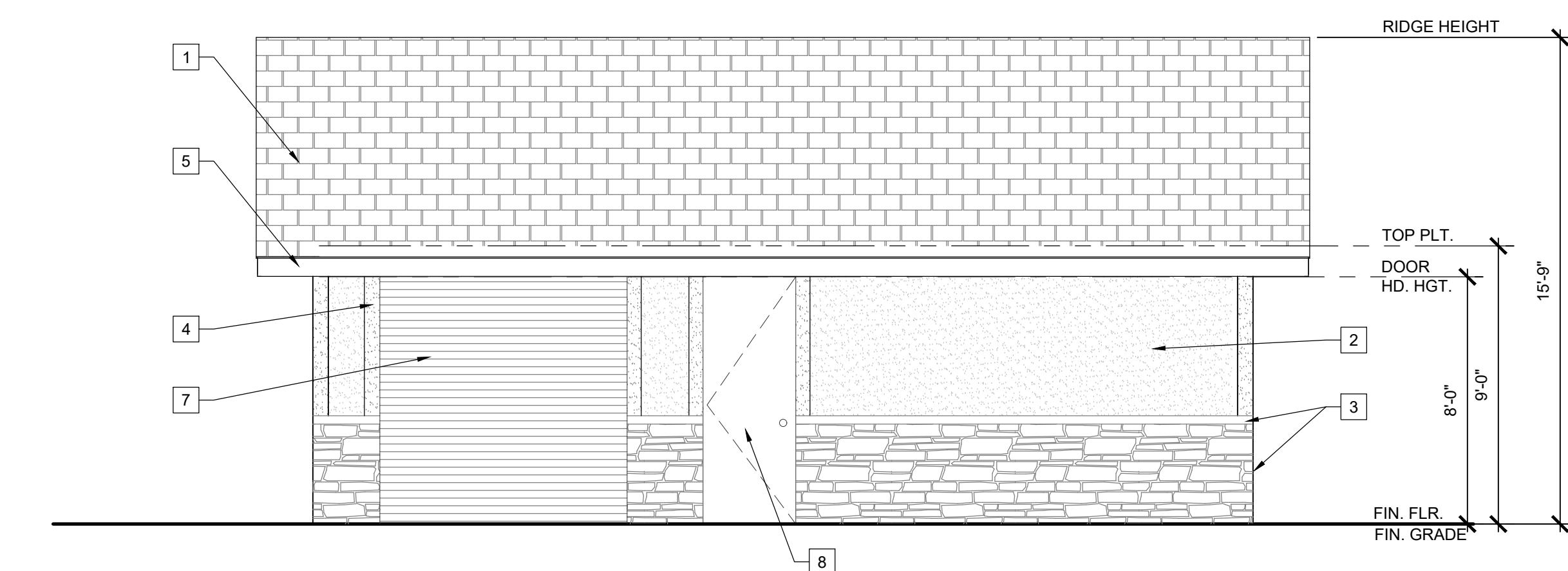
10 of 10



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES	
SYMBOL	NOTES
1	COMP ROOFING O/ 30# FELT O/ ROOF SHEATHING MATCH
2	EXTERIOR CEMENT PLASTER TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS & SCREED SHALL BE 4" MIN. CLEARANCE TO GRADE & 2" MIN. TO CONCRETE
3	CULTURED STONE VENEER W/ CAP O/ WEATHER RESISTANT BARRIER
4	6" STUCCO TRIM
5	2 x 8 FASCIA
6	14" x 18" ATTIC VENT W/ WOOD TRIM SURROUND
7	8'-0" x 8'-0" METAL ROLL-UP DOOR PER OWNER
8	METAL SELF CLOSING RESTROOM DOOR
9	SELF CLOSING ENTRY DOOR W/ TEMP. GLS.
10	2 x 12 STUCCO TRIM BAND
11	DBL. PANE ENERGY EFFICIENT WINDOWS

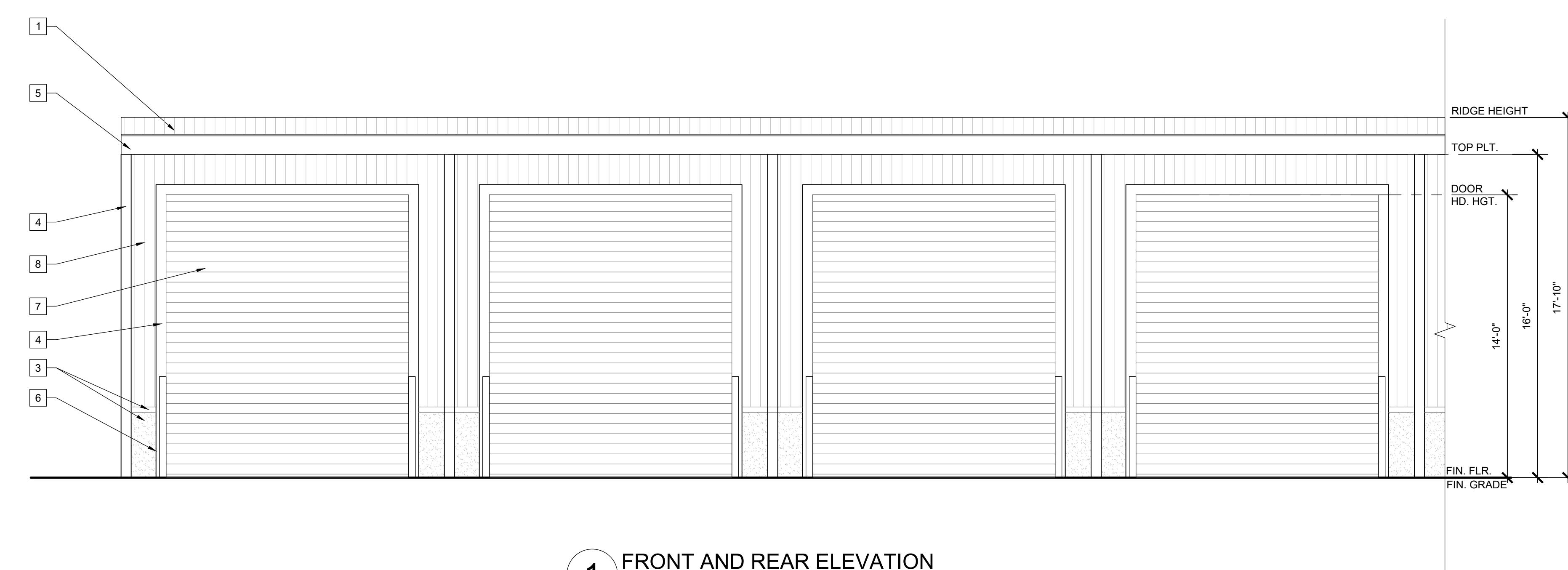
Manhard
CONSULTING

Engineering, Design, Surveying, Construction Management, Surveyors, Water Resources Engineers, Water & Waste Water Engineers, Landscape Architects, Planners

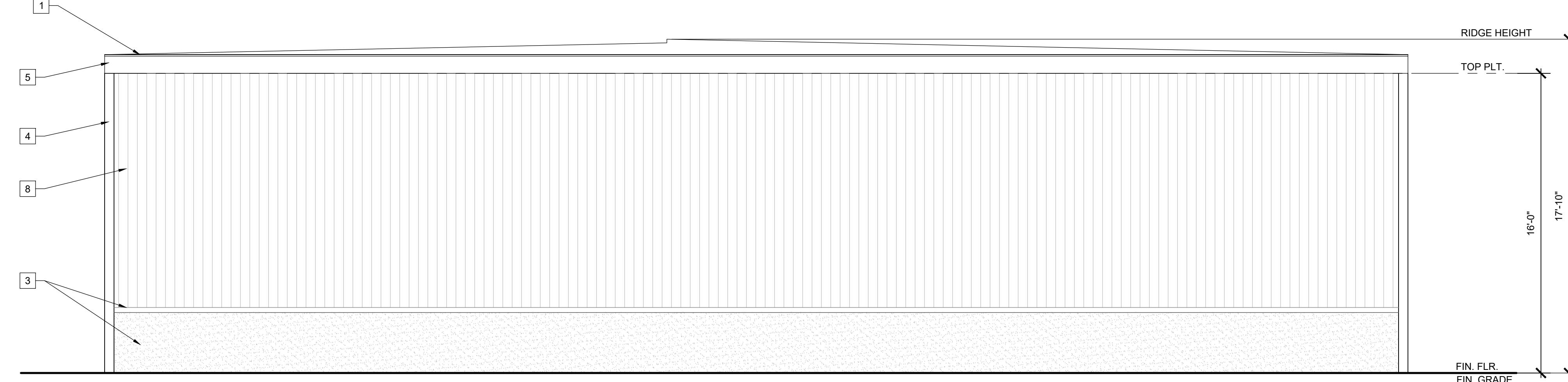
EMPIRE RANCH AND HWY 50, CARSON CITY, NEVADA
ELEVATIONS - OFFICE BUILDING

PROJ. MGR.: T.P.
PROJ. ASSOC.: ADM
DRAWN BY: T.P.
DATE: 5/26/2020
SCALE: 1/4" = 1'-0"
SHEET A2.0
RWI.CCNV04.01

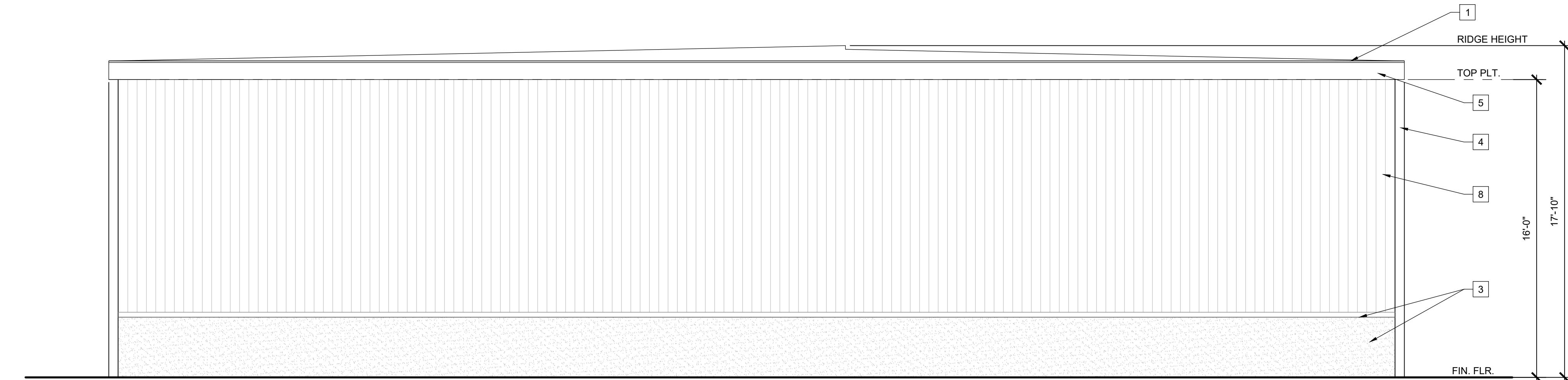
FOR AGENCY REVIEW - SUP



KEY NOTES	
SYMBOL	NOTES
1	METAL ROOFING O/ 30# FELT O/ ROOF SHEATHING
2	EXTERIOR CEMENT PLASTER TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS & SCREED SHALL BE 4" MIN. CLEARANCE TO GRADE & 2" MIN. TO CONCRETE
3	STUCCO BAND W/ CAP O/ WEATHER RESISTANT BARRIER
4	METAL TRIM
5	METAL FASCIA
6	4" Ø CONCRETE FILLED STEEL BALLARD, TYPICAL EACH SIDE OF DOOR
7	12'-0"x14'-0" METAL ROLL-UP DOOR PER OWNER
8	METAL SIDING
9	2'-0"x 1'-0" METAL BUILDING POPOUTS
10	STEEL COLUMN

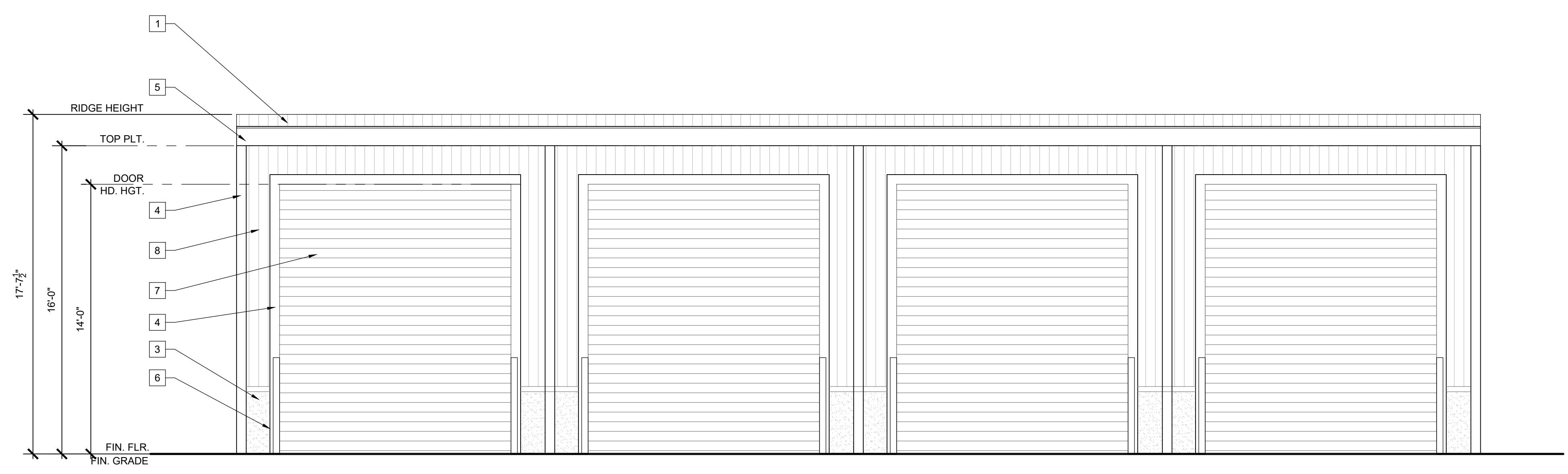


2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



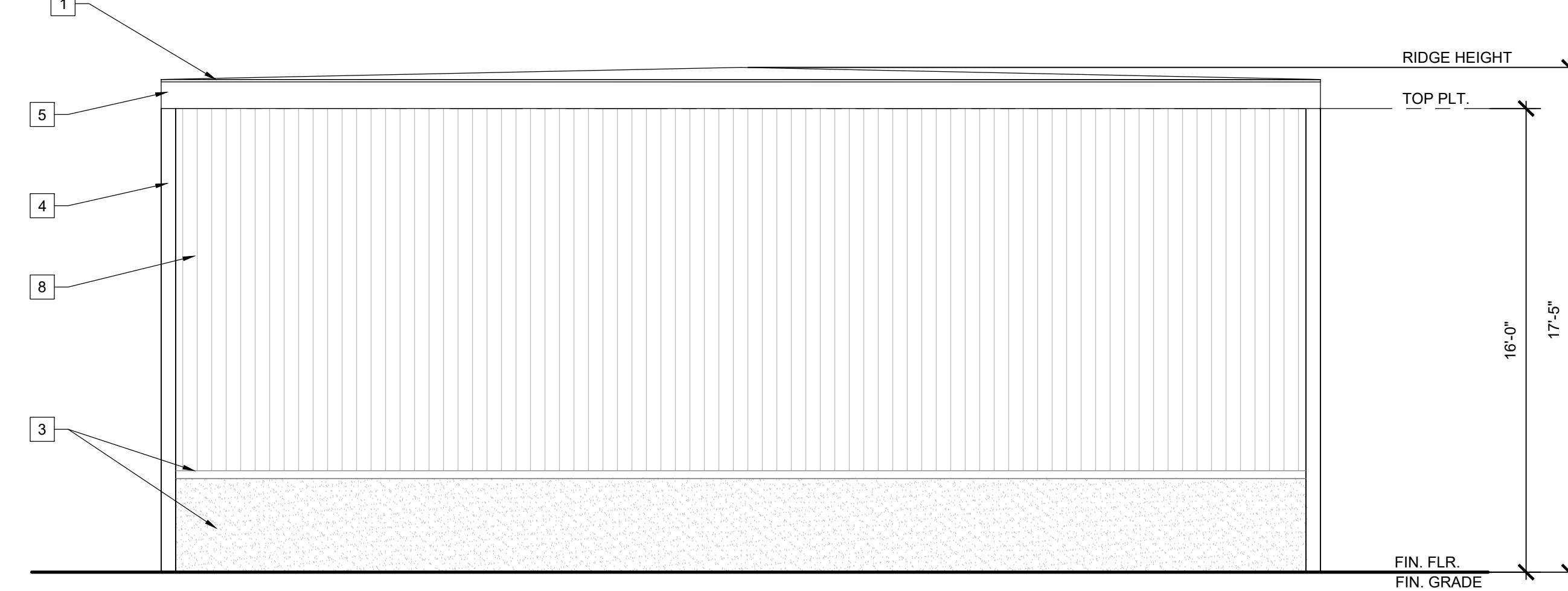
3 SIDE ELEVATION

PROJ. MGR.:		REVISIONS		DRAWN BY	CHECK BY
DATE:	ASSOC.:	DATE:	ASSOC.:	DATE:	ASSOC.:
PROJ. ASSOC.:					
DRAWN BY:					
DATE:					
SCALE:					
EMPIRE RV AND BOAT STORAGE					
EMPIRE RANCH AND HWY 50, CARSON CITY, NEVADA					
ELEVATIONS - STORAGE UNITS 16'x40' & 16'x30'					
SHEET A2.1					
RWL.CCNV04.01					



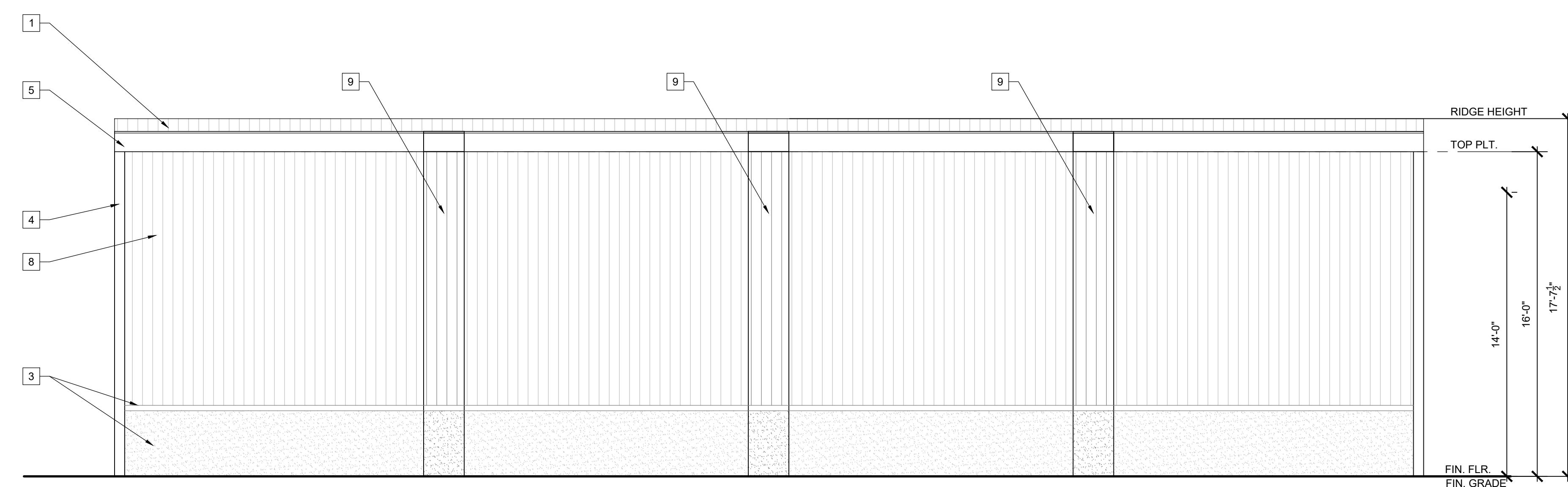
1 FRONT ELEVATION

SCALE: 1/4" = 1'



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

(2) SIDE ELEV.



3 REAR ELEVATION

3 REAR E

KEY NOTES	
SYMBOL	
1	METAL ROOFING O/ 30# FELT O/ ROOF SHEATHING
2	EXTERIOR CEMENT PLASTER TO BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS & SCREED SHALL BE 4" MIN. CLEARANCE TO GRADE & 2" MIN. TO CONCRETE
3	STUCCO BAND W/ CAP O/ WEATHER RESISTANT BARRIER
4	METAL TRIM
5	METAL FASCIA
6	4" Ø CONCRETE FILLED STEEL BALLARD, TYPICAL EACH SIDE OF DOOR
7	12'-0"x14'-0" METAL ROLL-UP DOOR PER OWNER
8	METAL SIDING
9	2'-0"x 1'-0" METAL BUILDING POPOUTS
10	STEEL COLUMN



3476
Civil
Cons

EMPIRE RV AND BOAT STORAGE

EMPIRE RANCH AND HWY 50, CARSON CITY, NEVADA

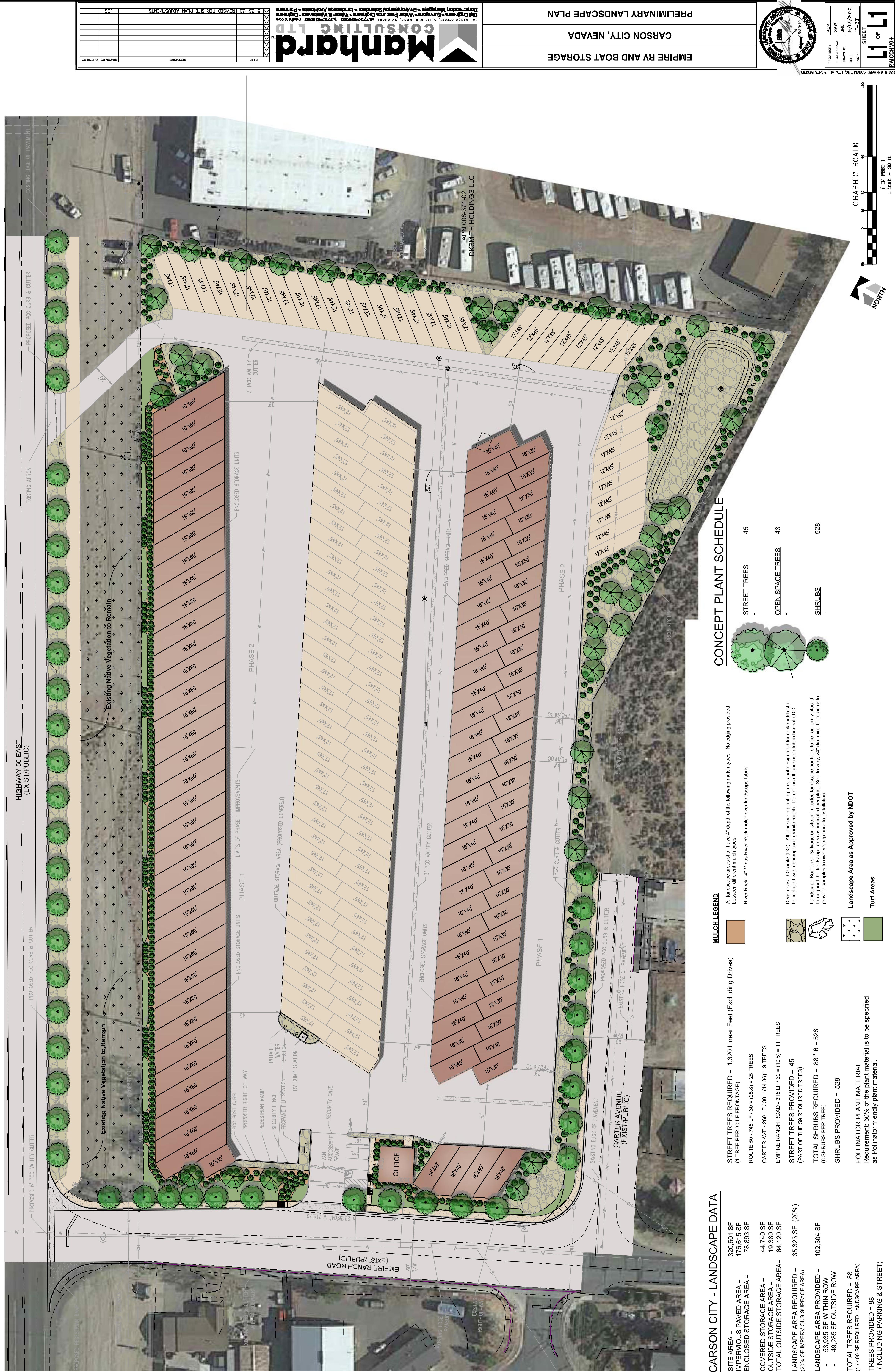
LEVELS - STORAGE UNITS (4) 16'x40'

PROJ. MGR.:	TJP
PROJ. ASSOC.:	ADM
DRAWN BY:	TJP
DATE:	5/26/2020
SCALE:	1/4"=1'-0"
SHEET	
A2.4	
RWI.CCNV04.01	

EMPIRE RV & BOAT STORAGE

PRELIMINARY LANDSCAPE PLAN

CITY OF CARSON CITY, NEVADA



Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Empire RV and Boat Storage

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- N/A Located in a priority infill development area (1.2a)?
- N/A Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- N/A At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- N/A In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
 - Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
 - Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
 - Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
 - Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- N/A If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- N/A Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- N/A Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

N/A Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)

N/A Encourage the development of regional retail centers (5.2a)

N/A Encourage reuse or redevelopment of underused retail spaces (5.2b)?

N/A Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?

N/A Promote revitalization of the Downtown core (5.6a)?

N/A Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

N/A If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

N/A If located Downtown:

- Integrate an appropriate mix and density of uses (8.1a, e)?
- Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
- Incorporate appropriate public spaces, plazas and other amenities (8.1d)?

N/A Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

N/A Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

N/A Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Payment History

Fiscal Year		Total Due		Total Paid		Amount Unpaid			Date Paid	
	(2019 - 2020)	\$3,692.81		\$3,692.81		\$0.00			8/13/2019	
Installment	Paid By	Date Due	Date Paid	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid	
1	JANB LLC	8/19/2019	8/13/2019	\$923.81	\$0.00	\$0.00	\$923.81	\$923.81	\$0.00	
2	JANB LLC	10/7/2019	8/13/2019	\$923.00	\$0.00	\$0.00	\$923.00	\$923.00	\$0.00	
3	JANB LLC	1/6/2020	8/13/2019	\$923.00	\$0.00	\$0.00	\$923.00	\$923.00	\$0.00	
4	JANB LLC	3/2/2020	8/13/2019	\$923.00	\$0.00	\$0.00	\$923.00	\$923.00	\$0.00	

Payment History

Fiscal Year		Total Due		Total Paid		Amount Unpaid			Date Paid	
	(2019 - 2020)	\$4,045.47		\$4,045.47		\$0.00			8/13/2019	
Installment	Paid By	Date Due	Date Paid	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid	
1	JANB LLC	8/19/2019	8/13/2019	\$1,012.47	\$0.00	\$0.00	\$1,012.47	\$1,012.47	\$0.00	
2	JANB LLC	10/7/2019	8/13/2019	\$1,011.00	\$0.00	\$0.00	\$1,011.00	\$1,011.00	\$0.00	
3	JANB LLC	1/6/2020	8/13/2019	\$1,011.00	\$0.00	\$0.00	\$1,011.00	\$1,011.00	\$0.00	
4	JANB LLC	3/2/2020	8/13/2019	\$1,011.00	\$0.00	\$0.00	\$1,011.00	\$1,011.00	\$0.00	

Payment History

Fiscal Year		Total Due		Total Paid		Amount Unpaid			Date Paid	
	(2019 - 2020)	\$560.17		\$560.17		\$0.00			8/13/2019	
Installment	Paid By	Date Due	Date Paid	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid	
1	JANB LLC	8/19/2019	8/13/2019	\$140.17	\$0.00	\$0.00	\$140.17	\$140.17	\$0.00	
2	JANB LLC	10/7/2019	8/13/2019	\$140.00	\$0.00	\$0.00	\$140.00	\$140.00	\$0.00	
3	JANB LLC	1/6/2020	8/13/2019	\$140.00	\$0.00	\$0.00	\$140.00	\$140.00	\$0.00	
4	JANB LLC	3/2/2020	8/13/2019	\$140.00	\$0.00	\$0.00	\$140.00	\$140.00	\$0.00	

Payment History									
	Fiscal Year	Total Due		Total Paid		Amount Unpaid		Date Paid	
•	(2019 - 2020)	\$5,465.47		\$5,465.47		\$0.00		2/25/2020	
Installment	Paid By	Date Due	Date Paid	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid
1	JANB LLC	8/19/2019	8/13/2019	\$1,367.47	\$0.00	\$0.00	\$1,367.47	\$1,367.47	\$0.00
2	BALLARDINI, NICOLE *ECHK*	10/7/2019	10/8/2019	\$1,366.00	\$0.00	\$0.00	\$1,366.00	\$1,366.00	\$0.00
3	NICOLE BALLARDINI *ECHK*	1/6/2020	1/7/2020	\$1,366.00	\$0.00	\$0.00	\$1,366.00	\$1,366.00	\$0.00
4	NICOLE BALLARDINI *ECHK*	3/2/2020	2/25/2020	\$1,366.00	\$0.00	\$0.00	\$1,366.00	\$1,366.00	\$0.00

May 26, 2020

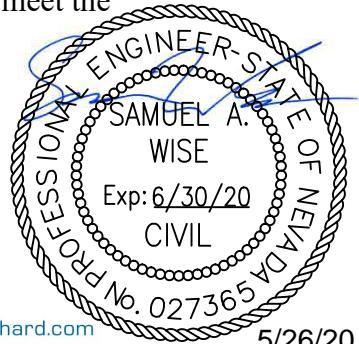
Carson City
 Community Development Department
 108 E. Proctor Street
 Carson City, NV 89701

Empire Storage Special Use Permit – Project Impact Report: WATER

To whom it may concern,

The new Empire Storage site is located within the limits of the Carson City water system. The project site is bounded by US Highway 50 East to the north, commercial properties along Empire Ranch Road to the west, single-family residential along Carter Avenue to the south, and an existing parcel to the east zoned general industrial. There is an existing 6-inch waterline running north-south in Empire Ranch Road, and an 8-inch waterline running east-west in Carter Avenue that will serve the site. Main extensions are proposed as a part of this project and will include a new 6-inch waterline extended along the highway frontage of the property, and extension of the 6-inch waterline in Carter Avenue. The extension of the waterline in Carter Avenue will continue east for approximately 100 LF, and then turn 90-degrees to run northeast through the site and connect to the waterline extension along the highway.

The proposed Empire Storage site will include 98 covered storage units, and a single office for the manager of the property. The improvements are proposed in two phases, and all of the water main improvements will be included in the first phase. The office is the only building that will need water service. The future water demands consist of a domestic demand from the managers office, irrigation demand for site landscaping, and fire flow demand from proposed fire hydrants for the site. Fire flow for the site is calculated based upon building square footage and type of building construction. The largest storage unit proposed on-site, is 960 SF was used to determine fire flow requirements. Type of construction for the site is assumed to be Type IIB. Based on these properties, the required fire flow for the site per IFC Appendix B is 1,500 GPM for a duration of 2 hours. Three fire hydrants are anticipated to be needed for the site. A fire flow test on the existing waterlines will be performed on the existing water lines by Thomas Grundy and will include information on the existing water lines related to psi and capacity at 20 psi. It is understood that there must be adequate capacity to meet the demands of this project.



May 26, 2020

Carson City
 Community Development Department
 108 E. Proctor Street
 Carson City, NV 89701

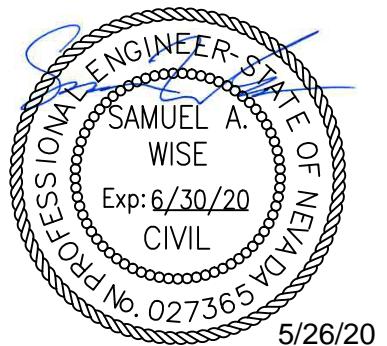
Empire Storage Special Use Permit – Project Impact Report: SEWER

To whom it may concern,

The new Empire Storage site is located within the limits of the Carson City sewer system. The project site is bounded by US Highway 50 East to the north, commercial properties along Empire Ranch Road to the west, single-family residential along Carter Avenue to the south, and an existing parcel to the east zoned general industrial. There is an existing 10-inch sewer line running west-east along the south side of US Highway 50 that will serve the site.

The future sewer demands consist of a domestic demand from the manager's office and an RV dump station on-site. The sewer flows these will generate is unknown but expected to be low and under 2,000 GPD for the manager's office and dump station. The sewer flows generated by the site will be routed to the existing sewer main by a proposed sewer lateral running north, parallel to Empire Ranch Road.

The proposed Empire Storage site will include 98 covered storage units, a single office for the manager of the property, and a RV dump station. The improvements are proposed in two phases, and all of the sanitary sewer improvements will be included in the first phase. The office and RV dump station are the only building that will need sewer service. A 4-inch sewer lateral will adequately cover the demand of the proposed site.



May 26, 2020

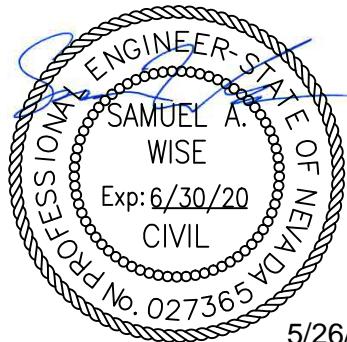
Carson City
 Community Development Department
 108 E. Proctor Street
 Carson City, NV 89701

Empire Storage Special Use Permit – Project Impact Report: DRAINAGE

To whom it may concern,

The project site is bounded by US Highway 50 East to the north, commercial properties along Empire Ranch Road to the west, single-family residential along Carter Avenue to the south, and an existing parcel to the east zoned general industrial. The existing site currently drains to the south-east into an existing drainage ditch that leaves the property. This ditch drains to the south-east where it crosses vacant and single-family parcels and then under Morgan Mill Road where flows enter the Empire Ranch Golf Course. Flows are routed into ponds on the golf course and then outlet into the Carson River.

The existing site is undeveloped and includes a mix of ground cover that ranges from dense sage brush and grasses on the western portion, to compacted rock base on the eastern side. The proposed site will include landscaping around the perimeter but will be mostly impervious surfaces. The storm water runoff from the proposed site will be detained in an on-site detention pond. Flows from the pond will be controlled by an outlet structure and will release storm water flows under the pre-developed flow.



5/26/20

May 26, 2020

Carson City
Community Development Department
108 E. Proctor Street
Carson City, NV 89701

Empire Storage Special Use Permit – Project Impact Report: TRAFFIC

To whom it may concern,

The Institute of Transportation Engineers (ITE) Trip Generation Handbook, 10th Edition, indicates that trip generation for mini-warehouse (Land Use 151), the most closely associated use for enclosed RV and boat storage, is 1.51 average daily trips (ADT) per 1,000 sq. ft. of floor area (125,280 sq. ft. proposed). The total trip generation is 190; (1.51 x 125.3). Because the project will not generate more than 80 peak hour trips or more than 500 ADT according to ITE trip generation rates, a traffic impact study is not required.

Figure 8: Trip Generation

ITE Land Use	ITE Trip Generation per 1,000 sq. ft. of floor area	Proposed Floor Area	Project Trip Generation
Land Use 151: Mini-Warehouse	1.51 ADT x 125.3	125,280 sq. ft.	190