

## STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF JULY 29, 2020

FILE NO: LU-2020-0026

AGENDA ITEM: E.4

STAFF CONTACT: Hope Sullivan, Planning Manager

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request for a parking lot as a primary use on property zoned Downtown Mixed Use (DTMU), located at the northeast corner of the intersection of South Curry Street and West 5th Street, APN 003-116-06. (Hope Sullivan, hsullivan@carson.org)

**STAFF SUMMARY:** The applicant is seeking to construct a parking lot on a parcel west of the Bank Saloon. Per CCMC 18.04.125, a parking lot as a primary use is a conditional use in the DTMU zoning district and may only be established subject to a Special Use Permit. The Planning Commission is authorized to approve a Special Use Permit.

**RECOMMENDED MOTION:** "I move to approve LU-2020-0026, based on the findings and subject to the conditions of approval contained in the staff report."

### VICINITY MAP:



### RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.

3. All on and off-site improvements shall conform to city standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one year extension of time may be requested in writing to the Planning Division thirty days prior to the one year expiration date. Should this permit not be initiated (obtain a Building Permit) within one year and no extension granted, the permit shall become null and void.
5. The driveway apron on Curry Street that will no longer be used must be removed and replaced with sidewalk.
6. The project must meet Carson City Development Standards including but not limited to the water meter must not be within a driving surface (CCMC 13.13.030). The existing water lateral will need to be abandoned and a new lateral installed from Curry Street, or water taken from 418 South Carson Street with appropriate backflow prevention and easement.
7. The parking lot must be surrounded by a 3.5 foot tall wrought iron fence.
8. Any on-site exterior lighting specifications must be submitted with the construction plans for review and approval by the Community Development Director to ensure consistency with the Downtown Development Standards.
9. Details of any on-site signs must be submitted with the construction plans for review and approval by the Community Development Director to ensure consistency with the Downtown Development Standards.
10. The trash enclosure specifications must be submitted with the construction plans for review and approval by the Community Development Director to ensure consistency with the Downtown Development Standards.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits), CCMC 18.04.125 (Downtown Mixed-Use DT-MU); Development Standards Division 6 (Downtown Mixed-Use District)

**MASTER PLAN DESIGNATION:** Downtown Mixed-Use

**ZONING DISTRICT:** Downtown Mixed-Use District

**KEY ISSUES:** Will the proposed parking lot be compatible with the surrounding neighborhood, as well as consistent with the design standards for the Downtown Mixed-Use District?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: Downtown Mixed-Use and Retail Commercial / office use  
EAST: Downtown Mixed-Use / single family residential  
WEST: Downtown Mixed-Use / bar and office (under construction)  
SOUTH: Downtown Mixed-Use / The Ormsby House

**ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: Zone X shaded

EARTHQUAKE FAULT: Moderate Severity, beyond 500 feet

SLOPE/DRAINAGE: flat

**SITE DEVELOPMENT INFORMATION:**

LOT SIZE: 5880 sqft

PROPOSED USE: parking

VARIANCES REQUESTED: None

**PREVIOUS REVIEWS:** None

**DISCUSSION:**

The subject vacant property is located to the east of the Bank Saloon. The applicant proposes to improve the property to serve primarily as a parking lot, although a portion of the Bank Saloon patio, a shed, and a trash enclosure that will benefit the Bank Saloon will also be located on the property.

The parking lot is initially intended to serve the Bank Saloon, although it is on a separate piece of property. In accordance with Development Standards 6.6.5, no parking is required for a change of use of an existing building in the downtown mixed-use zoning district. Therefore, the Bank Saloon has no requirement to provide parking.

The parking lot is being treated as its own use as (1) it is on a separate parcel than the Bank Saloon, and (2) to ensure that there is no confusion that the Bank Saloon has no requirement to provide parking. In the future, the land use of the parking lot parcel could change without jeopardizing the legal functionality of the Bank Saloon.

A parking lot as a primary use is a conditional use in the DTMU zoning district and can only be established upon issuance of a Special Use Permit.

**PUBLIC COMMENTS:** Public notices were mailed to 39 property owners within 450 feet of the subject site on July 15, 2020. As of the writing of this report, no comments have been received. Any comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting, depending on the submittal date to the Planning Division.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:** The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The driveway apron on Curry Street that will no longer be used must be removed and replaced with sidewalk.
- The project must meet Carson City Development Standards including but not limited to:  
The water meter must not be within a driving surface (CCMC 13.13.030). The existing water lateral will need to be abandoned and a new lateral installed from Curry Street, or water taken from 418 South Carson Street with appropriate backflow prevention and easement.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

**C.C.M.C. 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans.

**C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility**  
Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians**

The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if conditions are met.

**C.C.M.C. 18.02.080 (5d) - Public Services**

The project has a negligible impact to the City water and storm drain systems, and no impact to City sewer.

**C.C.M.C. 18.02.080 (5e) – Title 18 Standards**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare**

The project meets engineering standards for health and safety.

**C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5h) – Adequate Information**

The plans and reports provided were adequate for this analysis.

**Fire Department:**

1. Project must comply with the International Fire Code and northern Nevada fire code amendments as adopted by Carson City.

Note: Trash enclosure can't be within 5 feet of combustible eaves/walls/overhangs.

**Parks, Recreation and Open Space:**

1. The City will not be responsible for any landscape or irrigation system maintenance on the project. All landscaping and landscape maintenance in the right of way will be the sole responsibility of the owner should the owner's agreement with the NID cease.
2. Carson City is a Bee City, USA. As a result, the developer shall use approximately 50% pollinator friendly plant material for any required landscaping on the project site. Also, any remaining landscape plant material selection needs to be consistent with the City's approved tree species list or other tree species, as approved by the City. The Carson City Pollinator Plant list and other plant selection resources can be found on the Carson City Parks website.

**Curry St. Landscape plant palette (by common name)**

- Trees
  - Trident maple
  - Amur Maple
  - Redbud
  - Spring Snow Flowering Crabapple

- Flowering Pear
- Shrubs
  - Alpine Currant
  - Lavender
  - Anthony Waterer Spirea
- Perennials
  - Yarrow
  - Jupiter's Beard
  - Daylily
  - Coral Bells
  - Shasta Daisy
  - Mexican Evening Primrose
  - Firecracker Penstemon
- Ornamental Grasses
  - Karl Foerster Feather Reed Grass
  - Blue Oat Grass
  - Maiden Grass

3. The developer is required to incorporate “best management practices” into their construction documents and specifications to reduce the spread of noxious weeds. The spread of invasive and noxious weeds is a significant issue in construction projects that involve land disturbance. Earth moving activities contribute to the spread of weeds, as does the use of contaminated construction fill, seed, or erosion-control products. Experience has demonstrated that prevention is the least expensive and most effective way to halt the spread of noxious and invasive weeds. Preventing the establishment or spread of weeds relies upon:

- Educating workers about the importance of managing weeds on an ongoing basis;
- Properly identifying weed species to determine most appropriate treatment strategies;
- Avoiding or treating existing weed populations; and
- Incorporating measures into projects that prevent weed seeds or other plant parts from establishing new or bigger populations such as certification of weed-free products.

For more information on “best management practices”, please contact The Carson City Parks, Rec. and Open Space Dept. by phone or email through the contacts listed at the top of this document.

4. Carson City Municipal Code: Title 18, Division 3 should be reviewed by any/all parties involved in the proposed landscape design prior to landscape plans being submitted to the city for final approval of a building permit. Note: Special care and consideration should be taken in the protection of existing trees on-site.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) with the supplemental findings identified in 6.5.2 of the Development Standards as enumerated below and substantiated in the public record for the project.

**1. *Will be consistent with the objectives of the Master Plan elements.***

The project site is designated Downtown Mixed-Use (DTMU). The purpose of the designation is to recognize downtown as the most intense activity center and the “heart” of the community. The DTMU designation is intended to allow for and encourage a broader mix of uses than exist today in Downtown, while respecting its historic context and creating an inviting, pedestrian-friendly

environment.

The DTMU designation is provided specifically for the City's historic Downtown area, with a series of smaller "character areas." The subject property is in the Main Street Mixed-Use subarea. The purpose of the Main Street Mixed-Use Character Area is to provide opportunities for infill and redevelopment, while retaining the traditional "Main Street" character and scale of Carson Street. To support this objective, building heights will be limited along the Carson Street frontage and adjacent to the State Capitol Complex and other historic structures, but will be permitted to "step up" away from the street – providing for a broader range of development opportunities. Active uses, such as retail shops and restaurants, as well as urban residential units, are desired throughout the character area to promote a lively street environment and expanded hours of activity.

A parking lot is a conditional use in this zoning district. The subject property has been vacant for a number of years. The subject property is a 5880 square foot lot. Staff finds that the allowance for this small parking lot that will be surrounded by a 3.5 foot wrought iron fence and street trees will allow for businesses that don't have any parking to better function.

- 2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.***

The proposed improvements consist of 14 parking spaces, a patio area, a shed, and a trash enclosure. The parking area will be surrounded by a 3.5 foot tall decorative fence. A fence detail has not been provided, but staff has included a condition of approval that the parking area must be surrounded by a four foot tall wrought iron fence. Also, the applicant proposed street trees along Fifth Street and on Curry Street.

Staff finds that given the small size of the parking area coupled with the decorative fencing and streetscape, the use will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties. In fact, the parking area will help nearby businesses in that they will have access to off-street parking.

- 3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.***

Staff finds that the proposed parking lot and associated improvements will not have a detrimental effect on vehicular or pedestrian traffic. The fencing will create a clear delineation between the private parking area and the sidewalk, creating a safe situation for pedestrians. Additionally, the street trees will serve to further create separation for the pedestrians from the motorists.

The use will not create a detrimental effect on vehicular traffic. The driveway width is less than the maximum width of 34 feet and provides for sufficient site distance.

- 4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.***

The proposed parking lot will not impact sewer and water infrastructure. The impact to storm drain

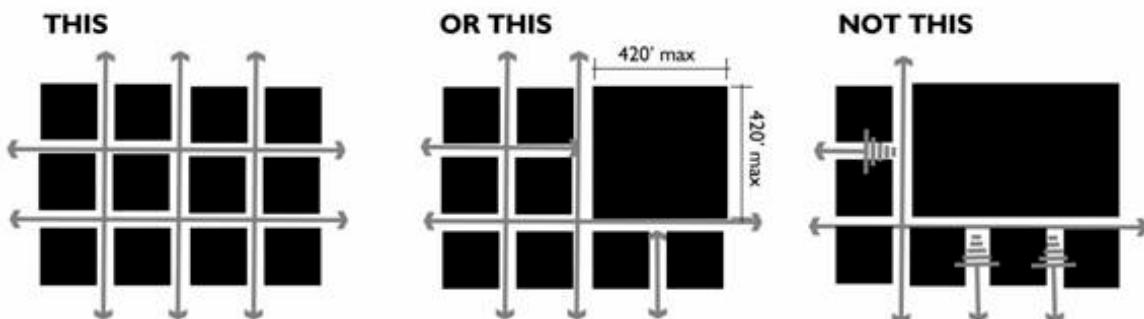
infrastructure is negligible. The propose project will not overburden schools, police, or fire protection.

**5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.***

Section 6.6 of the Development Standards provides for the general development standards and guidelines in the Downtown Mixed-Use District. These standards are as follows.

**6.6.1 Vehicular and Pedestrian Connections.**

1. *Intent.*
  - a. *To maintain a well-defined pattern of urban blocks within downtown that provide frequent connections to adjacent neighborhoods and serve as a framework for a varied mix of uses.*
  - b. *To maintain frequent pedestrian connections that reflect Carson City's traditional pattern of blocks while allowing for the incorporation of some larger developments and outdoor plazas that require the consolidation of 2 or more blocks, where appropriate.*
2. *Block Size.*
  - a. *To the maximum extent feasible, new development shall work within the framework of downtown's existing pattern of blocks to avoid interrupting the grid pattern, creating large "superblocks," and limiting access to adjacent neighborhoods.*
  - b. *Maximum block lengths resulting from block consolidation shall be limited to 420 feet.*
  - c. *Where block consolidation is proposed (by right-of-way abandonment), special consideration shall be given to vehicular circulation patterns, flood/drainage pathways, and view corridors to significant features in the area, such as the Capitol building and the mountains to the west.*



STAFF RESPONSE: The proposed development will not involve any modification to the shape or size of the block. The proposed project, as conditioned, will incorporate improvements to the sidewalk on Fifth Street.

**6.6.2 Lighting.**

1. *Intent.*
  - a. *To encourage a safe, appealing, and pedestrian-friendly nighttime environment within downtown core.*
  - b. *To promote the retention of the downtown core's unique nighttime character, as provided by its numerous lighted marques and animated lights.*
  - c. *To ensure that new lighting is compatible with the established character of the downtown and the surrounding neighborhoods.*
2. *Exterior Lighting.*

- a. *Low-scale, decorative lighting shall be used to accent architectural details, building entries, or signs. Additional, pedestrian-scaled lighting shall be provided to illuminate sidewalks, enhancing security and extending hours of activity.*
- b. *All light sources shall be shielded to protect the city's dark skies and prevent spillover into adjacent residential neighborhoods and the city's downtown.*
- c. *Lighted marques and animated lighting, such as chase lights, exist in many locations within downtown and are reflective of the city's gaming traditions. Generally, this type of lighting should be limited to that which exists today; however, new lights may be approved by the director or designee on a project-by-project basis.*
- d. *Building façade accent lighting is limited to an upward angle of 45 degrees and must be focused on the building to minimize light trespass onto adjacent properties and into the sky.*
3. *Storefront Lighting. The incorporation of interior window lighting to highlight displays is strongly encouraged to provide off-hour interest along Carson Street.*
4. *Street Lights. All street lights, whether intended for pedestrian or auto-oriented purposes, shall be consistent with the city's downtown streetscape plan.*

STAFF RESPONSE: The applicant proposes three lights along Fifth Street that will match the street lights found in the downtown on Carson Street. The applicant has not proposed on-site outdoor lighting. To ensure compliance with the downtown design standards, staff has included a condition of approval that any proposed on-site exterior lighting must be submitted with the construction plans for review and approval by the Community Development Director.

#### 6.6.3 Signage.

1. *Intent.*
  - a. *To encourage a diverse and visually interesting streetscape environment along Carson Street by allowing a variety of types of business signage, as traditionally found; and*
  - b. *To ensure that signage is compatible with the pedestrian-oriented scale of downtown.*
2. *General.*
  - a. *All standards contained in this subsection shall be applied in addition to signage regulations contained in Division 4 of the city's development standards.*
  - b. *If a conflict between the two articles appears to exist, the standards contained in this article shall take precedence.*
3. *Materials. Signs shall be constructed of durable, low-maintenance materials that complement the design and character of the building they serve.*
4. *Preferred Signage Types.*
  - a. *The use of hanging signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Hanging signs and other sign types attached to the front of buildings are permitted to project into the public right-of-way, over the sidewalk, subject to the issuance of an encroachment permit. Hanging signs shall not:*
    - (1) *Exceed 24 inches in height and 3 feet in length; or*
    - (2) *Be located where less than 8 feet of clear height can be provided above the sidewalk from the overhang or awning from which they are suspended.*
  - b. *The creative use of symbols or other images indicative of the use contained within the building in the design of signs is strongly encouraged.*
  - c. *The use of permanent window signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Window signs shall not exceed 10 percent of the window area.*
5. *Neighborhood Transition Character Area. The following standards shall be applicable within the neighborhood transition character area only.*
  - a. *The maximum freestanding sign height shall be 6 feet.*

- b. *Signs shall be designed to reflect the more residential scale and appearance of the neighborhood transition character area.*
- 6. *Wayfinding Signage. All on-site wayfinding signage shall be consistent with the city's wayfinding signage design standards.*
- 7. *A-Frame Signs ("Sandwich-Board" Signs).*
  - a. *One A-Frame sign is permitted per business per street frontage.*
  - b. *Sign must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.*
  - c. *A minimum of 6 feet of unobstructed sidewalk clearance must be maintained.*
  - d. *Signs must be professionally manufactured and shall not exceed 32 inches in width and 36 inches in height. However, chalkboard frames with erasable letters are also appropriate.*
  - e. *All signs shall be in good repair and neatly painted. No attachments to signs are permitted.*
  - f. *Signs shall not be displayed during non-business hours.*
  - g. *No sign shall be located where it obstructs the line of sight for passing motorists.*

STAFF RESPONSE: The applicant has not proposed any signage. To ensure compliance with the downtown design standards, staff has included a condition of approval that any proposed on-site exterior signs must be submitted with the construction plans for review and approval by the Community Development Director.

#### 6.6.4 Sustainable Design and Construction.

- 1. *Intent.*
  - a. *To encourage the use of sustainable building materials and construction techniques in downtown projects, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program;*
  - b. *To encourage the use of new and emerging technologies that lead to increased energy conservation for downtown uses; and*
  - c. *To establish downtown Carson City as a leader in the incorporation of innovative and sustainable design and construction techniques.*
- 2. *LEED (Leadership in Energy and Environmental Design). All new residential, commercial, and mixed-use buildings are required to meet basic LEED green building rating system criteria and are required to submit a LEED scorecard as part of the design review process.*

STAFF RESPONSE: The proposed development is limited to site work, a shed, a patio and construction of a trash enclosure. The proposed development does not will not involve a building.

#### 6.6.4 Outdoor Gathering Spaces and Community Amenities.

- 1. *Intent.*
  - a. *To establish a series of safe and inviting outdoor gathering spaces where downtown residents, employees, and visitors may gather, interact, rest, shop, and eat.*
  - b. *To create an attractive public realm and vibrant pedestrian environment within downtown's most urban character areas.*
  - c. *To encourage the incorporation of public art, urban recreation spaces, and other community amenities into the design of outdoor gathering space.*
- 2. *Improvements in Public Space. Public and private improvements on any city-owned property within the DT-MU district, including without limitation streets, sidewalks, curbs, landscaping and outdoor gathering and urban recreation spaces must conform to the design standards in this chapter and to the city's downtown streetscape plan, as applicable.*
- 3. *Provision of On-Site Amenities.*

- a. *Development on sites 50,000 square feet or less shall incorporate at least one of the following on-site outdoor gathering spaces or community amenities, and developments on sites larger than 50,000 square feet shall incorporate at least two of the following outdoor gathering spaces or community amenities and one additional amenity for each 25,000 square feet above 50,000 square feet of area, as highly-visible, easily-accessible, focal points:*
  - (1) *Patio or plaza with a minimum depth and width of 10-feet, and a minimum total area of 150 square feet.*
  - (2) *Landscaped mini-parks or squares provided such park or green has a minimum depth and width of 10-feet and a minimum total area of 250 square feet.*
  - (3) *Protected pedestrian walkways; arcades; recessed corner entries with a minimum area of 100 square feet; or easily identifiable building pass-throughs containing window displays and intended for general public access.*
  - (4) *Outdoor public art, as approved by the city, in an area that is:*
    - (i) *Visible from an adjacent public sidewalk or street, and*
    - (ii) *Easily accessed for viewing by pedestrians (e.g., a sculpture mounted to an exterior building wall).*
  - (5) *Similar feature as approved by the director or designee.*
- b. *Outdoor gathering spaces provided in accordance with the above standard shall incorporate a variety of pedestrian amenities to promote regular use. Pedestrian amenities may include, but are not limited to, seating, lighting, special paving, landscaping, food and flower vendors, artwork, and/or special urban recreational features.*
4. *Buildings Adjacent to Outdoor Gathering Spaces/Community Amenities. To ensure the visibility and security of outdoor gathering spaces and community amenities, buildings located adjacent to an existing or planned pedestrian plaza, patio, or urban park shall provide at least two of the following elements along the building wall abutting the outdoor gathering space or community amenities:*
  - a. *A building entry;*
  - b. *Windows meeting the street frontage standards facing onto the outdoor amenity;*
  - c. *Arcades along the edges of the outdoor amenity;*
  - d. *Outdoor seating areas or cafes; or*
  - e. *A similar feature that the director finds will, to at least the equivalent degree; bolster security and encourage pedestrian use of the outdoor amenity.*
5. *Outdoor Decks and Balconies. Decks and balconies may project into the public right-of-way, over sidewalk areas, subject to the issuance of an encroachment permit.*

STAFF RESPONSE: The applicant proposed a patio in excess of 500 square feet. As the development is less than 50,000 square feet, only one amenity is required.

#### 6.6.5 *Parking.*

1. *Intent.*
  - a. *To encourage the redevelopment of smaller sites and the preservation and adaptive reuse of historic structures in downtown by providing a more flexible approach to parking;*
  - b. *To minimize the visual and physical impact of surface parking lots on the downtown pedestrian environment;*
  - c. *To reduce the predominance of single-purpose, surface parking lots in downtown; and*
  - d. *To make efficient use of available on-street parking.*
2. *Minimum Required On-Site Parking.*

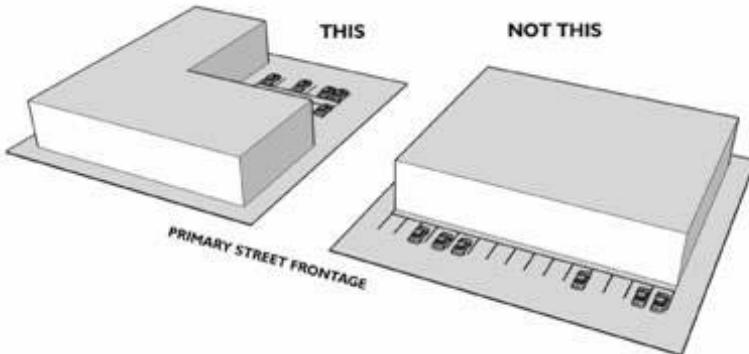
Type of Use	Minimum # of on-site Parking Spaces Required
<b>Commercial/Retail/Office Uses *</b>	
Existing building	No additional parking is required for a change of use in an existing building, even where the existing parking may be nonconforming. Additional parking must be provided in accordance with these standards for any building addition area that adds new habitable or leasable floor area. Amount of additional parking to be provided shall be calculated based upon new square footage only.

3. *Fee-In-Lieu.* Applicants may make an in-lieu payment (as defined within the Carson City downtown parking strategy) for construction, maintenance and operation of public off-street parking or on-street parking instead of providing the full number of off-street parking spaces as required above. The portion of required parking eligible for an in-lieu payment shall vary according to the type of use and the size of the development as follows:

Type of Use	Percentage of Required Off-street Parking spaces eligible for in-lieu payment
<b>Commercial/Retail/Office Uses</b>	
Existing building	Up to 100-percent of additional parking required in conjunction with a building addition area that adds new habitable or leasable floor area.

4. *Shared Parking.* The amount of off-street parking required may be reduced by an amount determined through a parking demand study establishing that sufficient parking is or can be met by the subject uses through shared parking. The parking demand study shall provide information and evidence about the anticipated parking demand at peak times during the day and the distance relationship between available shared parking spaces and the specific uses served.

5. *Tandem Parking.* Required parking for residents of residential developments may be provided in the form of tandem parking when at least one space is within an enclosed garage or parking structure.



6. *Parking Location.* Surface parking shall be located behind and/or to the side of buildings. Surface parking will not be permitted between the building and the primary street frontage.

STAFF RESPONSE: The proposed parking lot is located on a lot that is shielded from Carson Street by a building.

#### 6.6.6 Landscaping and Screening.

1. *Intent.*

- a. *To create a more attractive, inviting, streetscape environment within downtown;*
- b. *To reduce the visual prominence of surface parking within downtown; and*
- c. *To reinforce the more urban character of the downtown streetscape through the use of less space-intensive, structural screening methods.*

2. *Parking Lot Screening.*

- a. *All surface parking lots visible from the public right-of-way shall be screened using one of the following methods, unless otherwise noted in (c), below:*
  - (1) *A low masonry wall in combination with landscaping; or*
  - (2) *A wrought iron or other ornamental fence in combination with landscaping.*
- b. *To satisfy the above standard:*
  - (1) *Landscaping shall be planted between the wall and the public right-of-way, sidewalk, or boundary; and*
  - (2) *Walls, fences, and landscaping shall not exceed 3.5 feet in height to adequately screen most car headlights while maintaining clear visibility into and out of the parking lot.*
- c. *Developments of less than 10,000 square feet, or that involve the renovation of an existing building may use an ornamental fence or wall as a standalone screening mechanism to meet the surface parking screening requirement above to maximize available space.*

### Parking Lot Screening



**STAFF RESPONSE:** The applicant proposes to screen the parking lot with a four foot iron fence along Fifth Street and Curry Street, and with a four foot decorative metal fence on the northside of the parking lot. To comply with the standards, the fence should not exceed a height of 3.5 feet. As the site is less than 10,000 square feet, the ornamental fence may stand alone and does not need to be supplemented with landscaping. Staff has included a condition of approval that the fence may not exceed 3.5 feet in height.

3. *Trash Collection Areas.*

- a. *Trash enclosure area shall be provided or available to serve any new development or*

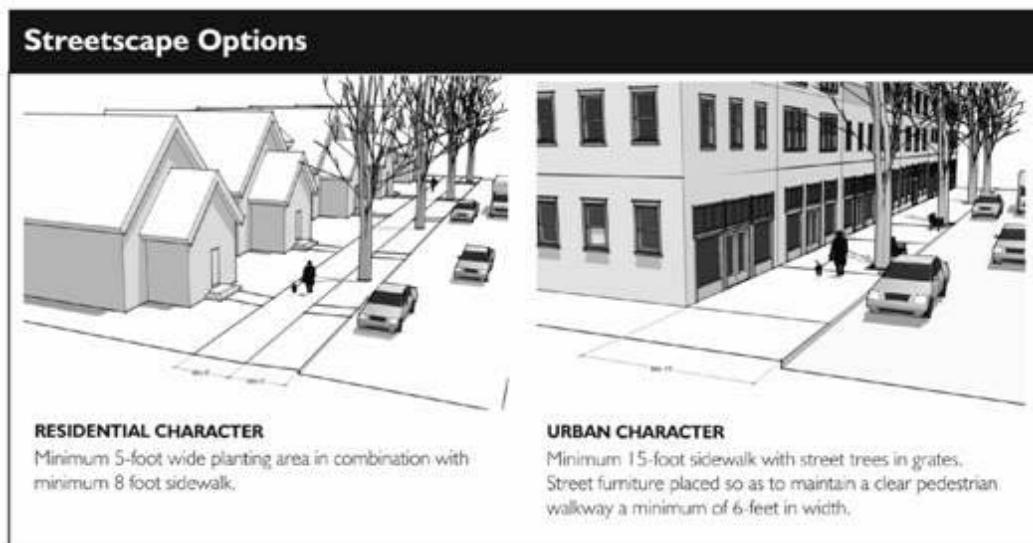
*building expansion. Unscreened storage of trash receptacles is prohibited.*

- b. *Trash collection areas shall be screened from public rights-of-way and adjacent uses through the use of a 6-foot masonry wall enclosure and gate.*
- c. *Trash enclosures should be compatible with the architectural character of the building they serve and should incorporate similar materials and colors.*

**STAFF RESPONSE:** Staff is recommending a condition of approval that the trash enclosure specifications must be submitted with the construction plans for review and approval by the Community Development Director to ensure consistency with the Downtown Development Standards.

#### 6.6.7 Streetscape.

- 1. *Intent.*
  - a. *To create a safe, inviting streetscape environment for pedestrians in downtown;*
  - b. *To ensure that streetscape enhancements provided by infill and redevelopment projects are consistent with the city's downtown streetscape plan, and the surrounding development context, as applicable.*
- 2. *Downtown Streetscape Plan. Streetscape treatments (including street furniture) for all developments shall be provided in accordance with the city's downtown streetscape plan, as applicable.*
- 3. *Streetscape.*
  - a. *Prior to the completion of the city's downtown streetscape plan, and for all other properties not addressed within the completed downtown streetscape plan, streetscape shall be provided along all street frontages as follows:*
    - (1). *Residential Character: Minimum 5 foot-wide planter area in combination with minimum 8 foot sidewalk; or*
    - (2). *Urban Character: Minimum 15-foot sidewalk with street trees in grates.*
  - b. *Where angled, on-street parking currently exists or is specified within the city's downtown streetscape plan and the above configurations are not feasible, alternative streetscape configurations may be approved by the director.*
  - c. *Street furniture shall be placed so as to maintain a clear pedestrian walkway that is a minimum of 6 feet in width. Street furniture includes benches, trash receptacles, outdoor dining areas, and other pedestrian amenities.*



- 4. *Clear Zone. A clear zone of a minimum of 6-feet in width that is unobstructed by any permanent or nonpermanent street furniture, outdoor merchandise displays, benches,*

*trash receptacles, outdoor dining areas, and other pedestrian amenities must be maintained.*

5. *Outdoor Merchandise Displays.*
  - a. *Each business shall be limited to one outdoor merchandise display. Outdoor merchandise displays may include:*
    - (1) *A single display table a maximum of 3 feet wide and 6 feet in length;*
    - (2) *A mannequin used to display clothing or other merchandise sold within the store;*
    - (3) *A grouping of furniture or other merchandise sold within the store that occupies a portion of the sidewalk not more than 3 feet in width and 6 feet in length; or*
    - (4) *Similar display as approved by the director.*
  - b. *Outdoor merchandise displays must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.*
  - c. *Outdoor merchandise displays shall be in compliance with clear zone provisions, as specified in subsection 6.6.7(4), of this section.*
  - d. *Outdoor merchandise displays shall not be displayed during non-business hours.*
  - e. *No outdoor merchandise display shall be located where it obstructs the line of sight for passing motorists.*

**STAFF RESPONSE:** The applicant proposes to install three street trees along Fifth Street, and one along Curry Street as well as the decorative street lights found in the downtown area. No merchandise display is proposed in the expanded area.

#### **6.6.9 Street and Sidewalk Vending.**

1. *Intent.*
  - a. *To establish a set of baseline standards for the regulation of street vendor carts within downtown to ensure that they complement existing retail businesses, are compatible with the character of downtown, and expand the range of services available to downtown workers, visitors, and residents; and*
  - b. *To establish a framework for the long-term development of a formal street and sidewalk vending program to enliven the Downtown streetscape.*
2. *Vendor Carts. Street vendors are permitted in the DT-MU district only after approval by the redevelopment advisory citizens committee. Street vendors should have a positive impact upon the downtown, as determined by an evaluation of the application against all relevant provisions of this title. The following minimum standards shall apply for all such requests:*
  - a. *Street vendors shall be approved at a specific, permanent location;*
  - b. *Carts used for street vending shall be on wheels and shall not be larger than 3 feet by 5 feet;*
  - c. *Only consumable products may be sold from a street vendor cart;*
  - d. *If located within a city or State right-of-way, encroachment permits and liability insurance shall be required;*
  - e. *If adjacent to or in front of a business not their own, the street vendor cart operator shall be responsible for obtaining permission of the affected business and property owner and shall submit evidence of such permission;*
  - f. *If adjacent to or in front of a property listed in the Carson City historic district, review, approval, and compliance with conditions of the HRC shall be required;*
  - g. *Electrical and gas services require review and approval of the building and engineering divisions and the fire department;*
  - h. *Approval of the health department is required for all food vendors.*
3. *Vending Review Board. The redevelopment advisory citizens committee shall serve as the vending review board to review all applications for street vending.*

**STAFF RESPONSE:** No street vendors or vendor carts are proposed.

**6.6.10 Building Design and Character.**

1. **Intent.**
  - a. *Allow for the incorporation of a variety of architectural styles while ensuring that infill and redevelopment relates to the historic traditions of downtown Carson City and its surrounding neighborhoods in terms of its basic form, composition of building elements, and quality of materials;*
  - b. *Establish a high quality appearance for downtown infill and redevelopment through the incorporation of architectural detailing, façade articulation, and other features designed to provide a more distinct character and pedestrian scale;*
  - c. *Ensure that infill and redevelopment contributes towards the vision set forth for downtown by the city's master plan.*
2. **Materials.** Primary building materials shall be durable and project an image of permanence typical of downtown's traditional masonry storefronts and public buildings. Appropriate materials include, but are not limited to brick, stone, or other masonry products, steel, stucco, cast concrete, split face block, composite siding, or comparable material approved by the director.
3. **Four-Sided Design.**
  - a. *All building facades shall be designed with a similar level of design detail. Blank walls void of architectural detailing shall not be permitted.*
  - b. *Exceptions from the above standard may be granted for those areas of the building envelope that the applicant can demonstrate are not visible from adjacent development and streets.*
  - c. *Entrance locations should be placed with consideration of business-to-business pedestrian access and the relation to pedestrian crossings for safety.*
4. **Street Level Interest/Transparency.**
  - a. *A minimum percentage of the total area of each ground floor building façade which faces a street, plaza, park, or other public space, shall be comprised of transparent window openings to allow views of interior spaces and merchandise, to enhance the safety of public spaces by providing direct visibility to the street, and to create a more inviting environment for pedestrians. Minimum percentages vary according to character area and use as follows:*
    - (1) *Main Street Mixed-Use Character Area: 50 percent minimum.*
    - (2) *Urban Mixed-Use Character Area:*
      - (a) *Non-Residential Uses: 50 percent minimum;*
      - (b) *Residential Uses: 35 percent minimum.*
    - (3) *Neighborhood Transition Character Area:*
      - (a) *Non-Residential Uses: 40 percent minimum;*
      - (b) *Residential Uses: 30 percent minimum.*
  - b. *For the purposes of the above standard, all percentages shall be measured using elevation views of the building plan and "ground floor" shall be measured from floor plate to floor plate.*
  - c. *The following standards shall apply to all ground floor windows:*
    - (1) *Non-residential Uses. Glazing on all ground floor windows shall be transparent;*
    - (2) *Residential Uses. Glazing on ground floor windows shall be transparent to allow views into common hallways, foyers, or entryways, but may be translucent or opaque when necessary to protect the privacy of ground-floor spaces used for dwelling purposes;*
    - (3) *Black or mirrored glass is prohibited.*
5. **Primary Building Entrances.** Primary building entrances shall be clearly distinguished

*through the use of one or more of the following architectural features:*

- a. *Covered walkways or arcades;*
- b. *Awnings, canopies, or porches; and/or*
- c. *Projected or recessed building mass.*

6. *Parking Structures.*

- a. *Facades of single-use parking structures (e.g., no retail or residential) shall be articulated through the use of 3 or more of the following architectural features:*
  - (1) *Windows or window shaped openings;*
  - (2) *Masonry columns;*
  - (3) *Decorative wall insets or projections;*
  - (4) *Awnings;*
  - (5) *Changes in color or texture of materials;*
  - (6) *Approved public art;*
  - (7) *Integrated landscape planters; or*
  - (8) *Other features as approved by the director or designee.*
- b. *Openings in parking structures shall be designed to screen views of parked cars from surrounding properties through the use of architectural screens or similar features.*

7. *Residential Garage Location and Design.*

- a. *Where lot configurations permit, residential garages shall be located in the rear yard and accessed from the alley or a narrow drive from the street, as traditionally found in downtown's residential neighborhoods.*
- b. *Attached front-loading garages shall be recessed behind the front façade of the home a minimum of 10 feet.*

8. *Screening of Utility/Mechanical Equipment.*

- a. *Roof mounted mechanical equipment shall be screened from public rights-of-way and adjacent properties through the use of parapet walls, equipment wells, architectural screens, or similar features that may be integrated into the overall design of the building.*
- b. *All equipment shall be located below the highest vertical element of the building.*
- c. *Wall-mounted air conditioning units shall be integrated into the design of the building and/or screened.*

STAFF RESPONSE: The proposed development does not include a building.

6.6.11 *Guidelines for the Renovation and Restoration of Existing Structures.*

- 1. *Intent.*
  - a. *To promote the preservation of existing downtown buildings that have historic characteristics, although they are not included as part of the historic district.*
  - b. *To promote and establish appropriate procedures for the cleaning, renovation, and restoration of original downtown storefronts that have been substantially altered and obscured during previous remodeling efforts.*
- 2. *Inappropriate Alterations.*
  - a. *Remodeling with unauthentic false historical details, trims, and moldings creates a confusing historical context for the community and should be avoided.*
  - b. *The use of light gauge metal, steel panels, or other materials to make two or more storefronts appear to be a single, larger structure should be avoided. If panels are already in place, upper story windows, storefronts, doors, cornices, and other trim materials which were removed to accommodate the panels should be researched and replaced during the rehabilitation process.*
  - c. *Upper story doors and windows and street-level storefronts that have been previously covered, sealed, or filled in should be restored to their original proportions and appearance during the rehabilitation process.*

- d. *Transom windows which were covered over when suspended acoustical tiled ceilings were installed, or for other reasons, should be uncovered during the rehabilitation process.*
3. *Cleaning.*
  - a. *Abrasive cleaning techniques such as sandblasting should be avoided on the exterior of downtown buildings. Such cleaning methods cut into the building's materials, causing irreversible damage.*
  - b. *Sandblasted buildings that have not severely deteriorated should be painted to slow the process. Care must be taken to avoid varnishes, enamels, polyurethane sealants and other products impervious to moisture penetration. Sealants will lock moisture inside the masonry and prevent evaporation ultimately causing severe moisture damage.*
  - c. *As an alternative to abrasive cleaning techniques, the following techniques should be considered:*
    - (1) *A gentle water wash in combination with a natural bristle brush used to gently scrub the surface of the building. If necessary, a mild detergent can be used, but must be thoroughly rinsed.*
      - (a) *For heavy grime or layers of paint, a chemical cleaner may be necessary. Alkaline or acidic cleaners are available; however, chemical cleaning should always be done by experienced professionals.*
      - (b) *A steam cleaning process may also be appropriate for certain building materials.*
  - d. *Whether water, steam, or chemical cleaner is used, always clean a test patch area first to judge the reaction, or consult a professional in the field. A list of local professionals is available at the planning division.*
  - e. *All debris and cleaning materials should be contained on site and not allowed to flow into the storm drain system.*
4. *Repair, Removal, and Replacement.*
  - a. *Removal of materials or structures including oversized signs, windows or door coverings, or metal slipcovers should not take place until the following steps are followed:*
    - (1) *Inventory and photograph or draw accurate elevations of the elements to be removed;*
    - (2) *Examine each element and determine how it is attached and anchored to the building. If possible, remove a small portion of a slipcover to determine how the rest is anchored;*
    - (3) *Create a plan for repair of original material that was damaged when alterations were made; drilled holes for anchor bolts, lost or damaged decorative elements, accumulated dirt and rust stains are the most common types of damage.*
  - b. *If a decorative element such as a cornice or trim around a window was removed or altered to accommodate earlier renovation efforts, it may require replication by a skilled artisan or replacement with a simpler element. Catalogs of companies that specialize in replicating historic building architectural details are available from the planning division.*
  - c. *If the original element is lost and no photo documentation is present, it is recommended that the element be substituted with a more conservative design element.*
  - d. *Materials used to renovate existing buildings should be of a texture, scale, and color that are compatible with the original primary building material. Replacement parts should be selected so as to blend in with existing ones; rather than calling attention to themselves.*

- e. Native stone and masonry should be retained on existing buildings when possible.
- f. Missing or damaged architectural features that are to be replaced should blend with the building fabric and duplicate the old or match it as closely as possible. However, these new materials should not be antiqued or made to look old when they are not.
- g. Retention of original historic building elements is encouraged over replacement. When replacement is required, attention should be given to matching the building's original window treatment as closely as possible.

STAFF RESPONSE: The proposed development does not include the restoration or renovation of an existing structure.

**6. *Will not be detrimental to the public health, safety, convenience and welfare.***

The project will not be detrimental to the public health, safety, convenience, or welfare. The intent of the project is to improve a vacant lot to accommodate off-street parking, a patio, a shed, and a trash enclosure.

**7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.***

The project will not result in material damage or prejudice to other properties within the vicinity. The project consists of improving a vacant lot to accommodate off-street parking, a patio, a shed, and a trash enclosure.

### **Supplemental findings**

Development Standards 6.5.2 requires that in addition to the findings listed in Section 18.02.080 of this code, the following three supplement findings must be found in the affirmative for the proposed conditional use.

1. *Is consistent and compatible with the character and intent for the downtown character area in which it is proposed;*

The applicant is proposing to improve a small vacant lot to accommodate 14 parking spaces, a patio, a shed, and a trash enclosure. The parking area will be surrounded by a decorative wrought iron fence. Also, to remain consistent and compatible with the character of downtown, the applicant will install street trees and street lights consistent with the downtown.

2. *Incorporates or can be incorporated as part of a broader mix of uses to support an active "people-oriented" environment within the downtown character area; and*

The proposed development includes a patio that will be associated with the Bank Saloon. This will be an active, people-oriented complement to the downtown area. Also, the street trees and sidewalk improvements along the property will improve the pedestrian experience.

3. *Can be integrated into the more urban development pattern in a manner that is consistent with master plan policies for downtown.*

The subject request is intended to accommodate off-street parking, a patio, a trash enclosure, and a shed. As conditioned, the expansion will incorporate the Downtown Mixed-Use Development Standards, thus creating an attractive addition to the downtown area.

Attachments:

Application (LU-2020-0026)



**Owner/Applicant: Nevada Builders Alliance**

**APN: 003-116-06**

**Special Use Permit Application Project Description:**

Applicant is proposing improvements to the existing vacant lot to include 14 parking spaces (2 designated for electric vehicle charging), 10'x10' shed, 10'x8' trash enclosure, patio area, fencing and associated landscaping.

**Special Use Permit Application Findings**

1. Adequate parking is necessary to support the economic success of new and future businesses downtown, in this case specifically adding much needed improvements to a vacant, unimproved property.
2. The property is adjacent to commercial uses. The improvements will benefit this piece of land and the adjacent properties while adding to the overall aesthetic improvement undertaken with the Bank Saloon. The owner has also agreed to provide streetscape improvements to 5<sup>th</sup> Street that correspond to those completed during the Carson Street and Curry Street improvement projects.
3. The proposed improvements will actually enhance vehicular and pedestrian traffic.
4. This project will not overburden existing public services and facilities.
5. This project meets the intent of the standards set forth in Carson City Municipal Code.
6. This project will not be detrimental to the public health, safety, convenience and welfare.
7. This project will not negatively impact other property in the vicinity.

# Master Plan Policy Checklist

## Special Use Permits & Major Project Reviews & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: \_\_\_\_\_

Reviewed By: Aaron West \_\_\_\_\_

Date of Review: 7-13-2020 \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

#### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

## CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

### Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

## CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

### Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- Encourage the development of regional retail centers (5.2a)?
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

### Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
  - Integrate an appropriate mix and density of uses (8.1a, e)?
  - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

**Is or does the proposed development:**

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

## Aaron West

---

**From:** receipt@velocitypayment.com  
**Sent:** Monday, July 13, 2020 1:53 PM  
**To:** Aaron West  
**Subject:** Payment Receipt: Carson City Taxes - WEB

## Successful Payment Receipt

Please print this receipt for your records

Remittance ID: 567419

Received: July 13, 2020 01:52PM PDT

Customer Email: aaron@nevadabuilders.org

Customer Phone Number: 7758824353

Number of Parcels: 4

Amount: \$1,006.39

Service Fee: \$24.66

Service Fee Type: Dual Transaction

Total Amount: \$1,031.05

Transaction Type: Authorization and Capture

Approval Code: 07387G

Card Information: Visa

Aaron West

\*\*\*\*\*6195

Billing information: Address Line 1: PO BOX 1947

Country: United States

State: NV

City: CARSON CITY

ZIP Code: 89702

Source	Year	Property Key	Tax	Penalty	Total	Installment
RE	2020	00311606	251.86	0.00	251.86	1
RE	2020	00311606	251.51	0.00	251.51	2
RE	2020	00311606	251.51	0.00	251.51	3
RE	2020	00311606	251.51	0.00	251.51	4

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# NEVADA BUILDERS ALLIANCE

# **BANK SALOON**

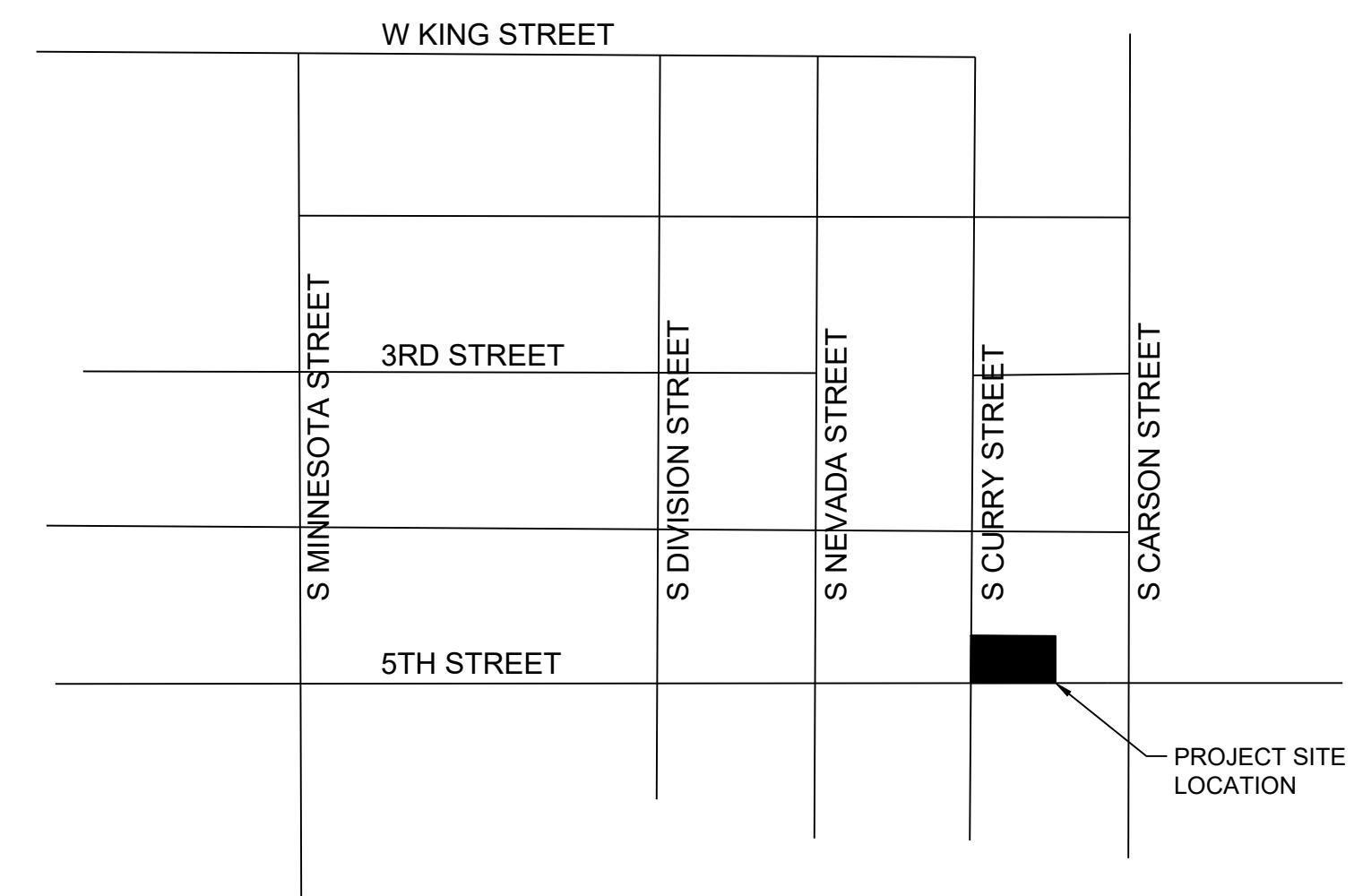
# **PARKING LOT**

APN: 003-116-06

**OWNER/DEVELOPER**  
**NEVADA BUILDERS ALLIANCE**  
**ATTN: AARON WEST**  
**1000 N. DIVISION, SUITE 102**  
**CARSON CITY, NV 89703**



**LOCATION MAP**



**VICINITY MAP**



**ENGINEER**  
**308 N. CURRY ST., STE. 200**  
**CARSON CITY, NEVADA 89703**  
**TEL: 775.883.7077**



Know what's below.  
Call before you dig.

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) CARSON CITY DATUM BASED UPON REAL TIME KINEMATIC GPS OBSERVATIONS, OBSERVED 01/27/2020 USING A SURVEY GRADE DUAL FREQUENCY GPS RECEIVER FROM CC082 MODIFIED BY A COMBINED FACTOR OF 1.0002, SCALED FROM 0.00N 0.00E AND CONVERTED TO U.S. SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

## BASIS OF ELEVATIONS

DATUM: NAVD 88  
PROJECT BENCHMARK = CC082  
HAVING AN ELEVATION OF 4677.12'

## SHEET INDEX:

TITLE SHEET	C1.0
PROJECT NOTES AND INDEX SHEET	C1.1
DEMO PLAN	C2.0
SITE PLAN	C3.0
DETAILS	D1.0
DETAILS	D1.1
DETAILS	D1.2

REV	DATE	DESCRIPTION	BY
0	N/A		

BAR IS 1 INCH ON  
ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET,  
ADJUST SCALES ACCORDINGLY

**C1.0**

DRAWN BY: **SAP**  
DESIGNED BY: **RTS**  
CHECKED BY: **JS**  
JOB NO.: **9618.001**

308 N. CURRY ST., STE. 200  
CARSON CITY, NV 89703  
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NEVADA BUILDERS ALLIANCE	BANK SALOON	PARKING LOT	TITLE SHEET
CARSON CITY			

## LEGEND



Know what's below.  
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## ABBREVIATIONS

AC	ASPHALT CONCRETE	N	NORTH
ACP	ASBESTOS CEMENT PIPE	NAP	NOT A PART
AGG	AGGREGATE	NIP	NOT IN PROJECT
BC	BEGIN CURVE (HORIZONTAL)	NTS	NOT TO SCALE
BOW	BOTTOM OF WALL	OC	ON CENTER
BF, BOF	BOTTOM OF FOOTING	OD	OUTSIDE DIAMETER
BV	BUTTERFLY VALVE	OH	OVERHEAD
BVC	BEGIN VERTICAL CURVE	(P)	PROPOSED
BW	BACK OF WALK	PCC	PORTLAND CEMENT CONCRETE
CB	CATCH BASIN	PG	PAD GRADE
cfs	CUBIC FEET PER SECOND	PI	POINT OF INTERSECTION
CF	CUBIC FEET	PIVC	POINT OF INTERSECTION VERTICAL CURVE
C&G	CURB AND GUTTER	PL	PROPERTY LINE
CL	CENTER LINE	POCC	POINT OF COMPOUND CURVATURE
OMP	CLASS / CENTER LINE	POT	POINT OF TANGENCY
COMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC	COMPACTION	PRC	POINT OF REVERSE CURVE
CONTR	CONTRACTOR	PVC	POINT OF REVERSE VERTICAL CURVE
CP	CONCRETE PAD	PVMT	POLYVINYL CHLORIDE
CTV	CABLE TELEVISION	Q 5	5 YEAR PEAK FLOW
DI	DROP INLET	Q 100	100 YEAR PEAK FLOW
DIA	DIAMETER	R	RADIUS
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
E	EAST	REF	REFERENCE
EA	EACH	RET	CURB RETURN
EC	END CURVE (HORIZONTAL)	RP	RADIUS POINT
ELL	ELBOW	RT	RIGHT
ELEC	ELECTRICAL	R/W, ROW	RIGHT-OF-WAY
ELEV	ELEVATION	S	SLOPE
EVC	END VERTICAL CURVE	SD	SOUTH
EX, (E)	EXISTING	SDPMH	STORM DRAIN MANHOLE
EXT	EXTERIOR	SL	STREET LIGHT
FCA	FLANGE COUPLING ADAPTER	SS	SANITARY SEWER
FE	FINISH ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
FES	FLARED END SECTION	SSMH	SANITARY SEWER MANHOLE
FF	FINISH FLOOR	SSPWC	STANDARD SPEC. FOR PUBLIC WORKS CONSTRUCTION
FFC	FRONT FACE OF CURB	FG	FINISH GRADE
FH	FIRE HYDRANT	STA	STATION
FL	FLOW LINE	SW	SIDEWALK
FLG	FLANGE	TELE	TELEPHONE
fps	FEET PER SECOND	TBO	TEMPORARY BLOW OFF VALVE
FTG	FOOTING	TC	TOP OF CURB, TOP OF CONC
G	GAS	TG	TO GRADE
GALV	GALVANIZED	TOB	TOP OF BERM
GB	GRADE BREAK	TOF	TOP OF FOOTING
GDW	GRAVEL DRIVEWAY	TOW	TOP OF WALL
GD	GROUND	TS	TRAFFIC SIGNAL
GV	GATE VALVE	TSCB	TRAFFIC CONTROL SIGNAL BOX
H	HANDICAPPED	TR	TRANSITION
HGL	HYDRAULIC GRADE LINE	TYP	TYPICAL
HORIZ	HORIZONTAL	UG/P	UNDER GROUND POWER
HP	HIGH POINT	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	Vs	VELOCITY AT 5 YEAR PEAK
IE	INVERT ELEVATION	VC	VERTICAL CURVE
INT	INTERSECTION	VEL	VELOCITY
IRR	IRRIGATION	VERT	VERTICAL
LAT	LATERAL	VG	VALLEY GUTTER
LF	LINEAR FEET	W	WEST
LP	LOW POINT	WAG	WATER AND GAS
LT	LEFT	WL	WATER LINE
MAX	MAXIMUM	WM	WATER METER
MDD	MAXIMUM DRY DENSITY	WS	WATER SURFACE
MH	MANHOLE	WV	WATER VALVE
MIN	MINIMUM	WWF	WELDED WIRE FABRIC
MJ	MECHANICAL JOINT	YR	YEAR
MMD	MAXIMUM MARSHALL DENSITY		
MUTCD	MANUAL FOR TRAFFIC CONTROL DEVICES		



## NOTES:

**GENERAL**

- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- THE CONTRACTOR SHALL REFER TO THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS ADOPTED BY THE PERMITTING ENTITY, FOR ALL DETAILING NOT SHOWN ON THESE PLANS.
- CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND CURRENT NDOT or CALTRANS STANDARD PLANS/SPECIFICATIONS (STANDARD SPECIFICATIONS) AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING A PRE-CONSTRUCTION JOB SITE CONFERENCE WITH GOVERNING AGENCIES, ALL UTILITY COMPANIES, OWNER'S REPRESENTATIVES, AND THE PROJECT ENGINEER PRIOR TO COMMENCING WORK. THIS MEETING SHALL BE HELD AT LEAST FORTY-EIGHT (48) HOURS, OR TWO (2) BUSINESS DAYS, PRIOR TO THE START OF CONSTRUCTION AND SHALL COMMUNICATE SCHEDULES, CONTRACTORS MEAN AND METHODS, MATERIALS TO BE USED, AND OTHER RELEVANT MATTERS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT.
- ALL WORK EITHER DIRECTLY OR INDIRECTLY RELATED TO THE PROJECT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY SYSTEM MANAGER.
- THE CONTRACTOR SHALL MAINTAIN AN ONSITE RECORD COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS, WORK CHANGE DIRECTIVES, FIELD ORDERS, FIELD CHANGES, AND WRITTEN INTERPRETATIONS AND CLARIFICATIONS. RECORDS SHALL BE IN GOOD ORDER AND ANNOTATED TO SHOW CHANGES MADE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT SUBMITTALS AND/OR SHOP DRAWINGS TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO ORDERING OR INSTALLATION. A SIGNED SET OF REVIEWED SUBMITTALS MUST ALWAYS BE AVAILABLE ONSITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT AT 1-800-642-2444 TO PROVIDE FIELD LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PRODUCE ALL NECESSARY PERMITS, LICENSES, INSURANCE POLICIES, ETC. AS MAY BE NECESSARY TO COMPLY WITH LOCAL, COUNTY, STATE, AND FEDERAL LAWS ASSOCIATED WITH THE PERFORMANCE OF THE WORK, UNLESS OTHERWISE OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND PROVIDE, PLACE, AND MAINTAIN ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, PILOT CAR, OR OTHER DEVICES NECESSARY TO CONTROL TRAFFIC THROUGH THE CONSTRUCTION AREA AND FOR PUBLIC SAFETY. ALL TRAFFIC CONTROL OPERATIONS SHALL COMPLY WITH THE LATEST MUTCD. AT NO TIME WILL OBSTRUCTIONS BE LEFT IN THE ROADWAY DURING NIGHT HOURS. ALL TRAFFIC CONTROL PLANS SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER OR ATTSA CERTIFIED PERSONNEL.
- THE CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND FURTHER AGREES THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS IN ACCORDANCE WITH THE PROVISIONS OUTLINED BY THE PROJECT CONTROLLER AND THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618.
- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER, CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN PROJECT SITE, REMOVING CONSTRUCTION DEBRIS AT THE END OF EACH ACTIVITY DAY. THE CONTRACTOR SHALL MAINTAIN DEBRIS FREE CONSTRUCTION ROUTES, ADJACENT STREETS AND STORM DRAIN SYSTEMS.
- TEMPORARY CONSTRUCTION FENCING SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT IN AREAS AS DELINEATED ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER. THE TEMPORARY FENCING SHALL PREVENT CHILDREN AND PETS FROM ENTERING THE CONSTRUCTION AREA, CREATE A VISUAL BARRIER OF THE CONSTRUCTION ACTIVITIES FROM THE ADJACENT RESIDENCE AND YARDS, AND PROTECT VEGETATION FROM CONSTRUCTION EQUIPMENT.
- THE CONTRACTOR SHALL USE ONLY AUTHORIZED SITES FOR STORAGE OF EQUIPMENT AND MATERIALS AND OBTAIN PROPER APPROVALS FROM THE LAND OWNER AND LOCAL GOVERNING AUTHORITY TO DO SO. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF ALL EQUIPMENT AND MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. IN THE EVENT A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL HAVE THE MONUMENT REPLACED, AT HIS OWN EXPENSE, BY A LICENSED SURVEYOR IN THE STATE OF THE PROJECT SITE.
- CONSTRUCTION HOURS SHALL BE WEEKDAYS BETWEEN 7:00 AM AND 6:00 PM UNLESS OTHERWISE DICTATED BY LOCAL ORDINANCE. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PROJECT ENGINEER TO MODIFY WORK HOURS.
- ALL FIELD CHANGES MUST BE PRE-APPROVED BY THE PROJECT ENGINEER.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- ALL SALVAGED MATERIALS ARE THE PROPERTY OF THE OWNER AND SHALL BE PALLETIZED ONSITE UNLESS OTHERWISE ARRANGED WITH THE OWNER AND/OR PROJECT ENGINEER.
- THE OWNER IS RESPONSIBLE FOR FURNISHING QUALIFIED SITE INSPECTIONS AS REQUIRED TO COMPLY WITH LOCAL ORDINANCES.
- A GEOTECHNICAL INVESTIGATION WAS PERFORMED ON THIS PROJECT. ALL RECOMMENDATIONS INCLUDED IN THE REPORT ARE HEREBY MADE A PART OF THE CONSTRUCTION DOCUMENTS UNLESS MODIFIED WITHIN THESE PLANS. INSPECTION AND TESTING DURING CONSTRUCTION SHALL BE REQUIRED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED WITHIN THE REPORT.

TITLE: XXXXX  
DATE: XXXXX

**UNDERGROUND UTILITIES**

- THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS NEAR OR WITHIN THE CONSTRUCTION LIMITS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE NECESSARY RELOCATION OF ANY UTILITY. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK.
- NO OTHER UTILITIES MAY BE PLACED IN A WATER OR SEWER TRENCH.
- ALL VALVE BOXES, MANHOLE STRUCTURES, AND CLEAN OUTS SHALL BE MARKED AND ACCESSIBLE AT ALL TIMES.



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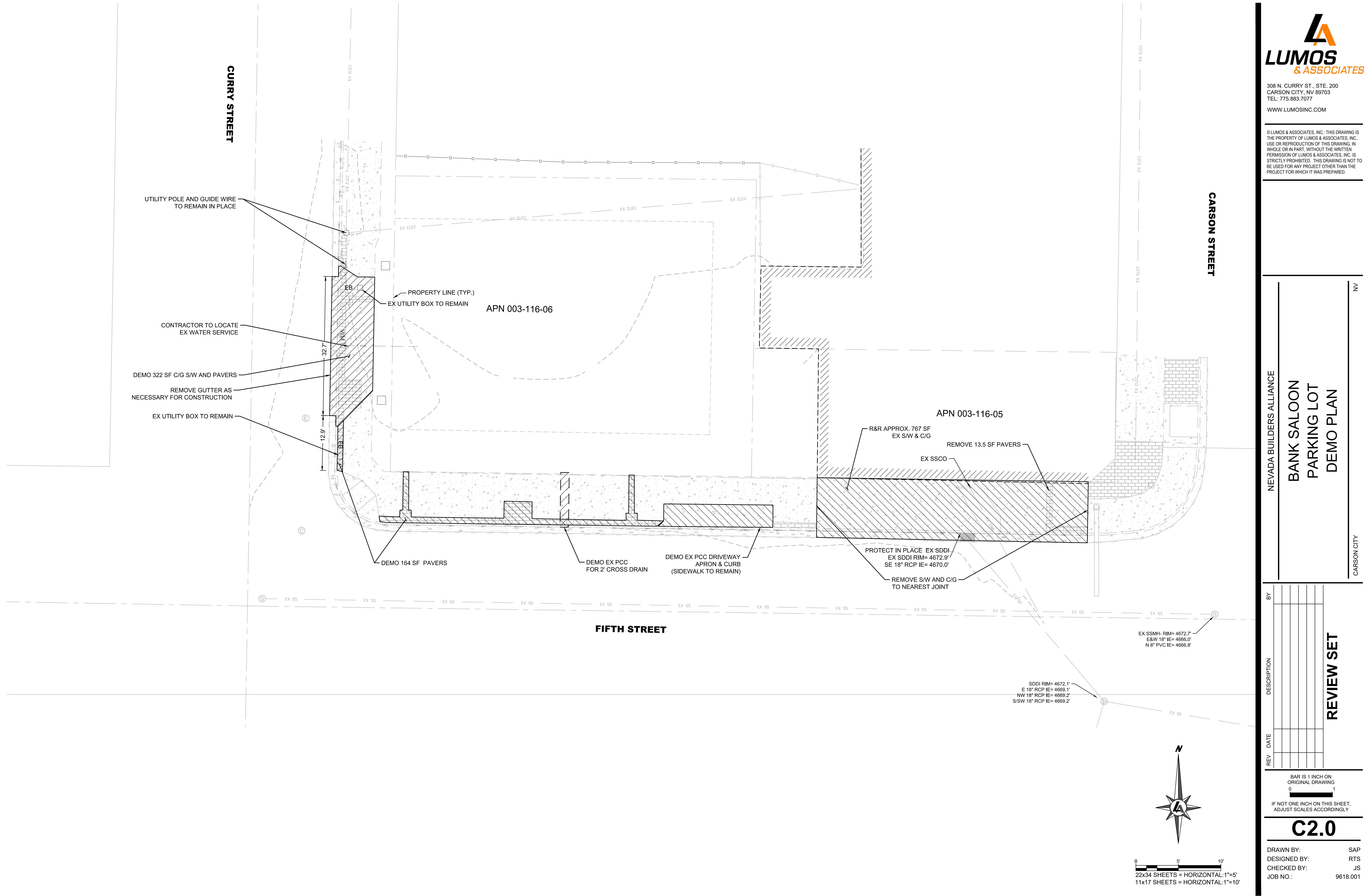
NEVADA BUILDERS ALLIANCE  
BANK SALOON  
PARKING LOT  
NOTES, ABBREVIATIONS, AND LEGEND  
CARMON CITY

DESCRIPTION	BY

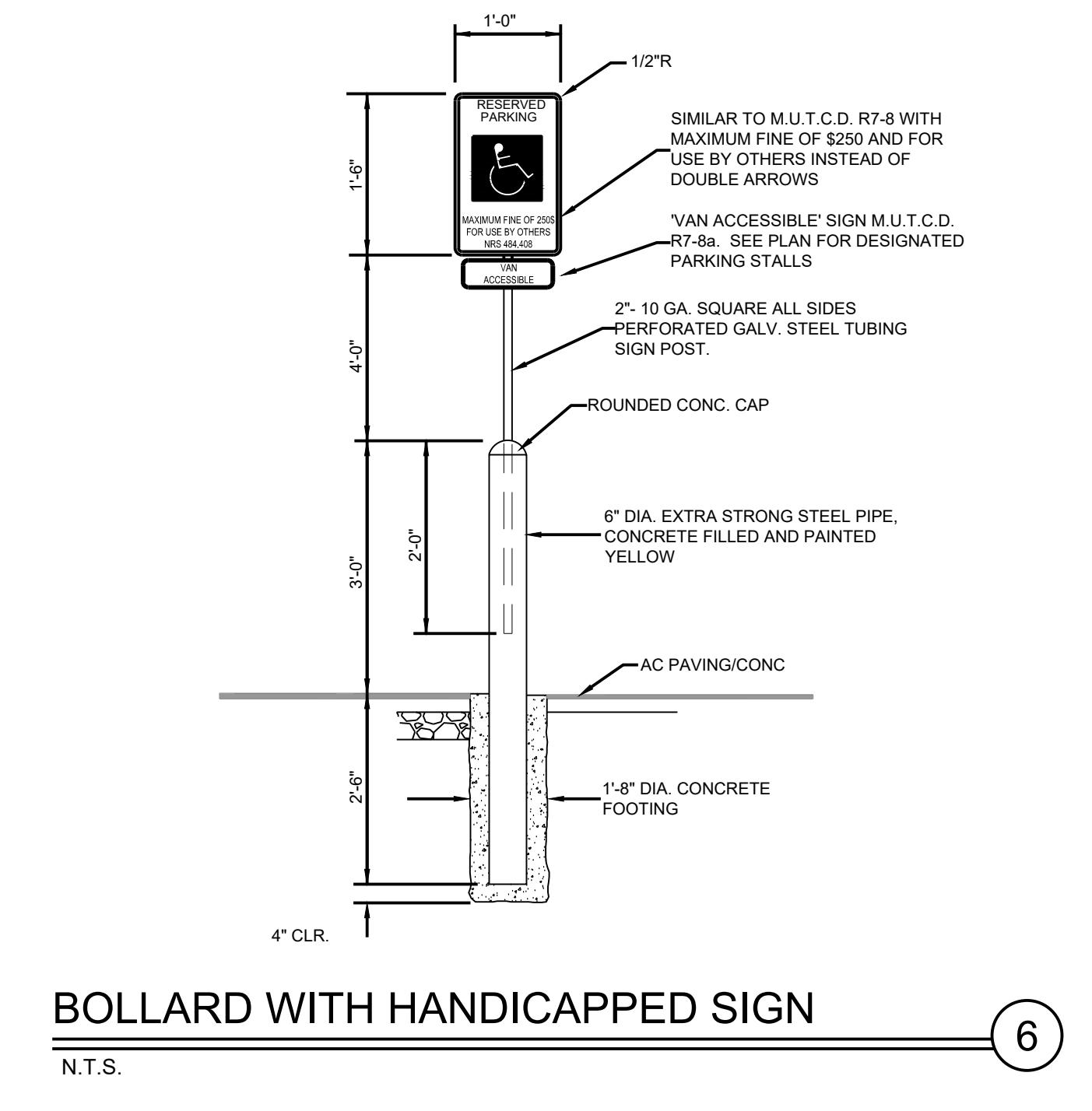
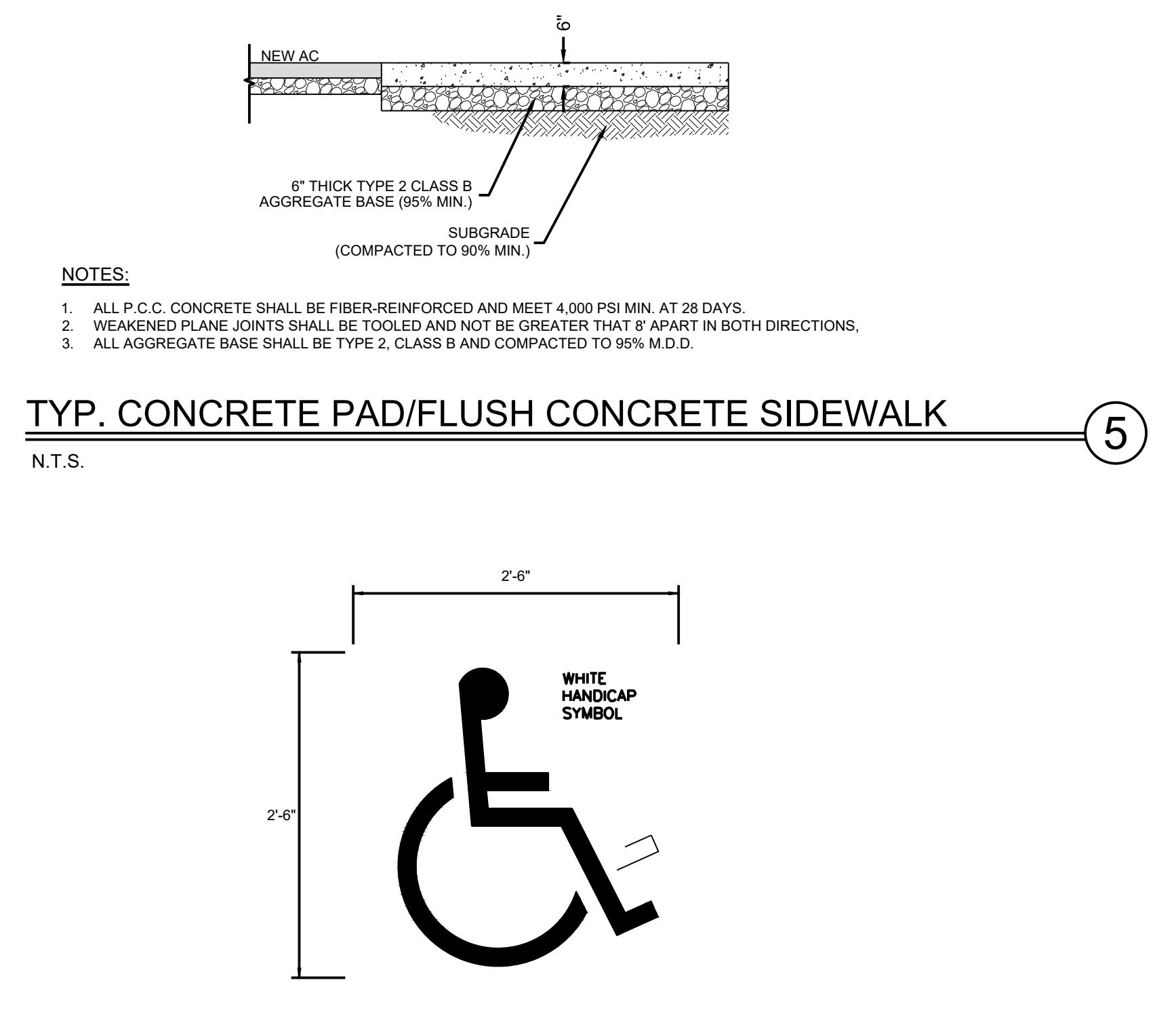
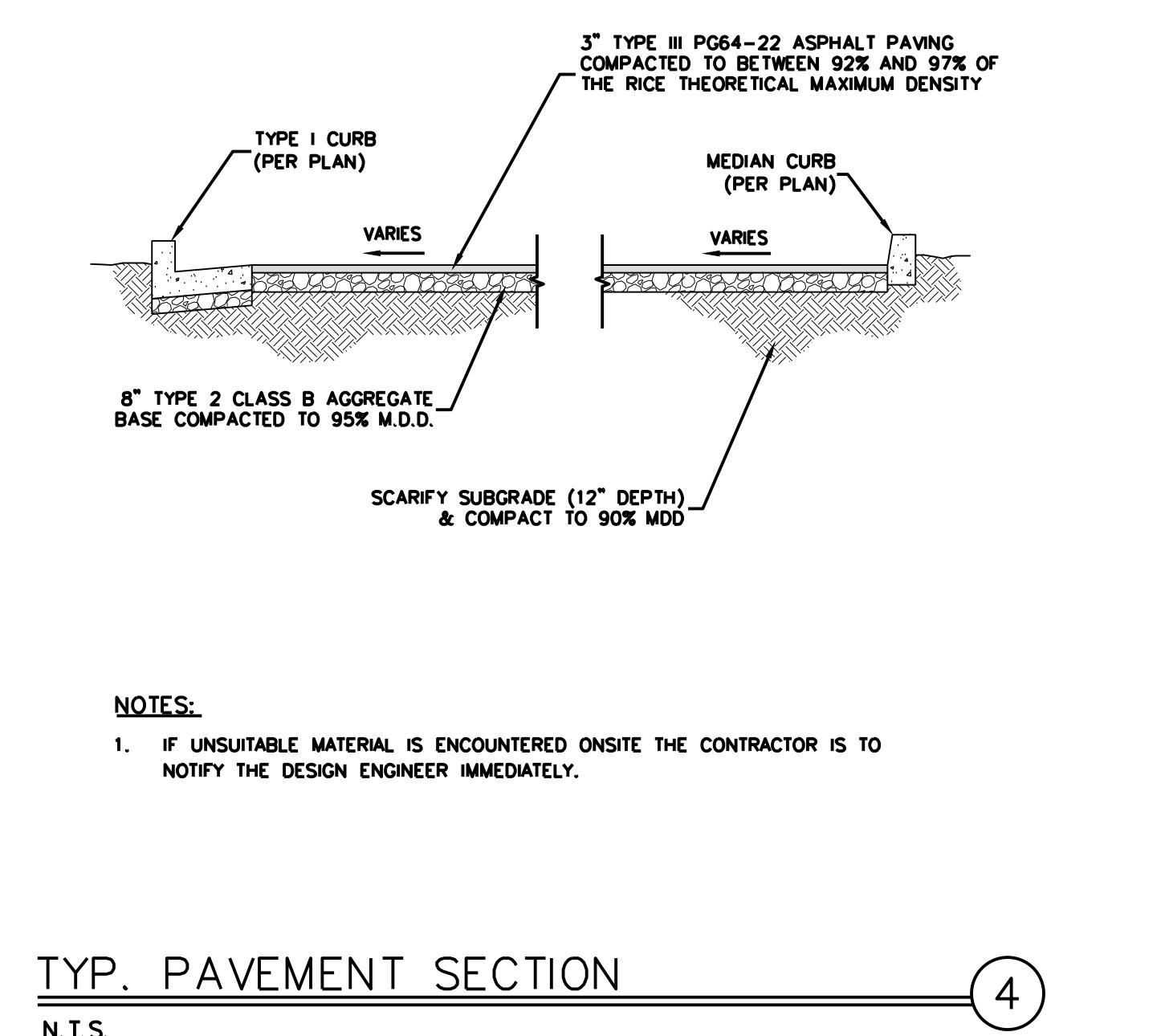
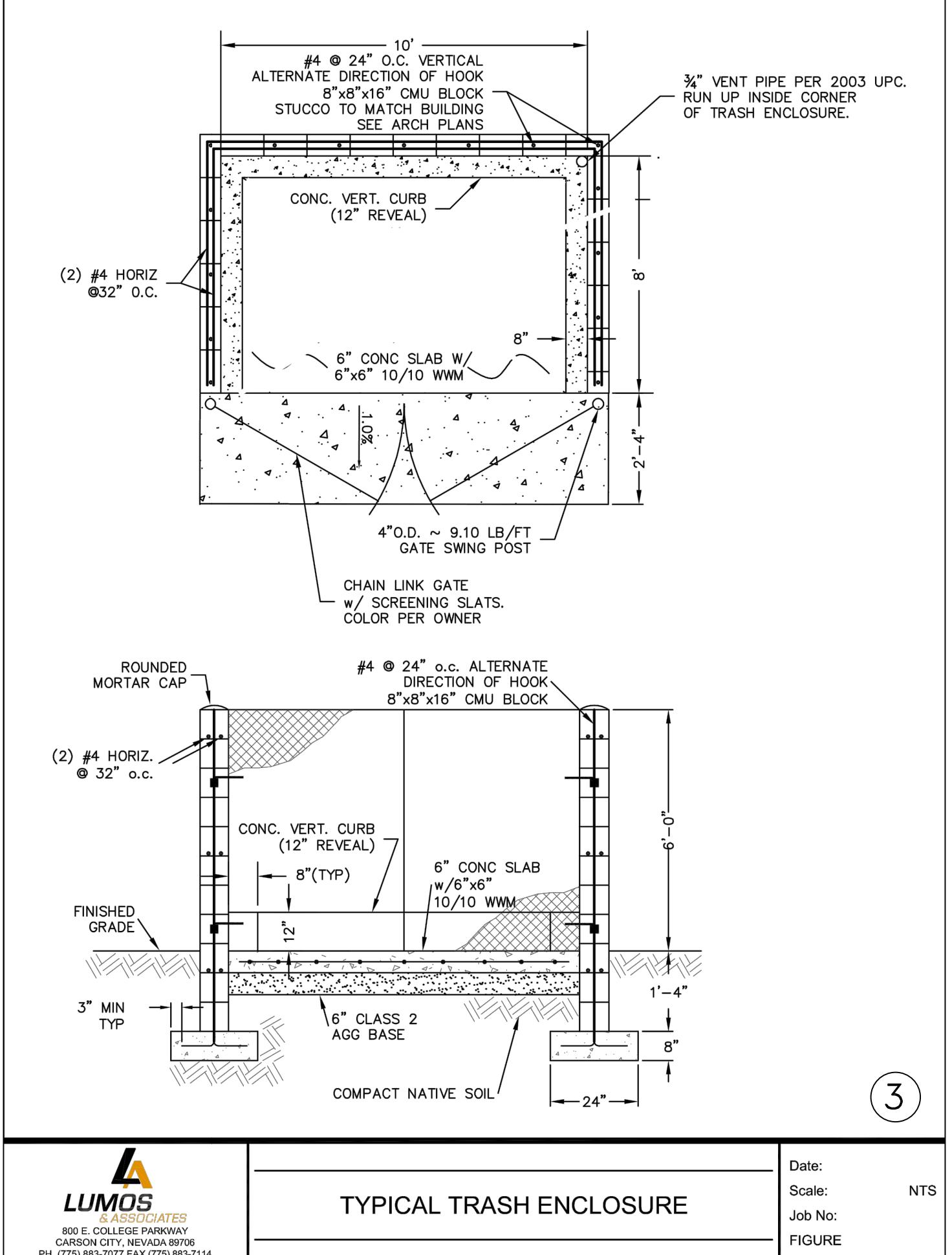
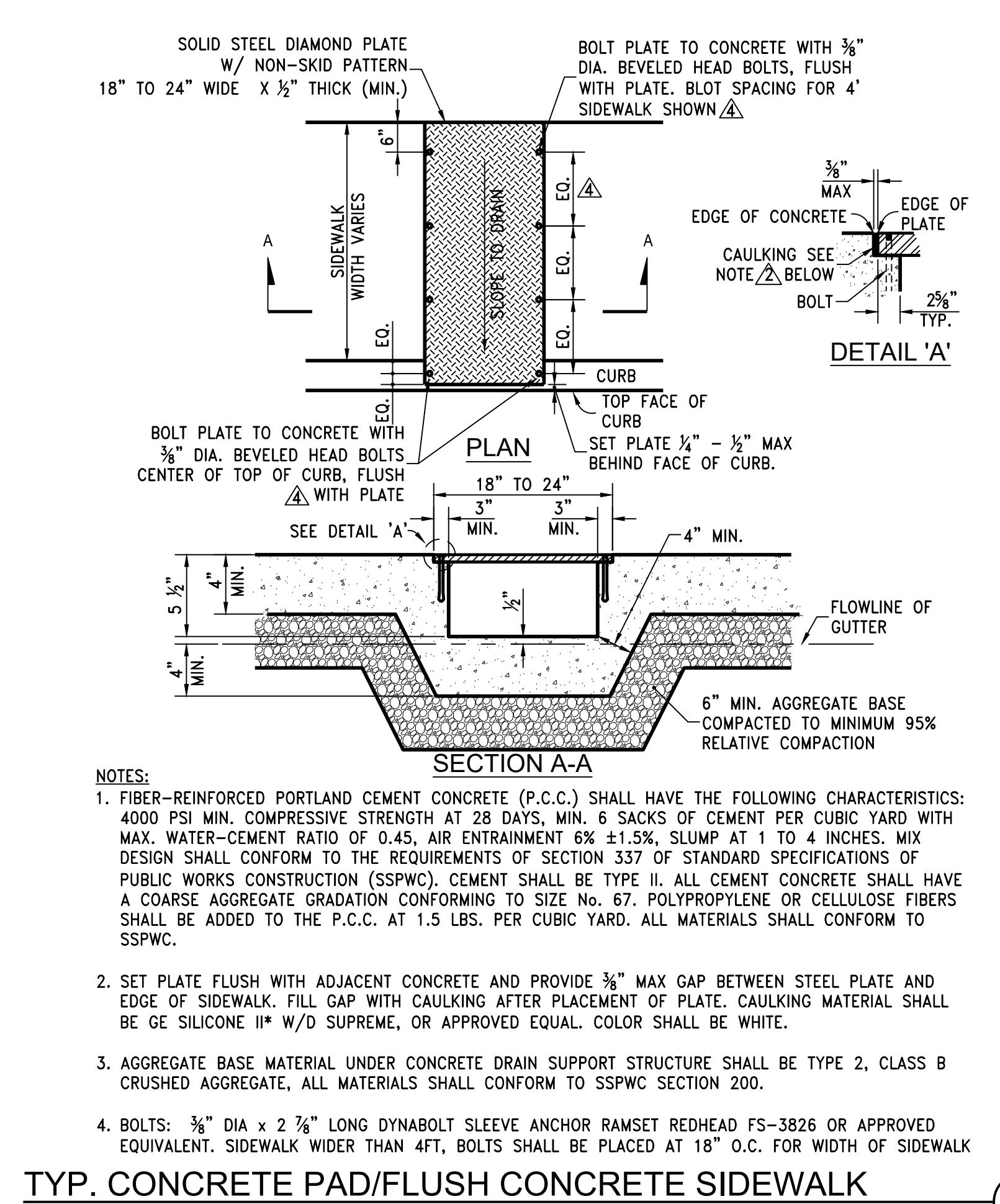
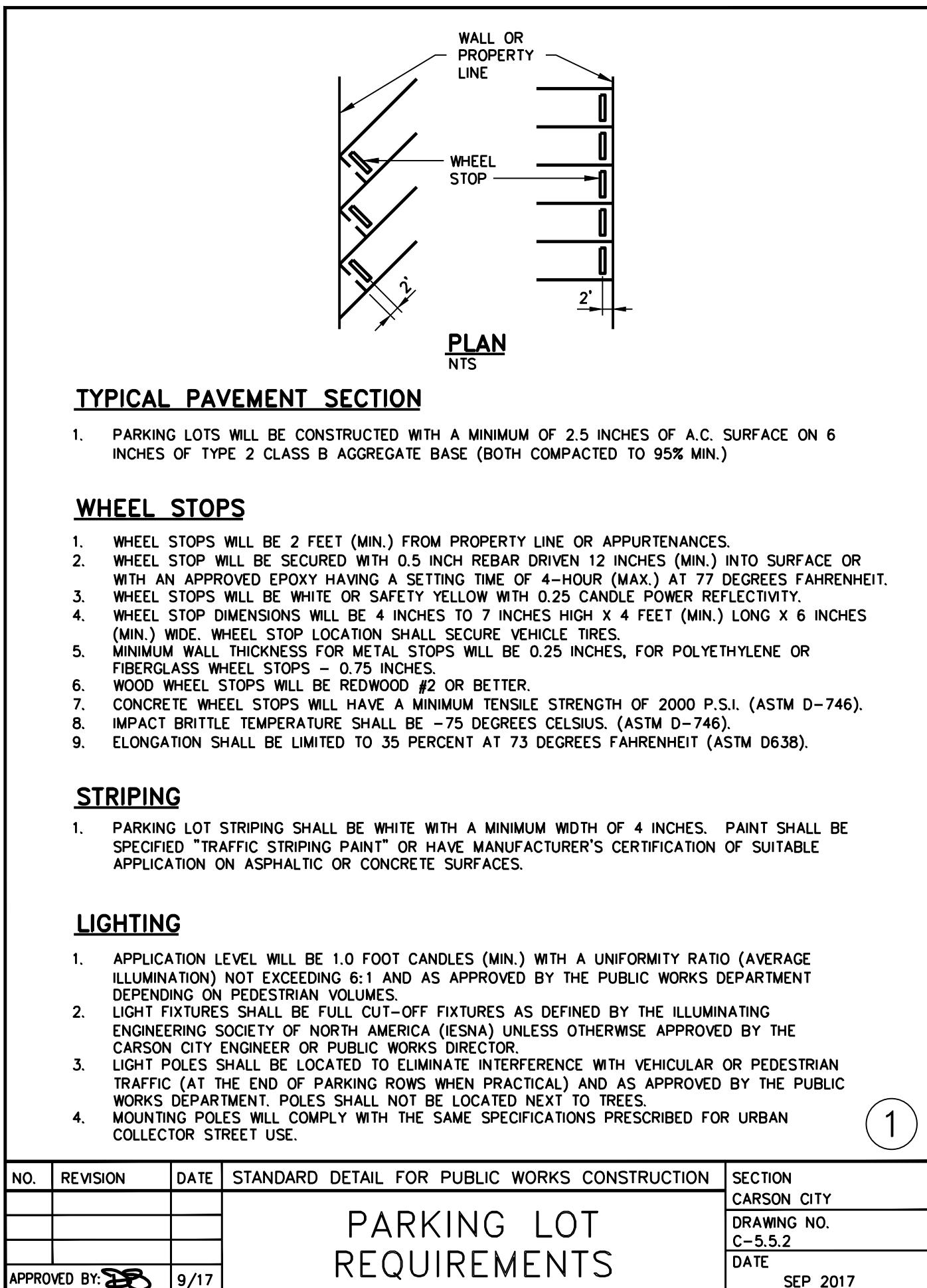
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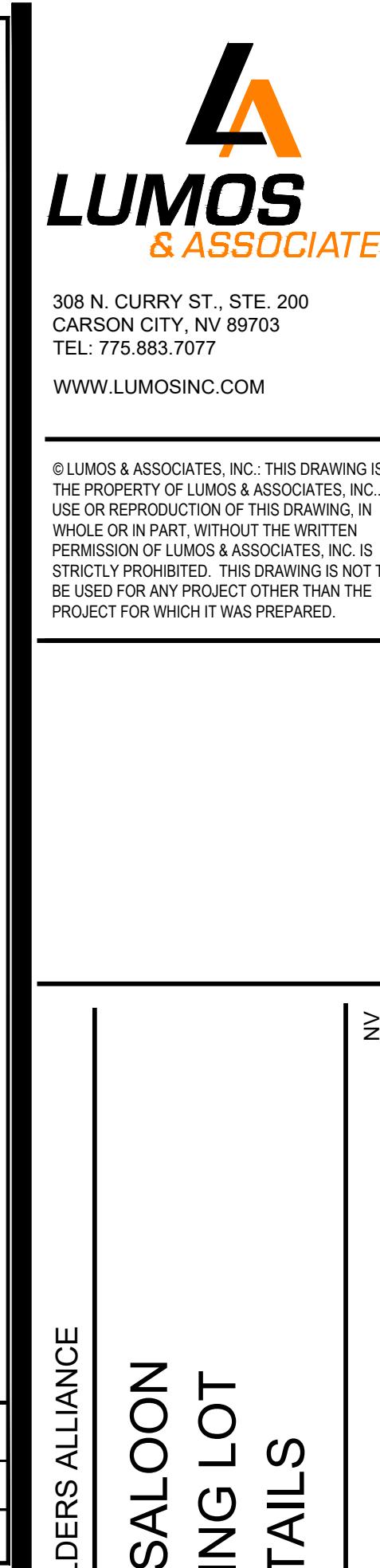
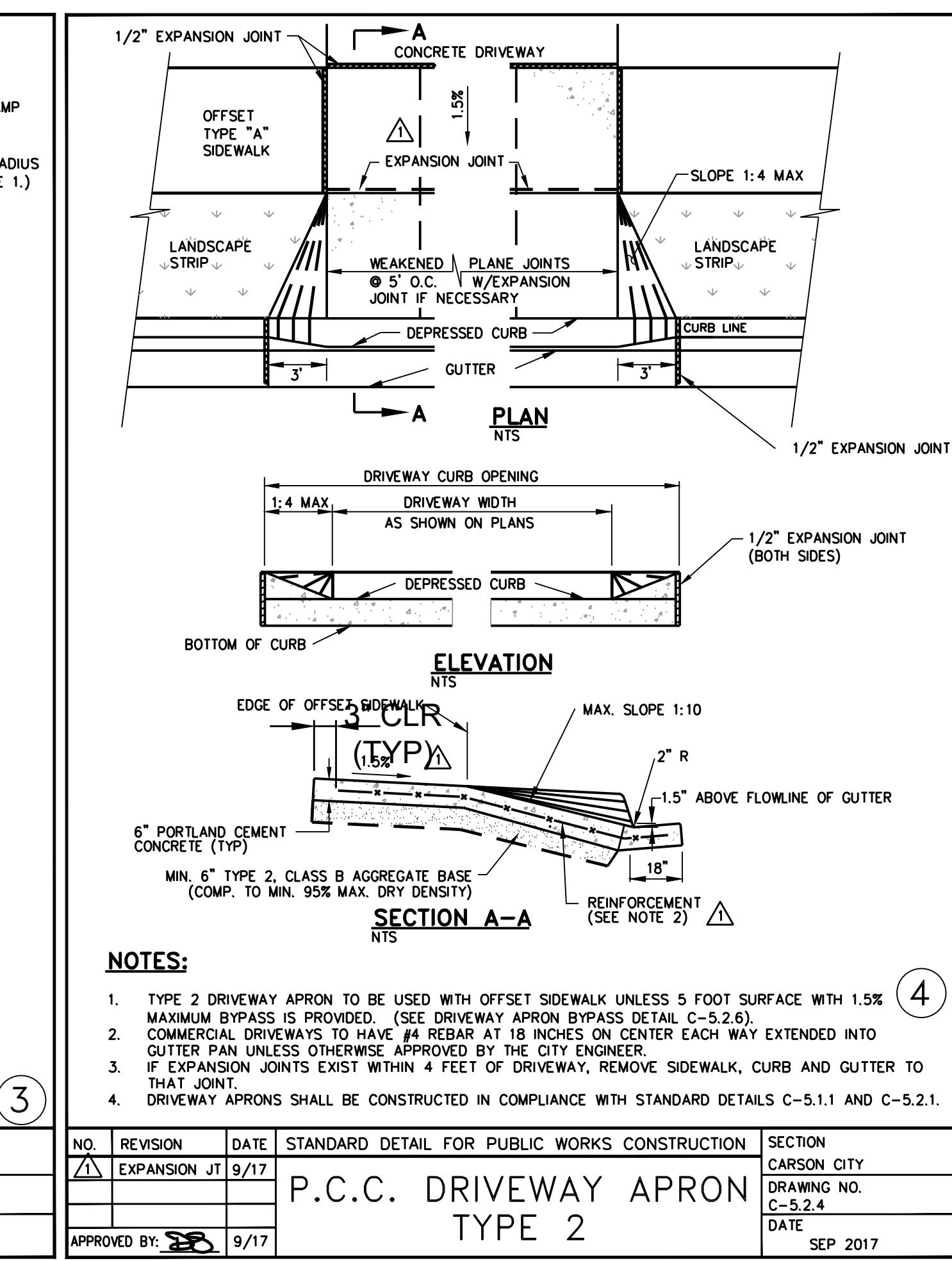
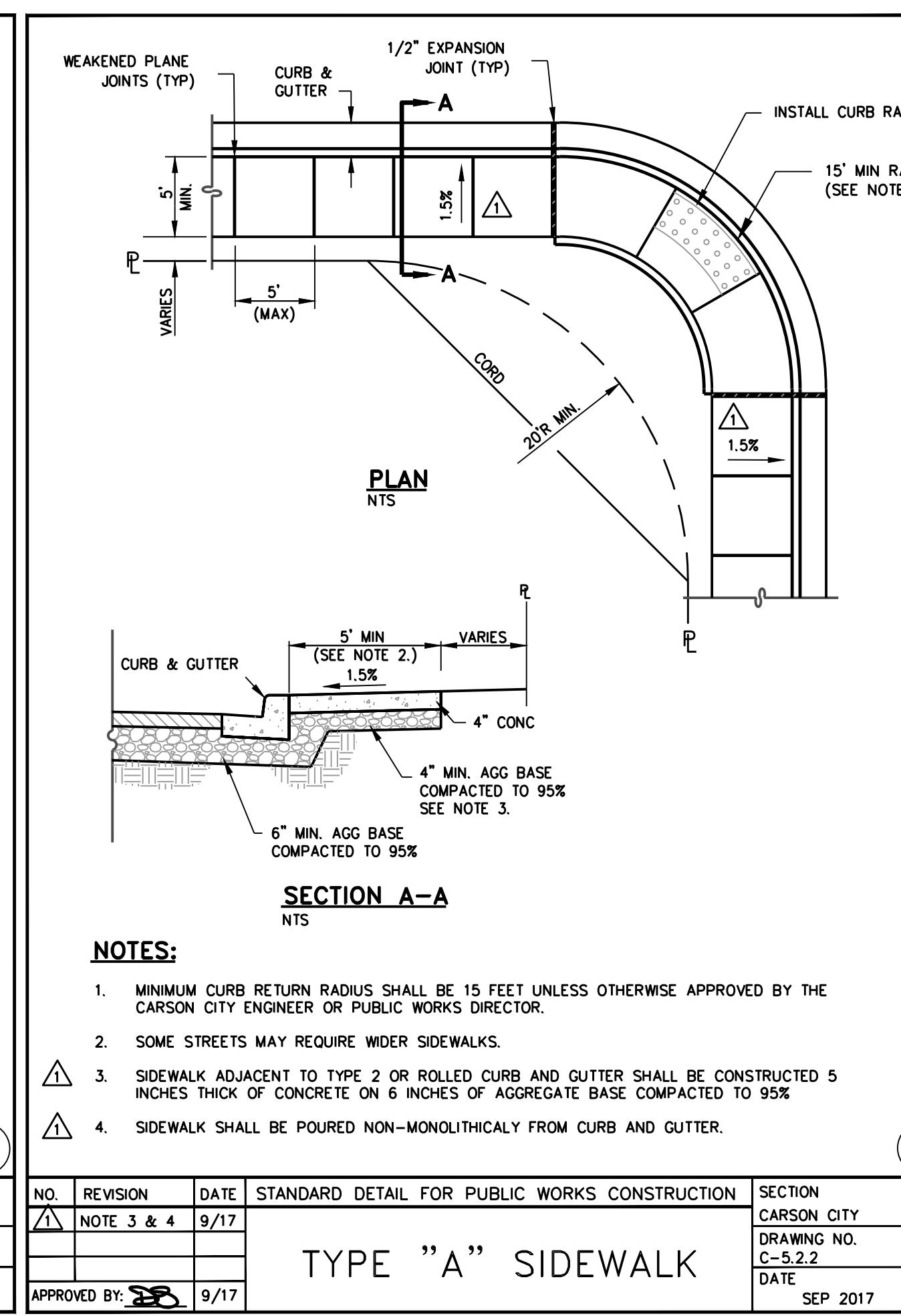
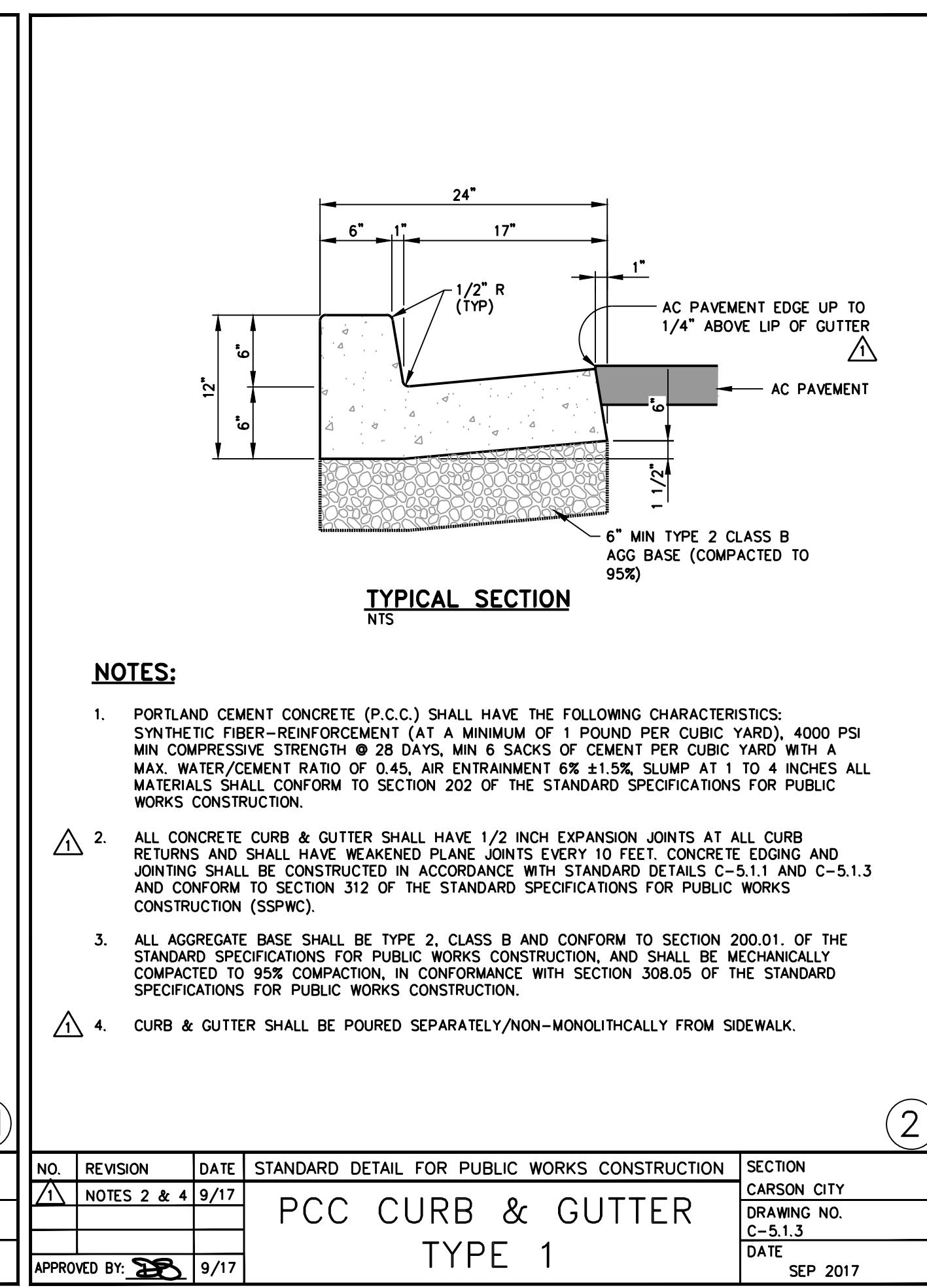
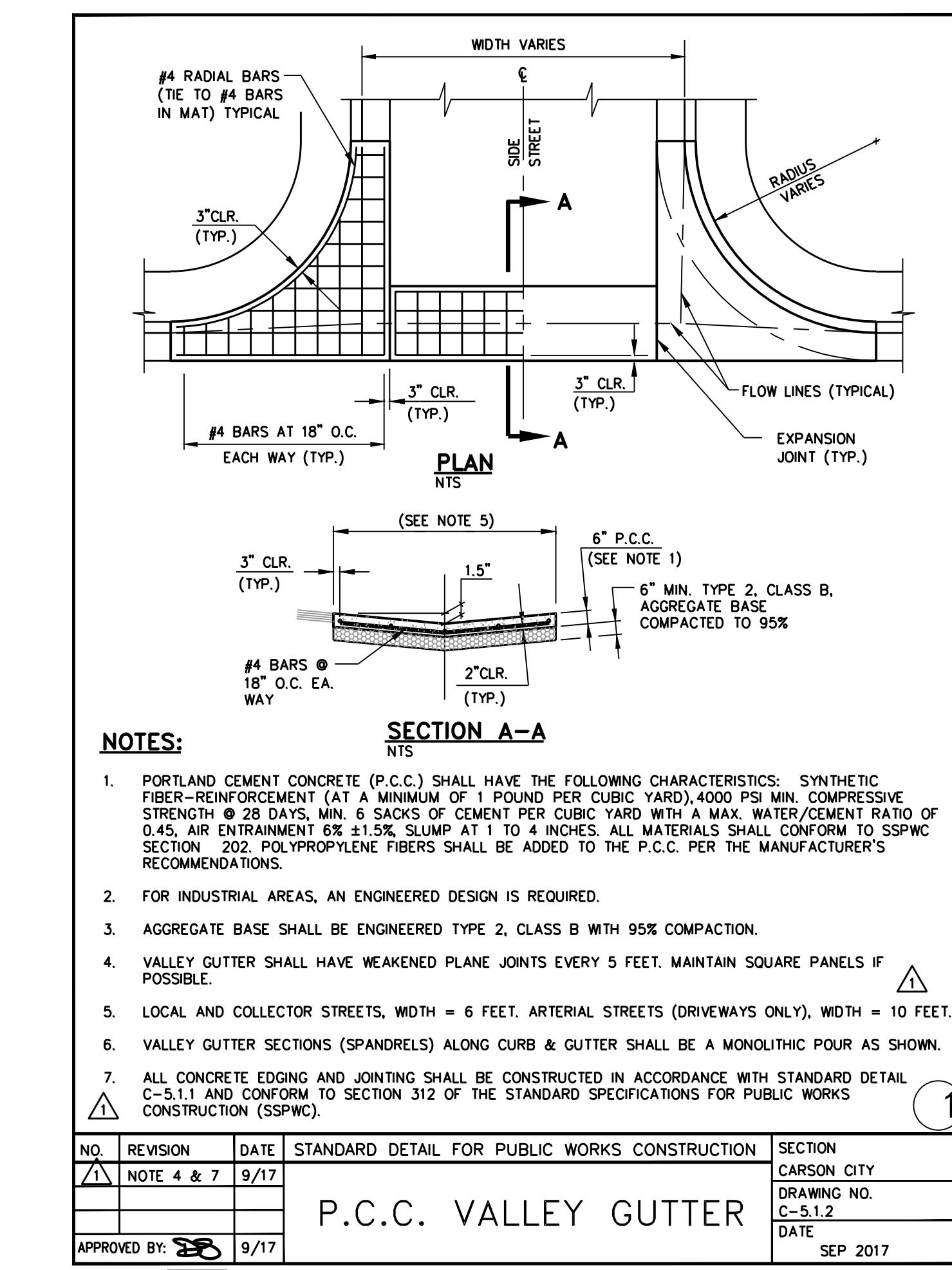
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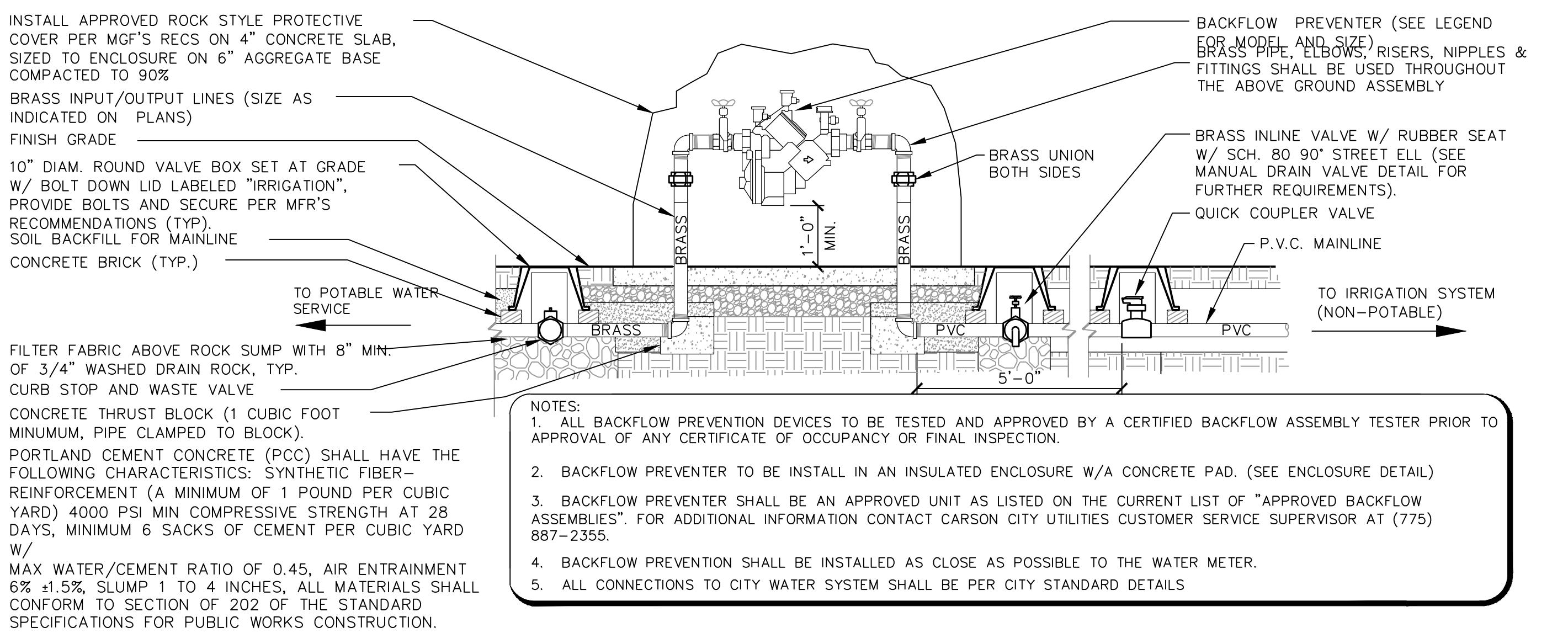






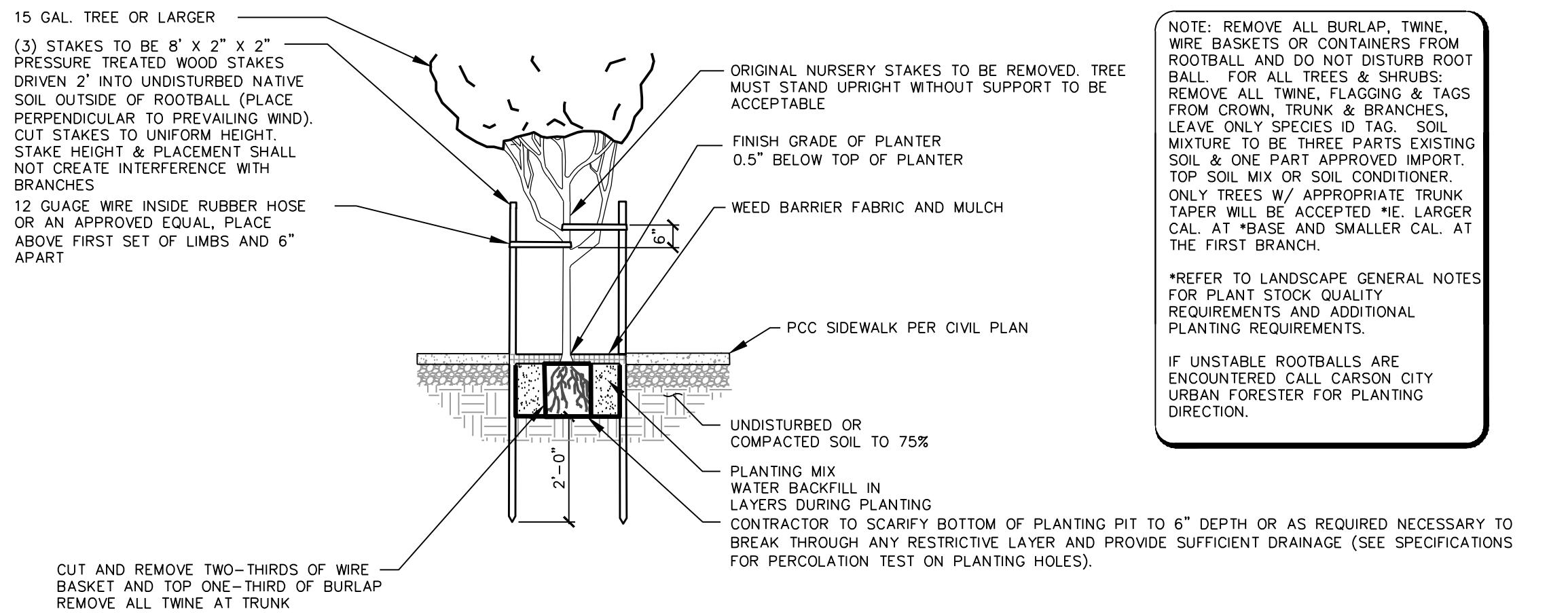
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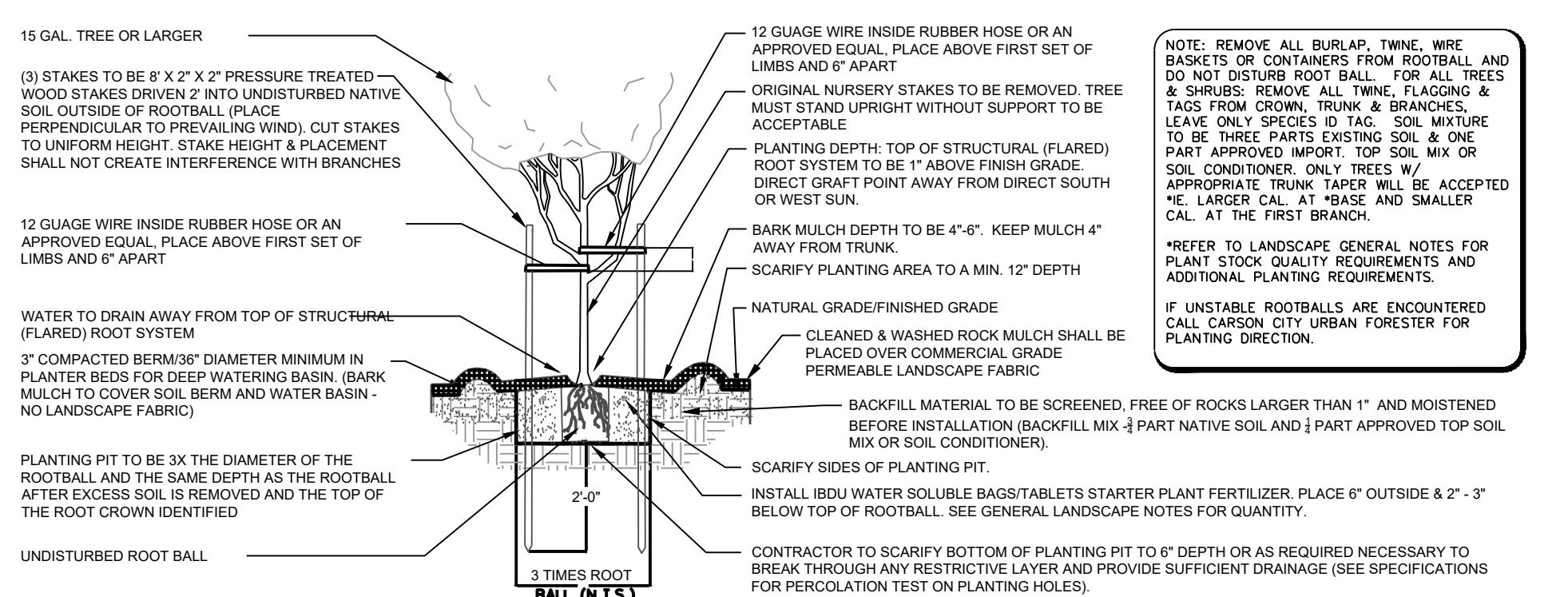
# IRRIGATION BACKFLOW PREVENTOR

N.T.S. 1



# DECIDUOUS TREE IN SIDEWALK

N.T.S. 2



# DECIDUOUS TREE PLANTING DETAIL

N.T.S. 3

# EVADA BUILDERS ALLIANCE

# BANK SALOON

# PARKING LOT

# DETAILS

CARSON CITY

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