

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF AUGUST 26, 2020

FILE NO: LU-2020-0008

AGENDA ITEM: E.1

STAFF CONTACT: Heather Ferris, Associate Planner

AGENDA TITLE:

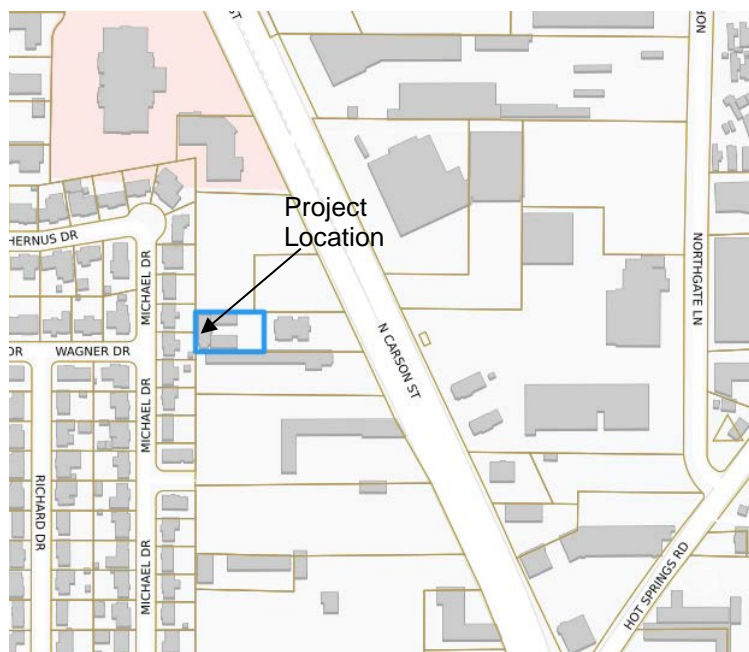
LU-2020-0008: For Possible Action: Discussion and possible action regarding a request for a Special Use Permit to expand an existing multi-family residential use from 11 units to 12 units by converting an existing single unit into two units of approximately 1,633 square feet and 1,475 square feet in size, on property zoned Retail Commercial (RC), located at 2610 North Carson Street, APN 001-032-24.

Summary: The applicant is proposing the expansion of an existing multi-family residential use by converting a single large unit into separate upstairs and downstairs units. Each unit is already equipped with its own laundry facilities, HVAC, water heater, bathrooms, and kitchens. Structural modifications to the interior are limited to those necessary to meet the building and fire code to create two separate units. The parking lot will be improved, and new trash enclosures added to the site. Carson City Municipal Code (CCMC) 18.04.030 allows for the expansion of an existing non-conforming use subject to first obtaining a Special Use Permit. Since the existing multi-family residential use is a non-conforming use, the expansion of the use requires the Special Use Permit. The Planning Commission has the authority to approve the Special Use Permit.

RECOMMENDED MOTION LU-2020-0008:

“I move to approve Special Use Permit LU-2020-0008 based on the ability to make the required findings and subject to the conditions of approval.”

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the plans presented to the Planning Commission.
2. All on and off-site improvements shall conform to city standards and requirements.
3. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, 1-year extension of time must be requested in writing to the planning and community development department 30 days prior to the 1-year expiration date. Should this permit not be initiated within 1 year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the notice of decision for conditions of approval within 10 days of receipt of notification. If the notice of decision is not signed and returned within 10 days, then the item will be rescheduled for the next planning commission meeting for further considerations.
5. Prior to issuance of any building permit or site improvement permit, the applicant shall record reciprocal parking and ingress/egress easements, or similar instruments, between APNs 001-032-24 and 001-32-25.
6. Water lines must meet current backflow preventer requirements.
7. All driveways and parking areas must be paved.
8. New curb, gutter and sidewalk must be installed along the frontage.
9. The storm drain must be extended across the project frontage in North Carson Street.
10. Any on-site exterior lighting specifications must be submitted with the construction plans for review and approval of the Community Development Department to ensure consistency with Division 1.3 of the Development Standards.
11. The trash enclosure specifications must be submitted with the construction plans for review and approval by the Community Development Department to ensure consistency with Division 1.2.6 of the Development Standards.
12. Parking space #20 on the site plan (page A1.0) must be eliminated or moved in order to provide fire code minimum of 20' clear width for fire access.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); CCMC 18.02.080 (Special Use Permit); 18.04.130.3 (Retail Commercial).

MASTER PLAN DESIGNATION: Community/Regional Commercial

ZONING DISTRICT: Retail Commercial

KEY ISSUES: Will the Special Use Permits meet the required findings, and will the proposed expansion of the existing non-conforming use be compatible with the surrounding neighborhood and in keeping with the standards of CCMC?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH: Retail Commercial / Vacant
SOUTH: Retail Commercial / Tire Store
WEST: Single-family 6,000 / Single-family residences
EAST: Retail Commercial / Vacant restaurant

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X shaded (Area with reduced flood risk due to levee)
SLOPE/DRAINAGE: Generally flat
EARTHQUAKE POTENTIAL/FAULT: Zone I Greatest Severity/Beyond 500 feet

SITE DEVELOPMENT INFORMATION:

SUBJECT SITE AREA: 0.4 acres
EXISTING LAND USE: Multi-Family Apartment

PREVIOUS REVIEWS:

MPR-2020-0006: Major project review to convert an existing single unit into two apartment units within an existing multi-family apartment complex.

DISCUSSION:

The subject property is 0.4 acres in size and zoned Retail Commercial. The property is developed with an existing non-conforming, 11-unit multi-family apartment complex, consisting of two buildings each with 5 units and a single 3,217 square foot unit. The use is considered non-conforming as it was established without a Special Use Permit. The subject property is surrounded by both commercial and residential uses.

The applicant is proposing the conversion of the single large unit into separate upstairs and downstairs units with no increase in the existing footprint of the building. Structural modifications to the interior are limited to those necessary to meet the building and fire code to create two separate units. Carson City Municipal Code (CCMC) 18.04.030 allows for the expansion of an existing non-conforming use subject to first obtaining a Special Use Permit. Therefore, the proposed increase in the number of units from 11 to 12 requires a special use permit.

The parking lot will also be improved as part of this project. The new parking layout has been designed to maximize parking and maintain adequate fire lanes. The applicant also owns the adjacent parcel immediately to the west of the subject parcel. There is currently a vacant restaurant building on the adjacent parcel that the applicant intends to convert to office space. The two parcels currently share parking and wish to continue the shared use. Of note, there is currently no formal parking area to support either of these parcels. The parking areas on both parcels are unlined. Division 2 of the Development standards allows the Director to approve joint parking where adjoining property owners wish to establish joint parking facilities. Additionally, Division 2 allows the Director to approve a reduced standard. In total, the shared parking lot will provide for a minimum of 28 parking spaces. A reduced standard of 1.52 parking spaces per unit will be provided in association with the apartments and 10 spaces will be provided in association with the office space. The parking reduction is approved by the Director and supported by data from the Institute of Transportation Engineers (ITE). The joint parking is also approved, subject to providing for ingress/egress and parking easements (see condition 5).

The Planning Commission is authorized to approve a Special Use Permit upon making the seven required findings of fact.

PUBLIC COMMENTS: Public notices were mailed on August 7, 2020 to 34 property owners within 350 feet of the subject site pursuant to the provisions of NRS and CCMC for the Special Use Permit application. As of the completion of this staff report, no public comments have been received. Any written comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting on August 26, 2020 depending upon their submittal date to the Planning Division.

OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS: The following comments were received from City departments. Comments have been incorporated into the recommended conditions of approval, where applicable.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all applicable Carson City Codes, Development Standards, and Standard Details, including but not limited to the following:
 - If a new fire sprinkler system is required, or if changes are required to be made to an existing system, a water main analysis must be submitted.
 - Water lines must meet current backflow preventer requirements.
 - The units must have a paved driveway with paved parking.
 - New curb, gutter and sidewalk will be required along the frontage. The sidewalk may need to be widened adjacent to existing power poles to ensure sufficient width is achieved to meet ADA standards.
 - Storm drain must be extended across the project frontage in North Carson Street.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if conditions are met.

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project. The sewer mains on the north and the south side of the project appear to have capacity to serve the project, however the main to the south should be utilized as much as is practicable as this main currently has lower flows than the main to the north, and there is more vacant land that could be served by the main to the north.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department

1. Project must comply with the International Fire Code and northern Nevada fire code amendments as adopted by Carson City.
2. Based on the site plan dated 7/14/20, the fire sprinkler FDC must be within 100 feet of the fire hydrant.
3. Parking space #20 on the site plan (page A1.0) must be eliminated or moved in order to provide fire code minimum of 20 feet clear width between the building and the property line for fire access.

SPECIAL USE PERMIT FINDINGS: Staff recommends approval of the Special Use Permit based on the findings below and the information contained in the attached reports and documents, pursuant to CCMC 18.02.080.5 (Findings), subject to the recommended conditions of approval, and further substantiated by the applicant's written justification. In making findings for approval, the Planning Commission must consider:

1. Will be consistent with the objectives of the Master Plan elements;

The requested development is consistent with the concept of a Compact and Efficient Pattern of Growth (Guiding Principle 1). Carson City is committed to a compact pattern that makes efficient use of land area and water resources available for urban growth, and that fosters the provisions of infrastructure and services in a cost-effective manner. The project is a small expansion of an existing apartment complex which is currently served by water and sewer and will continue to be.

Guiding Principle 7 discusses compact, mixed use activity centers, stating "Carson City will encourage the creation of compact, mixed-use activity centers in easily accessible and highly visible locations of the community. The activity centers will promote the efficient use of available commercial lands and concentrate retail services in pedestrian and transit-oriented development nodes that may be easily accessed from and serve surrounding neighborhoods. Activity centers will vary in size and composition depending upon their location, context, and level of priority." Staff finds that the proposed development is consistent with the concepts of compact development, placing people near economic centers to encourage mixed use activity centers.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is

compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity;

The subject property is adjacent to single family residential development to the west and commercial parcels to the north, east, and south. The proposed increase in units from 11 to 12 will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood. The use is an existing non-conforming use and the proposed increase in units will not result in an increase in the footprint of the existing building. Parking will be provided via a joint parking agreement between the subject property and the adjacent property to the west. Staff finds the project as conditioned will not be detrimental to the surrounding properties or general neighborhood.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic;*

The project will have little or no detrimental effect on vehicular or pedestrian traffic. The project is limited in scope, consisting of the expansion of an existing non-conforming multi-family apartment complex from 11 units to 12 units, without any increase in the footprint. The applicant has provided a traffic memo outlining the estimated trips, based on the ITE Trip Generation Manual. The project (including the conversion of the vacant restaurant to office space on the adjacent parcel) will result in a significant reduction in the number of Peak Hour Trips from 68.72 to 21.41. The applicant will be required to pave the driveway and parking lot as well as install new curb, gutter, and sidewalk along the frontage.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements;*

The project will not overburden existing public services and facilities. The project is limited in scope, consisting of the expansion of an existing non-conforming multi-family apartment complex from 11 units to 12 units, without any increase in the building footprint. Police, fire, and schools already serve this area. The existing sewer, water, and storm drain facilities are sufficient to provide service. The sewer mains on the north and south side of the project appear to have capacity to serve the project, however, the main to the south should be utilized as much as practicable as the main currently has lower flows than the main to the north and there is additional vacant land that could be served by the main to the north if/when it develops.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district;*

The applicant is proposing the conversion of the single large unit into separate upstairs and downstairs units with no increase in the existing footprint of the building. Structural modifications to the interior are limited to those necessary to meet the building and fire code to create two separate units. Carson City Municipal Code (CCMC) 18.04.030 allows for the expansion of an existing non-conforming use subject to first obtaining a Special Use Permit. Therefore, the proposed increase in the number of units from 11 to 12 requires a special use permit. As conditioned, the project will meet the specific standards set forth in Title 18.

6. *Will not be detrimental to the public health, safety, convenience and welfare; and*

The project will not be detrimental to the public health, safety, convenience, or welfare. The intent of the project is to convert one large unit into two and improve the shared parking lot with the adjacent parcel. This is an expansion of an existing use within an existing building.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The subject property is adjacent to single-family residential development to the west and commercial parcels to the north, east, and south. The proposed project will not be result in material damage or prejudice to other property in the vicinity. The intent of the project intent of the project is to convert one large unit into two and improve the shared parking lot with the adjacent parcel. This is an expansion of an existing use within an existing building.

Attachments

Application LU-2020-0008

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: **\$2,450.00 MAJOR**
\$2,200.00 MINOR (Residential zoning districts)
+ noticing fee
*Due after application is deemed complete by staff

- ☐ SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:
- ☐ Application Form
 - ☐ Detailed Written Project Description
 - ☐ Site Plan
 - ☐ Building Elevation Drawings and Floor Plans
 - ☐ Special Use Permit Findings
 - ☐ Master Plan Policy Checklist
 - ☐ Applicant's Acknowledgment Statement
 - ☐ Documentation of Taxes Paid-to-Date
 - ☐ Project Impact Reports (Engineering)

- ☐ CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By: _____

Submittal Deadline: Planning Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

FILE

APPLICANT PHONE #

Rob McFadden 775-750-7608

MAILING ADDRESS, CITY, STATE, ZIP

508 N. Curry St, Unit B Carson City, NV 89703

EMAIL ADDRESS

Rob@nvbrown.com

PROPERTY OWNER PHONE #

Carson Street Townhomes, LLC

MAILING ADDRESS, CITY, STATE, ZIP

508 N. Curry St. Carson City NV 89703

EMAIL ADDRESS

Rob@nvbrown.com

APPLICANT AGENT/REPRESENTATIVE PHONE #

N/A

MAILING ADDRESS, CITY STATE, ZIP

EMAIL ADDRESS

Project's Assessor Parcel Number(s):

1-032-24

Street Address

2610 N. Carson Street

Project's Master Plan Designation

Community Regional Commercial

Project's Current Zoning

RC

Nearest Major Cross Street(s)

W. Nye and Hot Springs Rd

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. Existing SFR was designed to be a duplex with separate HVAC, kitchens, bathrooms and breaker boxes upstairs and down. Not expanding foot print, adding rooms nor plumbing.

It is too large to be a SFR. We would like to formalize its intended use.

PROPERTY OWNER'S AFFIDAVIT

I, Robert C. McFadden, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

[Signature]
Signature

508 N. Curry St, Unit B CC NV 89703

Address

3-10-20
Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA)
COUNTY of Carson city)

On March 10th, 2020, Robert C. McFadden, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

[Signature]
Notary Public



AMY GUTIERREZ
Notary Public - State of Nevada
Appointment Recorded in Carson City
No: 09-10312-3 Expires April 1, 2021

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.


Applicant's Signature

Rob McFadden
Print Name

3-13-20
Date

Base map



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Project Description:

We would like to convert the single-family residence located at 2610 N. Carson Street into a duplex. The modifications will occur within the existing structure that appears to have been previously constructed as a duplex. The duplex will exist as an upstairs and downstairs unit. Each unit is already equipped with its own laundry facilities, HVAC, water heater, bathrooms, kitchens and similar. No plumbing fixtures or rooms will be added. There is currently a lobby through the front door entrance. The objective for the existing lobby is to create two additional interior walls that have separate doors. Each door will allow access to its own unit.

This property has been a prolonged eyesore with its faded blue roof, nonexistent landscaping and unorganized and unpaved parking. In addition to the dumpsters that sat in plain sight and random debris scattered across the property, tenants' personal items were also stored outdoors for all to see. So far, a new roof, energy efficient windows, fencing and landscaping have all been installed on the property as upgrades continue to be ongoing. Existing units have also been given a deep interior facelift. The goal for this property is to not only provide affordable and desirable housing, but to create a healthy living environment that is well-maintained.

This plan will precede an even larger improvement project to its neighboring parcel, the former Golden Dragon restaurant and its frontage along N. Carson Street.

Special Use Permit Application Findings, Explanations by Applicant:

1. Converting this SFR from a five-bedroom, four-bathroom and two-kitchen home into two separate dwelling units will be more desirable for a typical occupant. It will also allow the property owners the ability to match the home with what the market demands. This helps meet the master plans need for a mix of housing options, in this case in a mixed-use environment with shared parking with the parcel to the East which will have a shared parking easement. This will also help the Master Plans desire of economic growth by providing needed housing without expanding the need for new infrastructure. Additionally, the property owner plans on improving N. Carson Street frontage with curb, gutter and sidewalk which will meet the goal of a connected city.
2.
 - A. South- Vacant Commercial Shops, West- Existing SFR, North- Vacant Commercial Land, East- Vacant Commercial Building.
 - B. Use is existing. This will not impact neighbors as it is not adding to occupancy capacity, expanding nor making any exterior changes.
 - C. Because the location is already being used as a residence this will not be an additional burden nor impact.
 - D. N/A
 - E. Current use and landscaping is existing. Owner has cleaned up outdoor debris, added landscaping, privacy fencing and will continue to add landscaping and fencing where appropriate, at the benefit of neighbors.

- F. Immediate and long-term benefits are that Carson City is in desperate need for more quality affordable housing without the need of expanding infrastructure. As the population grows, so will the need for quality housing.
- 3. The streets connecting to the property are North Carson Street. We are not adding any bedrooms to the existing structure. Any traffic change would be negligent. By adding sidewalk across the frontage of N. Carson Street, this will be improving pedestrian traffic.
- 4.
 - A. Not adding any additional bedrooms or living capacity. Impact should be none.
 - B. Not adding additional capacity for occupants. We have changed the screening process for tenancy and made the living conditions sanitary and have zero tolerance for illegal activity such as drug use or unregistered vehicles. This is a major improvement for police activity. Fire improvements will be made by adding additional fire wall ratings to this home. Also testing fire hydrant on site and creating a code fire lane for easy access, which does not exist currently. Fire will see a positive impact too.
 - C. The water supply of the current daycare is like a residential household usage. The relatively small addition of 20 children should have minimal impact on water utilities.
 - D. N/A
 - E. N/A
 - F. N/A
- 5. This property is existing.
- 6. Existing building is being remodeled and improving fire rating. This will be a health and safety improvement.
- 7. Not adding capacity or square footage.

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Carson Street Townhomes

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☒ Located in a priority infill development area (1.2a)?
- ☒ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☒ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☒ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☒ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☒ Promote revitalization of the Downtown core (5.6a)?
- ☒ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☐ Use durable, long-lasting building materials (6.1a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☐ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
 - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☒ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☒ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Stanka Consulting, LTD

A Professional Engineering Company

Trip Generation Memo

Project: Tenant Improvements for 2590 and 2600 North
Carson Street

APNs 001-032-25 and 001-032-24

March 16, 2020

Prepared by:

Christopher Moltz, P.E.



Prepared for:

Carson City

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3108 Silver Sage Drive, Suite 102

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Carson City, NV 89701

chris@stankaconsulting.com
Contact: Chris Moltz

Executive Summary

There are plans by Rob McFadden to convert an existing single family home into a duplex, and convert a former restaurant into office space on properties located at 2590 and 2600 North Carson Street (APNs 001-032-25 and 001-032-24). A Major Project Review (MPR) was performed by the applicant (MPR-2020-0006). Per the Major Project Review Comments dated March 9, 2020, Engineering and Utilities Item No. 6:

6. Carson City is in the initial planning stages of a project on North Carson Street. A trip generation memo must be submitted giving the estimated peak hour trip generation for the proposed and existing uses. The project may be asked to contribute a pro-rata share to the North Carson Street Project based on the number/percent of trips anticipated to be generated and distributed to the transportation network as a direct result of the owner's project.

This letter intends to serve as the Trip Generation Memo, to fully address this MPR comment.

As can be seen in the findings from Section II of this report, it is anticipated that there will be significant reductions in the number of Peak Hour Trips under the proposed tenant improvements. Under the existing site conditions, the maximum peak hour trips were identified as 68.72 trips. The maximum number of peak hour trips under the proposed site conditions, post-tenant improvements was identified as 21.41 trips.

Since peak hour trips are anticipated to be significantly reduced from current site conditions, it is not recommended that this project be asked to contribute to a pro-rate share to the North Carson Street Project.

I. Introduction

General Information

There are plans by Rob McFadden to convert an existing single family home into a duplex, and convert a former restaurant into office space on properties located at 2590 and 2600 North Carson Street (APNs 001-032-25 and 001-032-24). A Major Project Review (MPR) was performed by the applicant (MPR-2020-0006). Per the Major Project Review Comments dated March 9, 2020, Engineering and Utilities Item No. 6:

6. Carson City is in the initial planning stages of a project on North Carson Street. A trip generation memo must be submitted giving the estimated peak hour trip generation for the proposed and existing uses. The project may be asked to contribute a pro-rata share to the North Carson Street Project based on the number/percent of trips anticipated to be generated and distributed to the transportation network as a direct result of the owner's project.

This letter intends to serve as the Trip Generation Memo, to fully address this MPR comment.

The first parcel is located at 2590 North Carson Street (APN 001-032-24). This is the western of the two parcels (as shown in Figure 1 on the following page). There are currently ten apartments located on this parcel (five in the north building, and five in the southern building). These apartments are not changing under the proposed Tenant Improvements. There is also an existing single family home located on the west side of APN 001-032-024. It is proposed that this single family home is split into a duplex.

The second parcel is located at 2600 North Carson Street (APN 001-032-25). This is the eastern of the two parcels (as shown in Figure 1 on the following page). There is currently an existing 3,488 square foot building which is currently utilized as a restaurant. It is proposed that the new use will be commercial office use.

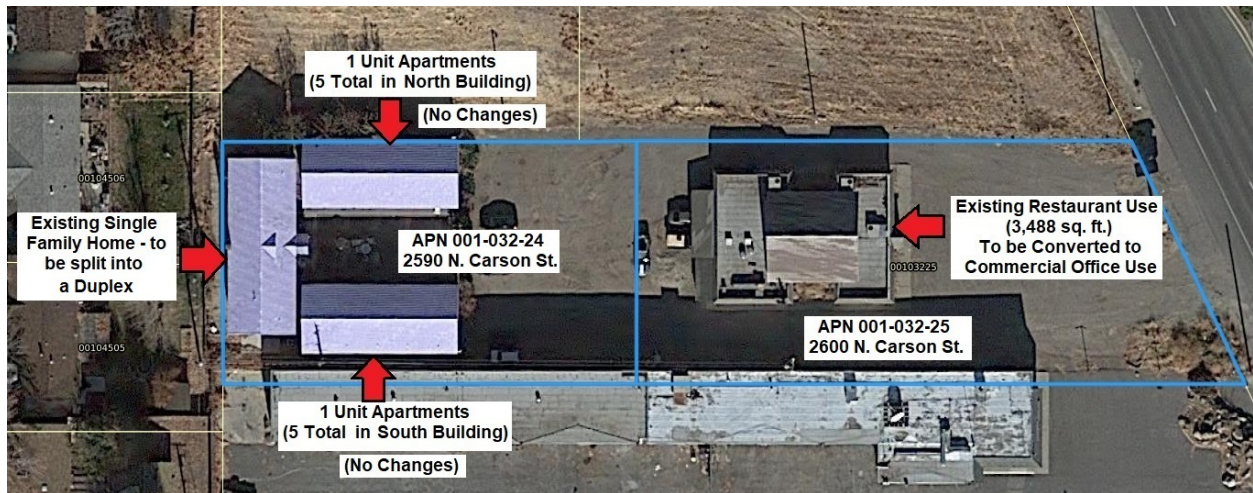


Figure 1 – Aerial Overview of Proposed Project and Changes to Proposed Use, Under Tenant Improvements

II. Identified ITE Land Use and Trip Generation

Review of the ITE Trip Generation Manual 10th Edition (2017) was used for this analysis. Weekday AM Peak Hour Flows, Weekday PM Peak Hour Flows, Friday AM and PM Peak Hour Flows (when available), Saturday Peak Hour Flows, and Sunday Peak Hour Flows were all reviewed for each ITE Land Use. The highest of the previously mentioned Peak Hour Flows were identified and used for analysis in this memo.

A summary of the analysis performed in this section can be seen in Table 1 on the following page.

The existing ITE Land Uses for the first parcel (located at 2590 North Carson Street, APN 001-032-24) were identified as “210: Single-Family Detached Housing” for the existing single family residence, and “220: Multifamily Housing (Low-Rise)” for the existing ten apartments. The highest number of Peak Hour Trips identified for ITE Land Use 210 was 1.00 trips for one single family dwelling during the Weekday PM Peak Hour. The highest number of peak hour trips identified for ITE Land Use 220 was 7.00 trips for ten dwelling units during the Saturday Peak Hour. This brings the maximum potential existing peak hour trips for the first parcel to 8.00 trips.

After the proposed tenant improvement changes, the proposed ITE Land Uses for the first parcel would be 12 units of “220: Multifamily Housing (Low-Rise)”. The highest number of peak hour trips identified for ITE Land Use 220 was 8.40 trips for 12 dwelling units during the Saturday Peak Hour.

The existing ITE Land Use for the second parcel (located at 2600 North Carson Street, APN 001-032-25) was identified as “932: High-Turnover (Sit-Down) Restaurant”. The highest number of peak hour trips identified for ITE Land Use 932 was 90.10 trips for the Sunday Peak Hour; however, due to the small sample size (only three studies), it was determined to instead use the highest peak hour trip volume identified which had substantial number of studies performed (Weekday PM Peak Hour, with 61 studies performed). The Weekday PM Peak Hour identified 66.92 Peak Hour Trips for ITE Land Use 932. The maximum potential existing peak hour trips for the second parcel was identified as 60.72 trips (based on 3,488 square feet of gross floor area).

After the proposed tenant improvement changes, the proposed ITE Land Use for the second parcel would be “712: Small Office Building”. The highest number of peak hour trips identified for ITE Land Use 712 was 13.01 trips during the Weekday PM Peak Hour (based on 3,488 square feet of gross floor area).

Table 1 – Overview of Estimated Existing Peak Hour Trips vs. Proposed Peak Hour Trips, Post Tenant Improvements

Property Location	Existing Site Conditions		Proposed Site Conditions	
	Identified ITE Land Use and Quantity	Maximum Identified Peak Hour Trips	Identified ITE Land Use and Quantity	Maximum Identified Peak Hour Trips
2590 N. Carson Street	210: Single-Family Detached Housing, One Residence	1.00	220: Multifamily Housing (Low-Rise) 12 Units	8.40
	220: Multifamily Housing (Low-Rise), Ten Units	7.00		
2600 N. Carson Street	932: High-Turnover (Sit-Down) Restaurant, 3,488 ft ²	60.72	712: Small Office Building, 3,488 ft ²	13.01
TOTAL	-	68.72	-	21.41

As can be seen above in Table 1, the under the existing site conditions, the maximum peak hour trips was identified as 68.72 trips. The maximum number of peak hour trips under the proposed site conditions, post-tenant improvements was identified as 21.41 trips.

III. Conclusions:

As can be seen in the findings from Section II of this report, it is anticipated that there will be significant reductions in the number of Peak Hour Trips under the proposed tenant improvements. Under the existing site conditions, the maximum peak hour trips were identified as 68.72 trips. The maximum number of peak hour trips under the proposed site conditions, post-tenant improvements was identified as 21.41 trips.

Since peak hour trips are anticipated to be significantly reduced from current site conditions, it is not recommended that this project be asked to contribute to a pro-rate share to the North Carson Street Project.

GOLDEN DRAGON DUPLEX

SPECIAL USE PERMIT

2590 N. CARSON STREET CARSON CITY NV 89706

<div>CODES</div> <div><ul style="list-style-type: none">2018 INTERNATIONAL RESIDENTIAL CODE2018 INTERNATIONAL ENERGY CONSERVATION CODE2018 INTERNATIONAL FIRE CODE & NORTHERN NEVADA FIRE CODE AMENDMENTS2019 NFPA 13</div>	<div>PROJECT SCOPE</div> <div><ul style="list-style-type: none">CONVERSION OF EXISTING (SFR) INTO NEW DUPLEX UNITS. TWO UNITS SPLIT IN 'UPPER' & 'LOWER' FORMAT. ADJACENT EXISTING APARTMENT BUILDINGS TO REMAIN IN PLACE AND UNTOUCHEDA NEW LOBBY WILL BE CREATED AS AN INTERMEDIATE SPACE BETWEEN THE TWO NEW APARTMENT UNITSNO STRUCTURAL MODIFICATION TO EXISTING STRUCTURE OR LOAD BEARING MEMBERSEXISTING MECHANICAL AND ELECTRICAL ALREADY SEPARATED TO SERVE THE TWO UNITSREPLACEMENT OF OLD ALUMINUM WINDOWS WITH NEW ENERGY EFFICIENT DUAL PANE VINYL WINDOWSADDITION OF FIRE LANE TO SERVE BOTH APARTMENT UNITS AND OFFICE BUILDINGOFFICE BUILDING PART OF FUTURE SUBMITTALADDITION OF NEW TRASH ENCLOSURESPARKING RE-STRIPING TO INCLUDE ACCESSIBLE SPACE AND WALKWAY</div>	<div>DUPLEX PROJECT DATA</div> <div><table><tr><td>ZONING</td><td>RC</td></tr><tr><td>SETBACK FOR (RC ZONING)</td><td>0'-0" FRONT / SIDES / BACK</td></tr><tr><td>TYPE OF CONSTRUCTION</td><td>III-B</td></tr><tr><td>ALLOWABLE HEIGHT</td><td>55'</td></tr><tr><td>CLASSIFICATION</td><td>R2</td></tr><tr><td>RESIDENTIAL FACTOR</td><td>200</td></tr><tr><td>OCC LOAD</td><td>16</td></tr><tr><td>LOWER LEVEL CONDITIONED AREA</td><td>1633 SQ FT</td></tr><tr><td>LOWER LEVEL LOBBY</td><td>109 SQ FT</td></tr><tr><td>UPPER LEVEL CONDITIONED AREA</td><td>1475 SQ FT</td></tr><tr><td></td><td>TOTAL: 3217 SQ FT</td></tr><tr><td>APN AT DUPLEX</td><td>01-032-24</td></tr><tr><td>APN AT OFFICE BUILDING (FUTURE)</td><td>01-032-25</td></tr><tr><td>LOT SIZE AT DUPLEX / APARTMENTS</td><td>±17,345 SQ FT</td></tr><tr><td>LOT SIZE AT OFFICE BUILDING</td><td>±23,040 SQ FT</td></tr></table></div>	ZONING	RC	SETBACK FOR (RC ZONING)	0'-0" FRONT / SIDES / BACK	TYPE OF CONSTRUCTION	III-B	ALLOWABLE HEIGHT	55'	CLASSIFICATION	R2	RESIDENTIAL FACTOR	200	OCC LOAD	16	LOWER LEVEL CONDITIONED AREA	1633 SQ FT	LOWER LEVEL LOBBY	109 SQ FT	UPPER LEVEL CONDITIONED AREA	1475 SQ FT		TOTAL: 3217 SQ FT	APN AT DUPLEX	01-032-24	APN AT OFFICE BUILDING (FUTURE)	01-032-25	LOT SIZE AT DUPLEX / APARTMENTS	±17,345 SQ FT	LOT SIZE AT OFFICE BUILDING	±23,040 SQ FT	<div>PROJECT DESCRIPTION</div> <div><p>WE ARE EXCITED TO TRANSFORM THIS LONG VACANT EYE SORE INTO A THRIVING AND ATTRACTIVE PLACE.</p><p>THIS STRUCTURE APPEARS TO BE ORIGINALLY DESIGNED TO BE A DUPLEX. WE ARE NOT ADDING KITCHENS, BATHROOMS OR BEDROOMS. THEY ALL ALREADY EXIST, THIS HOME EVEN ALREADY HAS TWO HVAC SYSTEMS IN PLACE. WE ARE ONLY ADDING REQUIRED FIRE RATING AND INTERIOR DOORS TO SEPARATE THE TWO UNITS.</p><p>ALSO WE HAVE ADDED PARKING AND ENSURED CODE FIRE TRUCK ACCESS. IN ADDITION WE WILL ADD AN EASEMENT TO ENSURE THAT OVER FLOW PARKING CAN USE THE OFFICE ON THE FRONT PARCELS PARKING AND VICE VERSA. THE RESIDENTIAL TYPICALLY USES PARKING DURING NIGHTS AND WEEKENDS AND THE RESTAURANT IN THE FRONT IS TO BE CONVERTED TO OFFICE SPACE, WHICH WILL USE THE PARKING PRIMARILY DURING THE DAYS ON WEEK DAYS.</p></div>
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	<div>AGENCIES</div> <div><div><p>PLANNING: CARSON CITY PLANNING DIVISION 108 E. PROCTOR STREET CARSON CITY, NV 89701 775.887.2180 PLANNING@CARSON.ORG</p></div><div><p>BUILDING: CARSON CITY PLANNING DIVISION 108 E. PROCTOR STREET CARSON CITY, NV 89701 775.887.2202 BLDGDIV@CARSON.ORG</p></div></div>	<div>VICINITY MAP</div> <div></div>	<div>SHEET INDEX</div> <div><p>T1.0 COVER SHEET A1.0 SITE PLAN C1.0 CIVIL PLAN A1.1 SITE DETAILS A2.0 FLOOR PLANS A2.1 REFERENCE SHEET (SITE PLAN) A2.2 REFERENCE SHEET (FLOOR PLAN) A3.0 EXISTING ELEVATIONS A4.0 BUILDING SECTION</p></div>																														

GOLDEN DRAGON DUPLEX

SPECIAL USE PERMIT

2590 N. CARSON STREET CARSON CITY, NV 89706
APN: 001-032-24

SUP SUBMITTAL 7/14/2020

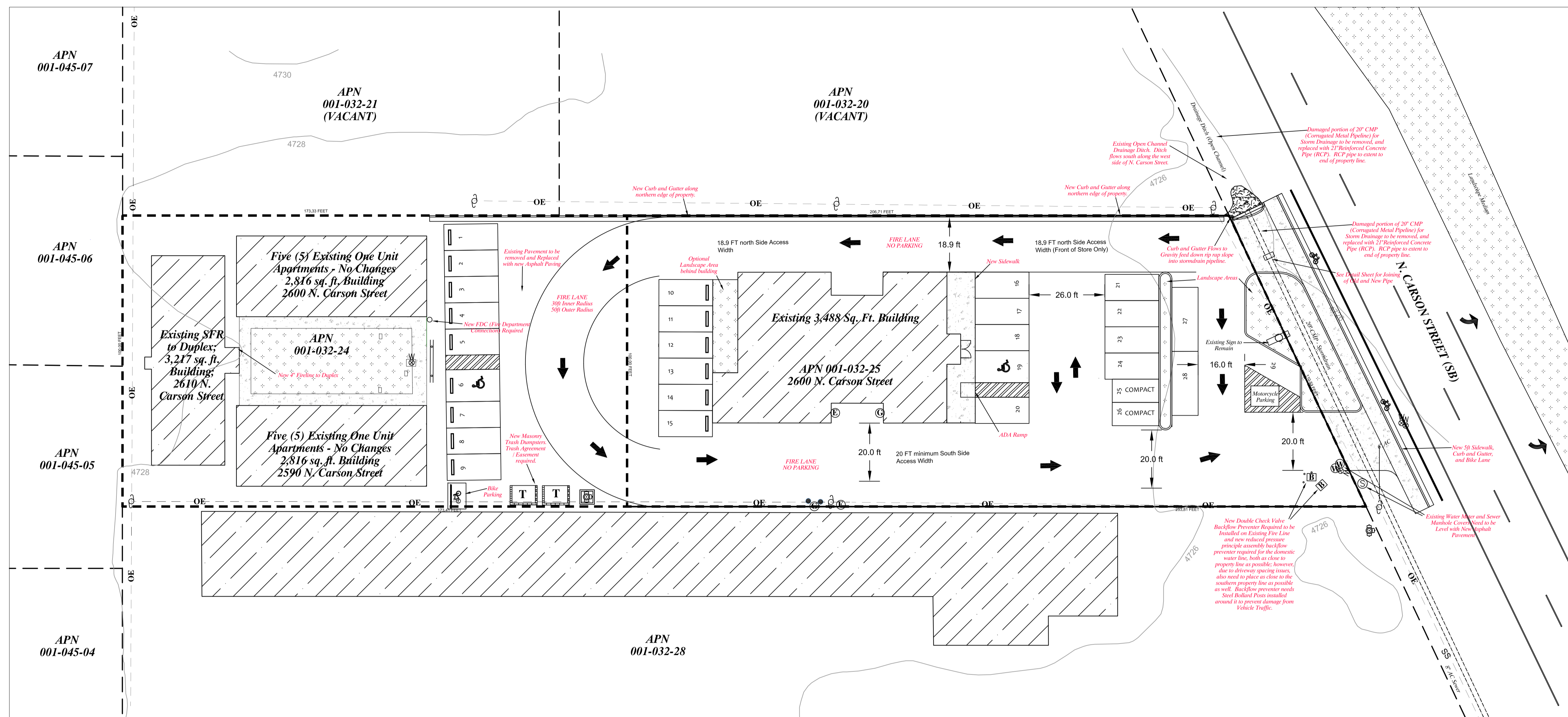
ROBERT MCFADDEN
CARSON STREET TOWNHOMES

COVER SHEET

T1.0

CARSON STREET TOWNHOMES LLC

PROPOSED SITE LAYOUT










NOTE: 2-foot Topography Lines Obtained from Carson City MapGeo GIS system. APN Lines are Approximate from Carson City MapGeo GIS system (APN Lines have not been surveyed), with the exception of the APN line for the subject parcels which was obtained from Metes and Bounds Description from Carson City Recorded Document No. 264440. Existing Easements on subject properties obtained from Carson City Recorded Document No. 264440. One easement is identified as a "non-exclusive sewer line and water line easement 10 feet in width centered about the existing water line service line, and an easement 10 feet in width centered about the existing sewer service line." However, exact location of sewer and waterlines unknown.

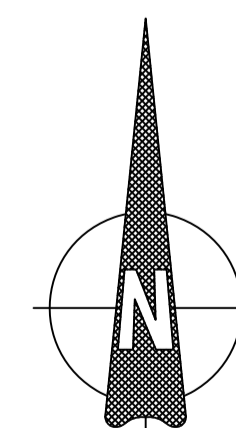
Existing site features have been identified from field visits, review of google earth aerials and mapping software, review of previous engineering drawings, coordination with utility companies, and Carson City MapGeo GIS resources.

EXACT LOCATIONS OF UTILITIES, NEED TO BE VERIFIED IN THE FIELD. EXACT LOCATIONS OF GAS, ELECTRIC, COMMUNICATIONS, WATER, AND SEWER ON SUBJECT PROPERTIES ARE UNKNOWN, AND ARE SHOWN IN A REPRESENTATIVE PURPOSE ONLY ON THIS MAP. OLD PLANS WERE FOUND BUT WERE NOT STAMPED BY AN ENGINEER, OR IDENTIFIED AS AS-BUILTS SO UTILITY LOCATIONS CANNOT BE VERIFIED.

LEGEND

- SUBJECT PARCEL OUTLINES**
(APNS 001-032-024 AND 001-032-025)
- OTHER PARCEL OUTLINES**
(BASED ON CARSON CITY ASSESSORS DATA)
- CONCRETE SURFACE (SIDEWALKS / WALKWAYS)**
- EXISTING STRUCTURE**
- 2-FT TOPOGRAPHY CONTOUR**
(OBTAINED FROM CARSON CITY MAPGEO GIS RESOURCES)
- 4980**
- OE —** OVERHEAD ELECTRIC (AND POLE LOCATION)
- E —** BURIED ELECTRIC
(LOCATION UNKNOWN - LOCATE IN FIELD)
- COM —** BURIED CABLE / COMMUNICATIONS
(LOCATION UNKNOWN - LOCATE IN FIELD)
- SS ---** SANITARY SEWER (AND MANHOLE LOCATION) - ONLY CAR
SEWER MAIN LOCATIONS HAVE BEEN VERIFIED. SEWER LA
LOCATIONS ON SUBJECT PROPERTIES ARE UNKNOWN / AP
- SD ---** STORM DRAIN (AND MANHOLE LOCATION)

- 
 WATER LINE (AND VALVE LOCATION) - ONLY CARSON CITY WATER MAIN LOCATIONS HAVE BEEN VERIFIED. WATER LATERAL LOCATIONS ON SUBJECT PROPERTIES ARE UNKNOWN / APPROXIMATE.
- 
 FIRE HYDRANT (N.T.S.)
- 
 BURIED GAS LINE (LOCATION UNKNOWN - LOCATE IN FIELD)
- 
 GAS METER LOCATION
- 
 ELECTRICAL METER LOCATION
- 
 WATER METER LOCATION
- 
 IDENTIFIED EASEMENT



Stanka Consulting, LTD
A Professional Engineering Company

**3108 Silver Sage Drive, Suite 102
Carson City NV 89701
(775) 885-9283
chris@stankaconsulting.com
www.stankaconsulting.com**

[illegible]

PROPOSED SITE LAYOUT

CARSON STREET
TOWNHOMES, LLC

2590 and 2600 N. Casron Street, CARSON CITY, NV
APNs 001-032-24 and APNs 001-032-25

CARSON STREET TOWNHOMES, LLC
TENANT IMPROVEMENT PLANS -
SHEET C3 of 5

DRAWING DATE: 7/30/2020

STANKA CONSULTING LTD

3108 SILVER SAGE DRIVE, STE 102

CARSON CITY, NV 89701

WWW.STANKACONSULTING.COM

DRAWN FOR CARSON STREET
TOWNHOMES, LLC FOR SUBMITTAL
TO CARSON CITY, NV.

SCALE

30 0 15 30 60 120 FEET

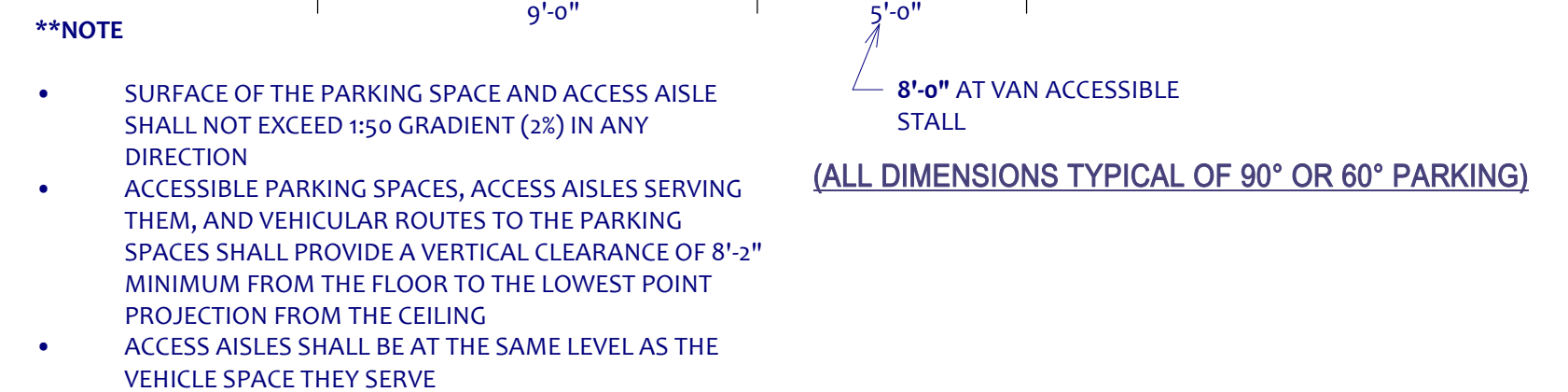
1 inch = 30 ft.

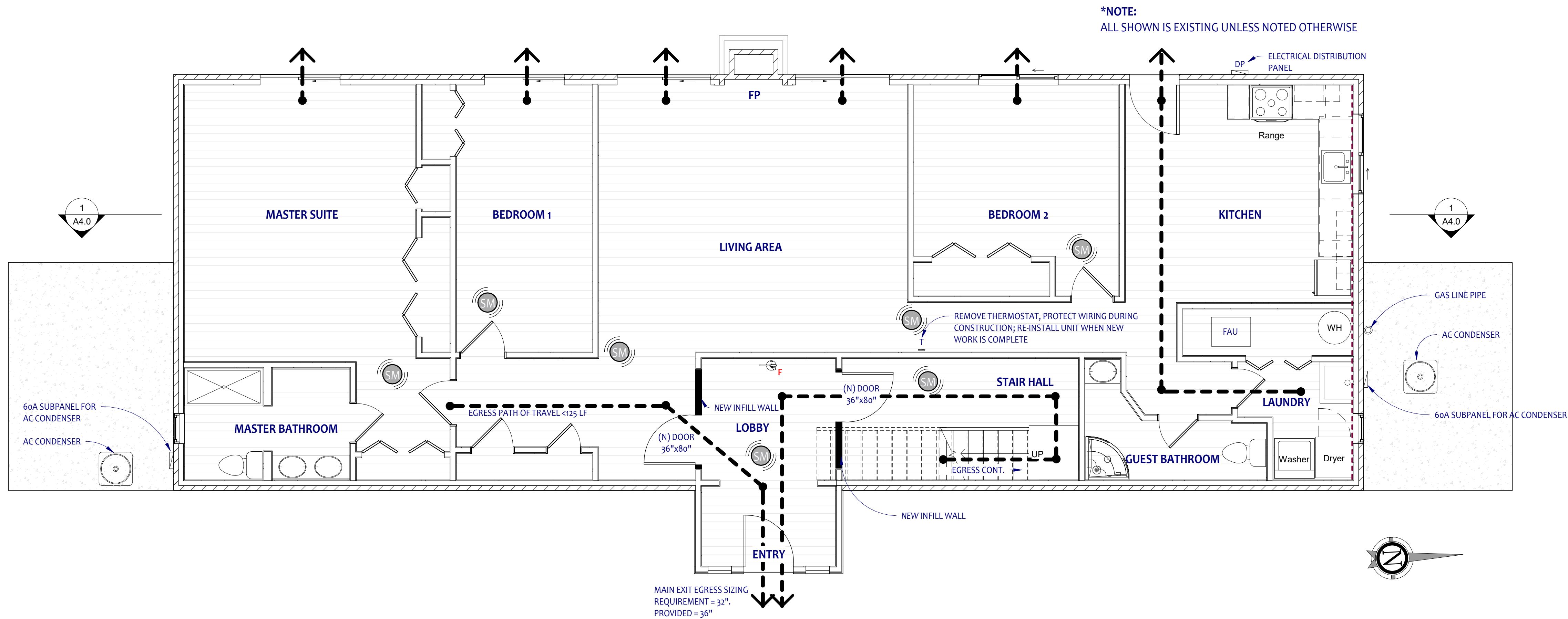
SPECIAL USE PERMIT

SUP SUBMITTAL 7/14/2020

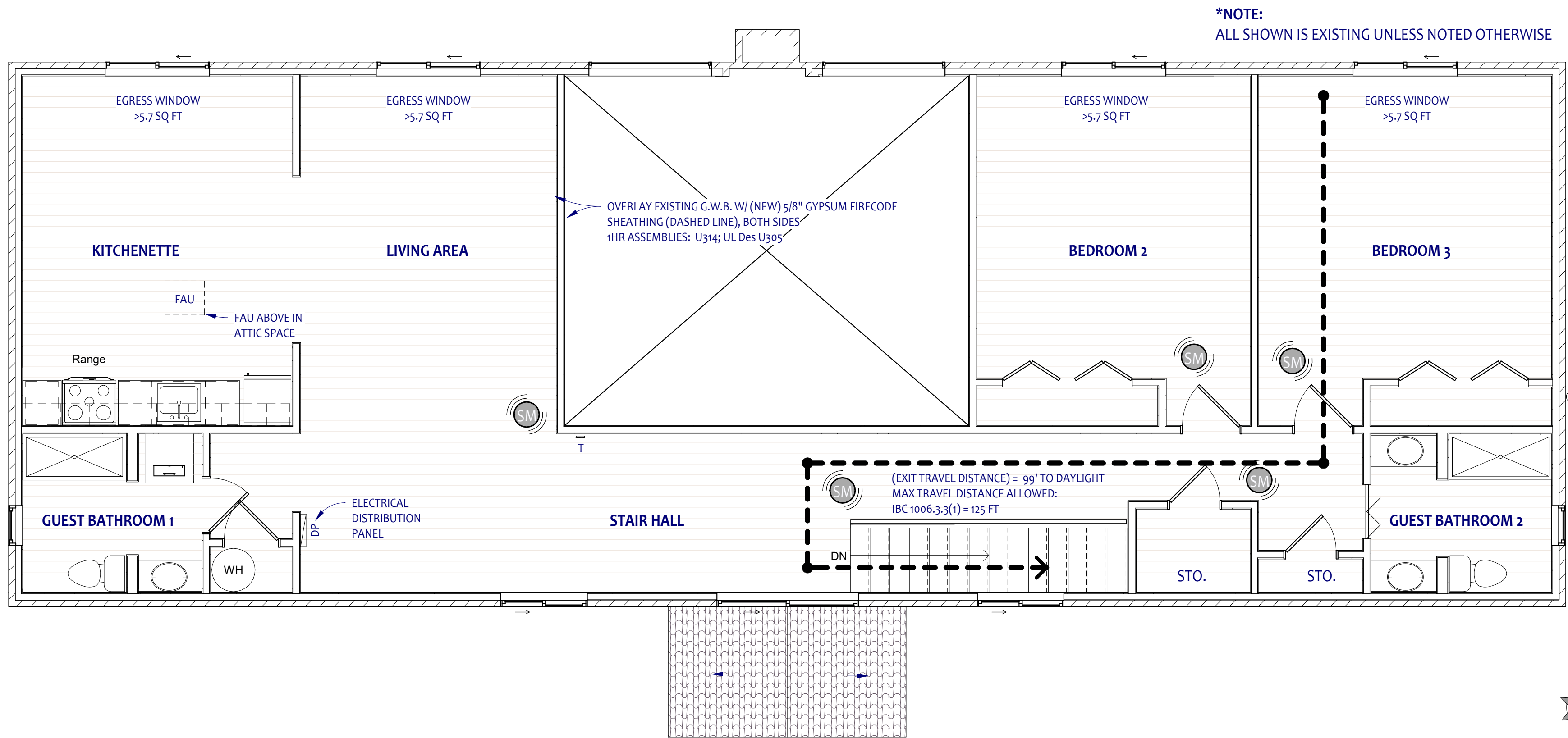
SITE DETAILS

A1.1





1 LOWER LEVEL PLAN
1/4" = 1'-0"



2 UPPER LEVEL PLAN
1/4" = 1'-0"

LEGEND / ASSEMBLIES

- (E) 2x4 WOOD FRAMING
- (E) 5/8" GYPSUM SHEATHING
- (E) 5/8" PLY SHEATHING + EXTERIOR PANEL FINISH
- (E) 2x4 WOOD FRAMING
- (E) FIBERGLASS BATT INSULATION
- (E) 5/8" GYPSUM SHEATHING
- NEW WALL PER PLAN
- (E) EXTERIOR BRICK
- (E) 2x4 WOOD FRAMING
- (E) 5/8" GYPSUM SHEATHING
- DP ELECTRICAL DISTRIBUTION PANEL
- SM COMBINATION SMOKE & CO₂ DETECTOR, CEILING / WALL MOUNTED
- T THERMOSTAT LOCATION
- F FIRE EXTINGUISHER (WALL MOUNT)
- EGRESS TRAVEL

GENERAL NOTES

- ALL SHOWN IS EXISTING, UNLESS NOTED OTHERWISE
- DOORS RATED IN (1) HOUR ASSEMBLY SHALL BE RATED 20 MINUTE MINIMUM
- NO MODIFICATIONS TO BUILDING STRUCTURE
- EXISTING UTILITIES TO REMAIN IN PLACE. NO MODIFICATIONS
- EXISTING UTILITIES ALREADY SPLIT TO SERVE TWO UNITS
- NEW WINDOW AND PATIO DOOR REPLACEMENTS SHALL BE NEW DOUBLE PANE LOW-E HIGH EFFICIENCY UNITS

FIRE NOTE

- PROJECT WILL MEET NFPA 13 (DEFERRED SUBMITTAL)

GOLDEN DRAGON DUPLEX

SPECIAL USE PERMIT

2590 N. CARSON STREET CARSON CITY, NV 89706
APN: 001-032-24

SUP SUBMITTAL 7/14/2020

ROBERT MCFADDEN
CARSON STREET TOWNHOMES

FLOOR PLANS

A2.0

GOLDEN DRAGON DUPLEX

SPECIAL USE PERMIT

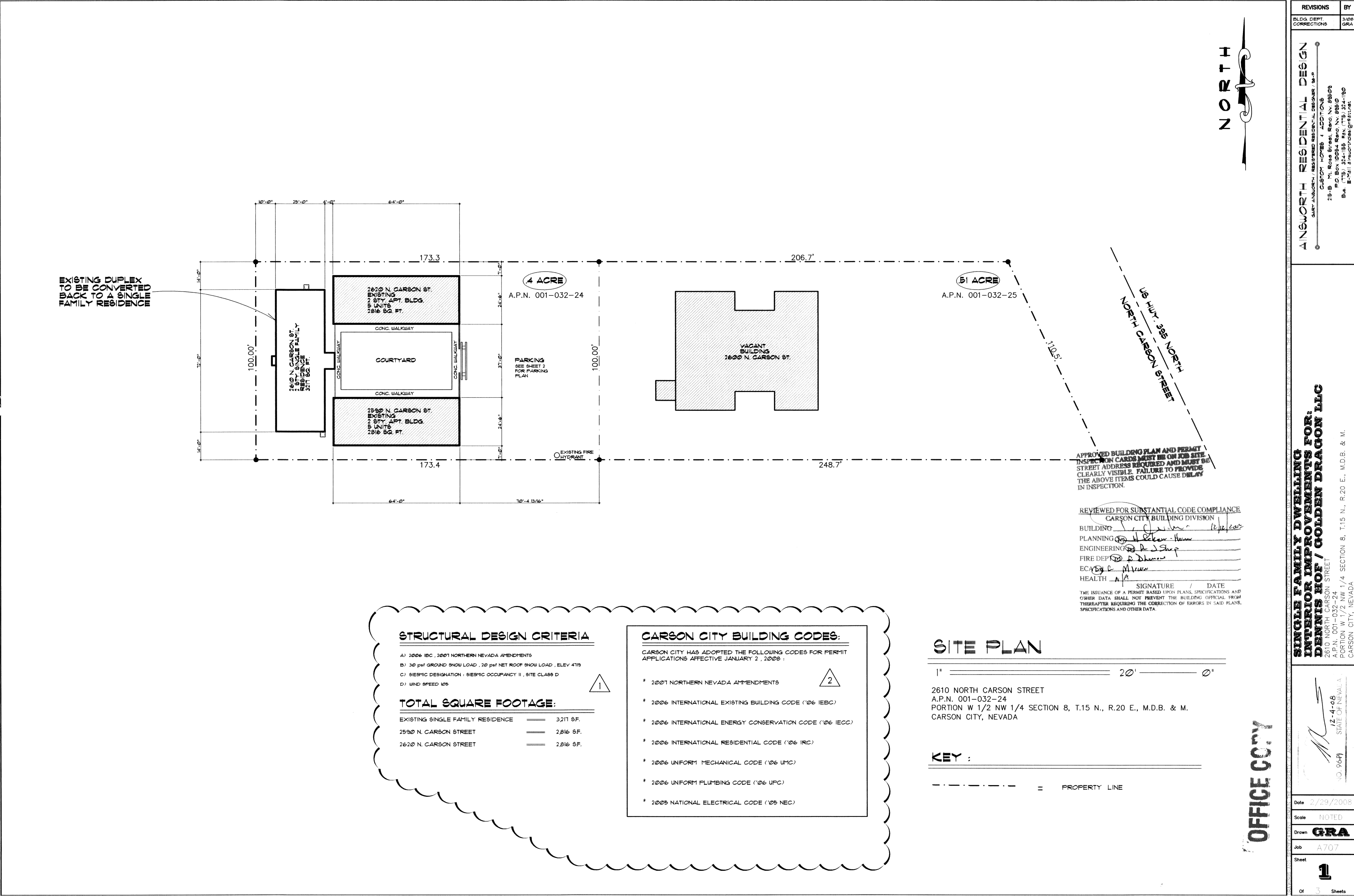
2590 N. CARSON STREET CARSON CITY, NV 89706
APN: 001-032-24

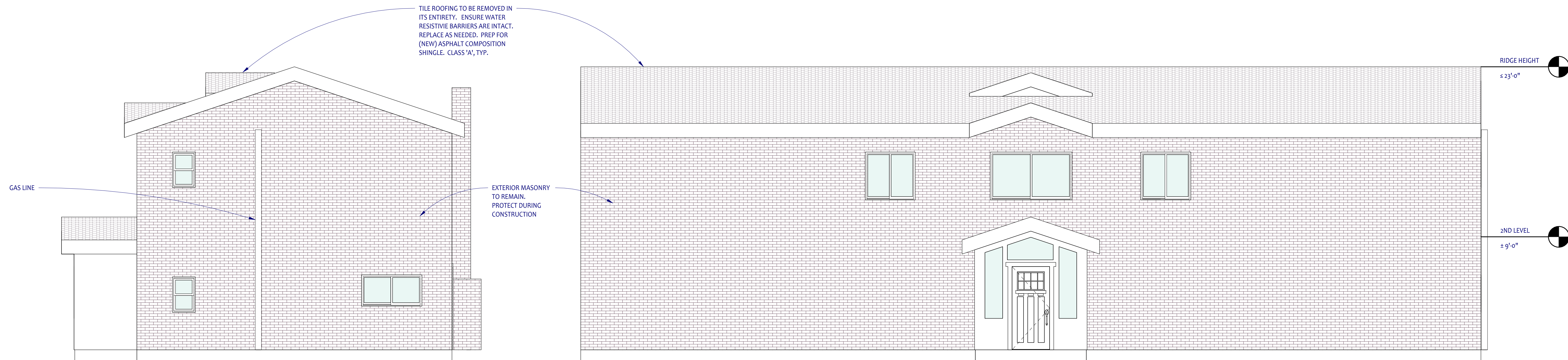
SUP SUBMITTAL 7/14/2020

ROBERT MCFADDEN
CARSON STREET TOWNHOMES

REFERENCE SHEET

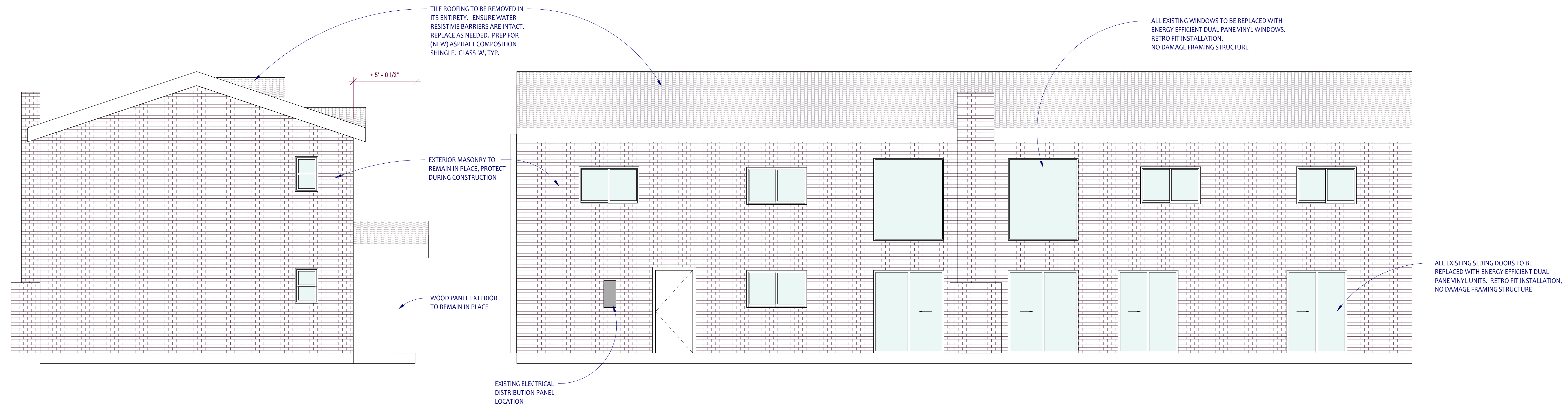
A2.1





EXISTING NORTH
1/4" = 1'-0"

EXISTING EAST
1/4" = 1'-0"



EXISTING SOUTH
1/4" = 1'-0"

EXISTING WEST
1/4" = 1'-0"

GOLDEN DRAGON DUPLEX

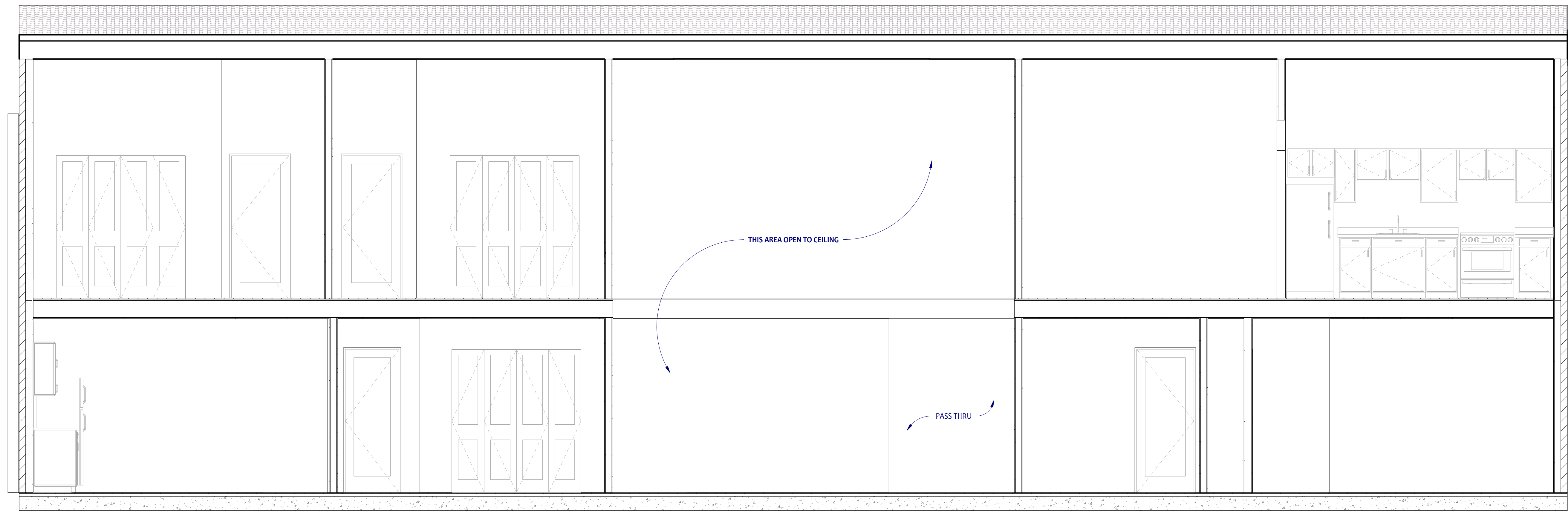
SPECIAL USE PERMIT

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APN: 001-032-24

SUP SUBMITTAL 7/14/2020

ROBERT MCFADDEN
CARSON STREET TOWNHOMES

EXISTING ELEVATIONS



1 BUILDING SECTION
3/8" = 1'-0"

GOLDEN DRAGON DUPLEX

SPECIAL USE PERMIT

2590 N. CARSON STREET CARSON CITY, NV 89706
APN: 001-032-24

SUP SUBMITTAL 7/14/2020

ROBERT MCFADDEN
CARSON STREET TOWNHOMES

BUILDING SECTION

A4.0