

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF AUGUST 26, 2020

FILE NO: LU-2020-0027

AGENDA ITEM: E.4

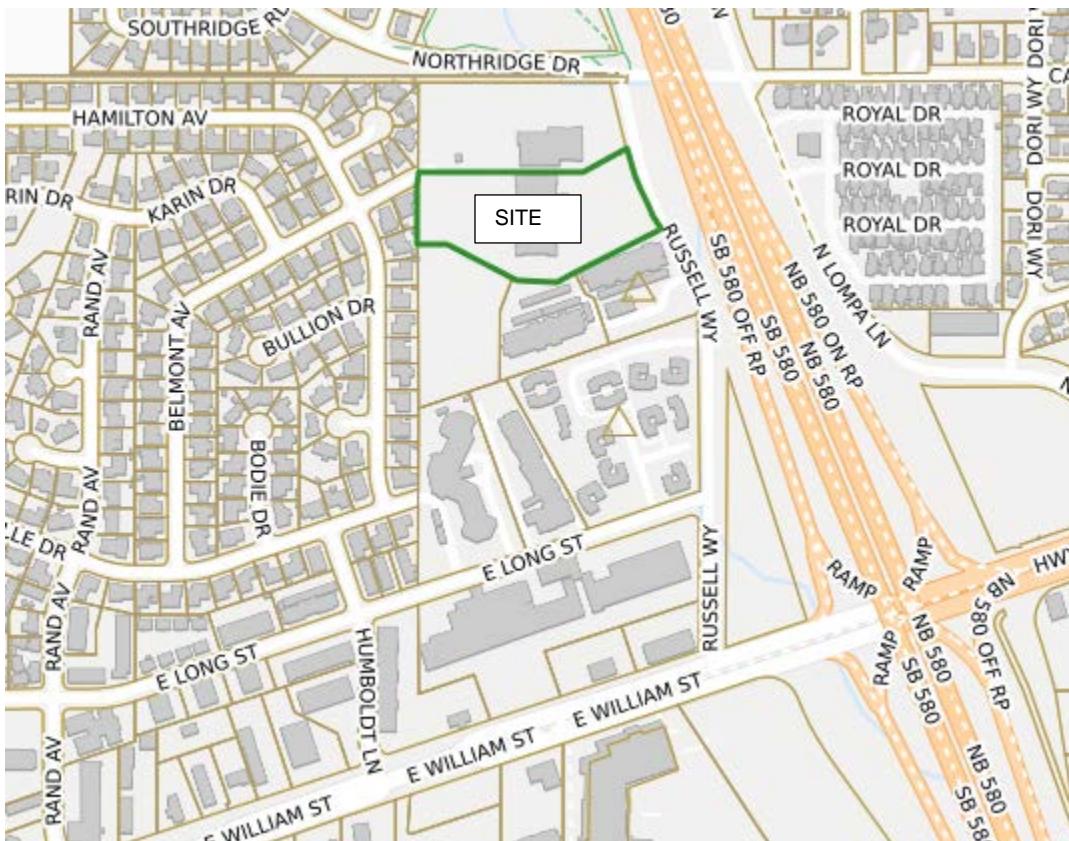
STAFF AUTHOR: Hope Sullivan, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for a Special Use Permit for a metal storage container on property zoned Public Regional (PR), located at 1860 Russell Way, APN 002-101-91.

SUMMARY: Carson City Parks, Recreation and Open Space seeks to place an 8 foot x 40 foot x 8 foot metal storage container behind the Multipurpose Athletic Center. The container will be utilized for storage. The Planning Commission is authorized to approve a Special Use Permit.

RECOMMENDED MOTION: "I move to approve LU-2020-0027 based on the ability to make the required findings and subject to the conditions of approval included in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the approved site plan.
2. All on and off-site improvements shall conform to City standards and requirements.
3. Building materials shall be consistent with the approved plans. All exposed metal surfaces shall be painted in flat, non-glossy paint to complement or match the color of the exterior.
4. The applicant shall submit exterior light fixture details for any proposed fixtures with the building permit application. Lights must be shielded with a 90-degree full cutoff so that light is projected downward and not horizontally or upward. Light sources or refractors shall not extend below the bottom of the shield.
5. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
6. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
7. The metal storage container shall be used for storage purposes only and no human occupation shall occur. No alterations shall be made or allowed to the metal storage container including, but not limited to, doors, windows, electrical, plumbing, or connection of multiple containers unless factory built with those improvements. No storage shall be placed upon or above the metal storage container. Storage containers shall not be stacked upon each other.
8. No hazardous materials shall be stored in the metal storage container. Metal storage container shall not be sited in a manner to be detrimental to the public's health and safety.
9. The metal storage containers shall be painted either to blend with the primary or adjacent structures or painted earth-tone colors to minimize visual impacts. Graffiti shall be removed in accordance with the city's graffiti ordinance. All metal storage containers in use shall be in a condition free from rust, peeling paint, or other visible forms of deterioration. Metal storage containers shall be screened with chain link fencing with slats, concrete masonry unit (CMU) block walls and/or landscaping as approved by planning staff. Metal storage containers and their screening and landscaping shall be maintained in good repair. Any metal storage containers that are not maintained in good repair or that are dilapidated or dangerous, shall be repaired or removed, following an order to comply from the director.
10. Advertising is prohibited on the exterior of all metal storage containers.
11. A metal storage container special use permit shall be reviewed in 5 year increments or at any time the principal property use changes, with a \$50.00 administrative service charge and noticing costs paid by applicant. The subject storage container may be reviewed administratively, although the Community Development Director may refer it to the

Planning Commission at his discretion.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.185 (Public Regional)

MASTER PLAN DESIGNATION: Public / Quasi-Public

ZONING DISTRICT: Public Regional

KEY ISSUES: Will the addition of a storage container be compatible with the surrounding neighborhood?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Public Regional / Girls and Boys Club

EAST: Mobile Home 6,000 / Highway 580

WEST: Single-Family 6,000 / single family residences

SOUTH: Multi-Family Apartment and Public Regional / multifamily residential and baseball field

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X shaded (0.2% Annual Chance Flood Hazard)

EARTHQUAKE FAULT: Zone I and Zone II (Greatest Severity and Moderate Severity)

FAULT: Beyond 500 feet

SLOPE: Site is flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 4.55 acres

STRUCTURE SIZE: 33,126 square feet (source: Assessor)

VARIANCES REQUESTED: None

PREVIOUS REVIEWS:

SUP-08-046: Special Use Permit for a Recreational Center

DISCUSSION:

The subject property is the location of the Multi-Use Athletic Center (MAC), a public recreational center. In December 2008, the Planning Commission approved a special use permit for the MAC, and in January 2011, the Planning Commission approved a time extension for the special use permit as construction had not commenced. The MAC opened in 2016.

The applicant is now seeking to place an eight foot by forty foot storage container in the rear of the 33,126 square foot building. The applicant explains that there is limited storage for large recreational equipment inside the building. The City's Parks Recreation and Open Space (PROS) Department owns 30 – 40 bicycles, and has funding to purchase kayaks, backpacking gear, and snowshoes for recreational programs. The container will provide secure storage where the equipment can be easily accessed and loaded into vehicles.

Per the Development Standards 1.10.9.c, the use of a metal storage container within the public zoning district on a permanent basis beyond 90 days requires approval of a special use permit. The Planning Commission is authorized to approve a special use permit upon making each of the seven required findings in the affirmative.

PUBLIC COMMENTS:

Public notices were mailed to 179 property owners within 600 feet of the subject site on August 7, 2020. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on August 26, 2020 depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

Engineering Division

The Engineering Division has no preference or objection to the special use request and offers no conditions of approval.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The proposed use will have a negligible effect on vehicle and pedestrian traffic.

C.C.M.C. 18.02.080 (5d) - Public Services

The proposed use will have no impact to City water and sewer, and a negligible impact to stormwater runoff.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department Comments

No comments

FINDINGS:

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the objectives of the Master Plan elements.*

The subject property has a Master Plan designation of Public / Quasi-Public. The primary uses identified in the Master Plan for this land use designation are schools, government offices, community centers, fire stations, airport, libraries, hospitals, cemeteries, churches and other places of worship. The current use is a public recreational facility. The container will be consistent with the current use, which is consistent with the Master Plan land use designation.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

The container will provide for storage, and will not create noise, vibrations, fumes, odors, dust, or glare. The applicant proposes to locate the container in the rear of the existing building, in rocked area that is informally utilized for overflow parking. As part of the Special Use Permit, there wasn't an identified use for this area of the property.

Currently, a six foot tall solid wooden fence exists along the western property line, creating a visual screen for the neighboring residents.

3. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The storage container will not create an impact on schools, police or fire services. The storage container will not utilize water, sanitary sewer, or roads. The impact to stormwater will be negligible.

4. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.*

Development Standards 1.10 addresses Metal Storage Containers as follows

9. *Metal storage containers, as defined in CCMC 18.03 is a fully enclosed unit, excluding semi-truck trailers, that house storage items and may be utilized in any industrial, public or commercial zoning district, excluding the neighborhood business (NB) zoning district, in conjunction with a permitted primary use of the property subject to the following use performance standards:*

a. *Metal storage containers may be utilized on a temporary basis, for a maximum of 90 days, once in any calendar year, subject to the approval of the director.*

The requested container is intended to be permanent. Therefore, this provision is not applicable.

- b. *Within any industrial zoning district, the use of metal storage containers on a permanent basis is subject to the approval of the director.*

The subject property is not zoned as industrial. Therefore, this provision is not applicable.

- c. *Within the commercial or public zoning districts, excluding the neighborhood business (NB) zoning district, the use of metal storage containers on a permanent basis beyond 90 days requires approval of a special use permit. No metal storage containers are allowed in the neighborhood business (NB) zoning district.*

The subject property is in the public zoning district. As the container is intended to be permanent, the applicant is seeking a special use permit.

- d. *The use of metal storage containers within the downtown commercial zoning district also requires approval by special use permit and downtown design review approval pursuant to 18.07 and development standards Division 6.*

The subject property is not zoned as downtown mixed use. Therefore, this provision is not applicable

- e. *Metal storage containers shall be used for storage purposes only and no human occupation shall occur. No alterations shall be made or allowed to the metal storage container including, but not limited to, doors, windows, electrical, plumbing, or connection of multiple containers unless factory built with those improvements. No storage shall be placed upon or above the metal storage container. Storage containers shall not be stacked upon each other.*

Staff has included a condition of approval that reflects this standard. The applicant has not indicated that any modifications to the container are being contemplated. Also, no storage is proposed on top of the container. Only one container is proposed.

- f. *No hazardous materials shall be stored in metal storage containers. Metal storage containers shall not be sited in a manner to be detrimental to the public's health and safety.*

Staff has included a condition of approval that reflects this standard. Staff does not find that either proposed location in the rear of the existing building will be detrimental to the public's health and safety.

- g. *Metal storage containers shall be at building grade and located at the side or rear of the primary structure. Metal storage containers shall not occupy any required parking spaces, landscape areas, drive-aisles, fire lanes, drainage courses, drainage easements, detention basins, or vehicular or pedestrian access ways. Metal storage containers shall not be permitted on vacant property.*

The container is proposed to the rear of the primary structure. The proposed location is not part of the parking area, although it is in an informal overflow parking area. The proposed locations for the container are not in landscape areas, drive-aisles, fire lanes, drainage courses, drainage easements, or detention basins. At the time the Special Use Permit for the MAC was approved no use was assigned to the area where the container is proposed.

- h. All metal storage containers shall be painted either to blend with the primary or adjacent structures or painted earth-tone colors to minimize visual impacts. Graffiti shall be removed in accordance with the city's graffiti ordinance. All metal storage containers in use shall be in a condition free from rust, peeling paint, or other visible forms of deterioration. Metal storage containers shall be screened with chain link fencing with slats, concrete masonry unit (CMU) block walls and/or landscaping as approved by planning staff. Metal storage containers and their screening and landscaping shall be maintained in good repair. Any metal storage containers that are not maintained in good repair or that are dilapidated or dangerous, shall be repaired or removed, following an order to comply from the director.*

Staff has included a condition of approval that reflects this standard. The applicant will be required to provide a screening detail for review and approval by the prior to placing the container on site.

- i. Advertising is prohibited on the exterior of all metal storage containers.*

No advertising is proposed on the storage container. Staff has included a condition of approval that reflects this requirement.

- j. The use of semi-truck trailers as storage containers is prohibited in all zoning districts.*

The use of a semi-truck trailer is not proposed.

- k. The number of metal storage containers allows for a business is dependent upon the following list of factors:*

- (1) Overall site placement;*
- (2) Screening provisions;*
- (3) Square footage of store or building;*
- (4) Square footage of parcel;*
- (5) Adjacency to residential zoning districts;*
- (6) Length of stay of metal storage container;*
- (7) Applicants justification/need for extra on-site storage for their business.*

The applicant is seeking one container. Staff finds that using the criteria above, one container is acceptable.

- l. A metal storage container special use permit shall be reviewed in 5 year increments or at any time the principal property use changes, with a \$50.00 administrative service charge and noticing costs paid by applicant.*

Staff has included a condition of approval that reflects this requirement.

- m. Special use permit fees for metal storage containers as adopted by resolution of the board, shall be charged, collected and deposited with the planning and community development department.*

As the applicant is a City agency, fees have not been collected.

5. *Will not be detrimental to the public health, safety, convenience and welfare.*

The proposed container will not be detrimental to the public health, safety, convenience and

welfare. It will provide for the storage of recreational equipment.

6. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The proposed container will not result in material damage or prejudice to other property in the vicinity. The container will provide for the storage of recreational equipment.

Attachments:

Application LU-2020-0027

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # U-2020-0027

APPLICANT **Carson City Parks, Rec and Open Space**
MAILING ADDRESS, CITY, STATE, ZIP
3303 Butti Way #9 Carson City, NV 89701

EMAIL ADDRESS
nwentworth@carson.org

PROPERTY OWNER **City of Carson City**
MAILING ADDRESS, CITY, STATE, ZIP
3505 Butti Way Carson City, NV 89701

EMAIL ADDRESS
nwentworth@carson.org

APPLICANT AGENT/REPRESENTATIVE **Nick Wentworth** PHONE #
(775) 283-7733
MAILING ADDRESS, CITY STATE, ZIP
3303 Butti Way #9 Carson City, NV 89701

EMAIL ADDRESS

Project's Assessor Parcel Number(s): **00210191** Street Address
1860 Russell Way

Project's Master Plan Designation **Public Regional** Project's Current Zoning
Nearest Major Cross Street(s)
Northridge Drive

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. The Recreation Dept. would like to permanently place a 40' metal storage container behind the MAC for recreational equipment storage.

PROPERTY OWNER'S AFFIDAVIT

I, Jennifer Budge, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

Address

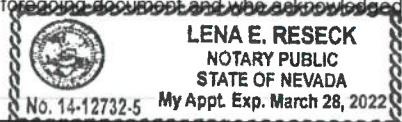
Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY Carson

On July 9, 2020, Jennifer Budge, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: **\$2,450.00 MAJOR**
\$2,200.00 MINOR (Residential
zoning districts)

+ noticing fee

*Due after application is deemed complete by staff

- SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:**
- Application Form
 - Detailed Written Project Description
 - Site Plan
 - Building Elevation Drawings and Floor Plans
 - Special Use Permit Findings
 - Master Plan Policy Checklist
 - Applicant's Acknowledgment Statement
 - Documentation of Taxes Paid-to-Date
 - Project Impact Reports (Engineering)
- CD or USB DRIVE with complete application in PDF**

Application Received and Reviewed By:

8/12/20 PC Meeting Hope

Submittal Deadline: Planning Commission application submittal schedule.

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

Project Description

Carson City Parks, Recreation and Open Space seeks to place a metal storage container on our property directly behind the Multipurpose Athletic Center. There is limited indoor storage, especially for large recreational equipment. The Recreation Division already has approx. 30-40 bicycles and has available/approved funding to purchase kayaks, backpacking gear and snowshoes for additional programming opportunities. This equipment will require permanent secured storage where it can be easily accessed and loaded into vehicles and will also be protected from weather damage.

Special Use Permit Application Findings

- 1. Consistency with The Master Plan:** The Carson City MAC currently provides recreational opportunities to the public and seeks to further those opportunities by offering bicycles, kayaks, backpacking/camping gear and other equipment for rec. programs and potentially rentals in the future. Metal storage containers are made from sustainable materials that will protect city assets and ensure tax dollars are maximized. The two potential locations identified on the attached site map are consistent with identified setbacks and are not in conflict with any floodplains or geologic hazards. The MAC is also a central point in the UPMP where the Freeway Bike Path and the Northridge Linear Path meet which is an ideal location for bicycle use and potential rentals.
- 2. Surrounding Properties:** APN 00210191 is zoned as Public Regional with Multi-Family Apartments to the South, Single Family homes to the West, Public Open Space wetlands to the North and I580 to the East. This proposed metal storage container will not have any negative effect on neighboring properties as hours of operation will not change at the facility. The aspect of additional recreational opportunities will be of increased benefit to the neighborhood and the community.
- 3. Traffic Impact:** The MAC currently hosts large tournaments and sporting events that were considered when it was built. Recreational equipment use will not interfere with or surpass any existing traffic or pedestrian situations.
- 4. Public Services:** An added metal storage container will have no foreseeable impact on any public utilities or services. The container will be placed on a compacted and raised pad of Type II road base or asphalt grindings with no adverse drainage issues.
- 5. Public Regional -Specific Standards:** The proposed storage container would increase the ability to meet regional needs in our growing community.
- 6. Public Health and Safety:** This project will be a benefit to public health, welfare and convenience by providing additional recreational opportunities in Carson City's most densely child populated area.
- 7. Damage or Prejudice to Neighboring Properties:** NA

1860 RUSSELL WAY



Zoom

[Google Directions](#)[View Details](#)[Detail Report](#)[Parcel Maps](#)**Property**

Address 1860 RUSSELL WAY

APN 00210191

Ownership

Owner CARSON CITY

Mailing Address 3505 BUTTI WY

CARSON CITY, NV 89701-0000

Valuation

Total Value \$0

Land \$0

Improvements \$0

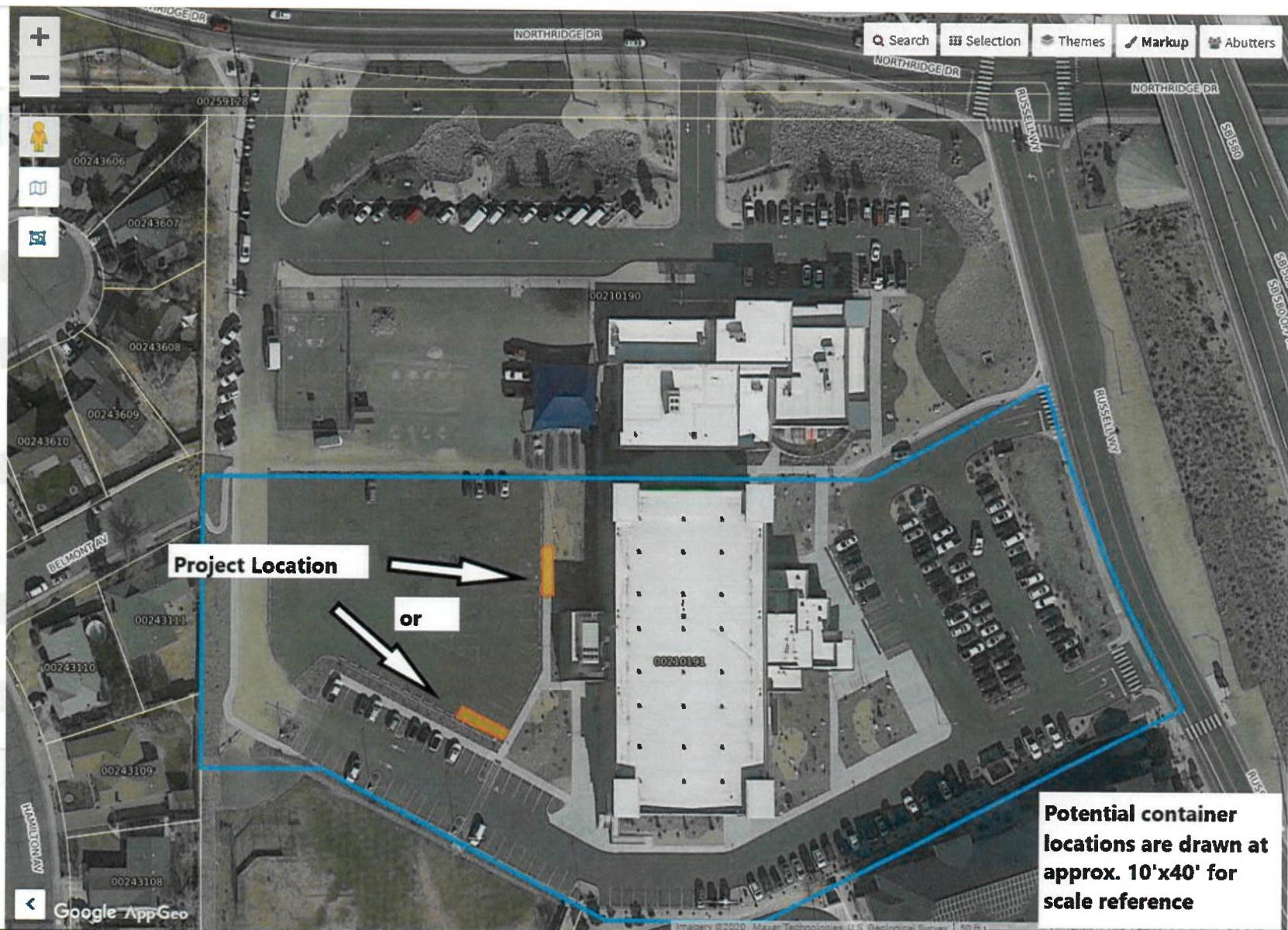
Assessor Report [Download](#)**Land**

Parcel Area 4.55 Acres

Zoning PR

Addresses**Address**

1860 RUSSELL WAY

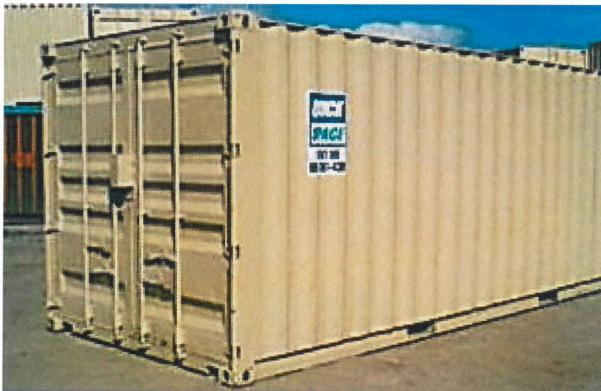


Hope Sullivan

From: Dan J. Earp
Sent: Wednesday, July 29, 2020 1:42 PM
To: Hope Sullivan
Cc: Lena Reseck
Subject: RE: storage container at the Mac

Hi Hope and Lena,

My apologies for the delay, and thanks for the reminder. The dimensions would be 8'x40'x8' and here a photo would it should look like more or less. Let me know if this works or if you need anything else.



DAN EARP, CPRP
Recreation Superintendent
djearp@carson.org | Office: 775.283.7422
1860 Russell Way | Carson City, NV 89701
www.carson.org/parksandrec

From: Hope Sullivan <HSullivan@carson.org>
Sent: Wednesday, July 29, 2020 12:54 PM
To: Dan J. Earp <DJEarp@carson.org>
Cc: Lena Reseck <LReseck@carson.org>
Subject: FW: storage container at the Mac

Dan:

See below. Can I get more specific info re: the structure being proposed at the Mac? Feel free to send via email to Lena Reseck, copied on this email.

Thank you.

Hope

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- Encourage the development of regional retail centers (5.2a)?
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational