

## STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF AUGUST 26, 2020

FILE NO: LU-2020-0030

AGENDA ITEM: E.5

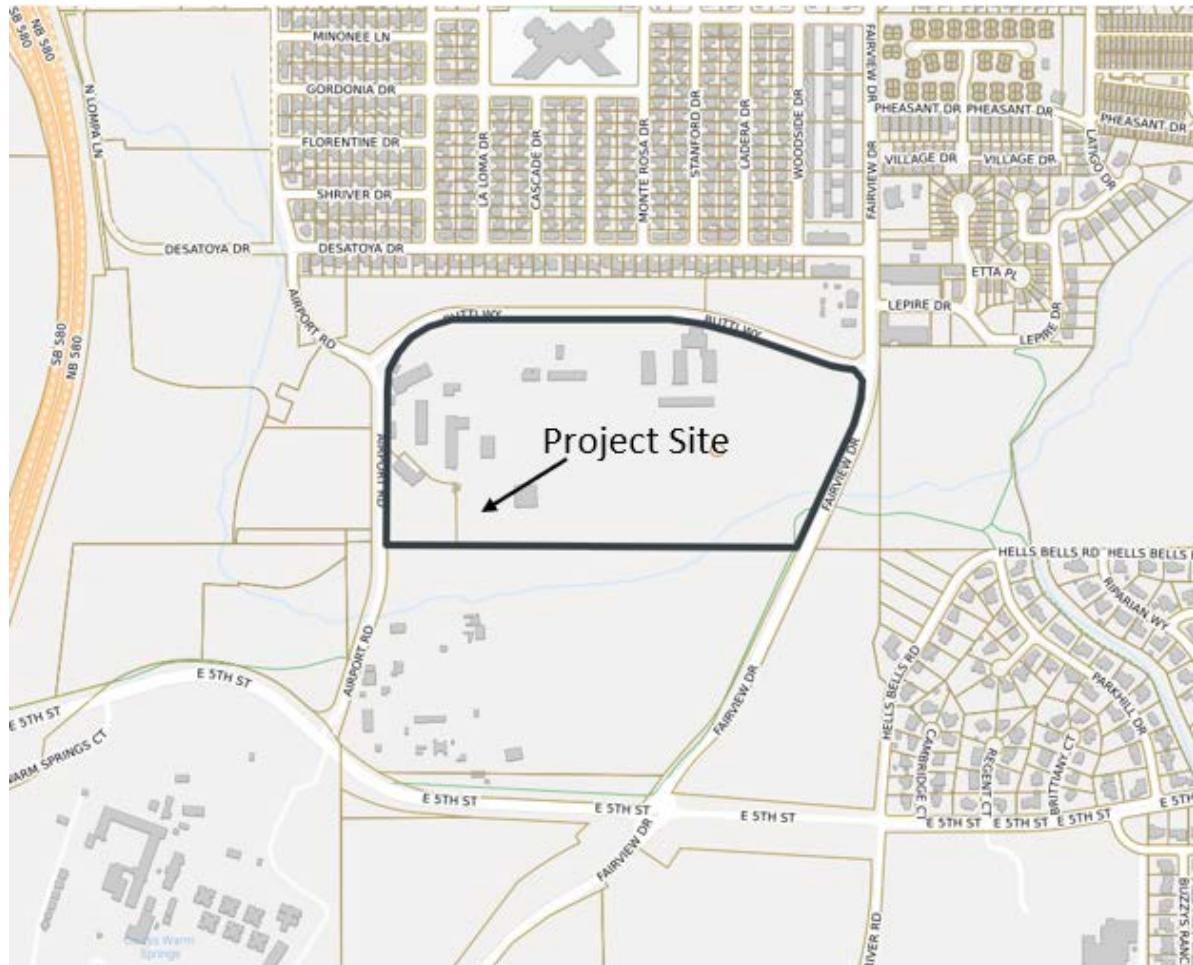
STAFF AUTHOR: Heather Ferris, Associate Planner

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request for a Special Use Permit for a 3,000 square foot, four bay, equipment storage building on property zoned Public Regional (PR), located at 3303 Butti Way, APN 010-031-04. (Heather Ferris, [h ferris@carson.org](mailto:h ferris@carson.org))

**SUMMARY:** Carson City Public Works is proposing to construct an equipment storage building at the Carson City Corporation Yard. The equipment storage building will include 4 bays and be approximately 3,000 square feet in size. The Planning Commission is authorized to approve a Special Use Permit.

**RECOMMENDED MOTION:** **I move to approve LU-2020-0030 based on the ability to make the required findings and subject to the conditions of approval included in the staff report.**

### VICINITY MAP:



## **RECOMMENDED CONDITIONS OF APPROVAL:**

1. All development shall be substantially in accordance with the approved plans, except as otherwise modified by the conditions of approval.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. Building materials shall be consistent with the approved plans. All exposed metal surfaces shall be painted in flat, non-glossy paint or an earth tone or muted color.
6. All exterior lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent spillover of light or glare onto adjacent properties.

**LEGAL REQUIREMENTS:** CCMC 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.185 (Public Regional)

**MASTER PLAN DESIGNATION:** Public / Quasi-Public

**ZONING DISTRICT:** Public Regional (PR)

**KEY ISSUES:** Will the use be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

### **SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: Multi-Family Apartment & Public Regional / vacant & Jump Around Carson Office

EAST: Public / vacant

WEST: Public Regional / animal shelter

SOUTH: Public Regional / City sewer plant

### **ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: Zone X (minimal flood hazard) & Zone AE (1% annual chance of flood hazard)

EARTHQUAKE FAULT: Zone II (Moderate)

SLOPE/DRAINAGE: Site is generally flat

### **SITE DEVELOPMENT INFORMATION:**

LOT SIZE: 52 +/- acres

STRUCTURE SIZE: 3,000 square feet

VARIANCES REQUESTED: None

## **PREVIOUS REVIEWS:**

- SUP-08-094: Special Use Permit for continued phased development of the Carson City Corporate Yard including use of commercial coach as an office, vehicle maintenance building, 20 metal storage containers, expansion of asphalt storage building, expansion of the Public Works office building.
- SUP-14-007: Special Use Permit for construction and operation of a 110-foot public safety communication radio tower.
- SUP-14-079: Special Use Permit for the construction and operation of a 10,955 square foot animal services facility.

## **DISCUSSION:**

The subject property is approximately 52 acres in size and is the site of the Carson City Public Works Corporate Yard. The site includes office buildings for the Public Works Department and Parks, Recreation and Open Space, storage and maintenance buildings. The Animal Services Facility is immediately to the west of proposed building location.

The applicant is seeking to construct a 3,000 square foot equipment storage shed to replace one that was removed with the construction of the Animal Services building. The shed will be 3 sided with the north elevation being open and a maximum height of 16 feet. The metal building will be painted a neutral tan color. Per CCMC 18.04.185 the use may only be established subject to a Special Use Permit. The Planning Commission is authorized to approve a Special Use Permit.

## **PUBLIC COMMENTS:**

Public notices were mailed to 239 property owners within 900 feet of the subject site on August 7, 2020. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on August 26, 2020 depending on the date of submission of the comments to the Planning Division.

## **OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:**

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

### **Engineering Division**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet Carson City Municipal Code and Development Standards including but not limited to the following:
  - Any applicable requirements of CCMC 12.09 Flood Damage Prevention.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure and drive isles are sufficient to provide safe access and circulation.

C.C.M.C. 18.02.080 (5d) - Public Services

The proposed use will have no impact to City sewer or water, and a negligible impact to storm drainage. The site is shown as being in a FEMA AE flood zone. The structure will meet requirements for flood damage prevention as set forth in CCMC 12.09.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

**Fire Department Comments**

Project must comply with the International Fire Code and northern Nevada fire code amendments as adopted by Carson City.

**FINDINGS:**

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. *Will be consistent with the objectives of the Master Plan elements.***

The proposed equipment storage shed is consistent with the Master Plan. The subject property is in the Public/Quasi-Public (PQP) master plan designation. The PQP designation is intended for schools, government offices, community centers, fire stations, airports, libraries, hospitals, and other similar uses. The building will be constructed on the Public Works Corporate Yard property and will be used to support the Parks, Recreation and Open Space department

**2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related***

***to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.***

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood. The proposed equipment storage building is consistent with other buildings and uses on the site. The site currently operates as the Public Works Corporate Yard and contains office buildings, and storage and maintenance buildings. The site is immediately adjacent to other similarly zoned parcels with the Animal Services facility immediately west of the proposed location and the sewer plant to the south. The parcel to the east is vacant and zoned Public and parcels to the north are zoned Multi-Family Apartment and Public Regional. The Multi-Family Apartment property is vacant, and the Public Regional zoned parcel is the site of the Jump Around Carson transit offices. The storage of equipment will have little impact resulting from noise, vibrations, fumes, odors, dust, glare or physical activity. Any exterior lighting will be required to meet Division 1.3 of the Development Standards ensure that lights are shielded and directed downward away from adjoining properties and the night sky.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

The proposed project is within the existing Public Works Corporate Yard. Due to the project's limited scope and existing access and drive aisles, there will be negligible effect on vehicular or pedestrian traffic.

**4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.***

The proposed project is within the existing Public Works Corporate Yard. The proposed equipment storage shed will not overburden existing public services and facilities. The proposed use will have no impact to City sewer or water, and a negligible impact to storm drainage. The site is shown as being in a FEMA AE flood zone. The structure will meet requirements for flood damage prevention as set forth in CCMC 12.09. The Fire Department currently serves this site. The building permit will be reviewed for compliance with the Carson City Fire Code, Northern Nevada Amendments (2018 IFC).

**5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.***

Public uses such as government facilities, are a primary purpose of the Public Regional zoning district. The addition of an equipment storage shed on the existing Public Works Corporate Yard property is consistent with this purpose. Per CCMC 18.04.185 the use may only be established subject to a Special Use Permit. As conditioned, the project will meet the definition and specific standards set forth in Title 18.

**6. *Will not be detrimental to the public health, safety, convenience and welfare.***

The proposed equipment shed is consistent with other existing uses within the Public Works Corporate Yard property. The project will not be detrimental to the public health, safety, convenience and welfare. The structure will require a building permit to ensure that the buildings are constructed to current standards.

**7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.***

The proposed equipment storage building is consistent with other buildings and uses on the site. The site currently operates as the Public Works Corporate Yard and contains office buildings, and storage and maintenance buildings. The site is immediately adjacent to other similarly zoned parcels with the Animal Services facility immediately west of the proposed location and the sewer plant to the south. The parcel to the east is vacant and zoned Public and parcels to the north are zoned Multi-Family Apartment and Public Regional. The Multi-Family Apartment property is vacant, and the Public Regional zoned parcel is the site of the Jump Around Carson transit offices. Due to the projects design, location, and limited scope, it will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Application LU-2020-0030

**Carson City Planning Division**  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: [planning@carson.org](mailto:planning@carson.org)

FOR OFFICE USE ONLY:

CCMC 18.02.080

## SPECIAL USE PERMIT

**FEE\*:** \$2,450.00 MAJOR

\$2,200.00 MINOR (Residential  
zoning districts)

+ noticing fee

\*Due after application is deemed complete by  
staff

**SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:**

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

**CD or USB DRIVE with complete application in PDF**

Application Received and Reviewed By:

Submittal Deadline: Planning Commission application  
submittal schedule.

Note: Submittals must be of sufficient clarity and detail for  
all departments to adequately review the request. Additional  
information may be required.

### FILE #

APPLICANT **Carson City Public Works** PHONE # 887-2355  
MAILING ADDRESS, CITY, STATE, ZIP  
3505 Butti Way

EMAIL ADDRESS

PROPERTY OWNER **Carson City** PHONE #  
MAILING ADDRESS, CITY, STATE, ZIP  
3505 Butti Way

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE **Robert Fellows** PHONE # 283-7370  
MAILING ADDRESS, CITY STATE, ZIP

3505 Butti Way

EMAIL ADDRESS

**RFellows@carson.org**

Project's Assessor Parcel Number(s):

010-031-04

Street Address

3303 Butti Way

Project's Master Plan Designation

Public/ Quasi- Public

Project's Current Zoning

PR

Nearest Major Cross Street(s)

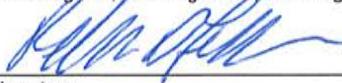
Airport Road

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. Corporate Yard Equipment Storage building is a 100 feet long by 30 feet wide by 16 feet high – four bay shed. The shed has three walls and an open side facing north.

The shed is located at the Public Work Corporation Yard on the southwest side, just west of the Salt

### PROPERTY OWNER'S AFFIDAVIT

I, Robert Fellows, agent, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.



3505 Butti Way

8/4/2020

Signature

Address

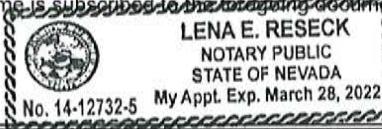
Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA  
COUNTY

On August 4, 2020, Robert Fellows, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Leena E. Rebeck  
Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

**Master Plan Policy Checklist:**

**Corporate Yard Equipment Storage Building Project**

**Reviewed by:** \_\_\_\_\_

**Date of Review:** \_\_\_\_\_

**Question 1: How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?**

**Chapter 3:**

-*Meet the provisions of the Growth Management Ordinance: The Corporate Yard Equipment Storage Building Project is a public project and Municipal Code 18.12 shall not apply as it is for residential real property.*

-*Use sustainable building materials and construction techniques to promote water and energy conservation: The building does not use heat or water.*

-*Located in a priority infill development area: N/A*

-*Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands: N/A, the building is inside the Corporate Yard.*

-*Protect existing site features, as appropriate, including mature trees or other character-defining features: N/A, the construction of the project will be located in a paved area of the corporate yard and there are no trees or other character-defining features.*

-*At adjacent county boundaries or adjacent to public lands, coordinate with the applicable agency with regards to compatibility, access and amenities: Project is not located near county boundaries and does not border public properties which are zoned public.*

-*In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria: The project is not in a mixed-use area.*

-*Meet adopted standards for transitions between non-residential and residential zoning districts: N/A*

-*Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms: Yes, the project is within the city's corporation yard which is setback from the adjacent creek.*

-*Sited outside the primary floodplain and away from geological hazard areas or follows the required setbacks or other mitigation measures: The building is located on existing ground more than 2 feet above the primary floodplain and away from geological hazard areas. The Flood zone mapping will be*

redone with the Lompa East Subdivision to reflect that the Corporation Yard is no longer in a primary flood zone.

-Provide for levels of service consistent with the Land Use designation and adequate for the proposed development? Yes, the project will be constructed on Carson City property and will be used to support the Parks and Open Space Department. The project does not affect the water, sewer, road improvements, sidewalks, etc. while providing covered storage for existing equipment.

-If located within an identified Specific Plan Area, meet the applicable policies of that SPA: The project is not located within a specific plan area.

#### **Chapter 4:**

-Provide park facilities commensurate with the demand created and consistent with the City's adopted standards: N/A, there will be no demand created due to the construction of the project.

-Consistent with the Open Space Master Plan and Carson River Master Plan: N/A

#### **Chapter 5:**

-Encourage a citywide housing mix consistent with the labor force and non-labor force populations: N/A

-Encourage the development of regional retail centers: N/A

-Encourage reuse or redevelopment of underused retail spaces: N/A

-Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol: N/A

-Promote revitalization of the Downtown core: N/A

-Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units: N/A

#### **Chapter 6:**

-Use durable, long-lasting building materials: Yes, metal roof and metal side panels.

-Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features: Yes, the color, Desert Sand, will match the existing buildings in the yard.

-Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards: N/A, the shed is within the corporate yard.

-Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to

*existing rural neighborhoods: Yes, the building is not visible from the street. The building will be set back approximately 1100 feet from the nearest privately owned residential property.*

*-If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies: Not located in a Mixed-Use Activity Center Area*

*-If Located Downtown...: Not located downtown*

*-Incorporate a mix of housing models and densities appropriate for the project location and size: N/A*

#### **Chapter 7:**

*-Promote transit-supportive development patterns along major travel corridors to facilitate future transit: N/A*

*-Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan: There are existing connections from the Corporate Yard to the existing street frontage which has existing sidewalk and remain consistent with the Transportation Master Plan.*

*-Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan: The Public Works Yard has existing sidewalks and a bike lanes along all street frontages and will not hinder access to surrounding lands, parks or public lands.*

**Question 2: Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

A. No, the shed will not be detrimental to the use or surrounding properties

North: Carson City Parks offices

East: Public Works Salt Barn

South: Undeveloped land/floodplain owned by Carson City and Wastewater Treatment Plant property.

West: Airport Road and privately owned lands zoned for commercial and public use lands that are bordered by I-580 freeway.

B. The project is similar to the existing development around the site. The Equipment storage shed is inside the Carson City's corporate yard. The proposed building will not stand out in height or character compared to Carson City's facilities that consist of offices, other equipment sheds, storage sheds, and wastewater treatment plant buildings. The new facility will support the Parks and Open Space Department.

C. The project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood. The project will be constructed 1100' feet from any residence and will not be out of character to the surrounding facilities.

D. There are flood lights on the north side of the shed. The light face down in front of the building and will only be used in an emergency. The flood lights are LED, see manufacturer's cutsheet.

E. Landscaping is not provided inside the corporate yard, but Public Works has been expanding the landscaping along the entire street frontage over the years.

F. The short- and long-term benefit of the equipment shed is the added equipment life the shed will provide.

**Question 3: Will have little or no detrimental effect on vehicular or pedestrian traffic.**

The project neither adds additional vehicles or pedestrians to the area. No detrimental effect.

**Question 4: Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**

A. The Shed will not affect the school district. The storage shed is only for equipment.

- B. The Shed will not affect the police or fire protection.
- C. The project does not use water.
- D. The project is located on existing asphalt concrete grindings. Drainage for the entire Corporate Yard has been completed several years ago. The shed will not add any impervious area.
- E. The project does not use sewer.
- F. There are no road improvements needed for the project.
- G. The source of the information provided to support the conclusions and statements made in this packet came from Carson City Public Works.

**Question 5: Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

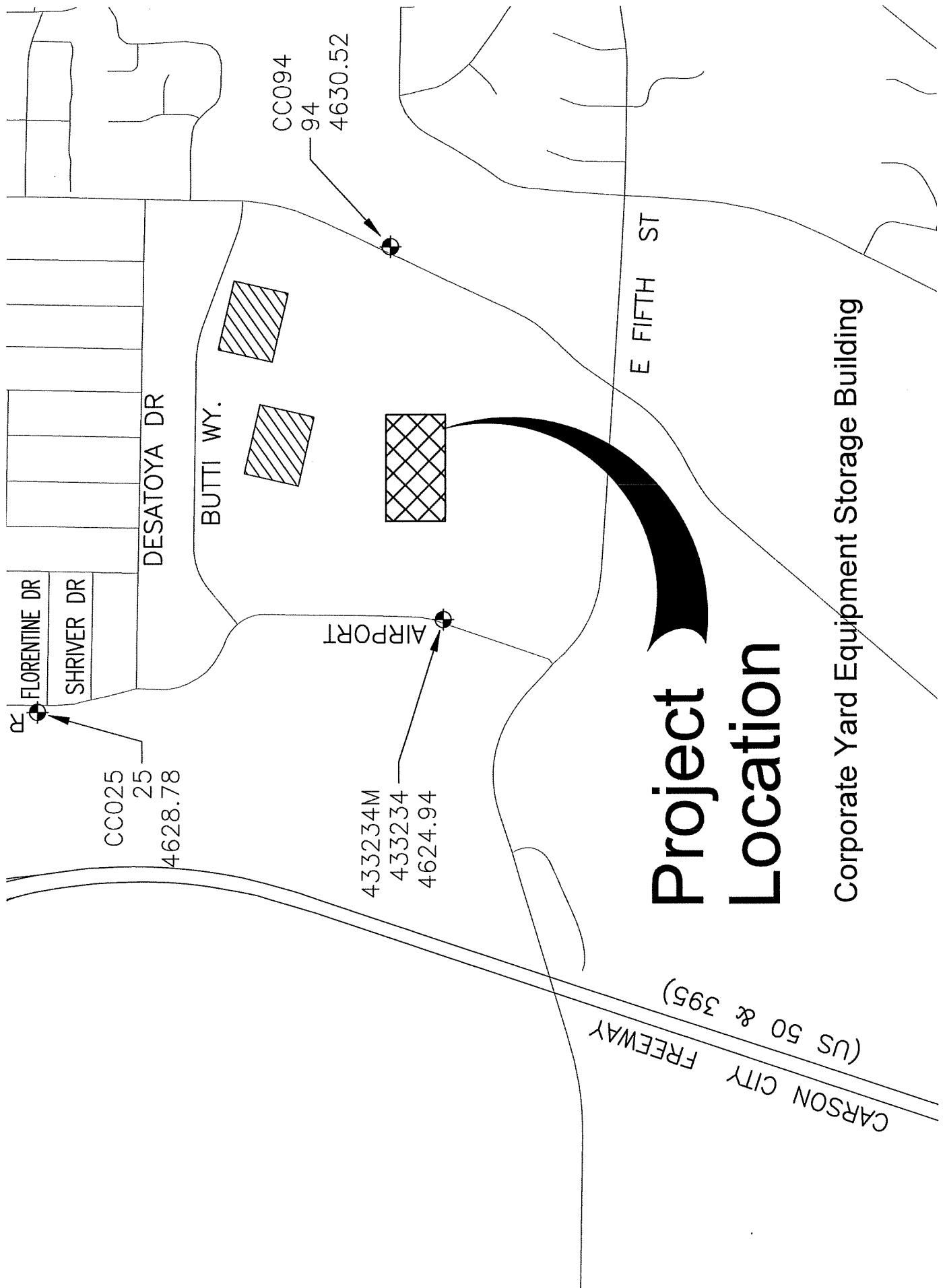
The project is consistent with the use of the Corporation Yard. In fact, this shed is a replacement of the shed that was removed when the Animal Shelter was constructed years ago.

**Question 6: Will not be detrimental to the public health, safety, convenience and welfare.**

The Corporate Yard Equipment Storage Building Project will not be detrimental to the public health, safety, convenience and welfare because it is consistent with the existing uses at the Corporation Yard.

**Question 7: Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**

The Corporate Yard Equipment Storage Building Project is being constructed within the existing Corporation Yard and will not result in any material damage or prejudice to other property in the vicinity.



# Project Location

Corporate Yard Equipment Storage Building

## Corporate Yard Equipment Storage Building

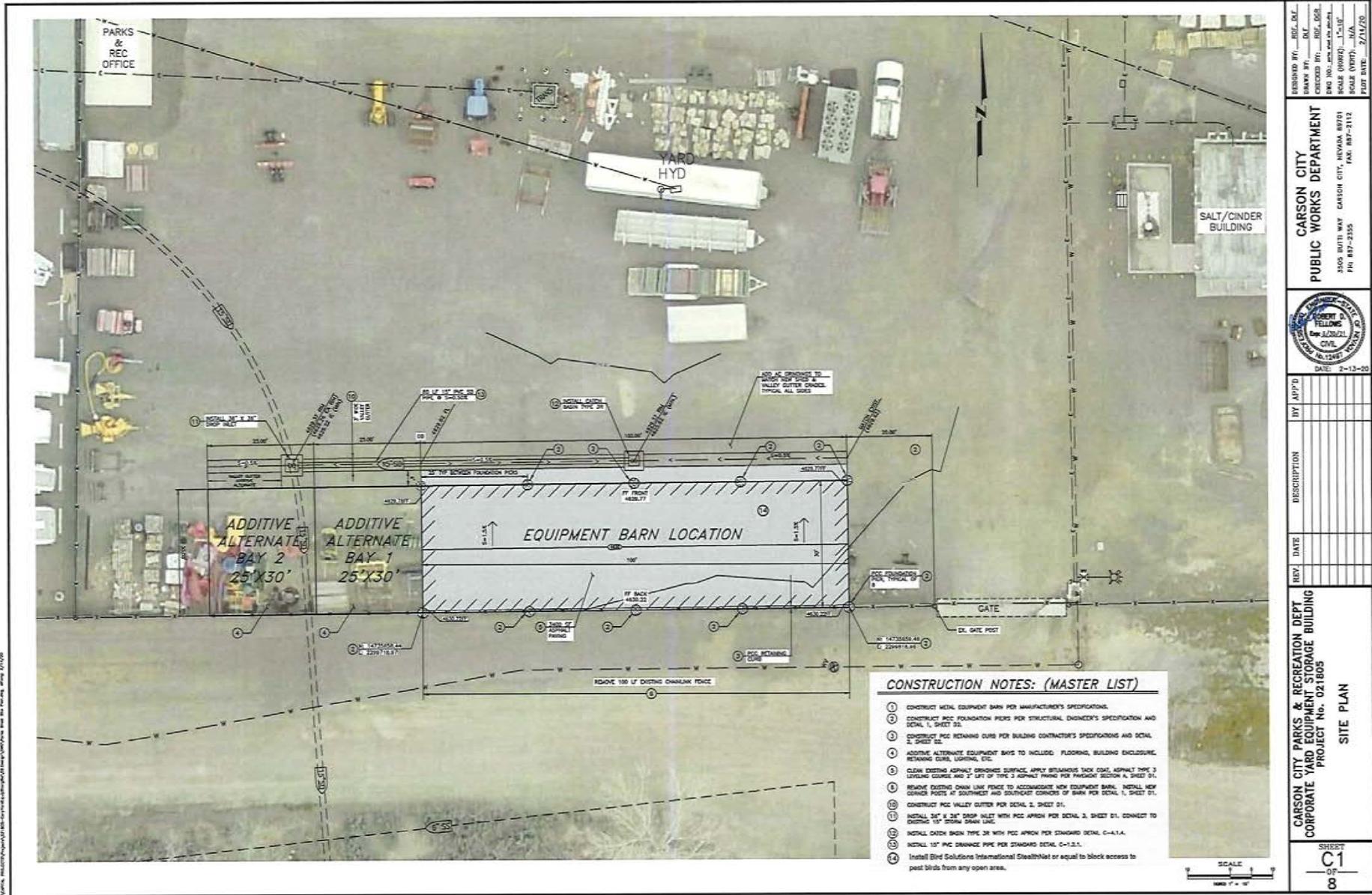


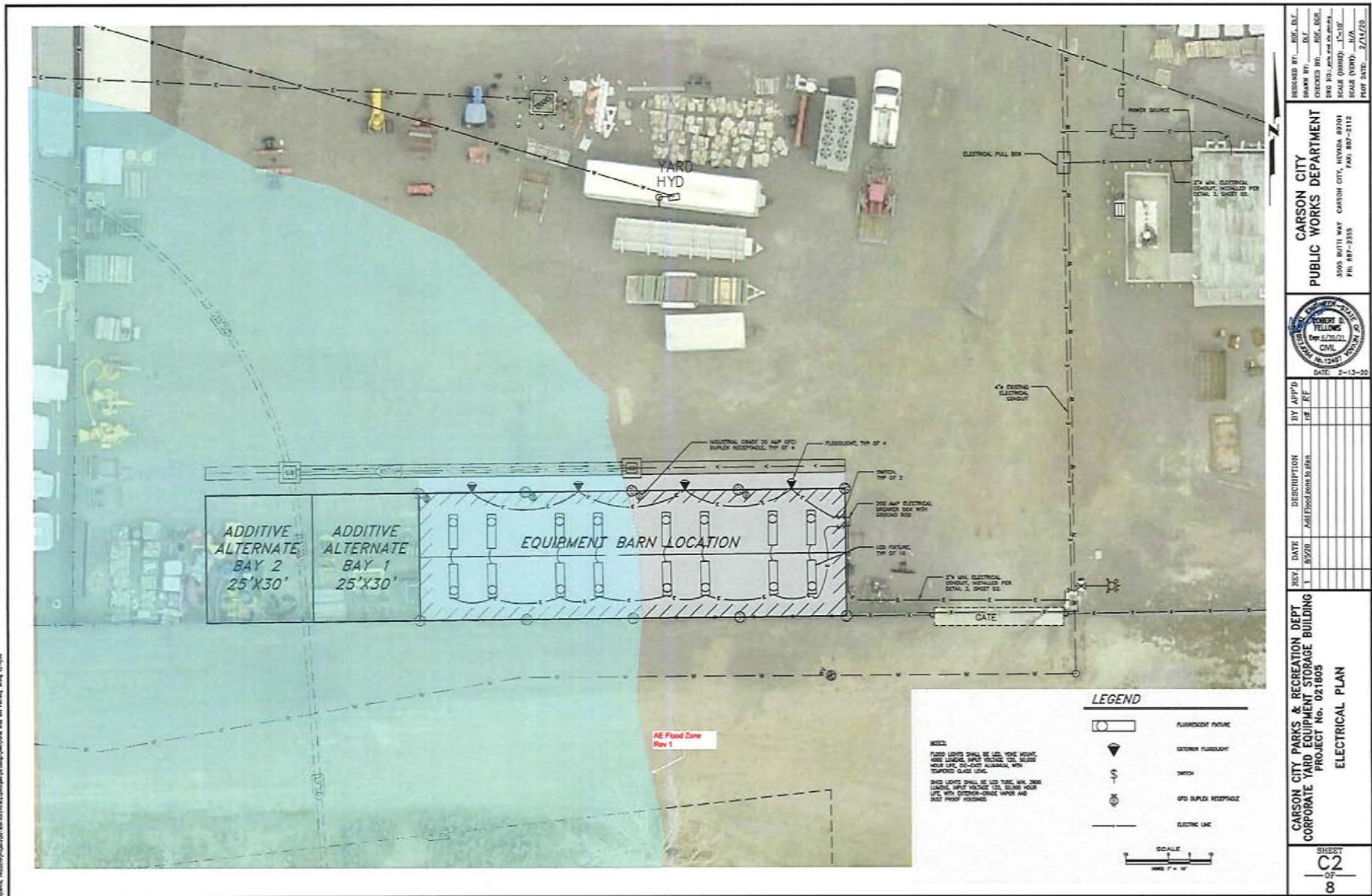
**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

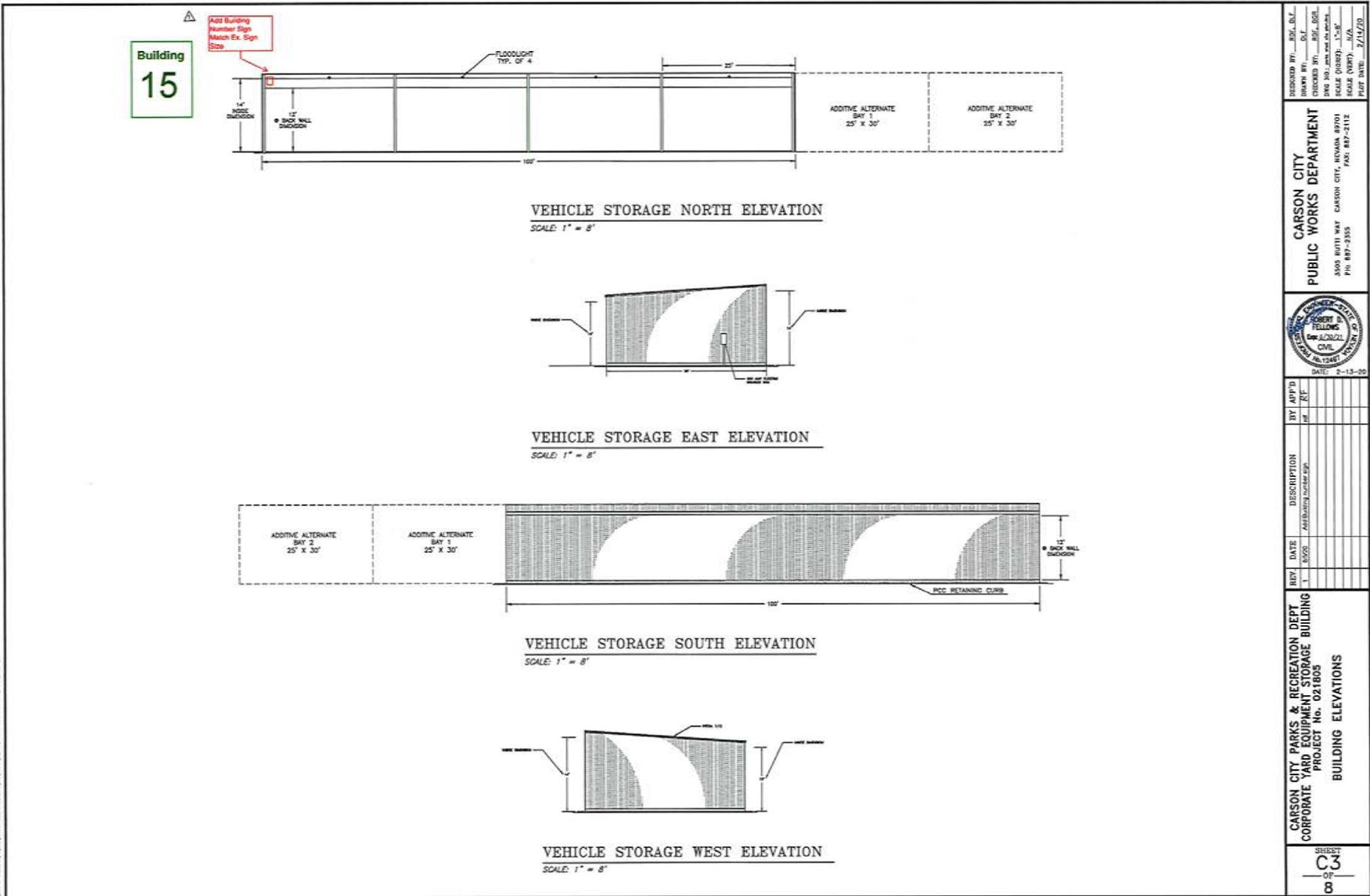
Carson City, NV makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/17/2018  
Data updated 11/17/2018

RF







# PVDF Cool Coatings

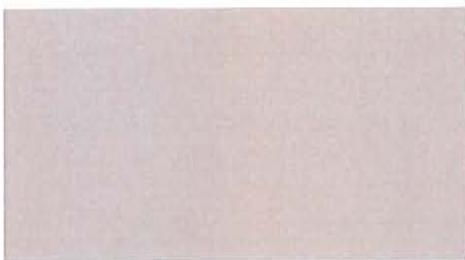
PVDF utilizes a two-coat system featuring fade resistant color, incredible durability, and environmentally-friendly "cool" technology.



Regal White <sup>†</sup>



Reflective White <sup>††</sup>



Warm White <sup>†</sup>

IR .63 SRI 76



Pearl Gray <sup>††</sup>

IR .47 SRI 54



Desert Sand <sup>††</sup>

IR .57 SRI 67



Surrey Beige <sup>†</sup>

IR .50 SRI 56



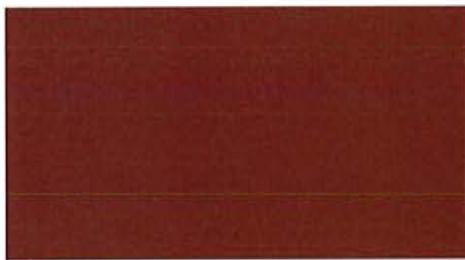
Slate Gray <sup>†</sup>

IR .37 SRI 40



Royal Blue <sup>†</sup>

IR .30 SRI 30



Terra Cotta <sup>†</sup>

IR .36 SRI 38



Cypress Green <sup>†</sup>

IR .31 SRI 31



Dark Bronze <sup>†</sup>

IR .32 SRI 33



Brite Red <sup>††</sup>

IR .38 SRI 40



Charcoal <sup>††</sup>

IR .32 SRI 34



Midnight Black <sup>††</sup>

IR .27 SRI 26



Galvalume <sup>††</sup>

IR .77 SRI 72

\*Non-Stock Color: Extended lead times may apply. <sup>†</sup>The Galvalume coating process is likely to result in variances in spangle (size, number, and reflection) from coil to coil which may result in noticeable shade variations. Galvalume is also subject to variable weathering and may appear to have different shades due to weathering characteristics. These shade variations are not cause for rejection. <sup>††</sup>ENERGY STAR® Qualified Color. All standard PVDF colors have a 35-year finish warranty. Colors shown closely approximate actual coating colors. These colors utilize Cool Coating Technology. The term "TBK" on the Order Document refers to "To Be Selected" from standard PVDF colors as shown on this chart. Please note that PVDF is a slight upcharge over SP.





Type: \_\_\_\_\_ Date: \_\_\_\_\_  
 Job Name: \_\_\_\_\_  
 Contractor: \_\_\_\_\_  
 Catalog No.: \_\_\_\_\_  
 Notes: \_\_\_\_\_

## LFL7-50W

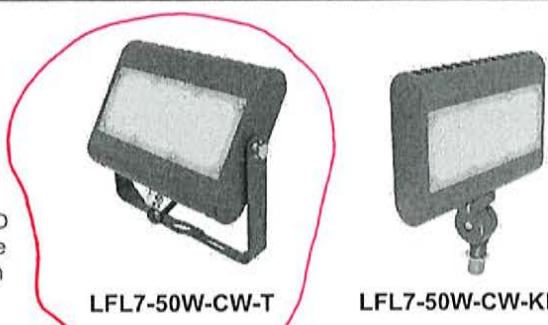
### Descriptions

The LFL7 is a powerful LED Flood Light ideal for outdoor applications such as exterior building lighting, sign lighting, loading docks, or warehouses. Compared to traditional flood lighting, the slim design of these Ultra-Bright LED Flood Lights makes them lighter in weight, easy to install, and a very attractive upgrade to traditional flood lighting. UL listed for Wet Locations. DLC Premium Listed.

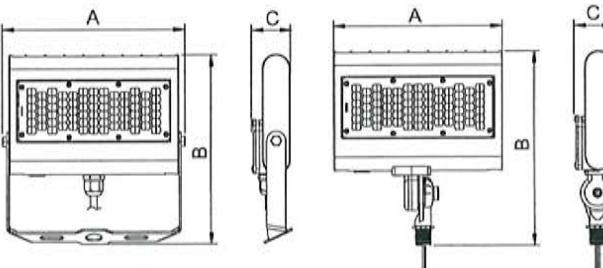
### General Specifications

	Spec	LFL7-50W-CW
Electrical	Input Voltage	120~277V
	Input Power	50W
	Power Factor	>0.9
	Total Lumens	6652 lm
	Efficacy	133 lm/W
	CRI	70+
Light Output	Color Temp.	5000K
	BUG	B3-U2-G2
	NEMA Type	7H x 6V Beam Spread
	Equivalent	175W
	Housing	ADC12 Die Cast Aluminum
	Finish	UV Resistant Bronze Powder Coat Finish
Physical	Lens Material	High Light Transmittance Polycarbonate Lens with Weatherproof Gasket
	Ambient Operating Temp	-40°C / -40°F to 40°C / 104°F
	Mount	Trunnion, 1/2" Adjustable Knuckle Mount
Other	Net Weight	1.8 KG (T); 1.8 KG (KN)
	Certification	cULus E335594; DLC Premium

- LED Brand: **Philips Lumileds**
- Lifespan: **50,000 hrs**
- Warranty: **5 Year Limited Warranty**
- UL listed for Wet Location
- Beam Angle: **120° x 90°**



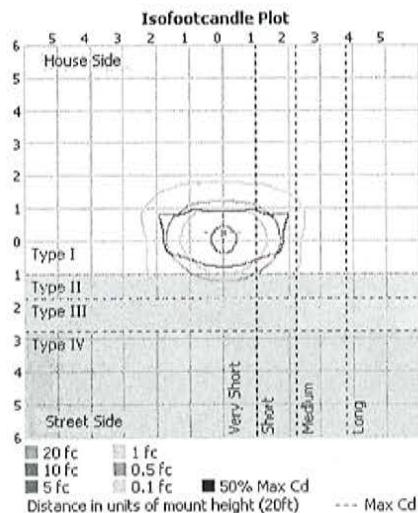
### Dimensions



T-A x B x C:  
9-3/8" x 9-3/4" x 2"

KN-A x B x C:  
8-11/16" x 10" x 2"

### Photometrics



Item No.	Description	Std. Pkg.
LFL7-50W-CW-T	SLIM LED FLOOD LIGHT W/TRUNNION 50W 120~277V 5000K CW - BRONZE	6
LFL7-50W-CW-KN	SLIM LED FLOOD LIGHT W/KNUCKLE 50W 120~277V 5000K CW - BRONZE	6



PHILIPS  
LUMILEDS



1-800-90-ORBIT



www.orbitelectric.com



LED FLOOD LIGHTS