

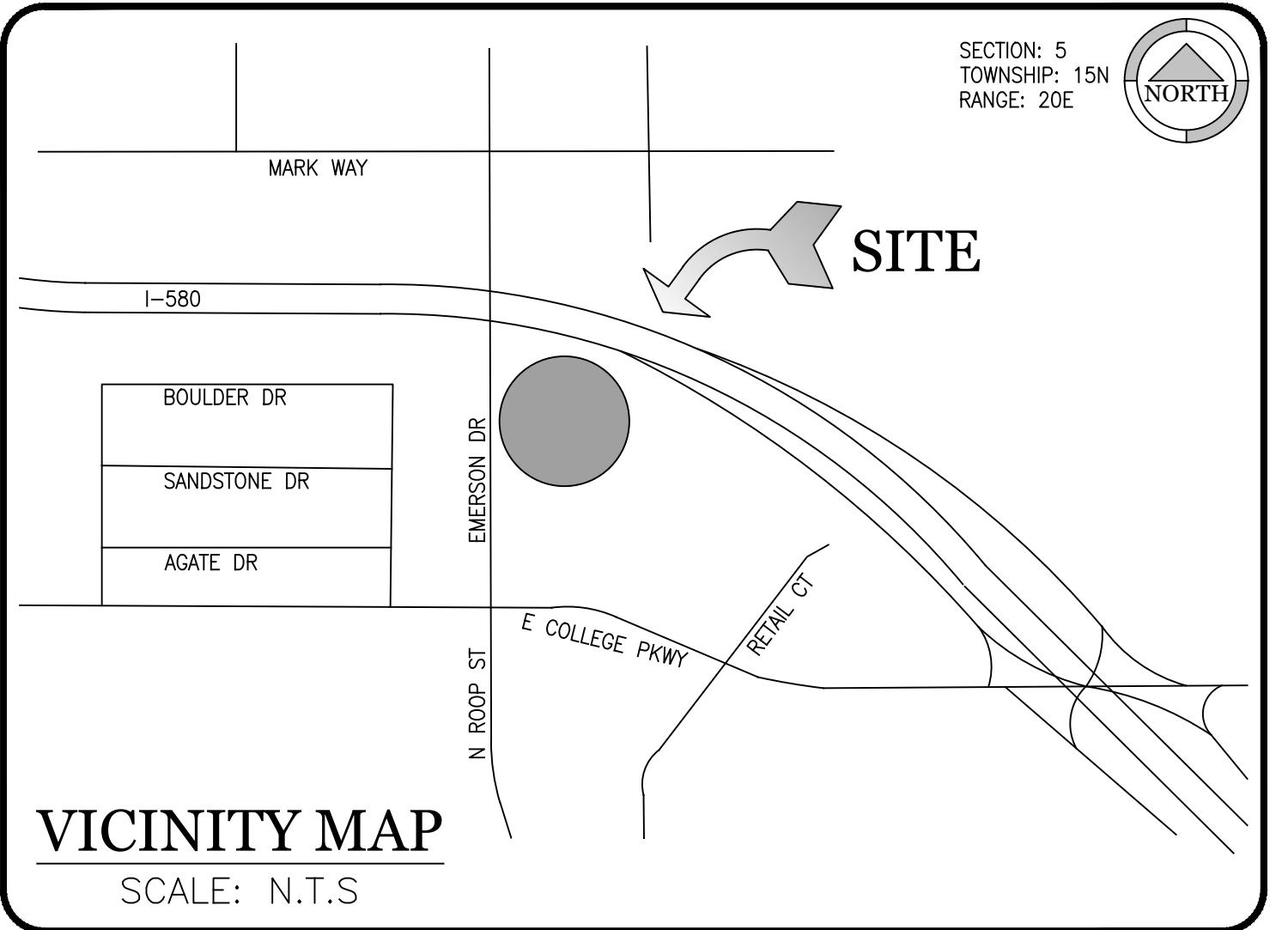


Know what's below.
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Emerson Cottages Tentative Subdivision Map

Title Sheet

TENTATIVE MAP FOR EMERSON COTTAGES



UTILITY PROVIDERS	
DOMESTIC WATER	CARSON CITY PUBLIC WORKS
IRRIGATION WATER	CARSON CITY PUBLIC WORKS
SANITARY SEWER	CARSON CITY PUBLIC WORKS
STORM DRAIN	CARSON CITY PUBLIC WORKS
NATURAL GAS	SOUTHWEST GAS
ELECTRICITY	NV ENERGY
TELECOMMUNICATIONS	AT&T / CHARTER COMMUNICATIONS
FIRE	CARSON CITY FIRE DEPARTMENT
POLICE	CARSON CITY SHERIFF'S OFFICE

OWNER INFORMATION

ROTTMAN JEAN M TRUST 4/12/18
450 ANITA DR
C/O: JEAN M ROTTMAN, TRUSTEE
RENO, NV 89511

CIVIL ENGINEER

MONTE VISTA CONSULTING, LTD.
575 E. PLUMB LANE, SUITE 101
RENO, NV 89502
775.636.7905

GEOTECHNICAL ENGINEER

AXION GEOTECHNICAL, LLC
681 EDISON WAY
RENO, NV 89502
775.771.2386

SURVEYOR

MST SURVEYING
10650 SANTA FE ROAD
RENO, NV 89508
775.544.7817

ABBREVIATIONS

AC - ASPHALT CONCRETE	GB - GRADE BREAK	PUE - PUBLIC UTILITY EASEMENT
AGG - AGGREGATE	GF - GARAGE FLOOR ELEVATION	PVC - POLYVINYL CHLORIDE
BC - BEGIN CURVE	GV - GATE VALVE	PVI - POINT OF VERTICAL INTERSECTION
BFC - BACK FACE OF CURB	HC - HANDICAPPED	Q - FIVE YEAR FLOW RATE
BVF - BEGIN VERTICAL CURVE	HP - HIGH POINT	Q ₁₀₀ - ONE HUNDRED YEAR FLOW RATE
BW - BOTTOM OF WALL	IE - INVERT ELEVATION	Q _{CAP} - CAPACITY FLOW RATE
CL - CENTERLINE	IN - INLET	R - RADIAL
CB - CEMENT BASIN	INT - INTERSECTION	REF - REFERENCE
CFS - CUBIC FEET PER SECOND	IRR - IRRIGATION	RJ - RESTRAINED JOINT
CO - CLEAN OUT	L - LENGTH	RP - RADIUS POINT
CONC - CONCRETE	LAT - LATERAL	RT - RIGHT
CONST - CONSTRUCT	LF - LINEAR FEET	RW - RIGHT-OF-WAY
COORD - COORDINATE	LP - LOW POINT	S - SLOPE
DET - DETAIL	LT - LEFT	SCH - SCHEDULE
DI - DROP INLET	MAX - MAXIMUM	SD - STORM DRAIN
DIP - DUCTILE IRON PIPE	MDD - MAXIMUM DRY DENSITY	SF - SQUARE FOOT
DOM - DOMESTIC	MH - MANHOLE	SS - SANITARY SEWER
E - EXISTING	MIN - MINIMUM	STA - STATION
EC - END CURVE	MISC - MISCELLANEOUS	STD - STANDARD
EG - EXISTING GRADE	NPWL - NON POTABLE WATER LINE	SW - SIDEWALK
ELEV - ELEVATION	NTS - NOT TO SCALE	T - TANGENT
EVC - END VERTICAL CURVE	OD - OUTSIDE DIAMETER	TB - THRUST BLOCK
FDC - FIRE DEPARTMENT CONNECTION	PROPOSED	TC - TOP OF CURB
FF - FINISHED FLOOR ELEVATION	PAD - PAD GRADE	TOE - TOE OF SLOPE
FFC - FRONT FACE OF CURB	PCC - PORTLAND CEMENT CONCRETE	TOP - TOP OF SLOPE
FG - FINISHED GRADE	PI - POINT OF INTERSECTION	TW - TOP OF WALL
FH - FIRE HYDRANT	PIV - POST INDICATOR VALVE	TYP - TYPICAL
FL - FLOW LINE	PL - PROPERTY LINE	V - VELOCITY
FLG - FLANGE	PO - PUSH ON	W - WATER
FT - FOOT	PRC - POINT OF REVERSE CURVATURE	YD - YARD DRAIN

GENERAL NOTES

- THESE PLANS ARE FOR TENTATIVE MAP PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITTING IS OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DEMOLITION, ENCROACHMENT, BUILDING, GRADING, AND TRAFFIC CONTROL PERMITS.
- UNLESS SPECIFICALLY PERMITTED OTHERWISE, CONSTRUCTION HOURS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY AND BETWEEN THE HOURS OF 8:00 AM AND 6:00 PM ON SATURDAY. THERE SHALL BE NO CONSTRUCTION ON SUNDAY EXCLUDING DUST CONTROL AND STORM WATER POLLUTION PREVENTION PLAN MEASURES.
- ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER, CARSON CITY AND/OR ENGINEER OF RECORD SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPC) AND THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPW), AS ADOPTED BY CARSON CITY, AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE SSPC UNLESS INDICATED OTHERWISE.
- ALL QUANTITIES INDICATED IN THESE PLANS ARE APPROXIMATE AND INTENDED FOR ENTITLEMENT PURPOSES ONLY.
- CONSTRUCTION OF IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
- ALL NEW TRAFFIC CONTROL IMPROVEMENTS TO MEET CURRENT MUTCD REQUIREMENTS.

BASIS OF BEARING

THE BASIS OF BEARINGS IS PARCEL MAP NUMBER
1788 RECORDED MARCH 9TH, 1990 IN THE OFFICIAL
RECORDS OF CARSON CITY NEVADA.

BASIS OF ELEVATION

BASIS OF ELEVATION ESTABLISHED FORM THE
CARSON CITY BENCH MARK C0055, BEING AN
ELEVATION OF 4716.42' (NAVD88).

SHEET INDEX

C1.0 - TITLE SHEET
C2.0 - GEOMETRIC SITE PLAN
C3.0 - SITE & UTILITY PLAN
C4.0 - GRADING PLAN
C5.0 - DRAINAGE & EROSION CONTROL PLAN

C1.0



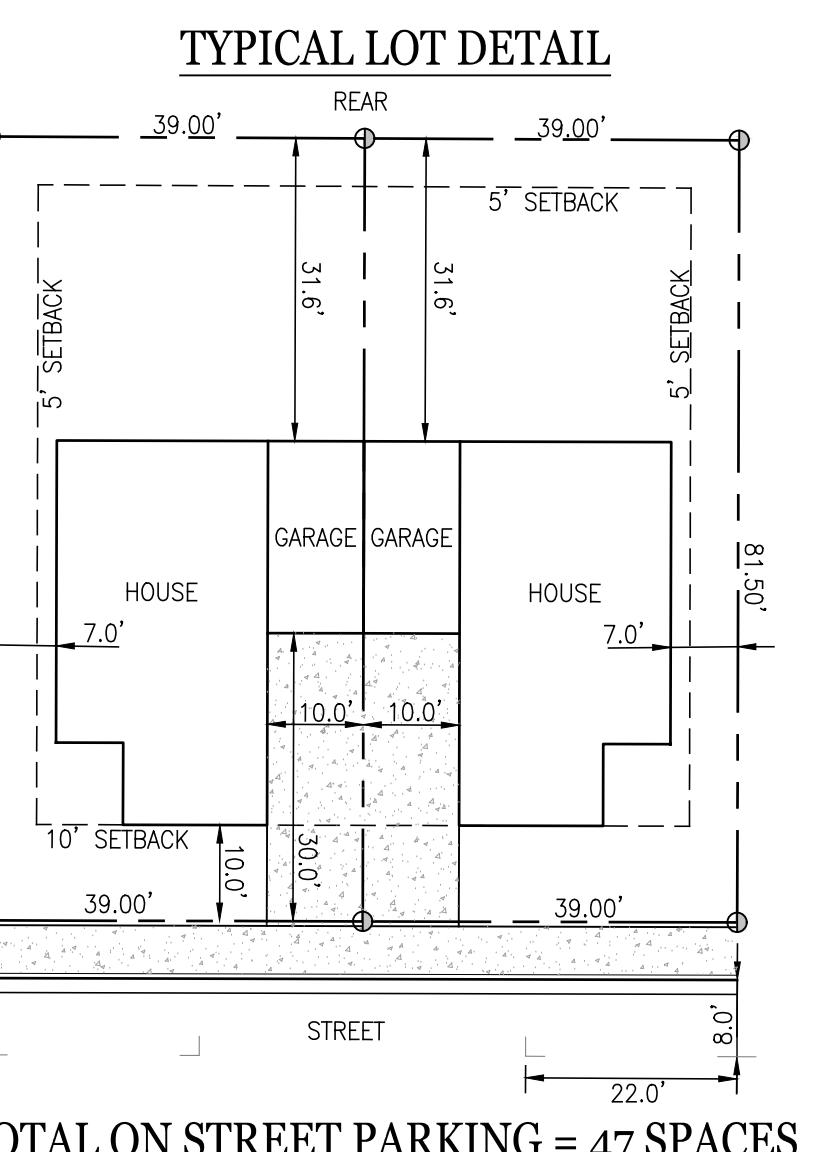


Emerson Cottages Tentative Subdivision Map

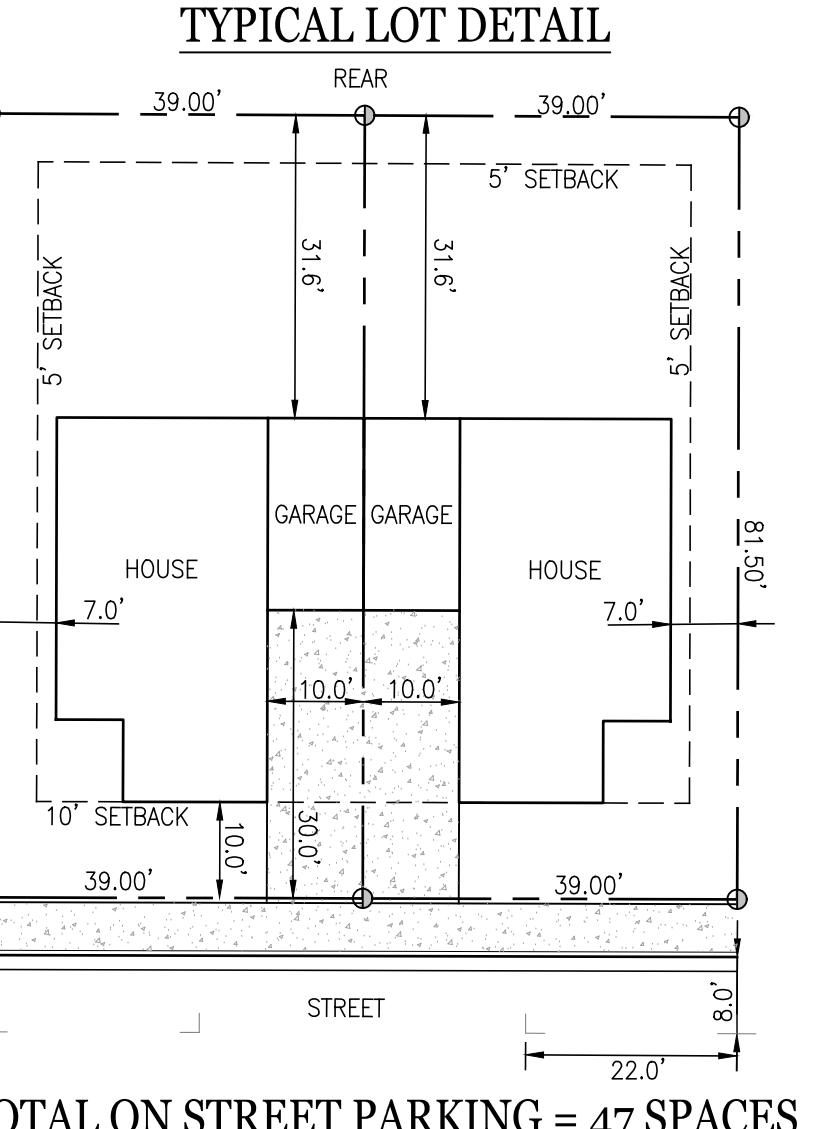
Site & Utility Plan

SITE & UTILITY LEGEND	
	A.C. PAVEMENT AREA
	CONCRETE AREA
	UTILITY
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	FIRE HYDRANT ASSEMBLY (EXISTING/PROPOSED)
	FLUSH VALVE ASSEMBLY (EXISTING/PROPOSED)
	DUAL/SINGLE WATER SERVICE (EXISTING/PROPOSED)
	AIR RELEASE VALVE ASSEMBLY (EXISTING/PROPOSED)
	WATER MAIN TEE, GATE VALVES & THRUST BLOCK
	BACKFLOW PREVENTION ASSEMBLY
	ELBOW W. THRUST BLOCK
	MANHOLE W. DESCRIPTION (EXISTING/PROPOSED)
	CLEANOUT (EXISTING/PROPOSED)
	SANITARY SEWER LATERAL
	CATCH BASIN/DROP INLET
	YARD DRAIN
	ACCESSIBLE PARKING SPACE W. SIGN & PAVEMENT MARKINGS
	PEDESTRIAN ACCESS RAMP
	FENCE

Side & Rear Yard Area Table	
Lot	Area
1	1438
2	1448
3	1311
4	1087
5	1087
6	1087
7	1087
8	1087
9	1177
10	1996
11	4716
12	2978
13	2230
14	1617
15	1636
16	3071
17	2043
18	1448
19	1448
20	1448
21	1448
22	1448
23	1448
24	1552
25	824
26	806
27	2222
28	1845
29	1618
30	1312
31	1006
32	860
33	1053
34	1132
35	1536
36	1765
37	1927
38	1899
39	1111
40	820
41	1643
42	1643



Side & Rear Yard Area Table	
Lot	Area
1	1438
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3	1311
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27	2222
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29	1618
30	1312
31	1006
32	860
33	1053
34	1132
35	1536
36	1765
37	1927
38	1899
39	1111
40	820
41	1643
42	1643



FUNCTIONAL CLASSIFICATION URBAN	NUMBER OF LANES	WITHOUT BIKE LANES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
ARTERIAL	5	32'	N/A	N/A	5'
	4	27.5'			5'
COLLECTOR	3	18.5'	23'	30.5'	5'
	2	15.5'	19.5'	23.5'	5'
LOCAL	2	15.5'	19.5'	23.5'	5'

FUNCTIONAL CLASSIFICATION URBAN	NUMBER OF LANES	WITH BIKE LANES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
ARTERIAL	5	36'	N/A	N/A	5'
	4	29'			5'
COLLECTOR	3	23'	27.5'	32'	5'
	2	17'	21.5'	25'	5'
LOCAL	2	17'	N/A	N/A	5'

NOTES:

1. DISTANCE "FF" IS MEASURED TO FRONT FACE OF CURB.
2. STRUCTURAL SECTION BY ENGINEERING DESIGN, BUT NOT LESS THAN THE MINIMUM SHOWN.
3. ASPHALT MIX SHALL BE PG 64-28 NV WITH LIME TREATED TYPE 2 AGGREGATE, MAXIMUM 15% RECLAIMED ASPHALT PAVEMENT, 50 BLOW. ALL A.C. SURFACES SHALL BE COMPACTED TO 96% (MINIMUM) MARSHALL MAXIMUM DENSITY. NON-POLYMER OIL SURFACES SHALL RECEIVE A NON-POLYMER FOG SEAL.
4. COLLECTOR STREETS SHALL INCLUDE CENTER STRIPING.
5. COLLECTOR STREETS WITH BIKE LANES SHALL INCLUDE BICYCLE PAVEMENT MARKINGS AND SIGNS PER MUTCD.
6. BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SCREW OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF SPREADING AND FINISHING COURSES OF BITUMINOUS MIXTURE IN LANE AND SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	DWG. NOTE 3	9/17		CARSON CITY
2	NOTE 3-RAP	2/18		

APPROVED BY:

EMERSON DRIVE ROADWAY SECTION URBAN STREETS FEB 2018

FUNCTIONAL CLASSIFICATION	NUMBER OF LANES	R/W WIDTH VARIES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
SPECIAL URBAN	"FF"	"FF"	"FF"	MIN.	
LOCAL - 25 MPH	23'	28'	36'	5'	
LOCAL - 15-20 MPH	20'	28'	36'	5'	

TYPICAL SECTION

NTS

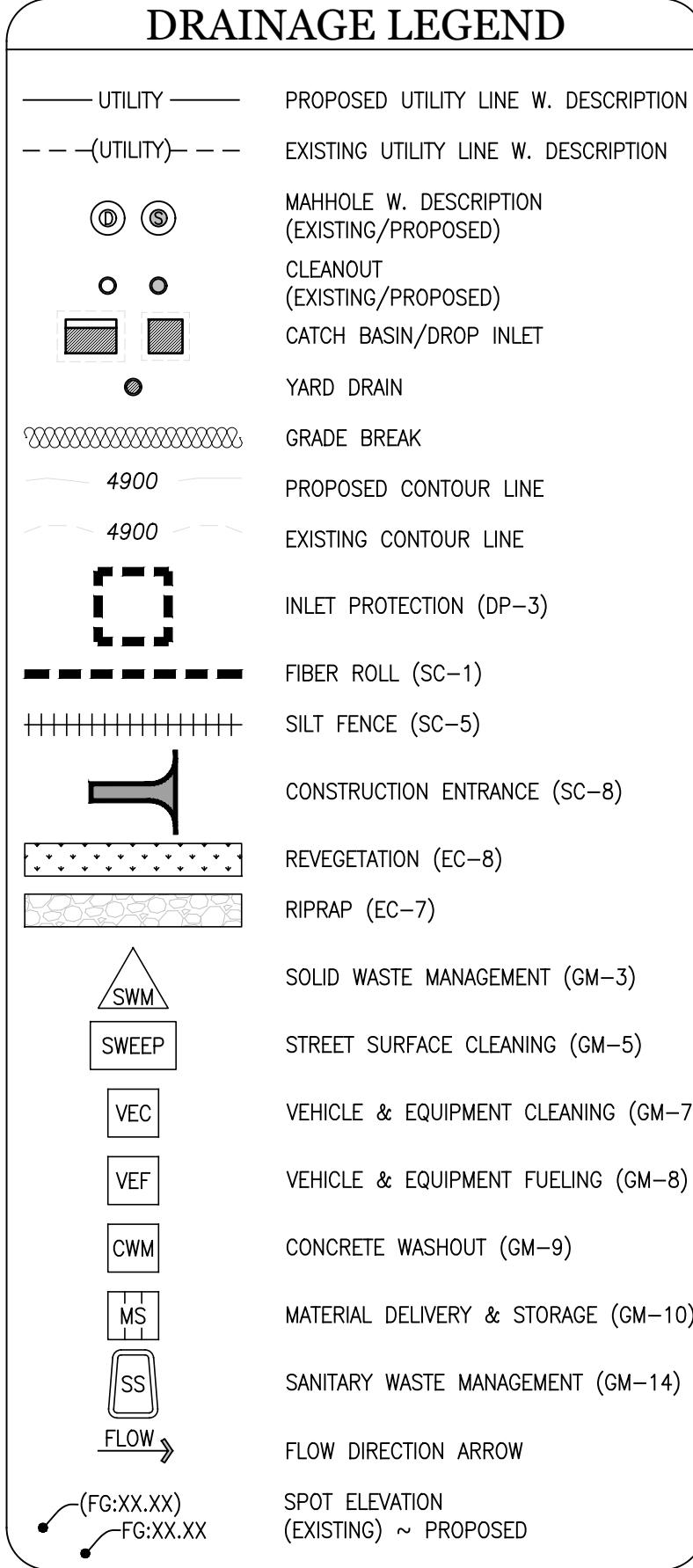
FUNCTIONAL CLASSIFICATION	NUMBER OF LANES	R/W WIDTH VARIES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
SPECIAL URBAN	"FF"	"FF"	"FF"	MIN.	
LOCAL - 25 MPH	23'	28'	36'	5'	
LOCAL - 15-20 MPH	20'	28'	36'	5'	

APPLICABILITY: THE SPECIAL URBAN STREET SECTION IS INTENDED FOR USE PRIMARILY IN DENSE RESIDENTIAL PLANNED UNIT DEVELOPMENTS. USE OF THE SPECIAL URBAN STREET SECTION REQUIRES SPECIFIC APPROVAL FROM THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.

NOTES:

1. DISTANCE "FF" IS MEASURED TO FRONT FACE OF CURB.
2. STRUCTURAL SECTION BY ENGINEERING DESIGN, BUT NOT LESS THAN THE MINIMUM 3 INCHES OF A.C. W/ 6 INCHES OF AGG. BASE.
3. ASPHALT MIX SHALL BE PG 64-28 NV WITH LIME TREATED TYPE 2 AGGREGATE, MAXIMUM 15% RECLAIMED ASPHALT PAVEMENT, 50 BLOW. ALL A.C. SURFACES SHALL BE COMPACTED TO 96% (MINIMUM) MARSHALL MAXIMUM DENSITY. NON-POLYMER OIL SURFACES SHALL RECEIVE A NON-POLYMER FOG SEAL.
4. STREET LENGTH CENTERLINE TO CENTERLINE IS TYPICALLY 440 FEET TO 600 FEET.
5. BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SCREW OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF SPREADING AND FINISHING COURSES OF BITUMINOUS MIXTURE IN LANE AND SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.
6. "NO PARKING" SIGNS SHALL BE PLACED IN RESTRICTED AREAS PER MUTCD SECTION 2B.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION</th
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DRAINAGE & EROSION CONTROL NOTES

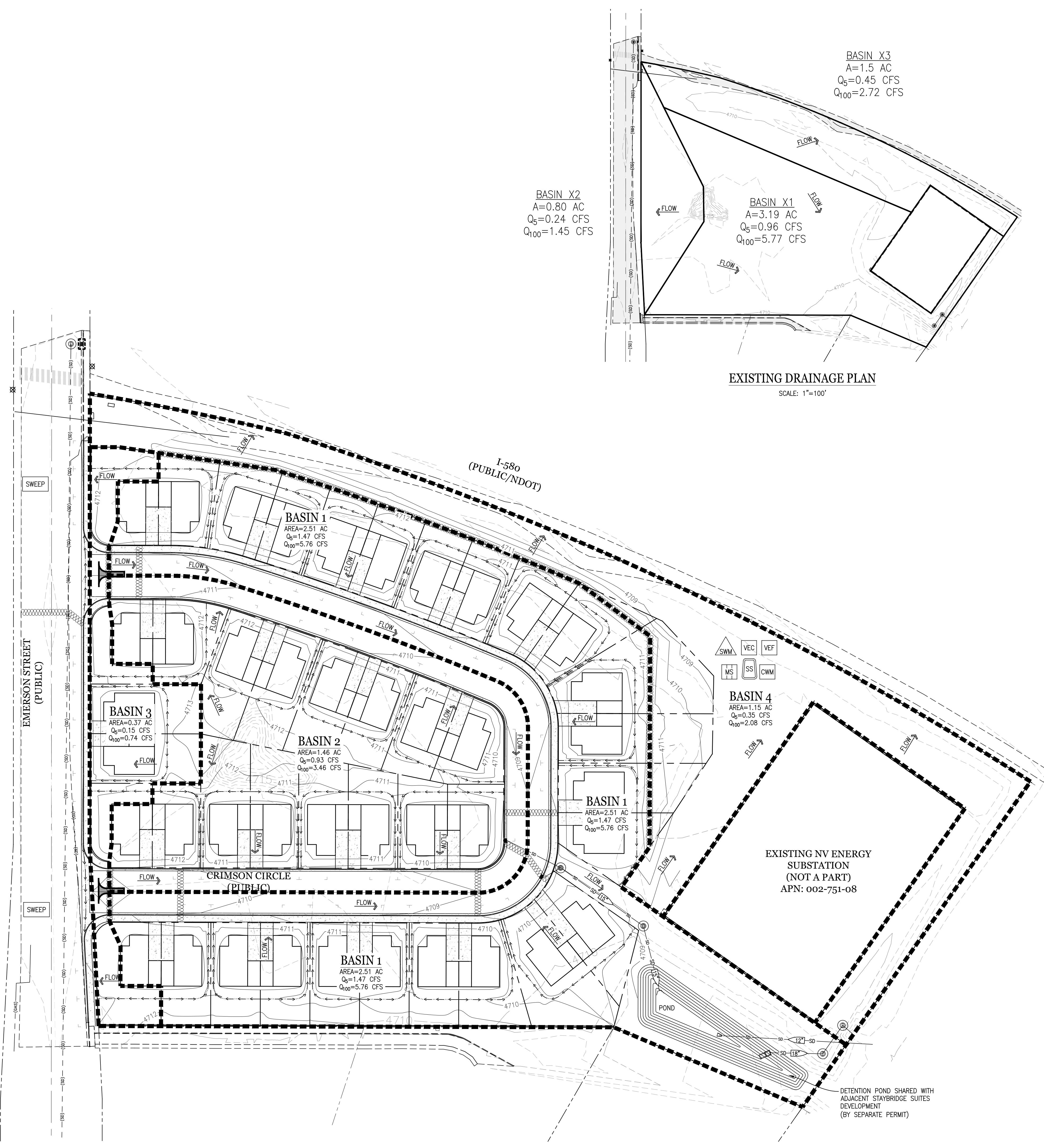
1. THIS SITE LIES IN FEMA FLOOD ZONE X (320010084F). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
2. THE CONTRACTOR SHALL REFER TO STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK FOR ALL BEST MANAGEMENT PRACTICES (BMP'S) TO BE UTILIZED DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS IN ORDER TO MAINTAIN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
5. PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
6. STABILIZE THE CONSTRUCTION ENTRANCE.
7. ADD 4600' TO ALL ELEVATIONS.

STANDARD BMP NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, CARSON CITY RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000 (SECTION IIIA.5).
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITION OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, (SECTION IIIA.11-12).
5. ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT FORECASTED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

BIORETENTION BASIN NOTES

1. THE ONSITE DETENTION PONDS ARE LOCATED ON PRIVATELY OWNED PROPERTY. IT WILL BE THE PROPERTY OWNER'S RESPONSIBILITY TO PROPERLY MAINTAIN THE PONDS AND FOLLOW THE MAINTENANCE SCHEDULE BELOW.
2. PROVIDE INFILTRATION TRENCH IN THE LOW FLOW SWALE OF EACH DETENTION POND.
3. MAX SIDE SLOPE SHALL BE 3:1 AND DISTURBED SLOPES SHALL BE STABILIZED WITHIN 1 WEEK OF CONSTRUCTION.
4. THE BASINS SHALL BE INSPECTED ANNUALLY, AND FOLLOWING ANY MAJOR STORM EVENT.
5. DEBRIS SHALL BE PERIODICALLY REMOVED AND ANY VEGETATION MAINTAINED.
6. IF THE BASIN DOES NOT FULLY INFILTRATE WITHIN 7, DAYS, THE FILTER MEDIA SHALL BE REPLACED.
7. EVERY 5-10 YEARS THE AREA SHOULD BE TILLED, FINE MATERIALS REMOVED AND THE BASE REGRADED TO MAINTAIN LONG TERM VIABILITY OF THE BASIN.
8. IF A HAZARDOUS MATERIALS SPILL OCCURS AND THE SOILS BECOME CONTAMINATED, THE AFFECTED AREAS SHOULD BE REMOVED IMMEDIATELY AND APPROPRIATE SOILS AND MATERIALS REPLACES AS SOON AS POSSIBLE.



Emerson Cottages Tentative Subdivision Map

Drainage & Erosion Control Plan

MONTE VISTA CONSULTING
575 E. Plumb Lane #101
Reno, NV 89502
775.636.7905
montevistaconsulting.com

FOR PERTINENT MAP ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER STATE OF NEVADA
MICHAEL W. VICKS
Exp. 6.30.2022
CIVIL
No. 21-025
July 15, 2020

C5.0
5 of 5

Heather Ferris

From: John Krmpotic <johnk@klsdesigngroup.com>
Sent: Thursday, August 13, 2020 4:49 PM
To: Heather Ferris
Cc: Winkel, Robert A; John Foley - Durastone (jfoley@paradisovn.com)
Subject: Emerson Cottages - 42 lot Tentative Map (Volunteer Condition of Approval)

Follow Up Flag: Follow up
Flag Status: Completed

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

Heather, here is a draft condition of approval for the 42-lot Tentative Map on behalf of the applicant:

Per the condition volunteered by the applicant at the public hearing, prior to approval of the final subdivision map, the developer shall provide the City with a check equal to the cost of a slurry seal of the internal public roads (square footage of the asphalt section of the road multiplied by the price per square foot that Carson City has negotiated with its seasonal provider) to the satisfaction of the public works director.

Let me know if you have any questions.

Thank you

John F. Krmpotic, AICP
KLS Planning & Design
775 857 7710 (cell)



1 East 1st Street, Suite 1400
Reno, NV 89501 | 775-852-7606

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From: [Dave Ruben](#)
To: [Michael Vicks](#)
Cc: [John Krmpotic](#); [Heather Ferris](#); [Hope Sullivan](#)
Subject: RE: Emerson Drive Cottages - Alternate Means & Methods Request
Date: Monday, January 6, 2020 9:04:58 AM

Michael, thanks for the submittal. CCFD approves the request. Heather, can you please add this to the project file?

Thanks

Dave Ruben

Battalion Chief/Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701
Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209

From: Michael Vicks [mailto:mike@montevistaconsulting.com]
Sent: Friday, January 3, 2020 12:24 PM
To: Dave Ruben
Cc: John Krmpotic; Heather Ferris; Hope Sullivan
Subject: Emerson Drive Cottages - Alternate Means & Methods Request

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

Good Afternoon Mr. Ruben,

Thanks again for your help with our project. Attached is our AM&M Request per our meeting yesterday. Please review and let me know if you have any questions or if there is anything else you would like us to add.

Thanks,
Michael Vicks, P.E.
775.636.7905
mike@montevistaconsulting.com
575 E. Plumb Lane, Suite 101
Reno, NV 89502





Carson City
Community Development Department
108 E. Proctor Street
Carson City, NV 89701

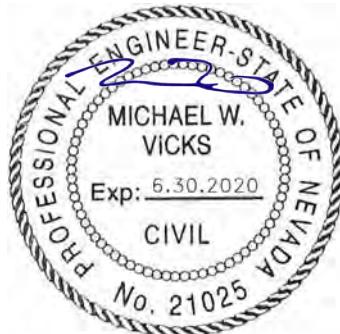
January 3, 2020

RE: Emerson Drive Cottages – Alternate Means & Methods of Fire Protection Request

The Emerson Drive Cottages Subdivision is located on Emerson Drive, north of College Parkway (APN: 002-751-07). Emerson Drive is under Carson City jurisdiction and is classified as a local street in the vicinity of the project. The site is currently undeveloped. The proposed subdivision will include 37 new single-family homes and a single looped street, Crimson Circle, which will be offered for dedication to Carson City. The subdivision proposes two connections to Emerson Drive in accordance with Carson City Design requirements, however, based on the geometric configuration of the lot, it is not possible to locate these access roads in accordance with the 2018 International Fire Code remoteness requirements. Strict conformance with the code would require 307 feet of separation between the two access roads. The proposed design provides 248 feet between the centerlines of the two proposed access roads. As an alternate means and methods of protection we propose to install additional fire hydrants throughout the development. The attached exhibit identifies the approximate location of (4) proposed fire hydrants to serve the proposed development, two of which will be on Emerson Drive and available to serve adjacent development as well. Final locations will be confirmed in association with the Final Subdivision Map and Site Improvement Plans. Thank you in advance for your consideration and we would like to formally request approval of this proposal as alternate means and methods of fire protection for this proposed subdivision.

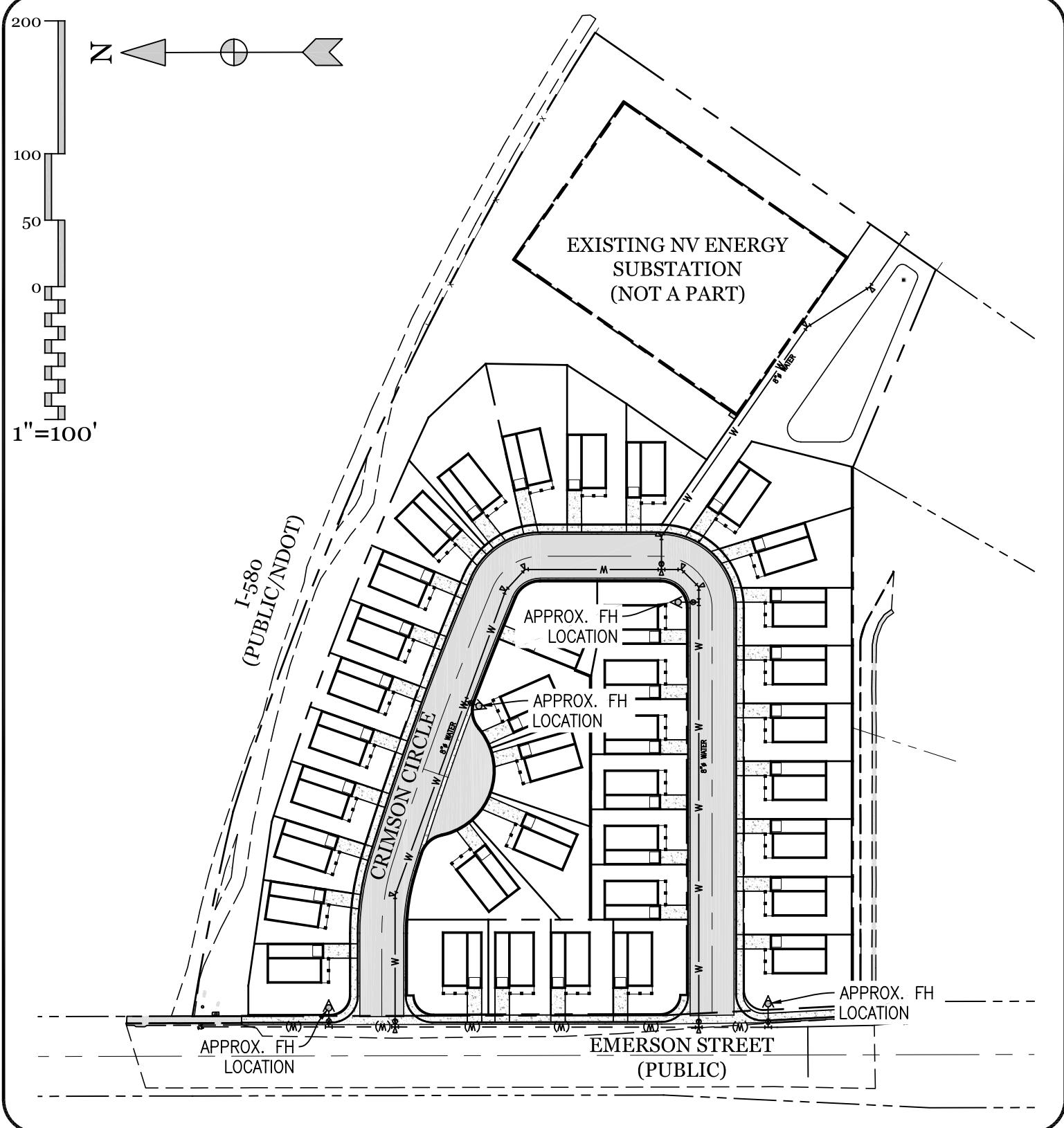
Please contact Monte Vista Consulting if you have any questions or if there is anything else I can help with.

Sincerely,
Monte Vista Consulting



Michael Vicks, P.E.
Principal

1.3.2020



Emerson Drive Cottages

Tentative Subdivision Map

APN: 002-751-07

Carson City, Nevada

Fire Hydrant Exhibit



**MONTE VISTA
CONSULTING**

575 E. Plumb Lane, Suite 101, Reno, NV 89502
775.636.7905 montevistaconsulting.com