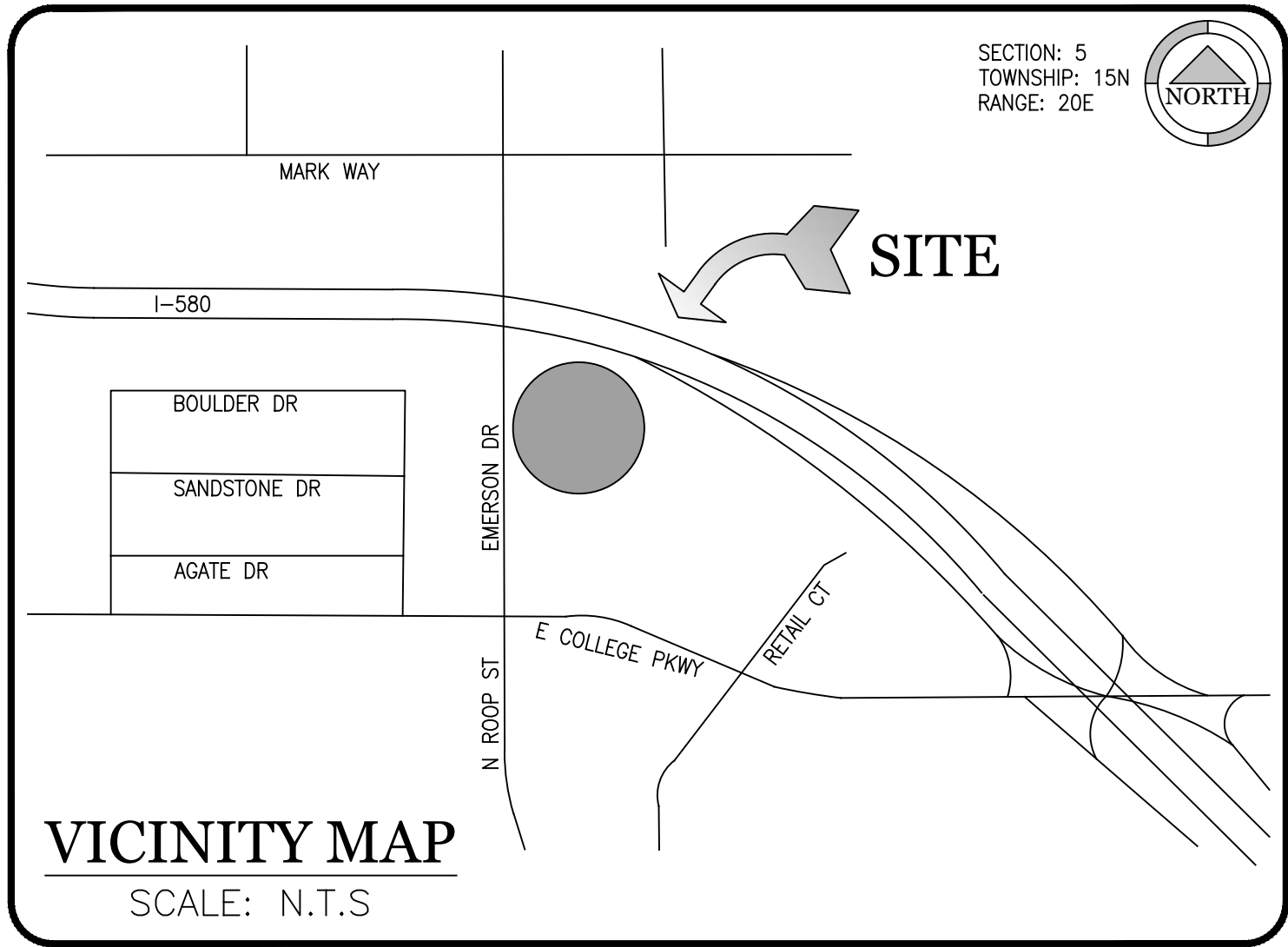


TENTATIVE MAP FOR EMERSON COTTAGES



UTILITY PROVIDERS	
DOMESTIC WATER	CARSON CITY PUBLIC WORKS
IRRIGATION WATER	CARSON CITY PUBLIC WORKS
SANITARY SEWER	CARSON CITY PUBLIC WORKS
STORM DRAIN	CARSON CITY PUBLIC WORKS
NATURAL GAS	SOUTHWEST GAS
ELECTRICITY	NV ENERGY
TELECOMMUNICATIONS	AT&T / CHARTER COMMUNICATIONS
FIRE	CARSON CITY FIRE DEPARTMENT
POLICE	CARSON CITY SHERIFF'S OFFICE

OWNER INFORMATION

ROTTMAN JEAN M TRUST 4/12/18
450 ANITA DR
C/O: JEAN M ROTTMAN, TRUSTEE
RENO, NV 89511

CIVIL ENGINEER
MONTE VISTA CONSULTING, LTD.
575 E. PLUMB LANE, SUITE 101
RENO, NV 89502
775.636.7905

GEOTECHNICAL ENGINEER
AXION GEOTECHNICAL, LLC
681 EDISON WAY
RENO, NV 89502
775.771.2388

SURVEYOR
MST SURVEYING
10650 SANTA FE ROAD
RENO, NV 89508
775.544.7817

ABBREVIATIONS

AC	ASPHALT CONCRETE	GB	GRADE BREAK	PUE	PUBLIC UTILITY EASEMENT
AGG	AGGREGATE	GF	GARAGE FLOOR ELEVATION	PVC	POLYVINYL CHLORIDE
BC	BEGIN CURVE	GV	GATE VALVE	PVI	POINT OF VERTICAL INTERSECTION
BFC	BACK FACE OF CURB	HC	HANDICAPPED	Q ₅	FIVE YEAR FLOW RATE
BVC	BEGIN VERTICAL CURVE	HP	HIGH POINT	Q ₁₀₀	ONE HUNDRED YEAR FLOW RATE
BW	BOTTOM OF WALL	IE	INVERT ELEVATION	Q _{cap}	CAPACITY FLOW RATE
CL _c	CENTERLINE	IN	INCH	R	RADIUS
CB	CATCH BASIN	INT	INTERSECTION	REF	REFERENCE
CFS	CUBIC FEET PER SECOND	IRR	IRRIGATION	RJ	RESTRAINED JOINT
CO	CLEAN OUT	L	LENGTH	RP	RADIUS POINT
CONC	CONCRETE	LAT	LATERAL	RT	RIGHT
CONST	CONSTRUCT	LF	LINEAR FEET	RW	RIGHT-OF-WAY
COORD	COORDINATE	LP	LOW POINT	S	SLOPE
DET	DETAIL	LT	LEFT	SCH	SCHEDULE
DI	DROP INLET	MAX	MAXIMUM	SD	STORM DRAIN
DIP	DUCTILE IRON PIPE	MDD	MAXIMUM DRY DENSITY	SF	SQUARE FOOT
DOM	DOMESTIC	MH	MANHOLE	SS	SANITARY SEWER
E	EXISTING	MIN	MINIMUM	STA	STATION
EC	END CURVE	MISC	MISCELLANEOUS	STD	STANDARD
EG	EXISTING GRADE	NPWL	NON POTABLE WATER LINE	SW	SIDEWALK
ELEV	ELEVATION	NTS	NOT TO SCALE	T	TANGENT
EVC	END VERTICAL CURVE	OD	OUTSIDE DIAMETER	TB	THRUST BLOCK
FDC	FIRE DEPARTMENT CONNECTION	P	PROPOSED	TC	TOP OF CURB
FF	FINISHED FLOOR ELEVATION	PAD	PAID GRADE	TOE	TOE OF SLOPE
FG	FINISHED GRADE	PCC	PORTLAND CEMENT CONCRETE	TOP	TOP OF SLOPE
FL _c	FLOW LINE	PI	POINT OF INTERSECTION	TW	TOP OF WALL
FLG	FLANGE	PIV	POST INDICATOR VALVE	TYP	TYPICAL
FT	FOOT	PL _r	PROPERTY LINE	V	VELOCITY
		PO	PUSH ON	W	WATER
		PRC	POINT OF REVERSE CURVATURE	YD	YARD DRAIN

GENERAL NOTES

- THESE PLANS ARE FOR TENTATIVE MAP PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITTING IS OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DEMOLITION, ENCROACHMENT, BUILDING, GRADING, AND TRAFFIC CONTROL PERMITS.
- UNLESS SPECIFICALLY PERMITTED OTHERWISE, CONSTRUCTION HOURS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY AND BETWEEN THE HOURS OF 8:00 AM AND 6:00 PM ON SATURDAY. THERE SHALL BE NO CONSTRUCTION ON SUNDAY EXCLUDING DUST CONTROL AND STORM WATER POLLUTION PREVENTION PLAN MEASURES.
- ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER, CARSON CITY AND/OR ENGINEER OF RECORD SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPWC), AS ADOPTED BY CARSON CITY, AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE SSPWC UNLESS INDICATED OTHERWISE.
- ALL QUANTITIES INDICATED IN THESE PLANS ARE APPROXIMATE AND INTENDED FOR ENTITLEMENT PURPOSES ONLY.
- CONSTRUCTION OF IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
- ALL NEW TRAFFIC CONTROL IMPROVEMENTS TO MEET CURRENT MUTCD REQUIREMENTS.

BASIS OF BEARING

THE BASIS OF BEARINGS IS PARCEL MAP NUMBER 1788 RECORDED MARCH 9TH, 1990 IN THE OFFICIAL RECORDS OF CARSON CITY NEVADA.

BASIS OF ELEVATION

BASIS OF ELEVATION ESTABLISHED FORM THE CARSON CITY BENCH MARK CC055, BEING AN ELEVATION OF 4716.42' (NAVD88).

SHEET INDEX

C1.0 - TITLE SHEET
C2.0 - GEOMETRIC SITE PLAN
C3.0 - SITE & UTILITY PLAN
C4.0 - GRADING PLAN
C5.0 - DRAINAGE & EROSION CONTROL PLAN

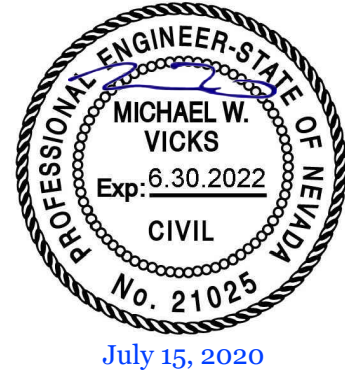


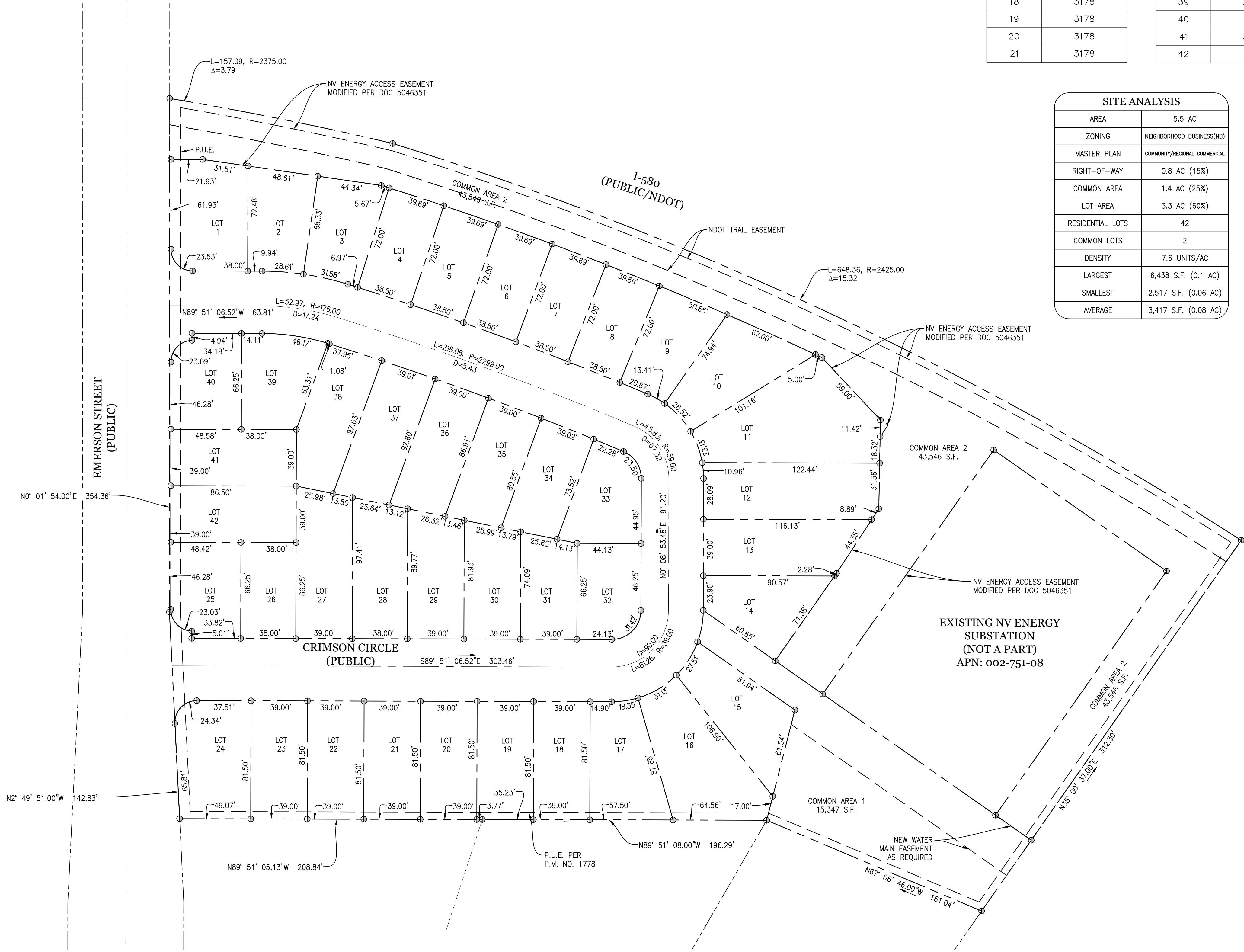
Emerson Cottages Tentative Subdivision Map

Title Sheet

Emerson Drive
APN: 002-751-07
Carson City, Nevada

Project # 19.023
Drawn HBA
Checked MWV
Date 7.15.2020
Revisions





Parcel Area Table	
Lot	Area
1	3963
2	3034
3	3087
4	2814
5	2814
6	2814
7	2814
8	2814
9	3070
10	3758
11	6438
12	4711
13	4032
14	3247
15	3712
16	5218
17	3735
18	3178
19	3178
20	3178
21	3178

Parcel Area Table	
Lot	Area
22	3178
23	3178
24	4117
25	3083
26	2517
27	3951
28	3556
29	3348
30	3042
31	2736
32	2837
33	3027
34	3006
35	3267
36	3502
37	3711
38	3637
39	3204
40	3102
41	3375
42	3371

SITE ANALYSIS	
AREA	5.5 AC
ZONING	NEIGHBORHOOD BUSINESS(NB)
MASTER PLAN	COMMUNITY/REGIONAL COMMERCIAL
RIGHT-OF-WAY	0.8 AC (15%)
COMMON AREA	1.4 AC (25%)
LOT AREA	3.3 AC (60%)
RESIDENTIAL LOTS	42
COMMON LOTS	2
DENSITY	7.6 UNITS/AC
LARGEST	6,438 S.F. (0.1 AC)
SMALLEST	2,517 S.F. (0.06 AC)
AVERAGE	3,417 S.F. (0.08 AC)

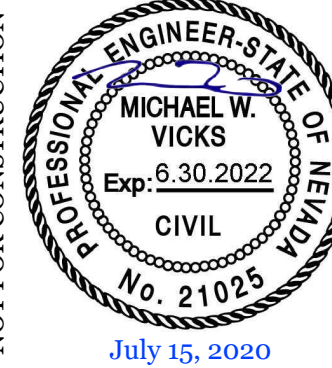


Emerson Cottages Tentative Subdivision Map

Geometric Site Plan

Emerson Drive
APN: 002-751-07
Carson City, Nevada

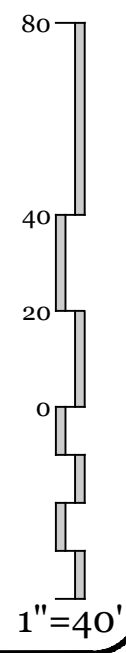
Project # 19.023
Drawn HBA
Checked MWV
Date 7.15.2020
Revisions

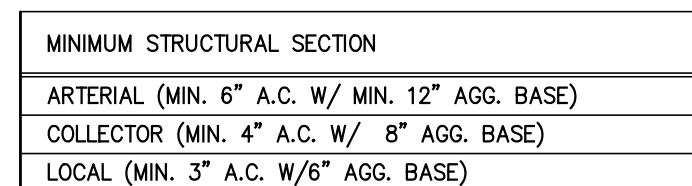


C2.0

2 of 5

FOR TENTATIVE MAP ONLY
NOT FOR CONSTRUCTION



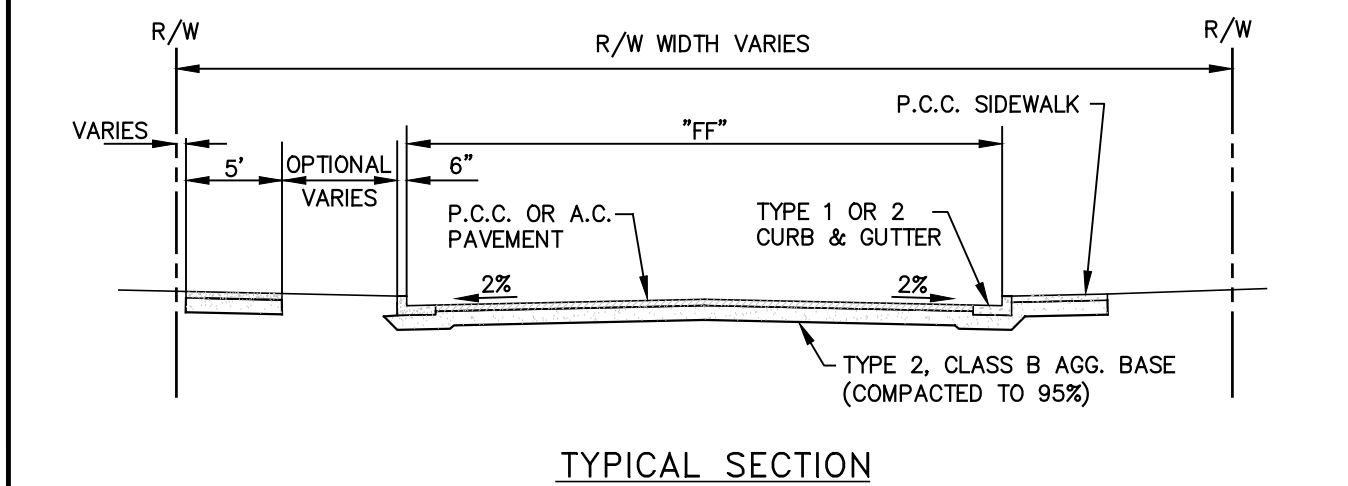



FUNCTIONAL CLASSIFICATION	NUMBER OF LANES	WITHOUT BIKE LANES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
		MINIMUM "FF"	MINIMUM "FF"	MINIMUM "FF"	
URBAN					MINIMUM
ARTERIAL	5	32' 27.5'	N/A	N/A	5' 5'
COLLECTOR	3	18.5' 15.5'	23' 19.5'	30.5' 23.5'	5' 5'
LOCAL	2	15.5'	19.5'	23.5'	5'
FUNCTIONAL CLASSIFICATION	NUMBER OF LANES	WITH BIKE LANES			
		NO PARKING	PARKING ONE SIDE	PARKING BOTH SIDES	SIDEWALK
		MINIMUM "FF"	MINIMUM "FF"	MINIMUM "FF"	
URBAN					MINIMUM
ARTERIAL	5	36' 29'	N/A	N/A	5' 5'
COLLECTOR	3	23' 17'	23.5' 21.5'	32' 25'	5' 5'
LOCAL	2	17'	N/A	N/A	5'

NOTES:

1. DISTANCE "FFF" IS MEASURED TO FRONT FACE OF CURB.
2. STRUCTURAL SECTION BY ENGINEERING DESIGN, BUT NOT LESS THAN THE MINIMUM SHOWN.
3. ASPHALT MIX SHALL BE PG 64-28 NV WITH LIME TREATED TYPE 2 AGGREGATE, MAXIMUM 15% CRACKING ASPHALT CEMENT, NO BLOTTING. ALL C/SURFACES SHALL BE COMPACTED TO 98% (MINIMUM) MARSHALL MAXIMUM DENSITY. NON-POLYMER OIL SURFACES SHALL RECEIVE A 10% NON-POLYMER FOG SEAL.
4. COLLECTOR STREETS SHALL INCLUDE CENTER STRIPING.
5. COLLECTOR STREETS WITH BKE LANES SHALL INCLUDE BICYCLE PAVEMENT MARKINGS AND SIGNS PER M.U.T.C.D.
6. BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SWORD OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF MIXING SURFACES OF 10 INCHES OR MORE. THE MINIMUM MIXING DEPTH SHALL BE 4 INCHES. SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
	DWG#, NOTE 3	9/17	ROADWAY SECTION URBAN STREETS	CARSON CITY
	NOTE 3-RAP	2/18		DRAWING NO. C-5.1.8
				DATE
APPROVED BY: 		2/18		FFR 2018



FUNCTIONAL CLASSIFICATION  SPECIAL URBAN	NO PARKING (SEE NOTE 6)	PARKING ONE SIDE (SEE NOTE 6)	PARKING BOTH SIDES	SIDEWALK
	"FF"	"FF"	"FF"	MIN.
LOCAL – 25 MPH	23'	28'	36'	5'
LOCAL – 15–20 MPH	20'	28'	36'	5'

APPLICABILITY: THE SPECIAL URBAN STREET SECTION IS INTENDED FOR USE PRIMARILY IN DENSE RESIDENTIAL PLANNED UNIT DEVELOPMENTS. USE OF THE SPECIAL URBAN STREET SECTION REQUIRES SPECIFIC APPROVAL FROM THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.

NOTES:

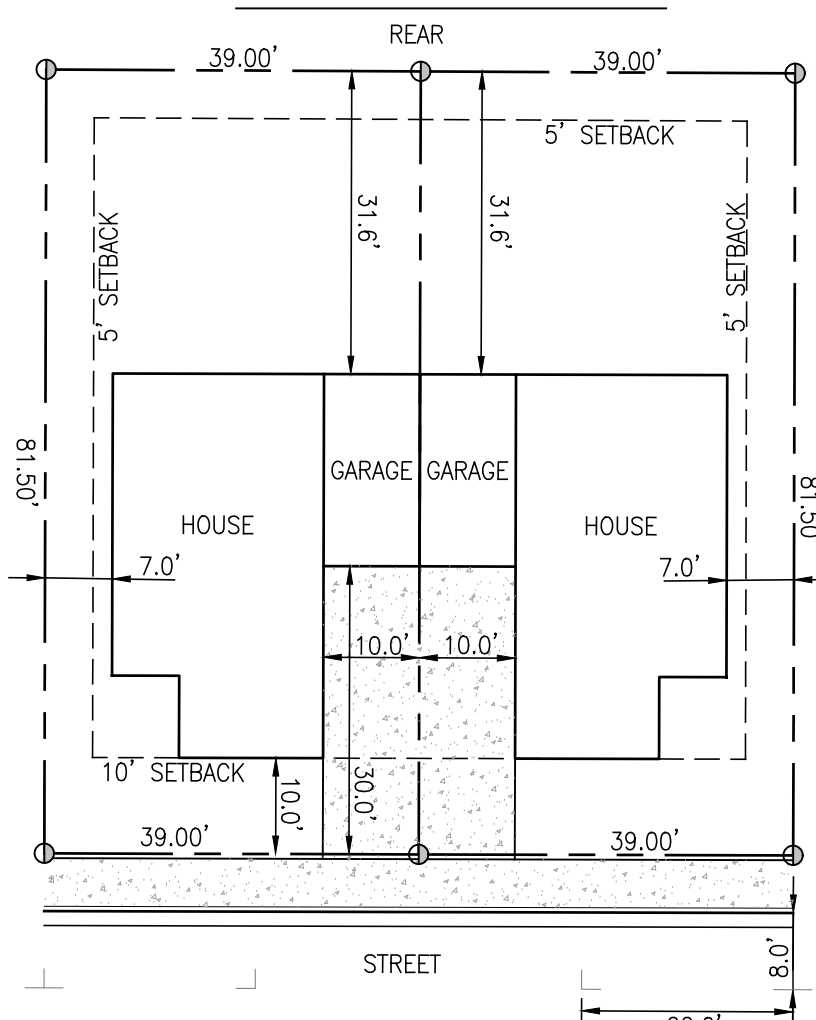
1. DISTANCE "FF" IS MEASURED TO FRONT FACE OF CURB.
2. STRUCTURAL SECTION BY ENGINEERING DESIGN, BUT NOT LESS THAN THE MINIMUM 3 INCHES OF A.C. W/6 INCHES OF AGG. BASE.
3. ASPHALT MIX SHALL BE PG 64-28 NB W/LIME TREATED TYPE 2 AGGREGATE, MAXIMUM 15% RECLAIMED ASPHALT PAVEMENT, 50 BLOW. ALL A.C. SURFACES SHALL BE COMPACTED TO 96% (MINIMUM) MARSHAL MAXIMUM DENSITY. NON-POLYMER OIL SURFACES SHALL RECEIVE A NON-POLYMER FOG SEAL.
4. STREET LENGTH CENTERLINE TO CENTERLINE IS TYPICALLY 440 FEET TO 600 FEET.
5. BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SCREED OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF SPREADING AND FINISHING COURSES OF BITUMINOUS MIXTURE IN LANE AND SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.
6. "NO PARKING" SIGNS SHALL BE PLACED IN RESTRICTED AREAS PER MUTCD SECTION 2B.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION	
1	NOTE 3 & 6		SPECIAL SECTION URBAN STREETS	CARSON CITY	
	& LANE WIDTH	9/17		DRAWING NO.	C-5.1.8.1
2	NOTE 3-RAP	2/18		DATE	
APPROVED BY: 		2/18		FEB 2018	

SITE & UTILITY NOTES

1. THIS TENTATIVE DEVELOPMENT PLAN IS NOT INTENDED FOR CONSTRUCTION, IT IS FOR PRELIMINARY REVIEW ONLY.
2. THE FIELD SURVEY PREPARED BY MST SURVEYING IS THE BASIS OF THIS DESIGN. MVC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY.
3. UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATELY LOCATED BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL MVC AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL CALLER MVC BEFORE PROCEEDING WITH CONSTRUCTION.
4. UNLESS SPECIFICALLY NOTED FOR REMOVAL/MODIFICATION, ALL EXISTING UTILITIES & IMPROVEMENTS SHALL REMAIN IN PLACE. SHOULD ANY QUESTION ARISE REGARDING THE REMOVAL/MODIFICATION OF ANY EXISTING UTILITY OR IMPROVEMENT, THE CONTRACTOR SHALL CONTACT MVC AS WELL AS THE UTILITY PROVIDER FOR FURTHER GUIDANCE PRIOR TO PROCEEDING WITH WORK.
5. AN ENCROACHMENT & EXCAVATION PERMIT—WILL BE REQUIRED FOR ALL WORK WITHIN THE CARSON CITY RIGHT-OF-WAY.
6. ALL WORK WITHIN THE CARSON CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
7. ALL PERMANENT STRIPING, SIGNAGE & TRAFFIC CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) REQUIREMENTS.
8. MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
9. MAINTAIN 3.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
7. ALL PROPOSED SEWER AND STORM DRAIN IMPROVEMENTS ARE PUBLIC UNLESS OTHERWISE NOTED.
8. THE PROPOSED DETENTION POND IS PRIVATE AND SHALL BE MAINTAINED BY THE ASSOCIATION.
9. NO LOCATION FOR TELEPHONE, CABLE TV, OR ANY OTHER LOW VOLTAGE IMPROVEMENT IS SHOWN. THE CONTRACTOR SHALL COORDINATE THE DESIGN & CONSTRUCTION OF THESE UTILITIES DIRECTLY WITH THE SERVICE PROVIDER.
10. ADD 4600' TO ALL SPOT ELEVATIONS.

TYPICAL LOT DETAIL

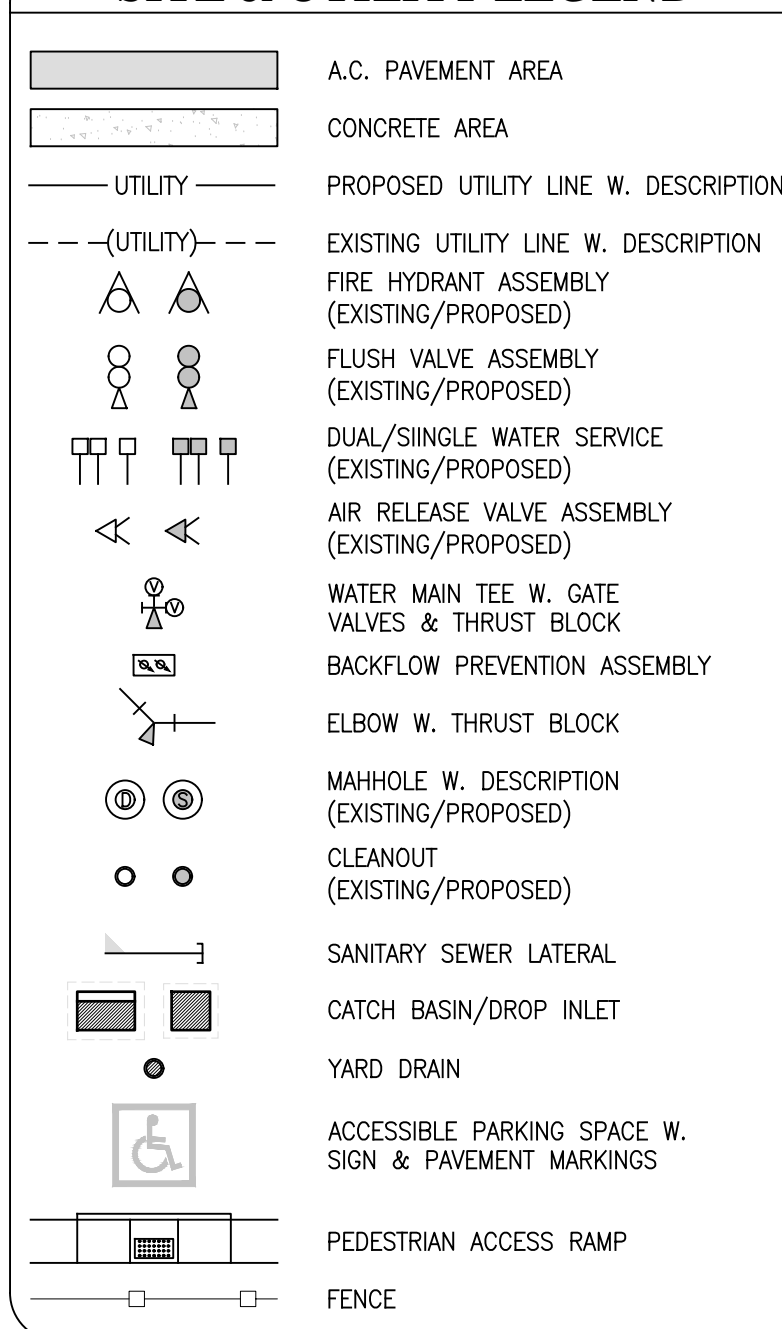
Side & Rear Yard
Area Table

Lot	Area
1	1438
2	1271
3	1311
4	1087
5	1087
6	1087
7	1087
8	1087
9	1177
10	1996
11	4716
12	2978
13	2230
14	1617
15	1636
16	3071
17	2043
18	1448
19	1448
20	1448
21	1448

Side & Rear Yard
Area Table

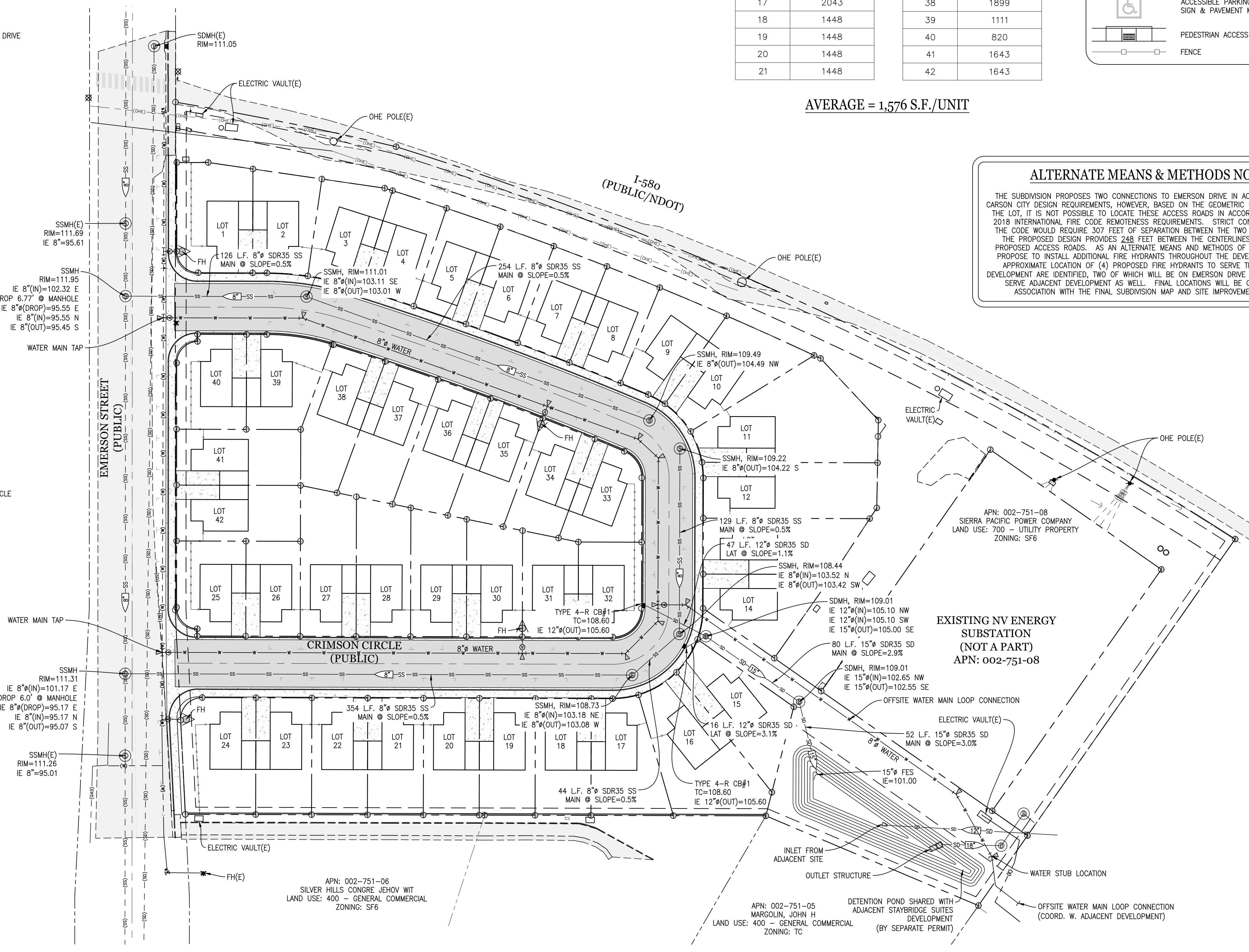
Lot	Area
22	1448
23	1448
24	1552
25	824
26	806
27	2222
28	1845
29	1618
30	1312
31	1006
32	860
33	1053
34	1132
35	1536
36	1765
37	1927
38	1899
39	1111
40	820
41	1643
42	1643

SITE & UTILITY LEGEND



ALTERNATE MEANS & METHODS NOTE

THE SUBDIVISION PROPOSES TWO CONNECTIONS TO EMERSON DRIVE IN ACCORDANCE WITH CARSON CITY DESIGN REQUIREMENTS. HOWEVER, BASED ON THE GEOMETRIC CONFIGURATION OF THE LOT, IT IS NOT POSSIBLE TO LOCATE THESE ACCESS ROADS IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE CODE REMOTENESS REQUIREMENTS. STRICT CONFORMANCE WITH THE CODE WOULD REQUIRE A FEET SEPARATION BETWEEN THE TWO ACCESS ROADS. THE PROPOSED ACCESS ROADS ARE LOCATED 248 FEET APART. THE OTHER EDITIONS OF THE PROPOSED ACCESS ROADS, AS AN ALTERNATE MEANS AND METHODS OF PROTECTION WE PROPOSE TO INSTALL ADDITIONAL FIRE HYDRANTS THROUGHOUT THE DEVELOPMENT. THE APPROXIMATE LOCATION OF (4) PROPOSED FIRE HYDRANTS TO SERVE THE PROPOSED DEVELOPMENT ARE IDENTIFIED, TWO OF WHICH WILL BE ON EMERSON DRIVE. AVAILABLE TO SERVE ADJACENT DEVELOPS AS WELL AS THIS DEVELOPMENT. THESE ARE CONFIRMED IN ASSOCIATION WITH THE FINAL SUBDIVISION MAP AND SITE IMPROVEMENT PLANS.



Emerson Cottages Tentative Subdivision Map

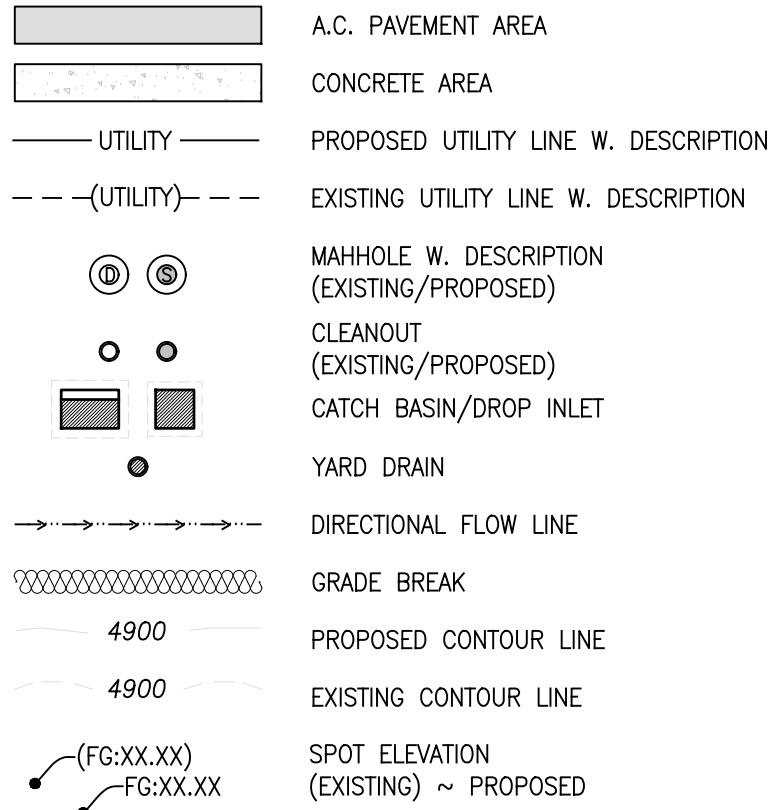
Emerson Drive
APN: 002-751-07
Carson City, Nevada

Project #	19.02
Drawn	HE
Checked	MW
Date	7.15.2023
△	Revision



C3.0

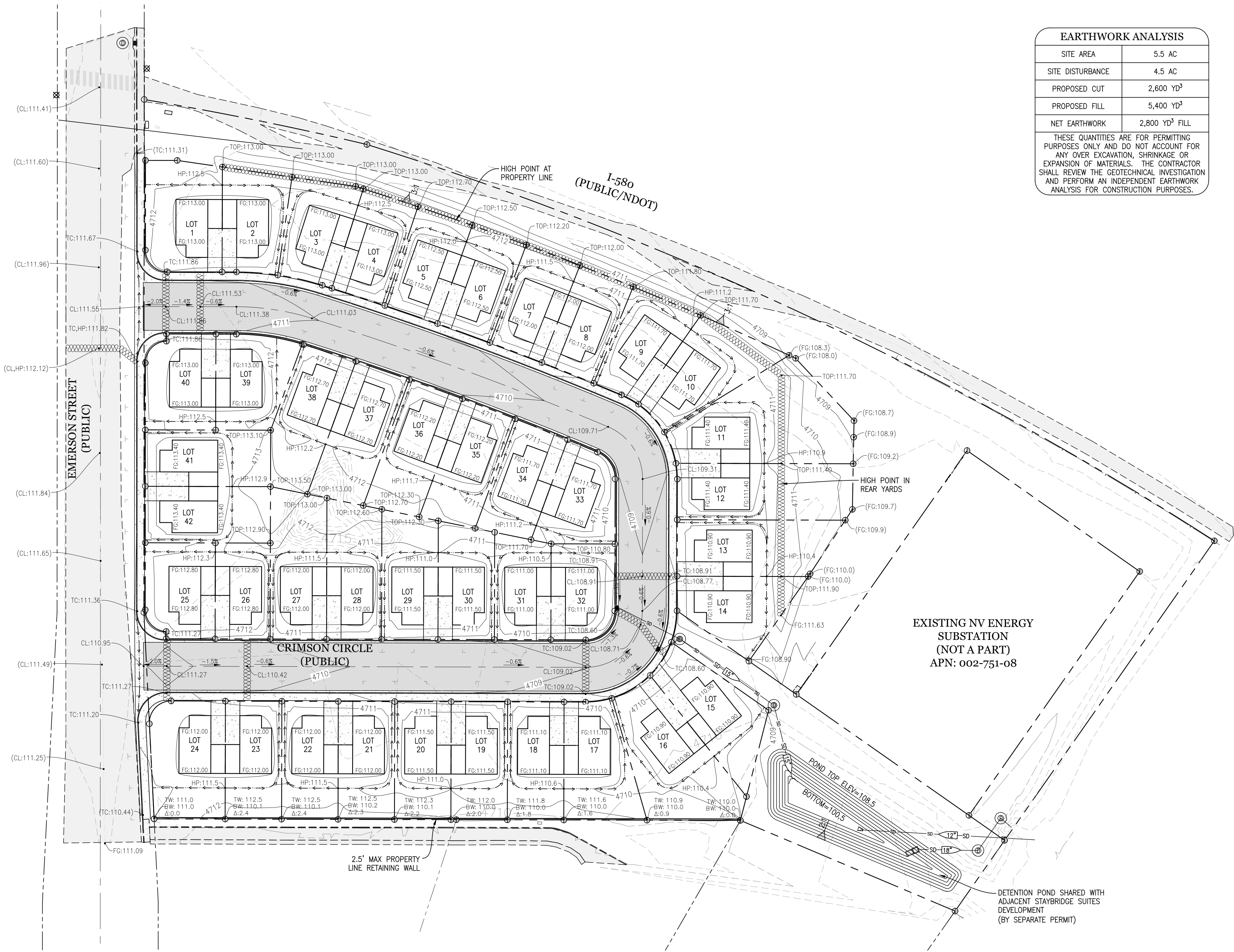
GRADING LEGEND



GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MONTE VISTA CONSULTING, LTD. OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
2. SLOPES STEEPER THAN 3H:1V SHALL BE MECHANICALLY STABILIZED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION/REPORT PREPARED BY AXION GEOTECHNICAL. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
3. BACKFILL MAINTAINING 8" (6" MIN.) BETWEEN FINISHED GRADE AND SIDING UNLESS OTHERWISE NOTED.
4. THIS SITE LIES IN FEMA FLOOD ZONE X (320010084F). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
5. ANY RETAINED HEIGHTS INDICATED ARE FROM SURFACE TO SURFACE UNLESS OTHERWISE NOTED. REFERENCE APPLICABLE STRUCTURAL/ARCHITECTURAL DESIGN BY OTHERS FOR DESIGN AND DETAIL.
6. UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
7. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL OBTAIN & REVIEW THE SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS PREPARED BY AXION GEOTECHNICAL.
8. PRIOR TO THE START OF ANY GRADING OPERATIONS, THE AREAS TO REMAIN UNDISTURBED SHALL BE PROTECTED WITH APPROPRIATE FENCING. SHOULD THE PROPOSED GRADING IMPACT MORE THAN 1 ACRE, A NOTICE OF INTENT SHALL BE FILED WITH THE NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
9. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. GRADING SHALL BE DONE IN A MANNER TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
10. ALL GRADING WITHIN STRUCTURAL AREAS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
11. AREAS TO BE GRADED SHALL BE CLEARED OF ALL SURFACE VEGETATION AND DEBRIS TO BE DISPOSED OF IN CONFORMANCE WITH NEVADA DIVISION OF ENVIRONMENTAL PROTECTION AGENCY (BMP'S) REGULATIONS OR PLACED IN APPROVED NON-STRUCTURAL FILL AREAS IF SHOWN ON GRADING PLANS OR APPROVED BY THE PROJECT MANAGER.
12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING. NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DISCHARGE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS. STORM RUNOFF FROM THE CONSTRUCTION AREA SHALL BE CONTROLLED AT ALL TIMES TO PREVENT THE TRANSPORT OF SEDIMENT.
13. IT IS RECOMMENDED THAT ALL DRAINAGE IMPROVEMENTS BE INSTALLED AS EARLY IN THE CONSTRUCTION PROCESS AS FEASIBLE IN ORDER TO PROTECT THE PROJECT THROUGHOUT THE CONSTRUCTION PROCESS.
14. THE CONTRACTOR SHALL ELIMINATE ALL AREAS SUBJECT TO MOSQUITO BREEDING WITHIN THE DISTURBED AREA.
15. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
16. ADD 4600' TO ALL ELEVATIONS.

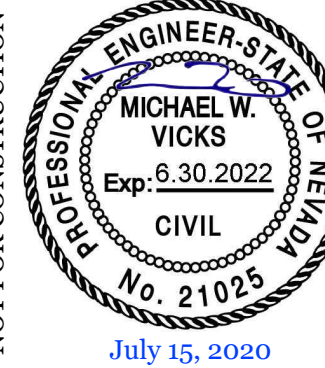
EARTHWORK ANALYSIS	
SITE AREA	5.5 AC
SITE DISTURBANCE	4.5 AC
PROPOSED CUT	2,600 YD ³
PROPOSED FILL	5,400 YD ³
NET EARTHWORK	2,800 YD ³ FILL
THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.	



Emerson Cottages
Tentative Subdivision Map
Grading Plan

Emerson Drive
APN: 002-751-07
Carson City, Nevada

Project # 19.023
Drawn HBA
Checked MWV
Date 7.15.2020
Revisions



UTILITY

PROPOSED UTILITY LINE W. DESCRIPTION

(UTILITY)

EXISTING UTILITY LINE W. DESCRIPTION

MAH HOLE W. DESCRIPTION
(EXISTING/PROPOSED)

CLEANOUT
(EXISTING/PROPOSED)

CATCH BASIN/DROP INLET

YARD DRAIN

GRADE BREAK

4900

PROPOSED CONTOUR LINE

4900

EXISTING CONTOUR LINE

INLET PROTECTION (DP-3)

FIBER ROLL (SC-1)

SILT FENCE (SC-5)

CONSTRUCTION ENTRANCE (SC-8)

REVEGETATION (EC-8)

RIPRAP (EC-7)

SOLID WASTE MANAGEMENT (GM-3)

STREET SURFACE CLEANING (GM-5)

VEHICLE & EQUIPMENT CLEANING (GM-7)

VEHICLE & EQUIPMENT FUELING (GM-8)

CONCRETE WASHOUT (GM-9)

MATERIAL DELIVERY & STORAGE (GM-10)

SANITARY WASTE MANAGEMENT (GM-14)

FLOW DIRECTION ARROW

(FG:XX.XX)

SPOT ELEVATION
(EXISTING) ~ PROPOSED

DRAINAGE LEGEND

- DRAINAGE & EROSION CONTROL NOTES
1.

THIS SITE LIES IN FEMA FLOOD ZONE X (320010084F). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.

2.

THE CONTRACTOR SHALL REFER TO STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK FOR ALL BEST MANAGEMENT PRACTICES (BMP's) TO BE UTILIZED DURING CONSTRUCTION.

3.

ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

4.

THE EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS IN ORDER TO MAINTAIN COMPLIANCE WITH ALL STATE AND LOCAL REQUIREMENTS.

5.

PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.

6.

STABILIZE THE CONSTRUCTION ENTRANCE.

7.

ADD 4600' TO ALL ELEVATIONS.

- STANDARD BMP NOTES
1.

THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, CARSON CITY RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.

2.

ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.

3.

TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000 (SECTION III.A.5).

4.

AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP's WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITION OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, (SECTION III.A.11-12).

5.

ACCUMULATED SEDIMENT IN BMP's SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT FORECASTED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

- BIORETENTION BASIN NOTES
1.

THE ONSITE DETENTION PONDS ARE LOCATED ON PRIVATELY OWNED PROPERTY. IT WILL BE THE PROPERTY OWNER'S RESPONSIBILITY TO PROPERLY MAINTAIN THE PONDS AND FOLLOW THE MAINTENANCE SCHEDULE BELOW.

2.

PROVIDE INFILTRATION TRENCH IN THE LOW FLOW SWALE OF EACH DETENTION POND.

3.

MAX SIDE SLOPE SHALL BE 3:1 AND DISTURBED SLOPES SHALL BE STABILIZED WITHIN 1 WEEK OF CONSTRUCTION.

4.

THE BASINS SHALL BE INSPECTED ANNUALLY, AND FOLLOWING ANY MAJOR STORM EVENT.

5.

DEBRIS SHALL BE PERIODICALLY REMOVED AND ANY VEGETATION MAINTAINED.

6.

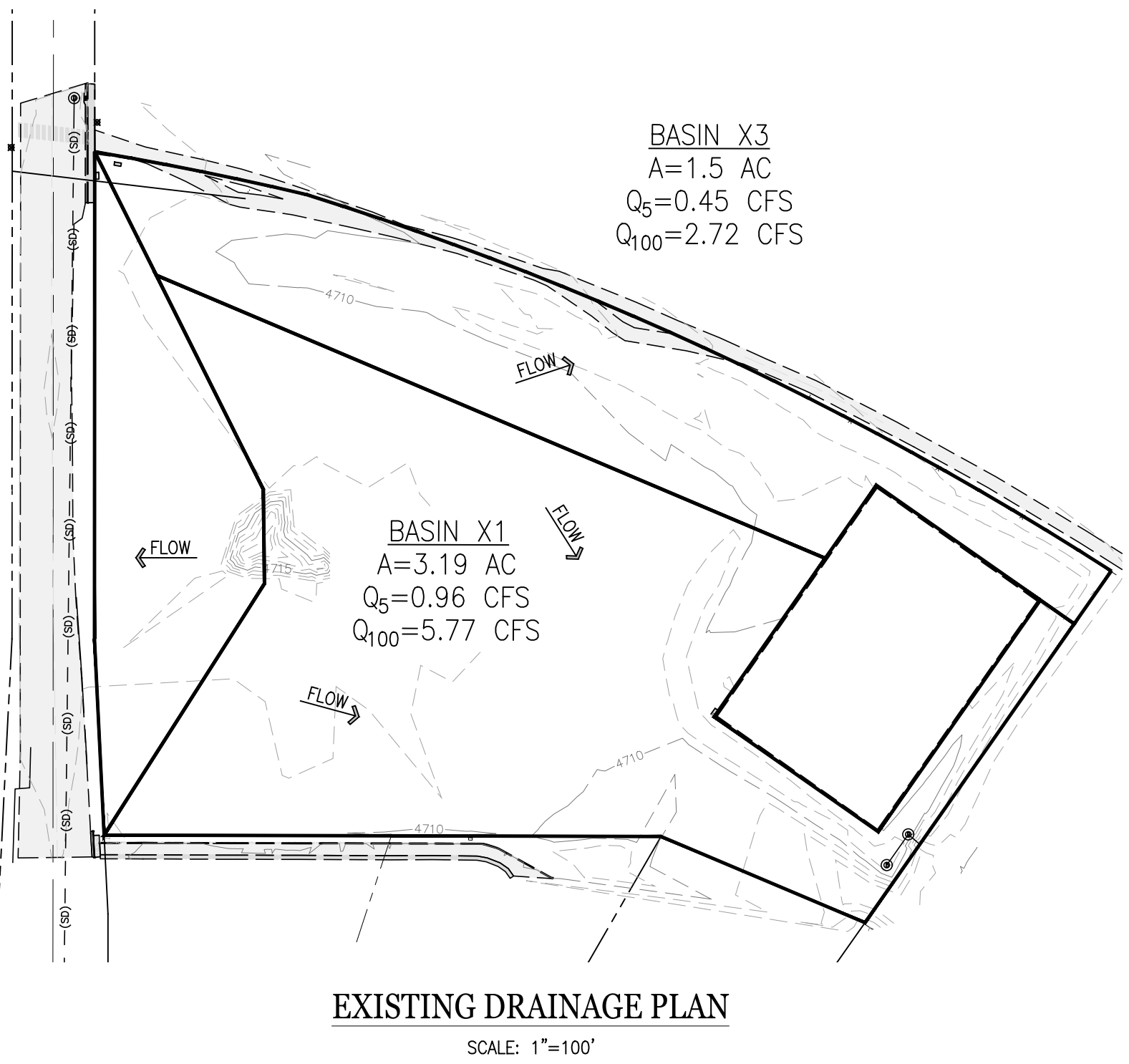
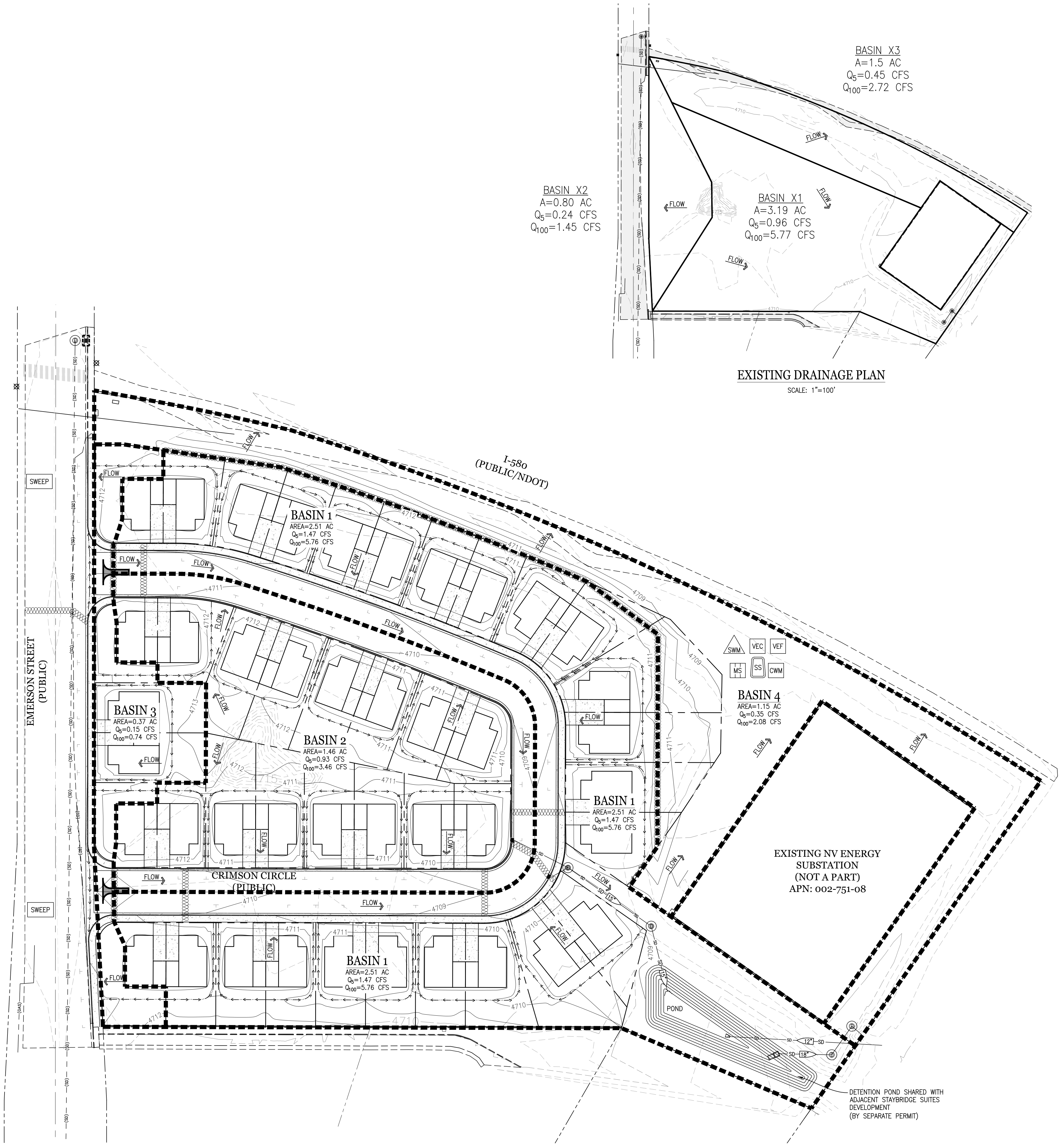
IF THE BASIN DOES NOT FULLY INFILTRATE WITHIN 7, DAYS, THE FILTER MEDIA SHALL BE REPLACED.

7.

EVERY 5-10 YEARS THE AREA SHOULD BE TILLED, FINE MATERIALS REMOVED AND THE BASE REGARDED TO MAINTAIN LONG TERM VIABILITY OF THE BASIN.

8.

IF A HAZARDOUS MATERIALS SPILL OCCURS AND THE SOILS BECOME CONTAMINATED, THE AFFECTED AREAS SHOULD BE REMOVED IMMEDIATELY AND APPROPRIATE SOILS AND MATERIALS REPLACES AS SOON AS POSSIBLE.



M

MONTE VISTA CONSULTING

575 E. Plumb Lane #101
Reno, NV 89502
775.636.7905
montevistaconsulting.com

NORTH

Emerson Cottages

Tentative Subdivision Map

Drainage & Erosion Control Plan

Emerson Drive
APN: 002-751-07
Carson City, Nevada

Project #

19.023

Drawn

HBA

Checked

MWV

Date

7.15.2020

Revisions

△

FOR TENTATIVE MAP ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER-STATE OF NEVADA

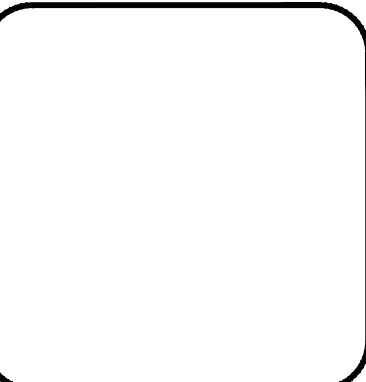
MICHAEL W. VICKS

Exp. 6.30.2022

CIVIL

No. 21025

July 15, 2020



C5.0

5 of 5

Heather Ferris

From: John Krmpotic <johnk@klsdesigngroup.com>
Sent: Thursday, August 13, 2020 4:49 PM
To: Heather Ferris
Cc: Winkel, Robert A.; John Foley - Durastone (jfoley@paradisonv.com)
Subject: Emerson Cottages - 42 lot Tentative Map (Volunteer Condition of Approval)

Follow Up Flag: Follow up
Flag Status: Completed

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

Heather, here is a draft condition of approval for the 42-lot Tentative Map on behalf of the applicant:

Per the condition volunteered by the applicant at the public hearing, prior to approval of the final subdivision map, the developer shall provide the City with a check equal to the cost of a slurry seal of the internal public roads (square footage of the asphalt section of the road multiplied by the price per square foot that Carson City has negotiated with its seasonal provider) to the satisfaction of the public works director.

Let me know if you have any questions.

Thank you

John F. Krmpotic, AICP
KLS Planning & Design
775 857 7710 (cell)



1 East 1st Street, Suite 1400
Reno, NV 89501 | 775-852-7606

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From: [Dave Ruben](#)
To: [Michael Vicks](#)
Cc: [John Krmpotic](#); [Heather Ferris](#); [Hope Sullivan](#)
Subject: RE: Emerson Drive Cottages - Alternate Means & Methods Request
Date: Monday, January 6, 2020 9:04:58 AM

Michael, thanks for the submittal. CCFD approves the request. Heather, can you please add this to the project file?

Thanks

Dave Ruben

Battalion Chief/Fire Marshal
Carson City Fire Department
777 S. Stewart Street
Carson City, NV 89701
Direct 775-283-7153
Main 775-887-2210
FAX 775-887-2209

From: Michael Vicks [mailto:mike@montevistaconsulting.com]
Sent: Friday, January 3, 2020 12:24 PM
To: Dave Ruben
Cc: John Krmpotic; Heather Ferris; Hope Sullivan
Subject: Emerson Drive Cottages - Alternate Means & Methods Request

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

Good Afternoon Mr. Ruben,

Thanks again for your help with our project. Attached is our AM&M Request per our meeting yesterday. Please review and let me know if you have any questions or if there is anything else you would like us to add.

Thanks,
Michael Vicks, P.E.
775.636.7905
mike@montevistaconsulting.com
575 E. Plumb Lane, Suite 101
Reno, NV 89502





Carson City
Community Development Department
108 E. Proctor Street
Carson City, NV 89701

January 3, 2020

RE: Emerson Drive Cottages – Alternate Means & Methods of Fire Protection Request

The Emerson Drive Cottages Subdivision is located on Emerson Drive, north of College Parkway (APN: 002-751-07). Emerson Drive is under Carson City jurisdiction and is classified as a local street in the vicinity of the project. The site is currently undeveloped. The proposed subdivision will include 37 new single-family homes and a single looped street, Crimson Circle, which will be offered for dedication to Carson City. The subdivision proposes two connections to Emerson Drive in accordance with Carson City Design requirements, however, based on the geometric configuration of the lot, it is not possible to locate these access roads in accordance with the 2018 International Fire Code remoteness requirements. Strict conformance with the code would require 307 feet of separation between the two access roads. The proposed design provides 248 feet between the centerlines of the two proposed access roads. As an alternate means and methods of protection we propose to install additional fire hydrants throughout the development. The attached exhibit identifies the approximate location of (4) proposed fire hydrants to serve the proposed development, two of which will be on Emerson Drive and available to serve adjacent development as well. Final locations will be confirmed in association with the Final Subdivision Map and Site Improvement Plans. Thank you in advance for your consideration and we would like to formally request approval of this proposal as alternate means and methods of fire protection for this proposed subdivision.

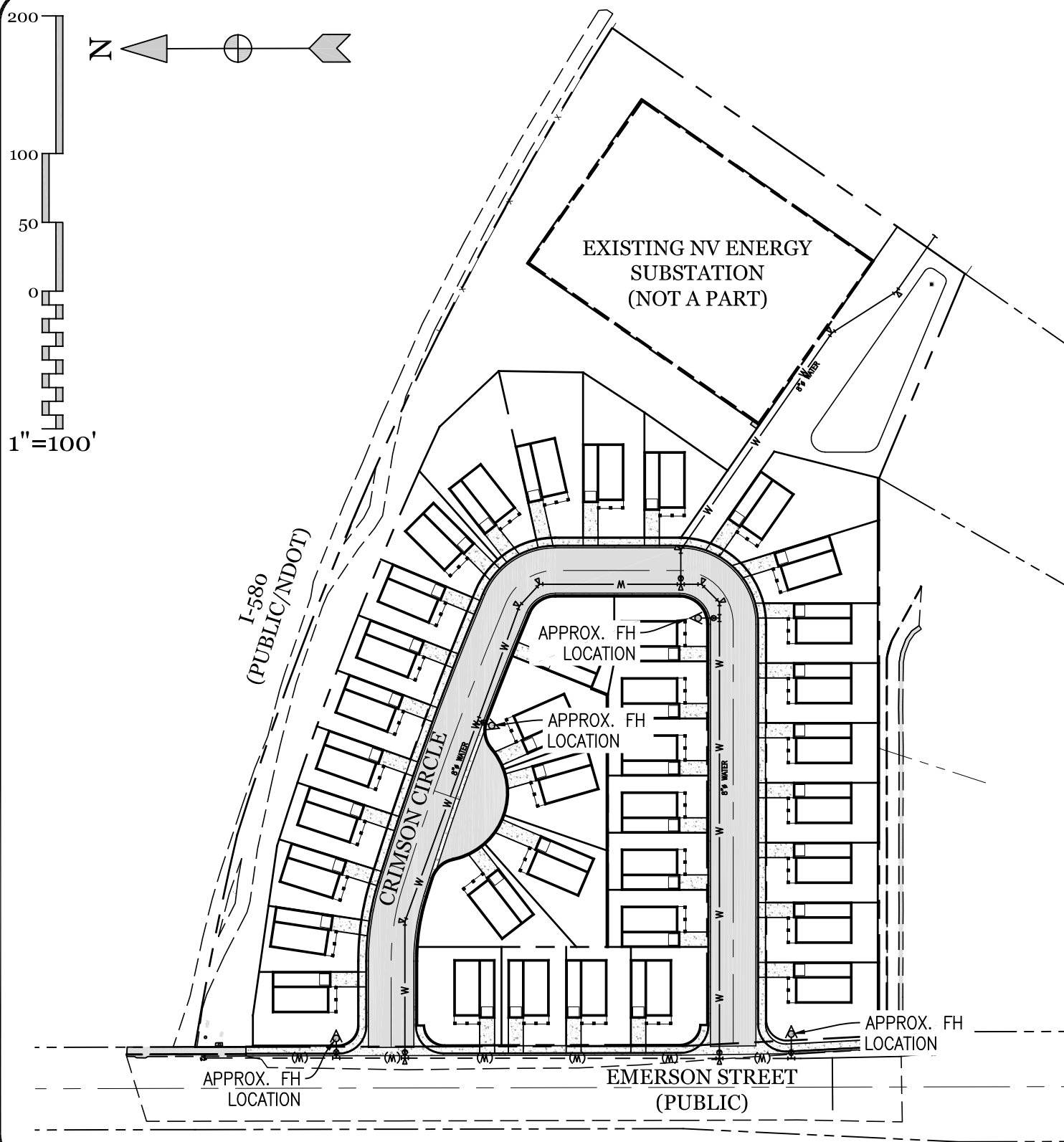
Please contact Monte Vista Consulting if you have any questions or if there is anything else I can help with.

Sincerely,
Monte Vista Consulting



Michael Vicks, P.E.
Principal

1.3.2020



Emerson Drive Cottages

Tentative Subdivision Map

APN: 002-751-07

Carson City, Nevada

Fire Hydrant Exhibit



575 E. Plumb Lane, Suite 101, Reno, NV 89502
775.636.7905 montevistaconsulting.com