

## STAFF REPORT FOR PLANNING COMMISSION MEETING OF OCTOBER 28, 2020

FILE NO: LU-2020-0038

AGENDA ITEM: E.4

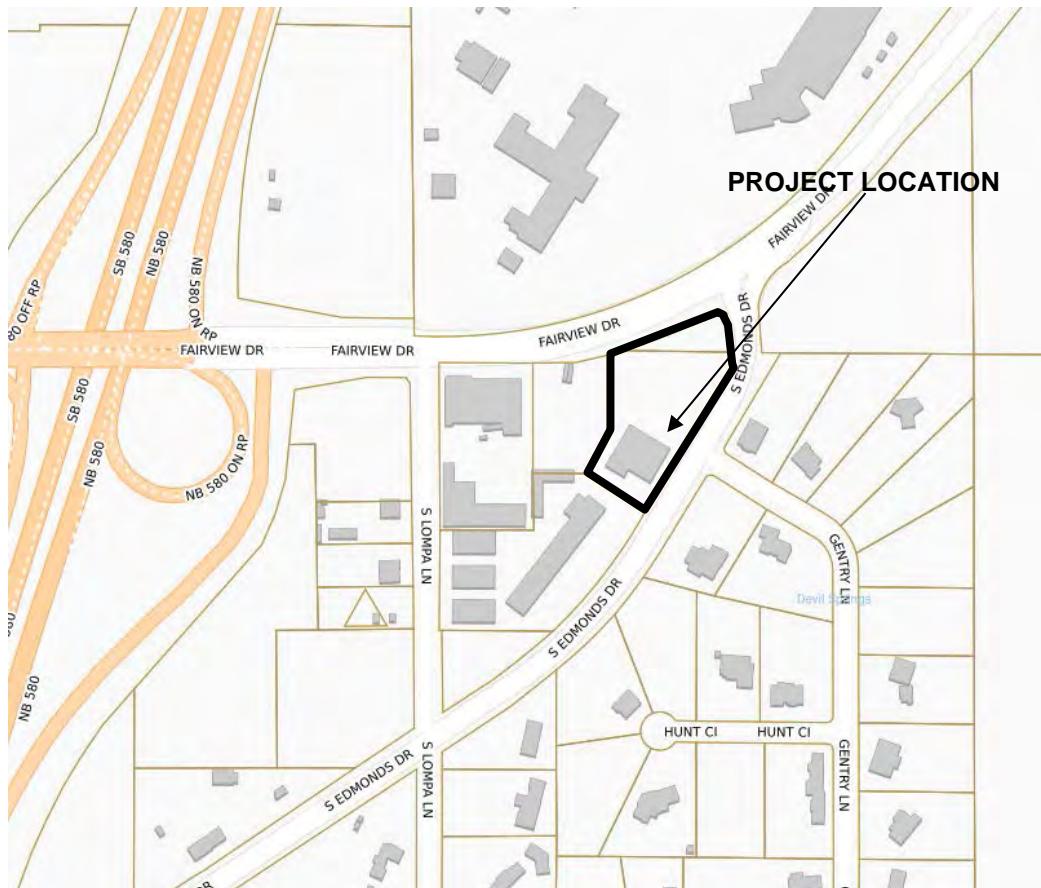
STAFF CONTACT: Heather Ferris, Associate Planner

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a modification to Special Use Permit (SUP-17-047) to allow for an 8000 square foot addition to an autobody repair facility, on property zoned Limited Industrial (LI), located at 2016 South Edmunds Drive, APNs: 010-063-03, & -04. (Heather Ferris, [h ferris@carson.org](mailto:h ferris@carson.org))

**STAFF SUMMARY:** The special use permit for an auto body repair facility was approved by the Planning Commission at its meeting of May 24, 2017. The applicant is seeking to add an 8000 square foot addition on the building. As auto body repair is a conditional use in the Limited Industrial zoning district, the use can only be established subject to the approval of a special use permit, and the modification is also subject to a special use permit. The Planning Commission is authorized to approve a Special Use Permit.

**PROPOSED MOTION:** "I move to approve Special Use Permit LU-2020-0038 based on the findings and subject to the conditions of approval contained in the staff report."

### VICINITY MAP:



### RECOMMENDED CONDITIONS OF APPROVAL:

*Note: The base language in these conditions is the language from the conditions of approval approved*

on May 24, 2017 with SUP-17-047. Conditions that are code requirements have been stricken as they are required to be met and not part of the discretionary decision. Language proposed to be added appears in bold with an underline. Language proposed to be deleted appears with a strikethrough.

1. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The use for which this permit is approved shall commence within 12 months of the date of final approval. A single, one-year extension of time may be requested in writing to the Planning Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.
5. **The applicant shall submit details of any new exterior lighting with the building permit.**  
Any new exterior lighting shall be directed downward, not outward or upward, and shall be installed to prevent spillover lighting onto adjoining properties and glare to the sky. The height of new light standards, light poles and wall pack lighting when adjacent to residential zones is limited. All new exterior lighting shall comply with the requirements listed in Development Standards Division 1.3 Lighting Standards.
6. All vehicles must be stored within an enclosed sight obscured area. Slats in the chain link fencing must be maintained and replaced if missing. All existing landscaping on the exterior and interior of the site must be maintained.
7. All construction and improvements must meet the requirements of Carson City Standard Details.
8. Backflow **prevention standards must be met.** preventers will be required for the irrigation and domestic water lines.
9. The septic system must be abandoned, and the property connected to the sanitary sewer main in South Edmonds Drive, utilizing a sand/oil separator and a pump system with a backup pump and high-water alarm.
10. **The erosion adjacent to Fairview Drive on the property frontage must be stabilized.**
11. **All driving and parking surfaces must be paved.**
12. **A water main analysis must be submitted with the building permit to ensure that sufficient flow and pressure will be available for the fire line.**
13. Paint booths using flammable liquids must have a fixed fire suppression installed.
14. **A landscape and irrigation plan is required to be submitted with the building permit for review and approval by the Planning Division. The plans must be consistent with the requirements of Division 3 of Carson City Development Standards.**

10. The addresses for parcels 010-063-03 and 04, shown as 2441 and 2445 Fairview Drive will be changed from Fairview Drive to South Edmonds Drive, as the business openings face this direction.
11. The entrance to 2445 Fairview Drive must be improved with a driveway approach per CCDS 12.12.
12. Any areas used for parking must have a hard surface such as asphalt, concrete, or pavers per CCDS 2.3.3.
13. A 20-foot wide water line easement, centered on the water main, must be recorded to provide access to the water main that runs through 2445 Fairview Drive, per CCDS 18.2.
14. No wastes from the facility will be allowed to enter the parking lot or storm sewer system, per CCMC 12.19.070, 12.19.080, and 12.19.090.
15. This facility will be required to obtain a Waste Water Discharge Permit before being allowed to discharge any process waste to the sanitary sewer, per CCMC 12.06.030, 040, and 050.
16. Washing of vehicles is not allowed outside unless a wash pad is installed. Wash pad shall connect properly sized to sand and oil interceptor. Wash pad is not to exceed 600 square surface feet unless covered and shall be bermed to prevent excessive water from entering the sanitary sewer, per CCMC 12.06.210, and 12.19.090
17. A properly sized sand oil interceptor capturing all process wastes will also be required, per CCMC 12.06.245, and Appendix 18 Division 15.6 and 15.7. A single sand oil interceptor is allowed to be used for both facility and outside wash pad.
18. If greater than 160 square surface feet of material of the existing building would be disturbed, the following items would be required per CCMC 12.12.065:
  - a. An asbestos assessment done on all applicable materials being disturbed.
  - b. Submitted of Carson City Acknowledgement of Asbestos Assessment.
  - c. Depending on results of asbestos assessment an EPA 10-day notification may also be required.
19. Facility will be required to provide Secondary containment for chemicals used at this facility. Please contact ECA for requirements. Please note if chemicals are to be stored outside the containment area and will need to be covered, per CCMC 12.06.248.
20. The project must comply with the adopted 2012 International Fire Code (IFC) and Northern Nevada Fire Code Amendments as adopted by Carson City.
21. Paint booths using flammable liquids must have a fixed fire suppression installed.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits); 18.04.145 (Limited Industrial); 18.04.195 (Non-residential Districts Intensity and Dimensional Standards).

**MASTER PLAN DESIGNATION:** Community / Regional Commercial

**PRESENT ZONING:** Limited Industrial

**KEY ISSUES:** Will the proposed expansion of the auto body repair facility have an adverse impact on

the adjacent neighborhood and be in keeping with the standards of the Carson City Municipal Code?

#### **SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: Public / Nevada Army National Guard facility  
EAST: Single-family 1 acre / single family residences  
SOUTH: Limited Industrial / various industrial uses & mini warehouse  
WEST: Limited Industrial / warehouse & distribution, storage

#### **ENVIRONMENTAL INFORMATION:**

1. FLOOD ZONE: X (areas of minimal flooding)
2. EARTHQUAKE FAULT: Beyond 500 feet, Zone II (moderate severity)
3. SLOPE/DRAINAGE: Flat

#### **SITE DEVELOPMENT INFORMATION:**

1. LOT SIZE: 1.96 acres
2. EXISTING STRUCTURE SIZE: 8,750 square feet
3. PROPOSED ADDITION: 8,000 square feet
4. PROPOSED STRUCTURE HEIGHT: 18 feet 2.5 inches (approximately)
5. REQUIRED SETBACKS: 30 feet from front; 10 feet from side; 10 feet from street side; and 30 feet from rear. As proposed, the addition meets these setbacks.
6. VARIANCES REQUESTED: None

#### **DISCUSSION:**

On May 24, 2017 the Planning Commission approved a Special Use Permit (SUP-17-047) for an auto body repair facility in the existing 8,750 square foot building. The applicant is seeking to modify the Special Use Permit in order to construct an 8,000 square foot addition. This addition will consist only of shop space. The paint booth, office space, and restrooms will remain in the existing portion of the facility.

Auto repair and maintenance work is an allowed use in the Limited Industrial zoning district; however, auto body repair, is allowed subject to first obtaining a Special Use Permit. The addition to the existing auto body facility was not included in the original Special Use Permit, therefore, an amendment to the Special Use Permit is required. Per the provisions of 18.02.080, the Planning Commission has the authority to approve a Special Use Permit or modification to a Special Use Permit upon making each of the seven required findings in the affirmative.

**PUBLIC COMMENTS:** Public notices were mailed to 31 property owners within 600 feet of the subject site on October 9, 2020. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on October 28, 2020 depending on the date of submission of the comments to the Planning Department.

#### **OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:**

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

#### **Engineering Division:**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all applicable Carson City Development Standards and Standard Details including, but not limited to, the following:
  - All driving and parking surfaces must be paved.

- The erosion adjacent to Fairview Drive on the property frontage must be stabilized.
- Backflow prevention standards must be met.
- A water main analysis must be submitted with the building permit to ensure that sufficient flow and pressure will be available for the fire line.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation if conditions are met.

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project as long as the above conditions of approval are met.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

**Fire Department:**

Project must comply with the International Fire Code and Northern Nevada Fire Code as adopted by Carson City.

Project must comply with MPR 2020-0041 comments.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. Will be consistent with the master plan elements.**

The subject property is designated as Community/Regional Commercial. The primary uses associated with this designation are a mix of retail and commercial services in a concentrated and unified center that serves the local community. The zoning for the site is Limited Industrial. The proposed use is an expansion of an existing auto body repair facility. With the proposed addition, the use will continue to

be consistent with the master plan designation.

**2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

The subject parcel is zoned Limited Industrial. The Limited Industrial zoning of this area continues west and south along South Edmonds Drive and Fairview Drive. The Limited Industrial zoned properties in this area have been used for various commercial and industrial uses. The proposed expansion of the existing auto body repair facility, including painting, is compatible with the industrial uses in this zoning district. All work, including painting, currently takes place inside the building. This will continue with the expansion of the shop building and will continue to serve to mitigate noise, vibrations, fumes, odors, dust, glare, and physical activity. The site has a raised masonry wall topped with a six-foot-tall chain link fence with slats which will continue to provide mitigation of the appearance of the site from neighboring properties and the roadway. The existing SUP (SUP-17-047) requires the wall and fence be maintained in good repair along with the perimeter landscaping. Staff is recommending this condition continue forward with the requested amendment. As designed and conditioned, the addition to the existing auto body repair facility will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

The proposed use is an expansion of an existing auto body repair facility. The existing infrastructure and proposed drive isles are sufficient to provide safe access and circulation with the implementation of the requirement for all driving and parking surfaces to be paved. The proposed expansion will not result in a substantial increase in traffic beyond the current use and will therefore have little or no detrimental effect on vehicular or pedestrian traffic.

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The site is currently served by public services. A water main analysis is required with this amendment to the Special Use Permit to ensure that water pressures are sufficient for the fire line. Additionally, the Fire Department notes that the addition will be required to meet the requirements of the 2018 International Fire Code and the northern Nevada Fire Code amendments as adopted by Carson City, including fire sprinklers and fire alarms. As proposed and conditioned, the expansion of the existing auto body repair facility will not overburden existing public services and facilities.

**5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

An auto body repair facility with painting is a conditional use in the Limited Industrial zoning district. The proposed addition complies with the required setbacks and height limitations of the LI zoning district. The building will require a building permit and must comply with all applicable City standards.

**6. Will not be detrimental to the public health, safety, convenience and welfare.**

The project includes the expansion of an existing auto body repair facility. Existing conditions of approval for SUP-17-047 will remain in place to mitigate any impacts from the operation, including, but not limited to, secondary containment requirements for chemicals. As proposed and conditioned, the

expansion of the facility will not be detrimental to the public health, safety, convenience and welfare.

**7. Will not result in material damage or prejudice to other property in the vicinity.**

The project is an expansion of an existing use. The facility is currently behind an existing masonry wall with a six-foot-tall chain link fence with slats which is required to be maintained along with the existing perimeter landscaping to help to mitigate any visual impacts to neighboring properties and the roadway. Additionally, all outdoor lighting will be required to meet the requirements of Division 1.3 of the Carson City Development Standards to ensure that lighting is not directed upward or outward into the night sky or neighboring properties. Moreover, all work will be conducted within the building to serve to mitigate noise, vibrations, fumes, odors, dust, glare, and physical activity. As proposed and conditioned, the expansion of the existing auto body repair facility will not result in material damage or prejudice to the other property in the vicinity.

Attachments:

Application (LU-2020-0038)

**Carson City Planning Division  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: [planning@carson.org](mailto:planning@carson.org)**

## FILE #

**APPLICANT** **PHONE #**

**MAILING ADDRESS, CITY, STATE, ZIP**

**EMAIL ADDRESS**

**PROPERTY OWNER** **PHONE #**

MAILING ADDRESS, CITY, STATE, ZIP

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**EMAIL ADDRESS**

APPLICANT AGENT/REPRESENTATIVE **PHONE #**

MAILING ADDRESS CITY STATE ZIP

EMAIL ADDRESS

### Project's Master Plan Designation

## Project's Cu

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

## PROPERTY OWNER'S AFFIDAVIT

I, \_\_\_\_\_, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

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## Address

Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA  
COUNTY

)

On \_\_\_\_\_, 2\_\_\_\_\_, \_\_\_\_\_, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public

**NOTE:** If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

# MODIFICATION TO SPECIAL USE PERMIT 17-047

## for

### **Battle Born Autobody LLC**

**2016 South Edmonds Drive  
Carson City, Nevada**

**Assessor Parcel Number  
010-063-03 & 04**

**Section 21, T15N, R20E, MDB&M**

*Prepared for:*

**Battle Born Autobody LLC  
2016 South Edmonds Drive  
Carson City, Nevada 89701  
Phone (775) 301-6500**

*Prepared by:*



**MORRIS ENGINEERING, LTD.**  
2865 MAC DRIVE, MINDEN, NV 89423  
PHONE: (775) 392-1384  
WWW.MORRIS-ENGR.COM

**September 2020  
Job No. 200802**

## **SUMMARY**

Battle Born Autobody is requesting a modification to their existing Special Use Permit (SUP 17-047) to allow expanding their existing auto body repair facility located at 2016 South Edmonds Drive (APNs 010-063-03 and -04). The existing 8750SF metal building includes offices, repair shop space with four service bays, mezzanine, storage, covered parking on the south and a cover on the north. The building was constructed in 1989. The modification would allow Battle Born Autobody to increase their work area by 8000SF. The existing building and addition occupancy type will remain a B (Business) and a S-1 (motor vehicle repair/moderate hazard storage). The parcels are located to the south of Fairview Drive and west of South Edmonds Drive. A map depicting its location is attached as an exhibit (Figure 1). The Carson City Freeway is ¼ mile west of the site with north and southbound ramps servicing Fairview Drive.

The site is currently shown on the Carson City Master Plan as Community-Regional Commercial and are bordered to the north by Fairview Drive and the Army National Guard Armory, to the east by South Edmonds Drive, to the west by Capital Beverages and to the south by various industrial type uses (auto body repair, heating and air, plumbing and sheet metal). The adjacent single family 1-acre subdivision to the east, Sierra View Estates, was constructed after 1990 according the Carson City Assessor's records.

Battle Born Autobody currently leases the building for its operations. The existing exterior elevations can be seen in photos in Figures 5-8. The proposed site plan, exterior elevations and floor plans can be seen on plan sheets C1, A1 & A2, respectively.

Battle Born Autobody retained Morris Engineering, Ltd, to prepare this modification to their Special Use Permit. This modification to the Special Use Permit is being submitted to the City to allow expansion of the auto body as a conditional use for the land designated Limited Industrial (LI). The request for a Special Use Permit will be pursuant to the Carson City Municipal Code, Title 18 - Zoning, Chapter 18.02 - Administrative Provisions, Section 18.02.080 – Special Use Permit (Conditional Uses).

**Questionnaire Supporting the Application  
for a  
SPECIAL USE PERMIT**

**I How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?**

**CHAPTER 3: A BALANCED LAND USE PATTERN**

**Theme:** The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Does the proposed development meet the Growth Management Ordinance (1.1d, Municipal Code 18.12)?

Not Applicable (not a residential development)

Does the proposed development use sustainable building materials and construction techniques to promote water and energy conservation (1.1e,f)?

The proposed development utilizes conventional building techniques for metal building construction and on-site improvements.

Is the proposed development located on priority infill development area (1.2a)?

No.

Does the proposed development provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

Not Applicable (not a new development)

Does the proposed development protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

The site does not contain mature trees. The proposed building expansion will be placed in the rear vehicle storage area that is not currently landscaped. New landscaping will be installed to meet the city requirements.

Is the proposed development at adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?

The existing development is not immediately adjacent to county boundaries or public lands.

In identified Mixed-Use areas, does the proposed development promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?

This project is not located in a mixed-use area.

Does the proposed development meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?

Yes, the proposed addition meets the adopted standards for setbacks.

Does the proposed development protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?

There are not changes to the development affecting environmentally sensitive area.

Is the proposed development sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?

The property is mapped as a Zone "X" flood area, which is defined as an area determined to be outside the 500-year flood plain (.2% annual reoccurrence). See FEMA Flood Map exhibit (Figure 14). Since the facility is existing, no site grading is proposed or required.

The site is located in an area designated as having a moderate potential for shaking during earthquakes. Although there are no known geologic hazards located within the parcel, there is a Holocene fault shown on the earthquake hazards map that is nearly aligned with South Lompa Lane and is shown as being both indeterminate and approximately located. See Earthquake Hazard Map exhibit (Figure 13).

Does the proposed development provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?

The project is located southwest of the intersection of Fairview Drive and South Edmonds Drive. It is currently served by city water and sewer and provides access for both the Fire and Sheriff departments. There are water mains on both Fairview and South Edmonds Drive. The line on South Edmonds Drive services the parcels with a dual water meter located at the north end of the existing retaining wall where the parcels meet. The site is served by city sewer on South Edmonds Drive.

If located within an identified Specific Plan Area (SPA), does the proposed development meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

Not Applicable

## **CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES**

**Theme:** The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Does the proposed development provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?

No.

Is the proposed development consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

Not Applicable.

## **CHAPTER 5: ECONOMIC VITALITY**

**Theme:** The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base; include a broader range of retail services in targeted areas; and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Does the proposed development encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?

The auto body shop currently has a staff of 16 employees. Expanding the proposed facility will allow for a staff of up to 20-25 employees.

In addition, there will be a need for additional employment associated with the design and construction industries. This will also include a demand for the use of financing institutions, design professionals, construction contractors, and laborer forces necessary for tenant improvements.

Does the proposed development encourage the development of regional retail centers (5.2a)?

Not Applicable

Does the proposed development encourage reuse or redevelopment of underused retail spaces (5.2b)?

Not Applicable

Does the proposed development support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capital (5.4a)?

Not Applicable

Does the proposed development promote revitalization of the Downtown core (5.6a)?

Not Applicable

Does the proposed development incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

Not Applicable

## **CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS**

**Theme:** The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods; compact mixed-use activity centers; and a vibrant, pedestrian-friendly downtown.

Does the proposed development use durable, long-lasting building materials (6.1a)?

The existing building is a prefabricated metal building with metal siding and roof panels requiring minimal maintenance. The new 8000SF addition will match the existing construction and colors.

Does the proposed development promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?

The proposed addition will match the existing building style for industrial facilities.

Does the proposed development provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?

The addition will be oriented perpendicular to the existing building and landscaping will be provided around the site.

Does the proposed development provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?

Not Applicable – Existing development with matching addition

If located in an identified Mixed-Use Activity Center area, does the proposed development contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?

Not Applicable

If located Downtown, does the proposed development integrate an appropriate mix and density of uses (8.1a, e)?

Not Applicable

If located Downtown, does the proposed development include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?

Not Applicable

If located Downtown, does the proposed development incorporate appropriate public spaces, plazas and other amenities (8.1d)?

Not Applicable

Does the proposed development incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

Not Applicable

## **CHAPTER 7: A CONNECTED CITY**

**Theme:** The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities and sidewalks.

Does the proposed development promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?

The business is served by existing major travel corridors that could also support differing transit systems. The site is  $\frac{1}{4}$  mile from the Carson City Freeway (Figure 1).

Does the proposed development maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?

No changes are proposed to the existing roadway connections.

Does the proposed development provide for appropriate pathways through the development and the surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1 a, c)?

The proposed project is consistent with the Carson City Unified Pathways Master Plan (UPMP). The UPMP shows a bicycle lane along Fairview Drive that continues both east and west from this parcel and a shared roadway/bicycle facilities along South Edmonds Drive. At the intersection of Fairview Drive and South Edmonds Drive, an off-street paved, multiuse path extends northeast (Figure 15).

**II Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

A. Describe the general types of land uses and zoning designations adjoining your property:

DIRECTION	USE	ZONING
West	Industrial Business	Limited Industrial (LI)
North	Army National Guard Armory	Public (P)
East	Single Family Residences	Single Family 1-acre (SF1)
South	Industrial Business	Limited Industrial (LI)

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems such as noise, dust, odors, vibration, fumes, glare or physical activity, etc. with neighboring property owners. Will the project involve any uses that are not contained within the building? If yes, please describe. If not, state that all uses will be within a building. Explain how construction-generated dust (if any) will be controlled. Have other properties in your area obtained approval of similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.

The site already has a Special Use Permit for the conditional use of an Auto Body facility (SUP 17-047). We are asking for a modification to expand the building by 8000SF.

Most customers of the auto body shop will be passenger vehicles and pick-ups. Since the surrounding neighborhood is Limited Industrial and Public (Army National Guard Armory), exterior noises and physical activity typical of a autobody shop is not a probable concern.

The body preparation and painting activities will be performed inside the building. The shop uses a dust collection system to remove dust from body preparation and sanding. The paint booth and mixing room are self-contained systems with air filtration and fire suppression systems built-in. All paint materials are stored in

the mixing room in limited quantities satisfying the maximum allowable quantities set forth in the International Building and Fire Codes for an S-1 building occupancy (see Figure 18). Battle Born Autobody will continue to use PPG Waterborne Technology for the basecoat paint system. The paint uses latex resins has less odor and improved air quality over conventional solvent-based paint systems. Additionally, there is 75% less hazardous waste than solvent basecoats. The clearcoat system will still utilize solvent based products.

Examples of activities that may occur outside the building would be performing estimates on vehicles and storing customer vehicles being repaired. The site elevation is about 8-10 feet lower than South Edmonds drive and is separated at the east property boundary by a retaining wall with a chain-link fence with privacy slats. This existing wall acts as a buffer to the existing SF1A residential properties adjacent to the site (see Figures 9-12). The

C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

Battle Born Autobody occupies and operates the autobody business at the site. This project complies with the intent of limited industrial use in a regional application. Since the existing site and surrounding area is already on land designated limited industrial, it is consistent with the allowed uses of the parcel. This modification to the SUP is not expected to have a detrimental impact on the surrounding property or neighborhood in general.

D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/ height/placement) provided.

New outdoor lighting fixtures will be dark sky compliant mounted on the new building walls.

E. the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.

The existing site is already screened from public view on Fairview and South Edmonds Drive by a minimum 6' high chain-link fence with privacy slats. The right-of-way frontage along South Edmonds Drive contains some existing boulders, juniper trees and shrubs. New landscaping will be installed meeting Carson City design standards. Additional landscape screening will be installed along the Fairview Drive fence line.

F. Explain any short range and long range benefit to the people of Carson City that will occur if your project is approved.

The city will benefit from an improved facility and to provide employment for auto body technicians, estimators, and administrative staff.

### **III Will have little or no detrimental effect on vehicular or pedestrian traffic.?**

Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

There is almost no pedestrian traffic present on the South Edmonds Drive servicing the project. The site is currently accessed from South Edmonds Drive by a shared driveway on the south on and a secondary rear yard access on the northeast corner. South Edmonds Drive does not contain sidewalk, curb or gutters. No additional walkways or traffic lights will be necessary. The auto body shop traffic will be passenger vehicles, pickups and occasional tow trucks delivering damaged or undrivable vehicles.

### **IV Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**

A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population? How will your project affect the Sheriff's Office?

The project will have minimal, if any, impact on the school district. The project will not likely add to the student population. There is a potential for future partnership with the school district or college to provide vocational training to students who may pursue auto body repair as a trade.

B. How will your project effect police and fire protection?

This project is expected to have little to no effect on the Sheriff's Office or fire protection. The previous and proposed use at this facility are similar uses (service garages). There is an existing fire hydrant located on South Edmonds Drive approximately 40 feet from the existing building (See site plan Sheet C1). The existing building does not have an automatic fire sprinkler system (AFSS). The new expansion will require a new AFSS to be installed and retrofitted in the existing building. A new fire hydrant and fire department connection for the AFSS will be installed near the on the north end of the site. The existing paint booth and paint mixing room have a self-contained fire suppression system. All paint and clean up materials will be stored in the mixing room within maximum allowable quantities permitted under the building and fire codes for the S-1 occupancy. See the attached Hazmat Reporting Form for quantities of materials at their current location.

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C. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated?

The location of the proposed expansion will be located on an existing paved area and compacted surface. No additional drainage flows from the expansion is anticipated. The northwest corner of the site that drains to Fairview Drive will be lined with rock riprap to mitigate erosion.

D. Are the water supplies serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well?

This project will utilize the existing water service lateral servicing the parcel. The new addition will not require any upgrades to the water service. There is an existing dual meter (one domestic and one landscape) that services the 2016 South Edmonds Drive parcel located at the north-east corner, main parcel that is served by an existing 12" ACP water main. A larger 24" water main runs along South Edmonds Drive, but does not provide service to this parcel. There is a 12" steel water main that crosses the smaller property (2445 Fairview) and connects to the 12" ACP main. Please see attached Carson City Utilities Exhibit (Figure 16) for water main locations.

The water pressure is adequate at this location. No lines need replacing. The new automatic fire system service tap will be installed on the 12" ACP main.

The project is not served by a well.

E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system?

The domestic sewage produced on-site is currently pump into the Carson City sewer system. The water from the interior car wash area is processed in a sand/oil interceptor prior to entering the sewer system. No additional drains will be placed in the expansion. The existing interior car washing area continue to be utilized.

F. What kinds of road improvements are proposed or needed to accommodate your project? Have you spoken to Public Works or Regional Transportation road improvements?

The site is located approximately 1/4 mile east from the intersection of Fairview Drive and I-580 Freeway, the ability to serve the proposed auto body facility traffic needs is consistent with the Transportation Master Plan. No additional road improvements are proposed or necessary. The proposed use is predominately

limited to small passenger vehicles and pickups, and medium duty tow trucks delivering damaged or undrivable vehicles to the facility.

G. Indicate the source of the information that you are providing to support your conclusions and statements made in this packet (private engineer, Public Works, Regional Transportation, title report, or other sources).

This application package was prepared by Morris Engineering, Ltd. The primary source of information is the experience and knowledge we possess regarding Carson City and its planning and development requirements.

A Major Project Review application was submitted to Carson City (MPR-2020-0041). Building, Fire, Health, Engineering, Utility and Planning Departments provided comments regarding the necessity of drainage, erosion control, site grading, landscaping, screening, and fire protection on the parcels.

**V Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at [www.carson.org/planning](http://www.carson.org/planning).

*Pursuant to CCMC Section 18.04.145 – Limited Industrial (LI), The LI District is established to preserve and industrial district restricted to a use engaged in the assembly or manufacture from previously prepared materials, or finished products or parts, including processing, fabrication, assembly, treatment, packaging, incidental storage, sales, and distribution of such products, but excluding basic industrial processing. The Conditional Uses in the LI District which require approval of a Special Use Permit are auto body repair, painting, towing (vehicles must be stored within enclosed sight obscured area).*

As stated above, an auto body repair facility is a conditional use with the approval of a Special Use Permit in the Limited Industrial (LI) zoning district. The existing autobody facility and proposed expansion will meet the Site Development Standards (CCMC 18.04.195) for minimum area, building height and setbacks for a Limited Industrial zoning district.

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**VI Will not be detrimental to the public health, safety, convenience and welfare.**

Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

The general public is already benefiting from Battle Born Autobody's repair service at the subject site. The new expansion will provide a larger area for vehicle framework, body panel metal working and vehicle disassembly and reassembly. The service will not create any public health or safety issues.

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**VII Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**

Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

The existing building was constructed in 1989. The historic use of the facility was repair, maintenance and storage of heavy equipment and supplies related to the excavation businesses operated there. Battle Born Autobody has occupied the site since April 2018. The surrounding parcels in the same block as this site are in the Limited Industrial (LI) zoning district. There is an existing auto body shop in the adjoining parcel with the same zoning. These businesses are industrial in nature and would not be materially damaged as a result. The neighboring Single Family 1-acre (SF1A) development to the east was developed after 1990. Therefore, the current residents in this area are aware of the historic use of the existing site and should not see material damage or prejudice as a result of the proposed use.

If there is any other information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include this information.

Battle Born Autobody is seeking a modification to SUP 17-047 for their proposed building expansion. The expansion provides for a more efficient and desirable use of the land for the applicant.

**ACKNOWLEDGEMENT OF APPLICANT**

I certify that the foregoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

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Signature of Applicant

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Date

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Print Name

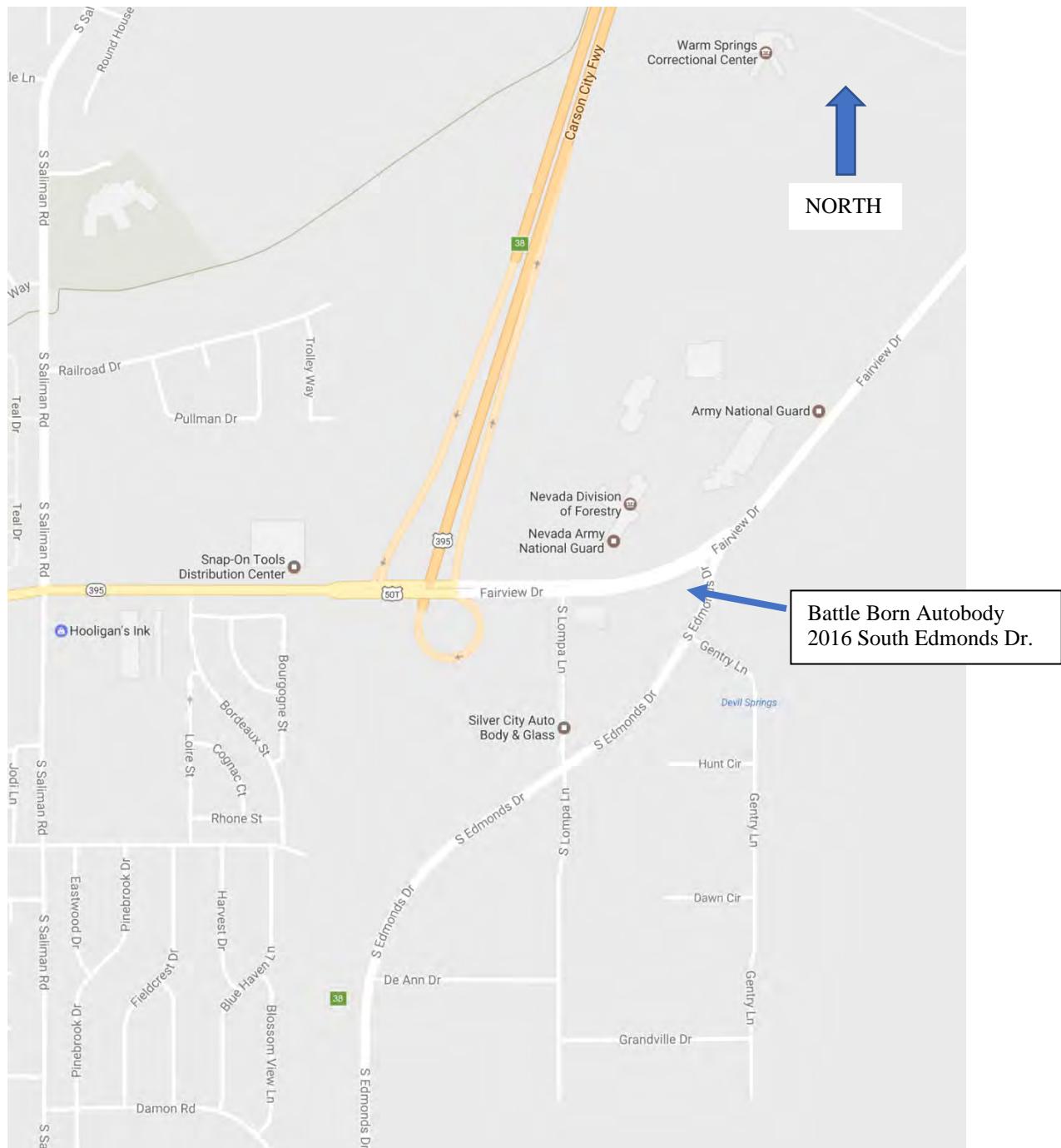


Figure 1- Vicinity Map

*S1/2 SECTION 21, T.15 N., R.20 E., M.D.B. & M.*

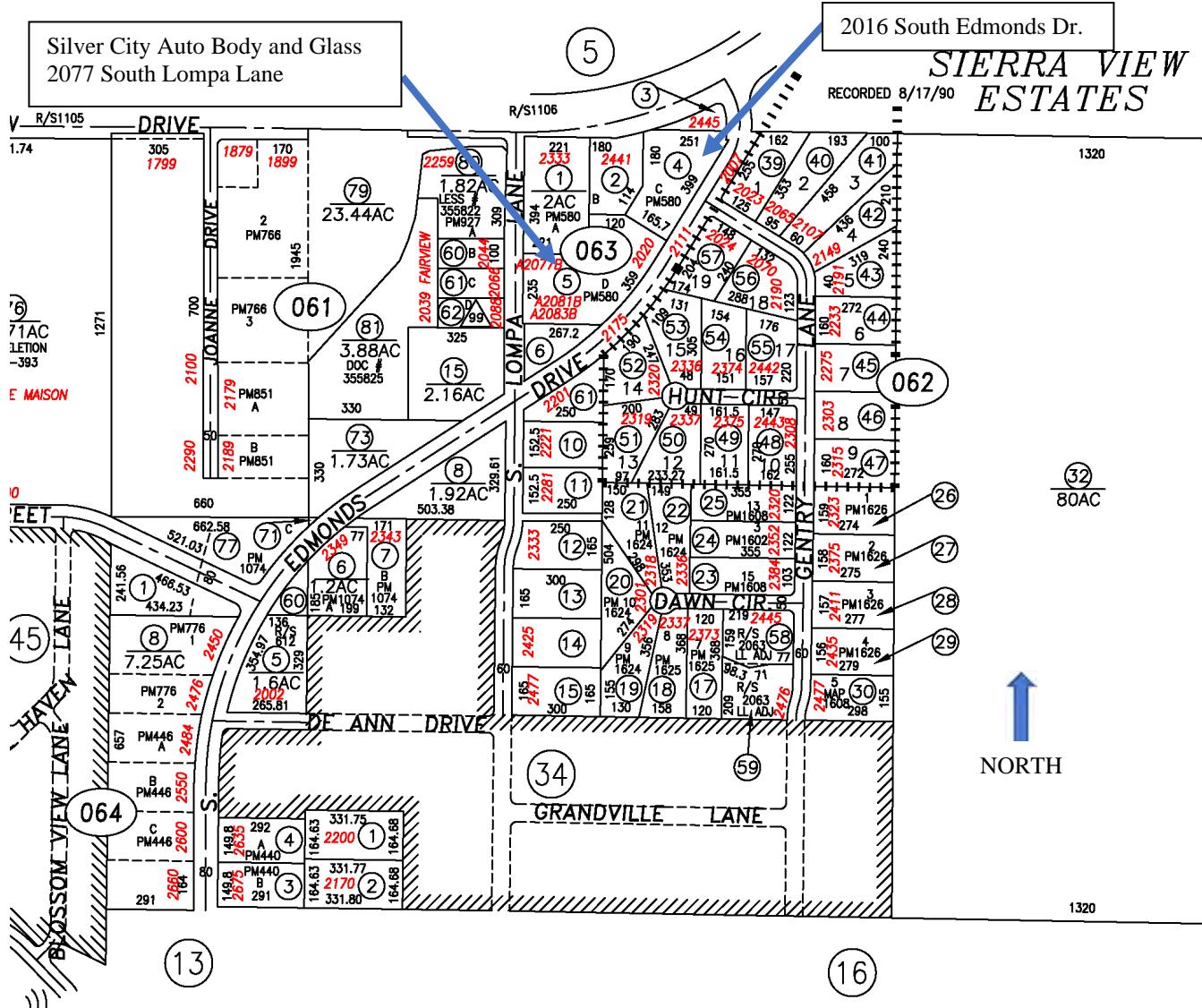


Figure 2 - Assessor's Parcel Map 10-06

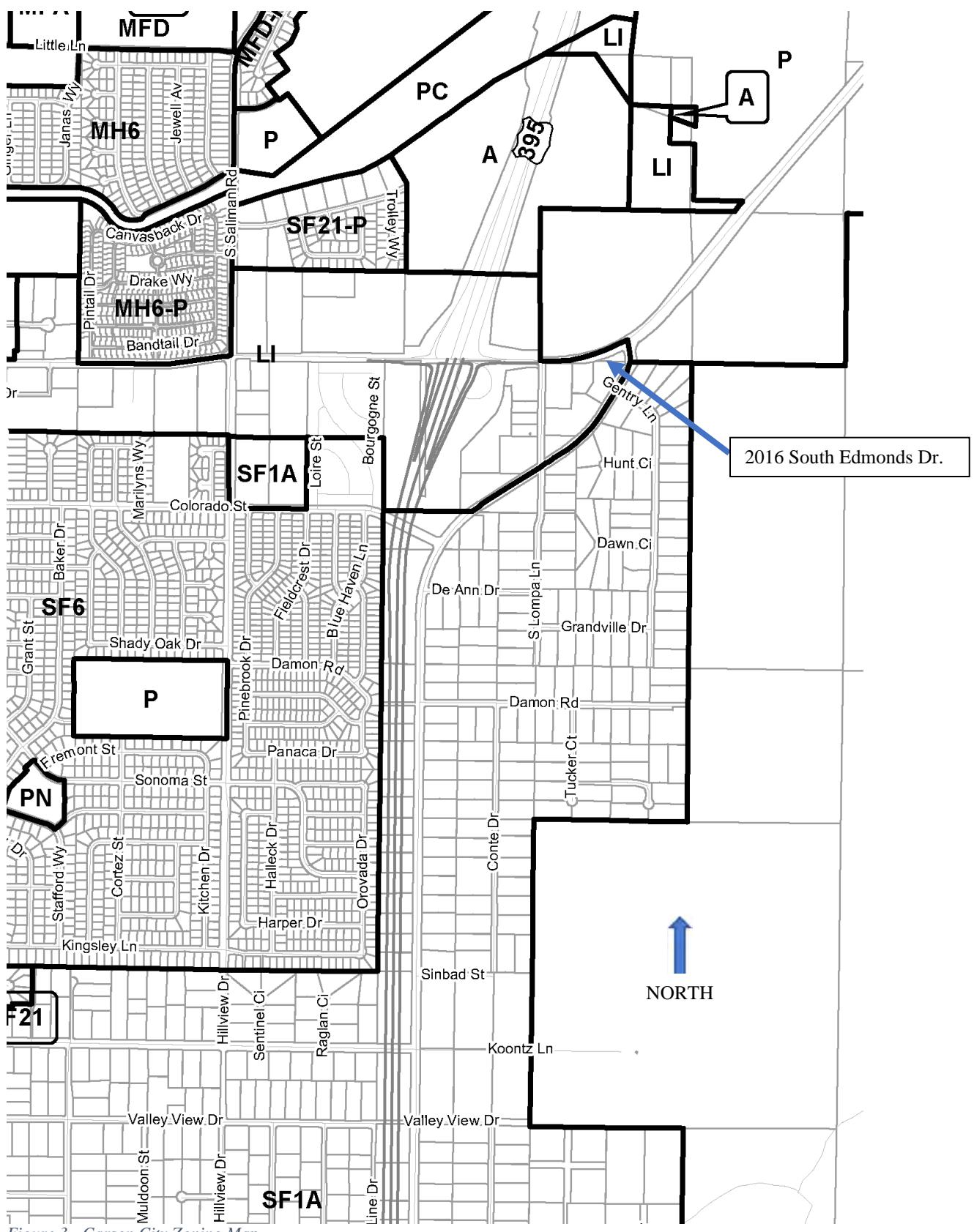


Figure 3 - Carson City Zoning Map



Figure 4- Aerial View ~ 2015

NORTH



Figure 5- South (Front) Elevation



Figure 6- West Elevation



Figure 7- East Elevation



Figure 8- North Elevation



Figure 9- Screening from adjacent residential zoning (looking west from Gentry Lane)



Figure 10 - Screening as view at the intersection of Fairview Drive/South Edmonds Drive



Figure 11- North and East Screening Walls as viewed from inside storage yard



Figure 12- East Screening Wall as viewed from inside storage yard

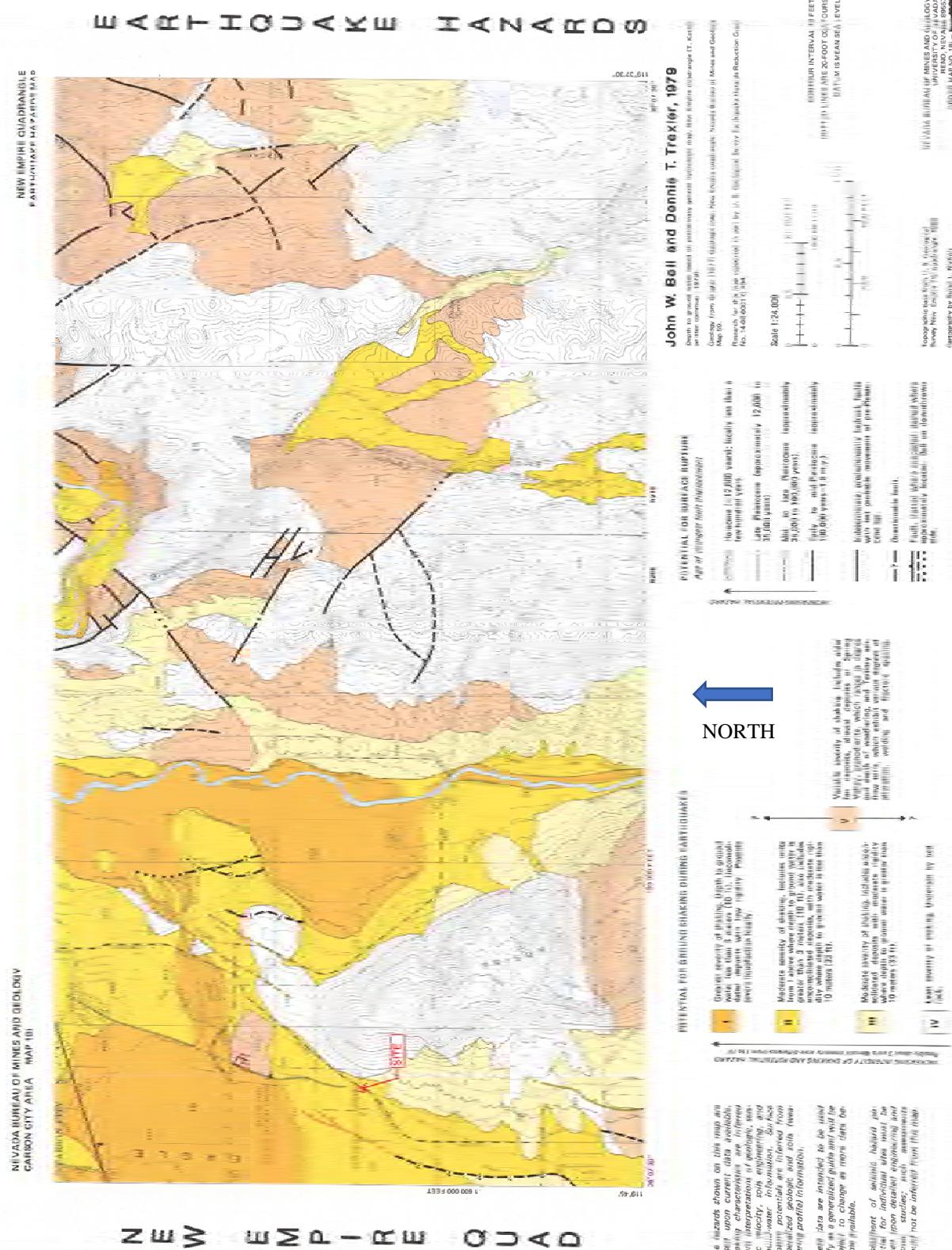


Figure 13 - Geological Hazards Map - Earthquake faulting

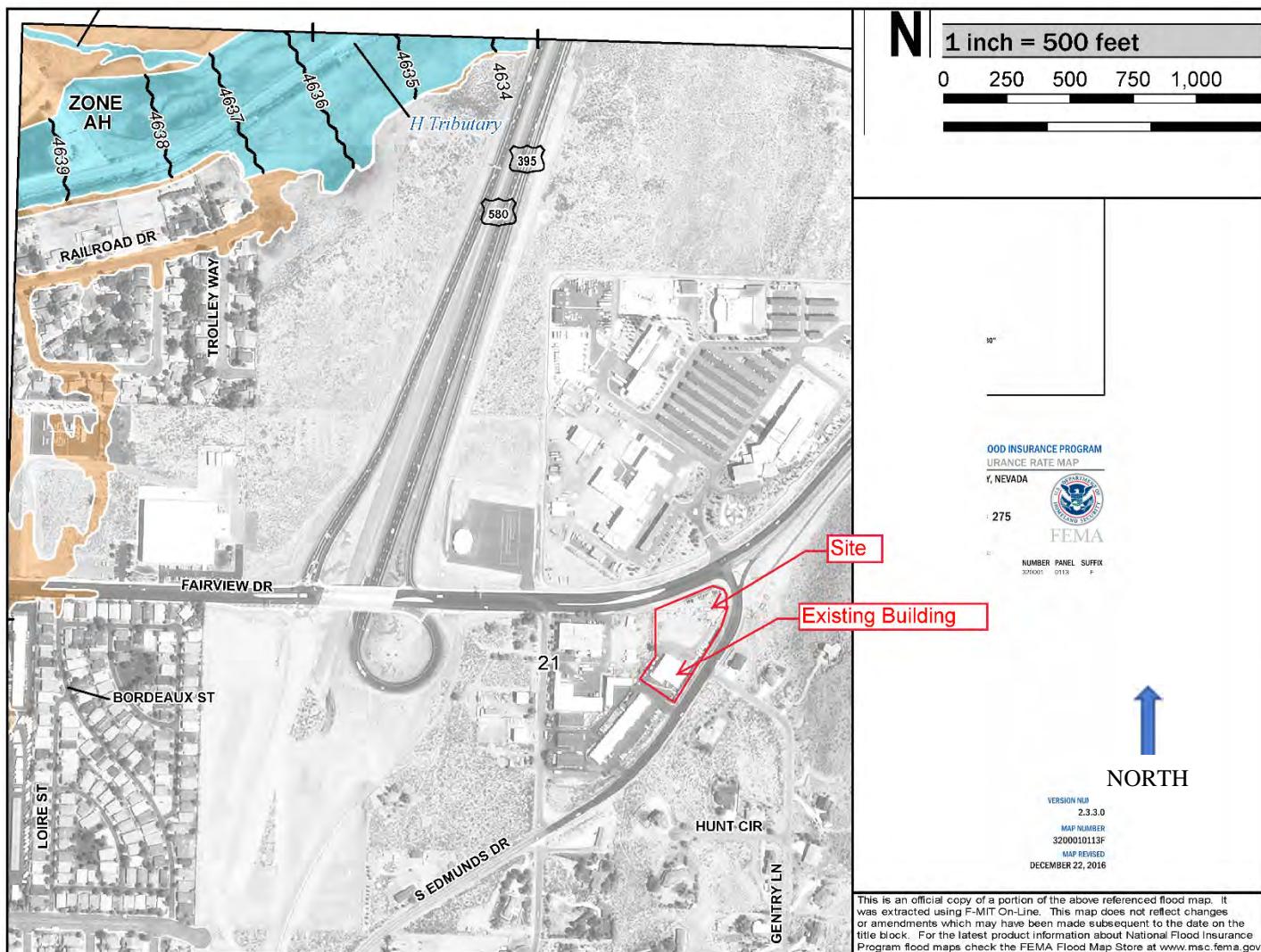


Figure 14 - FEMA Flood Zones (portion of map 3200010113F, map date December 16, 2016)

(Gray areas are FEMA Flood Zone X-Unshaded – 500-year flood (<.2% annual reoccurrence flood event)

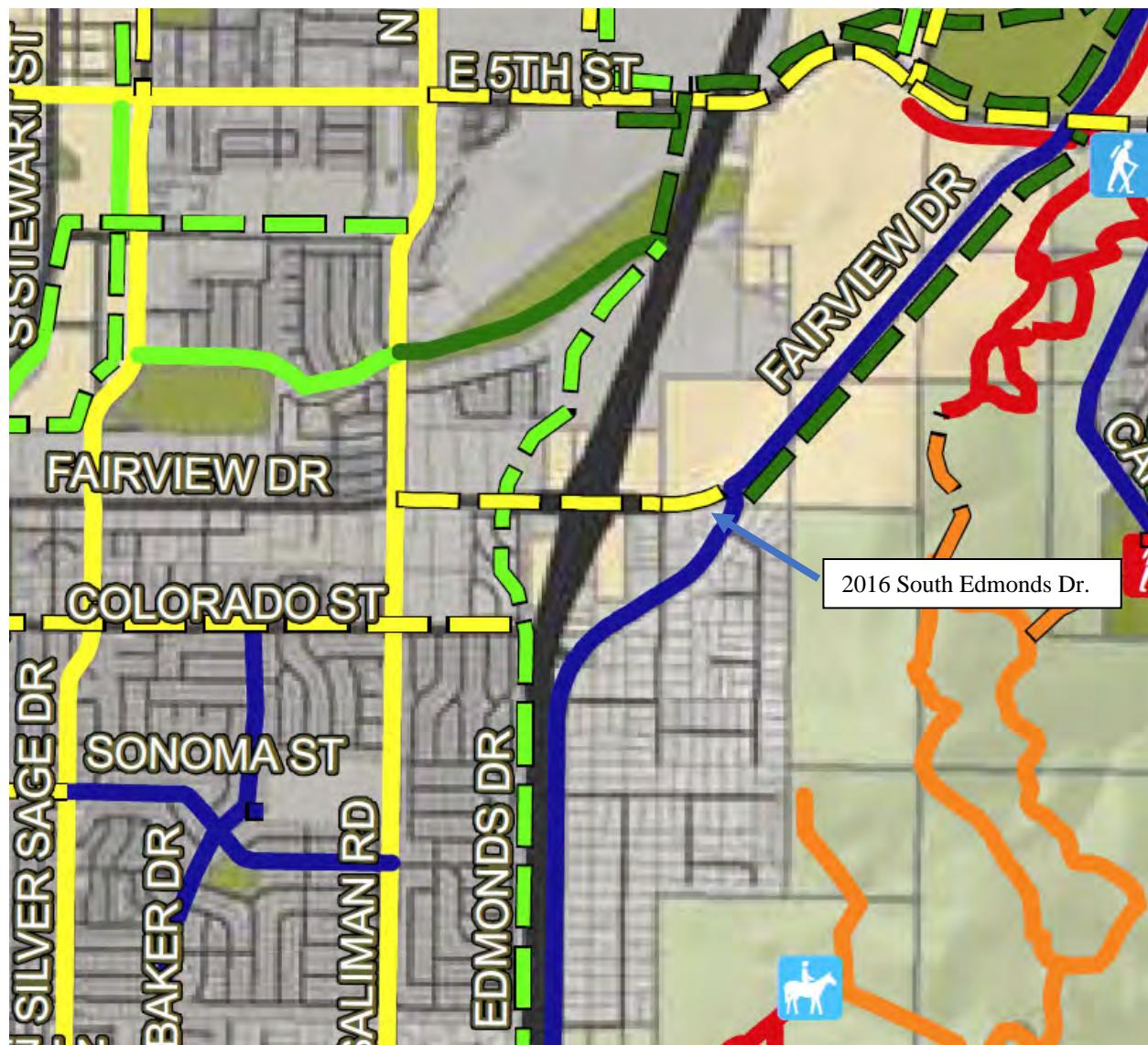


Figure 15 - Unified Pathways Master Plan

- Shared Roadway/Bicycle Route (South Edmonds Drive)
- On-street Bike Lane (Fairview Drive)
- Off-street Multi-Use Path (Fairview Drive)



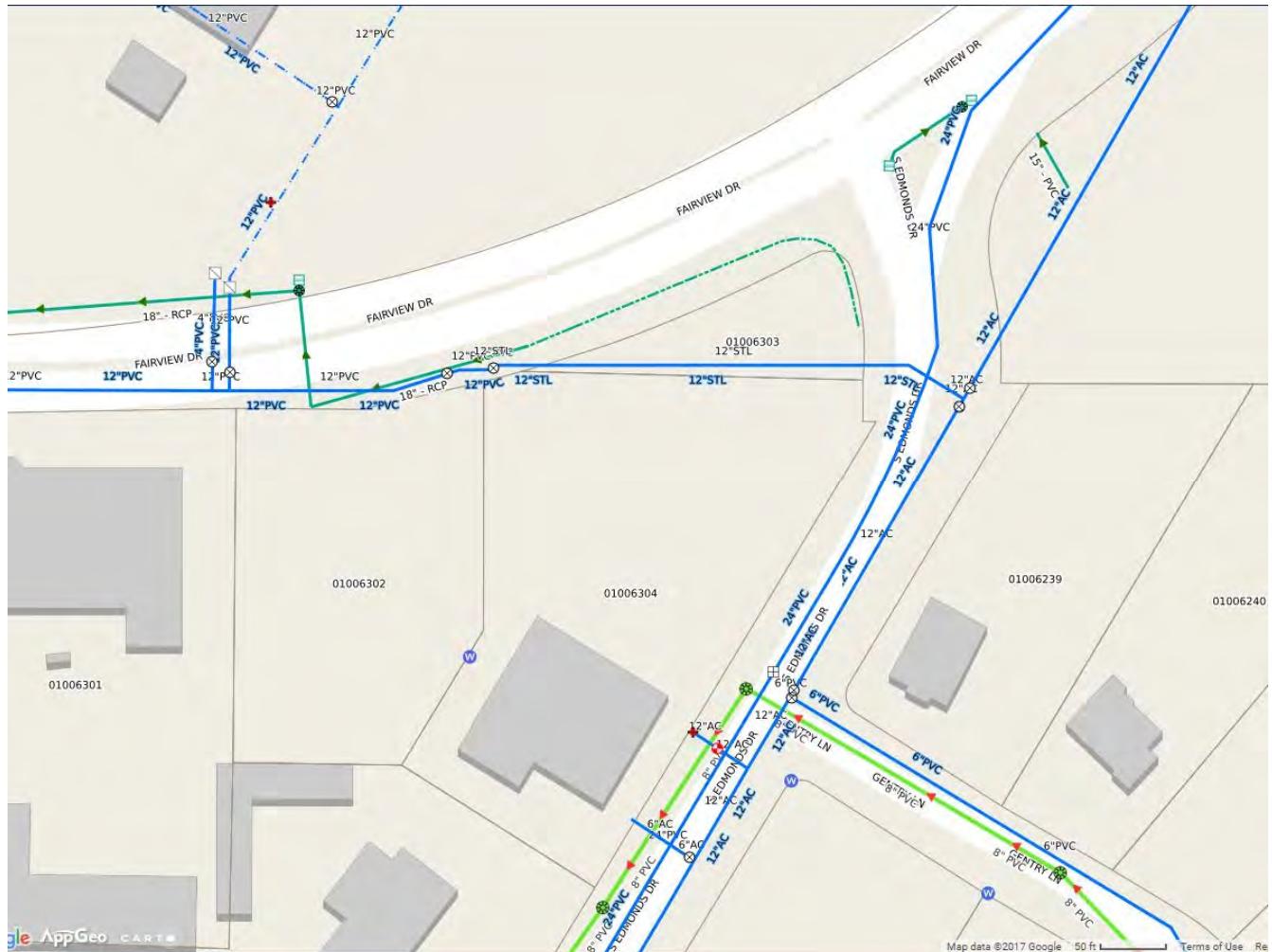
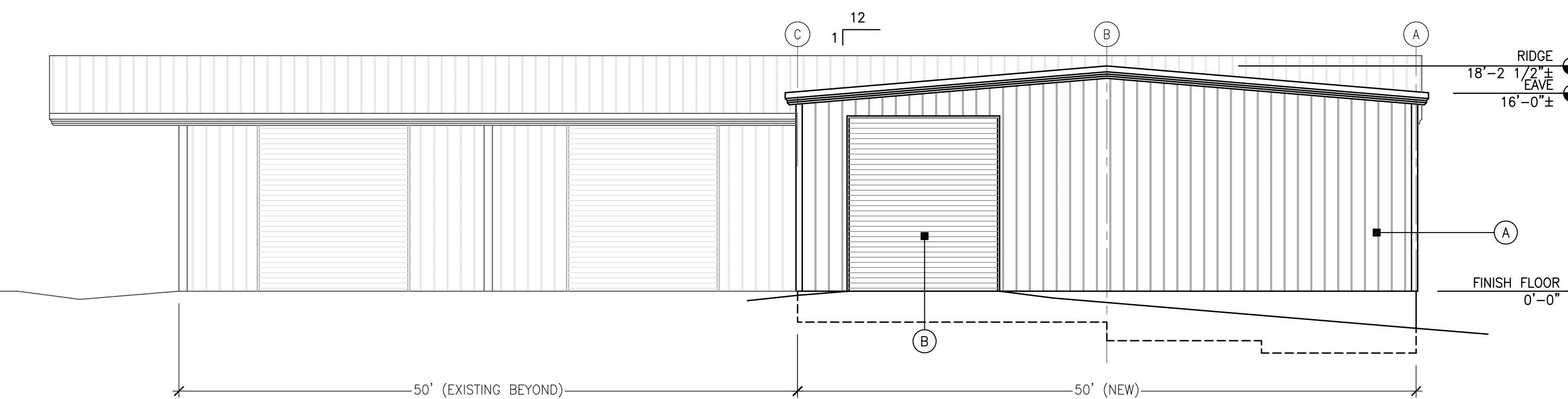


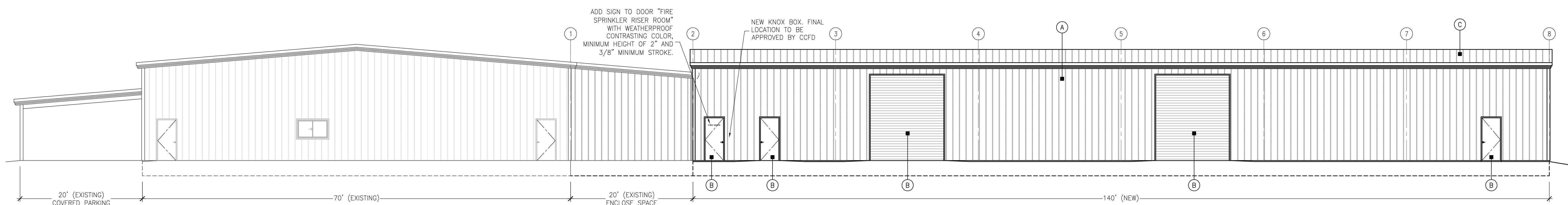
Figure 16- Carson City Water/Sewer/Storm Drain mapping in vicinity of site





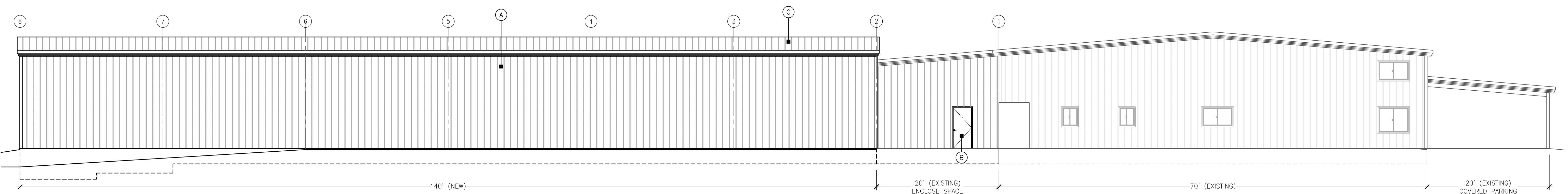
## NORTHEAST (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



## SOUTHEAST (RIGHT) ELEVATION

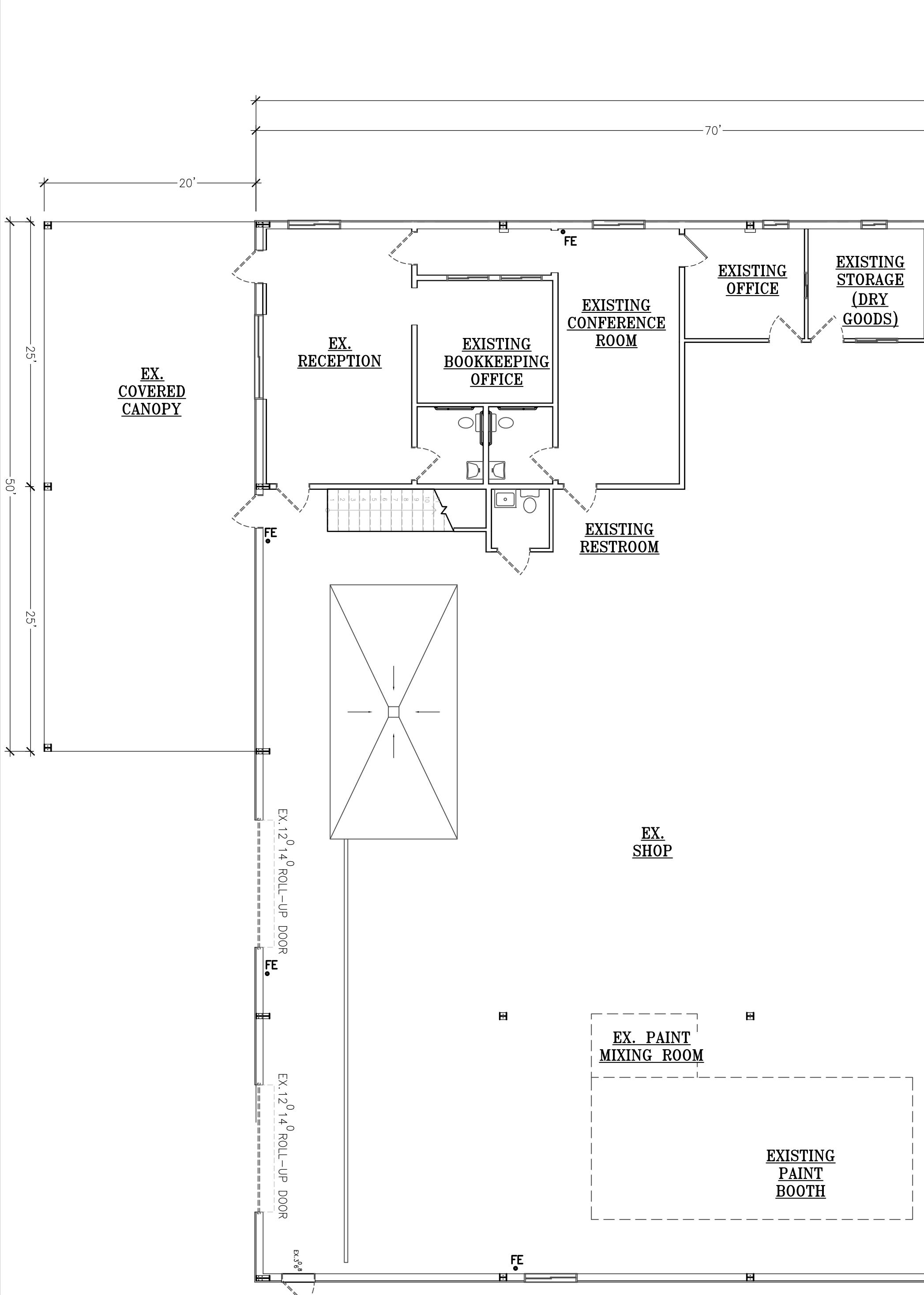
SCALE: 1/8" = 1'-0"



## NORTHWEST (LEFT) ELEVATION

ALE: 1/8" = 1'-0"

GENERAL NOTES:	CONTRACTOR NOTES:	EXTERIOR FINISH SCHEDULE:	Sheet A1
<p>1. CAULK ALL WALL AND ROOF PENETRATIONS.</p> <p>2. THE GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ADVISE THE ENGINEER OF ANY DISCREPANCIES IN THE DRAWINGS PRIOR TO CONSTRUCTION.</p> <p>3. THE GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND ADVISE THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.</p> <p>4. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.</p> <p>5. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION</p> <p>6. FINISH FLOOR ELEVATION ASSUMED TO BE 100'-0"</p>	<p>1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ADVISE THE ENGINEER OF ANY DISCREPANCIES IN THE DRAWINGS PRIOR TO CONSTRUCTION.</p> <p>2. THE GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND ADVISE THE DESIGN PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.</p> <p>3. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.</p> <p>4. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION</p> <p>5. FINISH FLOOR ELEVATION ASSUMED TO BE 100'-0"</p>	<p>FIN. # MATERIAL COLOR JOB # 200801</p> <p>A WALL PANELS WHITE(MATCH EXISTING) DESIGN BY: HEM</p> <p>B METAL BUILDING - DOOR AND FASCIA WHITE(MATCH EXISTING) DRAWN BY: HEM</p> <p>C METAL BUILDING - ROOF PANELS SOLARWHITE CHECKED BY: HEM</p> <p></p> <p></p> <p></p>	<p></p> <p></p> <p></p>



#### NOTES:

1. ALL DOORS SHALL BE EQUIPPED W/ LEVER, KEY LOCKING OR PUSH-TYPE OPERATORS COMPLYING W/ ANSI A117.1. (SEE PLAN FOR DOORS)
2. FRONT DOORS SHALL BE FURNISHED WITH SIGN: "THIS DOOR MUST REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED". IBC 1008.1.9.3 EXCEPTION 2
3. ALL EQUIPMENT & FURNITURE ARE TO BE SUPPLIED BY LEASEE.
4. SEE PLUMBING, ELECTRICAL & MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
5. CONTRACTOR SHALL VERIFY ELECTRICAL RECEPTACLE LOCATIONS WITH TENANT PRIOR TO INSTALLATION.
6. CLASS A FIRE EXTINGUISHERS SHALL BE A MINIMUM RATED 2-A:10BC. (IFC 906)

#### LEGEND:

NEW WALLS  
 WALLS TO BE REMOVED  
 EXISTING WALL TO REMAIN  
 PORTABLE FIRE EXTINGUISHER

REFERENCE TO DOOR SCHEDULE.  
 SEE SHEET A3  
 REFERENCE TO WALL SCHEDULE.  
 SEE SHEET A3

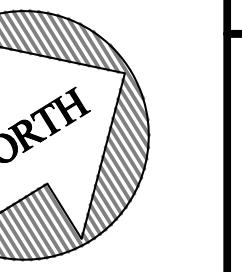
#### MAIN LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXISTING FLOOR AREA: 7000 SQ.FT.  
 EXISTING FRONT COVERED AREA: 1000 SQ.FT.  
 EXISTING REAR COVERED AREA: 2000 SQ.FT.

REAR COVERED AREA TO BE ENCLOSED: 1000 SQ.FT.  
 NEW SHOP AREA: 7000 SQ.FT.  
 TOTAL NEW FLOOR AREA: 8000 SQ.FT.

INTERIOR FINISH SCHEDULE				
ROOM NAME	FLOORS	BASE	WALLS	CEILINGS
MATERIALS				
BODY SHOP	• CONCRETE COMMERCIAL VINYL TILE			
FIRE RISER	• CARPET RUBBER BASE COATED BASE 5/8" F.R.P. WANSBOT 5/8" DRYWALL ORANGE FEEL SPRAY ON TEXTURE - PAINTED OPEN TO STRUCTURE 5/8" DRYWALL ORANGE FEEL SPRAY ON TEXTURE - PAINTED			



MORRIS ENGINEERING, LTD.		Civil and Structural Engineering	
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www.MORRIS-ENGR.COM		www.MORRIS-ENGR.COM	
BATTLE BORN AUTOBODY, LLC		MAIN LEVEL FLOOR PLAN	
BODY SHOP EXPANSION		2016 SOUTH EDMONDS DRIVE, CARSON CITY, NEVADA 89701 - APN. 010-063-04	
Sheet	A2	Job #	200801
Design By:	HEM	Drawn By:	HEM
Checked By:	HEM	Date:	08-17-2020
File:	200801A-S.dwg	Revision:	Rev. No.
Date			

