

STAFF REPORT FOR PLANNING COMMISSION MEETING OF JANUARY 27, 2021

FILE NO: LU-2020-0049

AGENDA ITEM: E.5

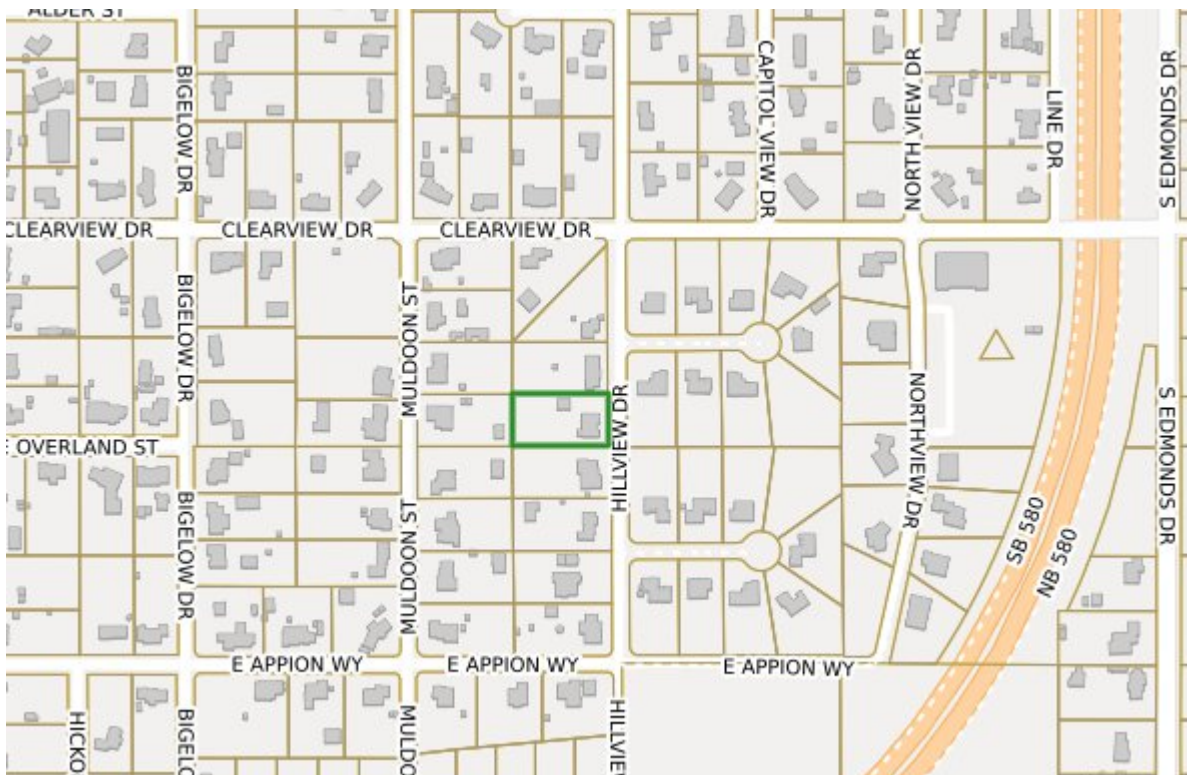
STAFF CONTACT: Hope Sullivan, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a Special Use Permit to construct an accessory structure that will result in the cumulative area of the accessory structures exceeding 75 percent of the size of the primary building, and the area of the accessory structures exceeding 5 percent of the parcel size on property zoned Single Family 1 Acre (SF1A), located at 4488 Hillview Drive, APN 009-189-18. (Hope Sullivan, hsullivan@carson.org)

Summary: The subject property is currently improved with a 1,911 square foot home with attached garage and an 864 square foot detached garage on a one-acre lot. The applicant is proposing a 50-foot by 80-foot, 4,000 square foot, shop building in the northwest corner of the lot. This will result in the cumulative area of the accessory buildings being approximately 254 percent of the size of the primary building and covering 11 percent of the lot. As the cumulative area of the accessory buildings will exceed 75 percent of the size of the primary structure, and as it will cover more than 5 percent of the lot area, per CCMC 18.05.055, a Special Use Permit is required. The Planning Commission is authorized to approve a Special Use Permit.

PROPOSED MOTION: "I move to approve Special Use Permit LU-2020-0049, based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of issuance of the Special Use Permit. A single, one-year extension of time may be granted if requested in writing to the Planning Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one-year and no extension granted the permit shall become null and void.
5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with the Building Permit application.
6. Any other detached accessory structures proposed for the site in the future will require additional review and approval of a Special Use Permit prior to construction.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits); 18.04.055 (Single Family 1 acre); 18.04.190 (Residential Districts Intensity and Dimensional Standards); 18.05.055 (Accessory Structures).

MASTER PLAN DESIGNATION: Low Density Residential

PRESENT ZONING: Single-family 1 acre

KEY ISSUES: Will the proposed shop have an adverse impact on the adjacent residential neighborhood?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Single-family 1 acre / single family residence
EAST: Single-family 1 acre / single family residence
SOUTH: Single-family 1 acre / single family residence
WEST: Single-family 1 acre / single family residence

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: X (areas of minimal flooding)
2. EARTHQUAKE FAULT: Beyond 500 feet, Zone III (moderate severity)
3. SLOPE/DRAINAGE: Flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 1 acre

PROPOSED STRUCTURE SIZE: 4000 square feet

PROPOSED STRUCTURE HEIGHT: 23 feet

REQUIRED SETBACKS: 30 feet from front; 15 feet from side; 20 feet from street side; and 30 feet from rear. As proposed, the structure meets these setbacks.

VARIANCES REQUESTED: None

DISCUSSION:

The applicant is seeking to construct a 4,000 square foot shop. The primary structure on the site (a home) is 1,911 square feet, and there is an existing detached garage on the property that is 864 square feet.

The proposed shop will result in the cumulative area of the detached structures being 254 percent of the square footage of primary building, and the coverage of the detached structures will be 11 percent of the lot area.

An accessory structure, such as a shop, is a permitted accessory use in the Single Family 1 acre zoning district; however, per CCMC 18.05.055.7, if the cumulative area of the accessory structures is more than 75 percent of the size of the primary structure a Special use Permit is required. Additionally, per CCMC 18.05.055.8, if the cumulative area of accessory structures exceeds five percent of the parcel size on parcels 21,000 square feet or greater, a Special Use Permit is required.

Per the provisions of 18.02.080, the Planning Commission has the authority to approve a Special Use Permit upon making each of the seven required findings in the affirmative.

PUBLIC COMMENTS: Public notices were mailed to 34 property owners within 500 feet of the subject site on January 14, 2021. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on January 27, 2021 depending on the date of submission of the comments to the Planning Department.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following condition is are met:

- The project must meet applicable Carson City Development Standards and Standard Details.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The project will have a negligible impact to vehicular and pedestrian traffic.

C.C.M.C. 18.02.080 (5d) - Public Services

The project will have no impact to City sewer or water, and negligible impact to storm drainage. The project will have a negligible impact to storm drain infrastructure. The site is currently shown by FEMA as having an AH flood zone where the structure is proposed. New flood modeling, with

today's advanced software, was recently completed. This new flood modeling is part of regular updates to the area's FEMA flood maps, and it results in the flood zone being reduced in this area and removed from the subject parcel.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

1. Project must comply with the International Fire Code (IFC) and Northern Nevada Fire Code as adopted by Carson City.
2. The proposed driveway exceeds 150 feet and is the only access to the building. A turnaround that complies with the IFC Appendix D or otherwise approved by the fire marshal must be installed at the end of the driveway. The driveway must be a minimum compacted Type 2 base or other all-weather surface approved by Development Engineering.

Building Division:

No comments

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The subject property is designated as Low-Density Residential. The primary uses associated with the Low-Density Residential master plan land use designation include single-family residences. The primary use of the subject site is a single-family residential use, and the proposed accessory building will not change the land use, as it will be accessory to the single-family residential use.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The accessory building is allowed in the Single-family 1-acre zoning district. The proposed building will be used to store items owned by the residents including their RV. The building will not be detrimental to the use, peaceful enjoyment or economic value of the surrounding properties. Many surrounding properties have out buildings include large shop buildings. The building will not cause objectionable noise, vibrations, fumes, odors, dust, glare or physical activity. It will allow items currently stored outside to be stored within a building.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

As proposed the building is intended for storage and will not constitute a change of use. The land use

will still be a single-family home with the trips associated with a single-family home use. The building will allow for items currently housed outside to be housed within a building.

- 4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The applicant states that “water supply is not in the current scope of work,” and that “the proposed project does not include sewer requirements.” As such, there will be no impact on water or sewer, or other public facilities or services. At the time of building permit, the fire marshal will review the plans for compliance with IFC.

- 5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

Accessory structures incidental to the primary use are allowed in the Single-Family 1-acre zoning district. The proposed location complies with required setback and the proposed height complies with the maximum height of 26 feet. The building will require a building permit and need to comply with all City standard.

- 6. Will not be detrimental to the public health, safety, convenience and welfare.**

The accessory structure will not be detrimental to public health, safety, convenience and welfare. It will house the property owner's personal items including a RV.

- 7. Will not result in material damage or prejudice to other property in the vicinity.**

The proposed accessory building will not result in material damage or prejudice to other property in the vicinity. The building will comply with the required setbacks and the height limitations.

Attachments:

Application (LU-2020-0049)

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

**FEE*: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential
zoning districts)**

+ noticing fee

***Due after application is deemed complete by staff**

☐ **SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:**

- ☒ Application Form
- ☒ Detailed Written Project Description
- ☒ Site Plan
- ☒ Building Elevation Drawings and Floor Plans
- ☒ Special Use Permit Findings
- ☐ Master Plan Policy Checklist
- ☐ Applicant's Acknowledgment Statement
- ☒ Documentation of Taxes Paid-to-Date
- ☐ Project Impact Reports (Engineering)

☐ **CD or USB DRIVE with complete application in PDF**

Application Received and Reviewed By:

Submission Deadline: Planning Commission application submittal schedule.

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

FILE

APPLICANT

PHONE #

Jimmie L. Willman 240-566-2322

MAILING ADDRESS, CITY, STATE, ZIP

4488 Hillview Dr, Carson City, NV 89701

EMAIL ADDRESS

Jimwillman55@gmail.com

PROPERTY OWNER

PHONE #

Jimmie L. Willman 240-566-2322

MAILING ADDRESS, CITY, STATE, ZIP

4488 Hillview Dr, Carson City, NV 89701

EMAIL ADDRESS

Jimwillman55@gmail.com

APPLICANT AGENT/REPRESENTATIVE

PHONE #

Travis McCalla Inside Out Construction, LLC 775-691-2881

MAILING ADDRESS, CITY, STATE, ZIP

1940 Current Ct Gardnerville, NV 89410

EMAIL ADDRESS

arlene.mccalla@gmail.com

Project's Assessor Parcel Number(s):

Street Address

00918918

4488 Hillview Dr, Carson City, NV 89701

Project's Master Plan Designation

Project's Current Zoning

Nearest Major Cross Street(s)

SFIA

Clearview Dr

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

PROPERTY OWNER'S AFFIDAVIT

I, Jimmie L. Willman, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Jimmie L. Willman

Signature

Address

4488 Hillview Dr,
Carson City, NV 89701

Date

17 DEC 2020

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA

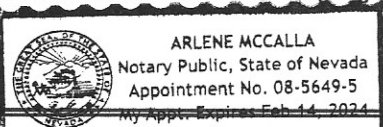
COUNTY

Douglas

On December 17, 2020, Jimmie L. Willman, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Arleen McCalla

Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

DETAILED WRITTEN PROJECT DESCRIPTION

Assessor Parcel Number:

Property Location: 4488 Hillview Drive, Carson City, NV 89701

Property Owner: The Willman Family Trust; Trustees: Jimmie L. Willman and Sheryl A. Willman

Project Description: To purchase and erect a 50' x 80', 4,000 sq. ft., pre-engineered steel accessory structure on the western end of the above noted 1 acre property. The building exterior colors will be aligned with existing structure exterior colors. The purpose of the accessory structure is strictly for residential, non-commercial use, primarily to allow indoor storage of an existing 38' travel trailer currently owned by the property owner and to allow for other personal residential storage by the property owner of additional recreational and general yard maintenance vehicles and equipment currently owned and/or planned to be owned by the property owner.

The property is zoned SF1A and includes an existing primary residence structure of 1,911 sq. ft. and a 24' x 36' (864 sq. ft) accessory structure (automobile garage), with accompanying driveways and landscape occupying approximately the east half (~1/2 acre) of the property. The proposed accessory structure will be located in the west half (~1/2 acre) of the property. Access to the proposed accessory structure shall be a driveway from Clearview Dr on the south side of the existing primary residence running along the south side of the property line from the east end of the property to the west side of the property. There are no exterior lights required. The access driveway and the balance of the west half (~1/2 acre) of the property not occupied by the proposed accessory structure and its foundation will be covered in gravel appropriate for year round vehicle access.

The accessory structure is a pre-engineered steel building manufactured by Empire Steel Buildings, 50' wide x 80' long with 16' eave height, 3:12 roof slope, to include 2 each 14' x 14' roll up style garage doors, 1 each walk door, 4 each sky light panels, and 2 each wall mounted windows. The structure long sides have a north and south facing orientation. The structure short sides have an east and west orientation. The 2 each garage and 1 each walk doors will be a south facing orientation. See attached Empire Steel Buildings quotation for additional details.

Construction of the accessory structure shall be by Inside Out Construction, LLC, (IOC) NV Contractor's License 0080607. The scope of IOC's work includes building plans, excavation cut/fill, concrete slab, and building erection.

The project includes running electric lines from the street (Hillview Dr) and or the current panel this is to be determined by NV Energy to the southeast corner of the new accessory structure.

- Electric power is to provide a 100amp breaker box to allow power to the garage doors, some interior lighting, and some interior and exterior power outlets.

In October, 2000, the above noted property owners received a "Notification of changes to 1% (100 year) annual chance flood water surface elevations and flood plain boundaries" letter from the Carson City Nevada Consolidated Municipality and State Capital Public Works. A follow up telephone call by the property owner with Robert D. Fellows, P.E., Chief Storm Water Engineer CRS, Floodplain & NPDES Manager, Carson City Public Works revealed and confirmed that the changes to the floodplain boundaries will result in the entire property being in Zone X and no portion of the subject property

being within the revised floodplain boundaries for Zone AH. The previous floodplain boundaries had included a small portion of the property's northwest corner within the floodplain boundaries, Zone AH. A copy of the letter is attached for your convenience.

SPECIAL USE PERMIT APPLICATION FINDINGS

Assessor Parcel Number: 00918918

Property Location: 4488 Hillview Drive, Carson City, NV 89701

Property Owner: The Willman Family Trust; Trustees: Jimmie L. Willman and Sheryl A. Willman

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the Objectives of the Master Plan Elements.

Response: It is the intent and belief of the property owner that the proposed building is consistent with all applicable elements of the Master Plan. The following is intended to demonstrate such compliance, where applicable.

Chapter 3, A Balanced Land Use Pattern – The proposed accessory structure is a small, non-commercial, project that will have no public impact on employment opportunities, housing diversity, recreational opportunities, or retail services outside of the initial construction phases. The project does not impact the Growth Management Ordinance as it does not provide for or result in any population increase, retail services, or recreational opportunities for the public. It is intended to use sustainable construction techniques to promote water and energy conservation. The property is not located within a “priority infill area” or adjacent to any public lands and does not provide for or require any pathway connections or easements to maintain access to public lands. The proposed location of the accessory structure is on a leveled and cleared section of the property devoid of any trees or other character defining features; and is not located adjacent to any county boundaries or public lands; and is not identified as being in a Mixed-Use area. The proposed accessory structure location meets all applicable setback requirements from all property boundaries and does not include and is not adjacent to any environmentally sensitive areas or geologic hazard areas. The property is not located in or adjacent to any Specific Plan Area.

In October, 2000, the above noted property owners received a “Notification of changes to 1% (100 year) annual chance flood water surface elevations and flood plain boundaries” letter from the Carson City Nevada Consolidated Municipality and State Capital Public Works. A follow up telephone call by the property owner with Robert D. Fellows, P.E., Chief Storm Water Engineer CRS, Floodplain & NPDES Manager, Carson City Public Works revealed and confirmed that the changes to the floodplain boundaries will result in the entire property being in Zone X and no portion of the subject property being within the revised floodplain boundaries for Zone AH. The previous floodplain boundaries had included a small portion of the property’s northwest corner within the floodplain boundaries, Zone AH. A copy of the letter is attached for your convenience.

Chapter 4, Equitable Distribution of Recreational Opportunities – This project is for an accessory structure on a privately owned residential property and does not include any park and recreational facilities or opportunities, nor does it impact any existing local recreational facilities, opportunities, or programs. The property and the proposed project is not adjacent to or in any identified Open Space Master Plan or Carson River Master Plan areas.

Chapter 5, Economic Vitality - This project is for an accessory structure on a privately owned residential property and does not impact the citywide housing mix, does not encourage or

SPECIAL USE PERMIT APPLICATION FINDINGS

discourage the development of any regional retail center, does not include reuse or redevelopment of underused retail spaces, does not impact heritage tourism activities, does not impact revitalization of the Downtown core, and does not incorporate additional housing in any form.

Chapter 6, Livable Neighborhoods and Activity Centers – The proposed accessory structure is a pre-engineered building on a concrete foundation, designed and intended for durable and long lasting use, nominally, 30+ years. The proposed orientation of the accessory structure is intended to minimize potential line of site impacts to all neighboring properties and the building style and colors will be consistent with the existing primary residential building (house) and the existing accessory structure (garage). As a non-commercial structure, it is not intended to identify entrances and pedestrian connections, nor to provide any landscaping beyond gravel cover for open spaces. The height of the proposed accessory structure is consistent with many of the accessory structures currently located on many of the neighboring properties and meets all set back requirements from all property boundaries. The property is not located in a Mixed-Use Activity Center Area or Downtown.

Chapter 7, A Connected City – The property and proposed accessory structure is not adjacent to or in a mixed-use, pedestrian-oriented, or higher density area. The project does not impact major travel corridors or roadway connections, consistent with the Transportation Master Plan. The proposed accessory structure is intended for private use only by the property owner so does not provide for any pathways through the development or surrounding lands, or impact the Unified Pathways Master Plan.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Response: The above noted property is located within an extensive SF1A zoned neighborhood generally located east of S. Carson Ave, west of HWY 580, south of E. Clearview Dr., and north of HWY 580. To my knowledge, virtually all properties within those boundaries are Zoned SF1A and the proposed project property is only bounded by Zone SF1A properties. A large number of the properties in this (my) neighborhood have 1 or more accessory structures, many of which are very similar to the structure being proposed in size, form, fit, and function. Most of these other properties with similar accessory structures utilize color schemes that match or compliment the primary residence and that is intended for the proposed building also. As such, it is intended and the property owner's belief that the proposed accessory structure is very consistent with existing development in the area and will not be detrimental to mine or any other neighboring properties property values.

As a non-commercial, non-agricultural, private residential use property and proposed accessory structure, there should be no noise, dust, odor, vibration, fumes, glare, lights, or other physical activities impacting any of the neighboring properties. Further, such private, residential use is consistent with and not detrimental to the use, peaceful enjoyment or development of surrounding

SPECIAL USE PERMIT APPLICATION FINDINGS

properties and the general neighborhood. Outdoor lighting is not required or planned for the proposed project.

A majority of the existing landscaping around the existing residential building and the existing accessory structure on the east half of the property is dryscape (decomposed granite, gravel, and trees and shrubs with drip irrigation). The intended landscaping for the west half of the property is to continue dryscape by gravelling the balance of the area around the proposed building and remaining grounds.

The short term benefit to the people and city of Carson City from the proposed project is primarily realized by the use of local contractors, labor and materials to perform the work. The long term benefits are realized from the enhanced property value of my property and its subsequent tax valuations, as well as the long term personal satisfaction of some of Carson City's citizens, my wife and myself as property owners.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Response: The subject property is located on Hillview Dr., between Clearview Dr and Appion Way. This section of Hillview has light pedestrian and vehicular traffic. The proposed project does not require the addition of any roadways, walkways, or sidewalks. As a non-commercial, non-agricultural project on private property and for private use only, there will be no additional vehicular or pedestrian traffic resulting from the project.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

Response: The proposed project does not include any housing elements and therefore does not add to or impact student populations. The proposed accessory structure is a pre-engineered metal building that is not for any commercial or agricultural use, will not be used to store hazardous chemicals, equipment, or materials and therefore should not negatively impact police or fire protection. Further, a double wide gate with drive through access will provide access to police or fire services if needed, and a fire hydrant is located on the northeast corner of the property boundary at Clearview Dr.

Water supply is not in the current scope of work for the proposed building, and since the use for the proposed building is not commercial or agricultural, water supply and use would never exceed that of a garden hose bib.

The proposed project does not include paving or compacting outside of the proposed concrete slab.

The proposed project does not include sewer requirements. The property is serviced by City sewer located from Clearview Dr.

No road improvements are proposed or required for the proposed project.

SPECIAL USE PERMIT APPLICATION FINDINGS

The determinations, statements, and assumptions identified in this application are based on input from the proposed project's Construction Contractor, discussions with Carson City Planning personnel, discussions with Carson City Public Works personnel, and research of the Carson City Planning website.

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Response: The subject property is Zoned SF1A. The proposed project does not alter or seek to alter the single family use requirements for this Zone, as identified in CCMC 18.04.055. The proposed project does seek to add an accessory structure, consistent with CCMC 18.04.055. The proposed location of the proposed accessory structure maintains a minimum setback of 15' from the side (north) property boundary and 30' from the rear (west) boundary, and does not exceed the maximum height of 32', as identified in and in accordance with CCMC 18.04.190.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Response: As a non-commercial, non-agricultural, private residential use property and proposed accessory structure for private use only, there should be no noise, dust, odor, vibration, fumes, glare, lights, or other physical activities impacting any of the neighboring properties. Outdoor lighting is not required or planned for the proposed project. The proposed accessory structure will not be used to store hazardous chemicals, equipment, or materials. Therefore, the proposed project should not be detrimental to the public health, safety, convenience, or welfare.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Response: The proposed project does not require entry or exit access from any other neighboring property, nor does any of the proposed construction process require any temporary or permanent modifications to any other property owner's fences, accessory structures, elevation grades, or other improvements they may have made. Proper and reasonable care will be taken throughout the construction process to control noise, dust, odors, drainage, etc., to minimize potential impacts to neighbors.

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☐ Located in a priority infill development area (1.2a)?
- ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☐ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- ☐ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?
- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☐ Use durable, long-lasting building materials (6.1a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☐ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- ☐ If located Downtown:
 - ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:
 - a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
 - b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:

A horizontal bar scale with markings at 0, 10, 20, and 40 feet. The word "Feet" is written at the end of the scale.
 - c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
 - d. Title block in lower right-hand corner including:
 - i. Applicant's name, mailing address, and daytime phone number (including area code).
 - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
 - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - v. Project title and permit request. (Example: Variance, Special Use Permit).
8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
 - a. Distances from property lines indicated by dimensions.
 - b. Distances between buildings shall be indicated on the site plan.
 - c. Clearly label existing and proposed structures and uses, and show dimensions.
 - d. Square footage of all existing and proposed structures.
 - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - f. Elevations of any proposed structures/additions.
 - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
11. Project access:
 - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - b. Show adjoining street names.
 - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.

13. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
15. If specific landscape areas are required or provided, show with dimensions.
16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

SPECIAL USE PERMIT APPLICATION FINDINGS

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Explanation:

- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

- Explanation:
- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?
 - B. How will your project affect police and fire protection?
 - C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.


Applicant's Signature

Travis McCalla
Print Name

12/17/2020
Date

Carson City Property Inquiry

Property Information

Parcel ID	009-189-18	Parcel	1 0000
Tax Year	2020	Acreage	
Land Use	RES	Assessed	109,516
Group		Value	
Land Use	200 - Single Family	Tax Rate	3.5700
	Residence	Total Tax	\$2,862.28
Zoning	SF1A	Fiscal Year	
Tax District	024	(2020 - 2021)	
Site Address	4488 HILLVIEW DR	Total Unpaid	\$1,430.96
		All Years	

Pay Taxes

Public FIREPLACE, ROOFED PORCH, LIVING RM, DINING RM

Notes

Sketches & Photos

Assessments

Taxable Value	Land	Building	Per. Property	Totals
Residential	110,000	202,902	0	312,902
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	0	0	0	0
Pers. Exempt				0
Total	110,000	202,902	0	312,902

Assessed Value	Land	Building	Per. Property	Totals
Residential	38,500	71,016	0	109,516
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	0	0	0	0
Pers. Exempt				0
Total	38,500	71,016	0	109,516

	New Land	New Const.	New P.P.	Omit Bldg
Residential	0	0	0	0
Com / Ind.	0	0	0	0
Agricultural	0	0	0	0
Exempt	0	0	0	0
Totals	0	0	0	0

Assessor Descriptions

Assessor Descriptions	Subdivision Name	Section	Township	Range	Block & Lot
PARCEL D MAP #835		32	T15N	R20E	

No Personal Exemptions

Billing Fiscal Year (2020 - 2021)

Installment	Date Due	Date Paid	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid
1	8/17/2020	8/12/2020	\$715.84	\$0.00	\$0.00	\$715.84	\$715.84	\$0.00
2	10/5/2020	9/30/2020	\$715.48	\$0.00	\$0.00	\$715.48	\$715.48	\$0.00
3	1/4/2021		\$715.48	\$0.00	\$0.00	\$715.48	\$0.00	\$715.48
4	3/1/2021		\$715.48	\$0.00	\$0.00	\$715.48	\$0.00	\$715.48
Total			\$2,862.28	\$0.00	\$0.00	\$2,862.28	\$1,431.32	\$1,430.96

Payment History

	Fiscal Year	Total Due	Total Paid	Amount Unpaid	Date Paid
+	(2020 - 2021)	\$2,862.28	\$1,431.32	\$1,430.96	9/30/2020
+	(2019 - 2020)	\$2,778.91	\$2,778.91	\$0.00	2/28/2020
+	(2018 - 2019)	\$2,697.98	\$2,697.98	\$0.00	2/27/2019

Show 22 More

Related Names

CURRENT OWNER FOR 2021 (2021 - 2022)		CURRENT OWNER FOR 2021 (2021 - 2022)	
Name	WILLMAN, SHERYL ANN TRUSTEE	Name	WILLMAN, JIMMIE LYLE TRUSTEE
Mailing Address		Mailing Address	
Status	Current	Status	Current
Account		Account	
CURRENT OWNER FOR 2021 (2021 - 2022)		CURRENT MAIL TO FOR 2021 (2021 - 2022)	
Name	WILLMAN FAMILY 2020 TRUST.	Name	WILLMAN FAMILY 2020 TRUST.
Mailing Address		Mailing Address	JIMMIE L & SHERYL A WILLMAN, TTEES
Status	Current	Status	Current
Account		Account	4488 HILLVIEW DR CARSON CITY, NV, 89701
MAIL TO FOR 2020 (2020 - 2021)		OWNER FOR 2020 (2020 - 2021)	
Name	WILLMAN, JIMMIE & SHERYL A.	Name	WILLMAN, JIMMIE
Mailing Address	4488 HILLVIEW DR CARSON CITY, NV, 89701-0000	Mailing Address	
Status	Current	Status	Current
Account		Account	
		OWNER FOR 2020 (2020 - 2021)	
		Name	WILLMAN, SHERYL A.
		Mailing Address	
		Status	Current
		Account	

+ Structure 1 of 2

Structure 2 of 2

Sales History

Year	Document #	Document Type	Sale Date	Sold By	Sold To	Price
2019	496148	GRANT BARGAIN SALE DEED	7/8/2019	M K TR & HORNUNG, TR MANGIONE	JIMMIE & SHERYL A WILLMAN	\$517,500
2006	359786	GRANT BARGAIN SALE DEED	10/13/2006	STACEY ANNE HUGHES	H A II & MANGIONE, M K HORNUNG	\$350,000
1997	207464		9/8/1997	ANDREW G & ROZELLA F OGREN	STACEY ANNE HUGHES	\$186,500

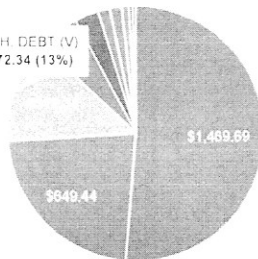
Show 2 More

No Genealogy Information

Taxing Entities

Tax Entity	Tax Rate	Amount
CITY OPER.	1.9622	\$1,469.69
SCHOOL OPER.	0.7500	\$649.44
SCH. DEBT (V)	0.4300	\$372.34
STATE OF NV	0.1700	\$147.21
MEDICAL INDG	0.1000	\$86.60
SR. CIT.	0.0500	\$43.30
CAP.PROJ. (L)	0.0500	\$43.30
SUB-CONSERV.	0.0300	\$25.97
ACCIDENT INDG	0.0150	\$12.99
CO-OP EXT.	0.0128	\$11.09
Tax Entity Total	3.5700	\$2,861.93
EAGLE VLY GRND WTR	0.0000	\$0.35
Special Assessment Total	0.0000	\$0.35
Year Total	3.5700	\$2,862.28

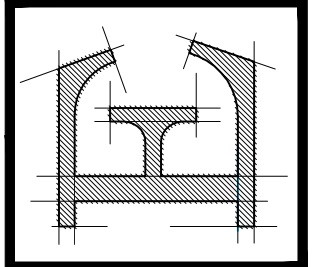
SCH. DEBT (V)
\$372.34 (13%)



- CITY OPER.
- SCHOOL OPER.
- SCH. DEBT (V)
- STATE OF NV
- MEDICAL INDG
- SR. CIT.
- CAP.PROJ. (L)
- SUB-CONSERV.
- ACCIDENT INDG
- CO-OP EXT.
- Other

REVISIONS

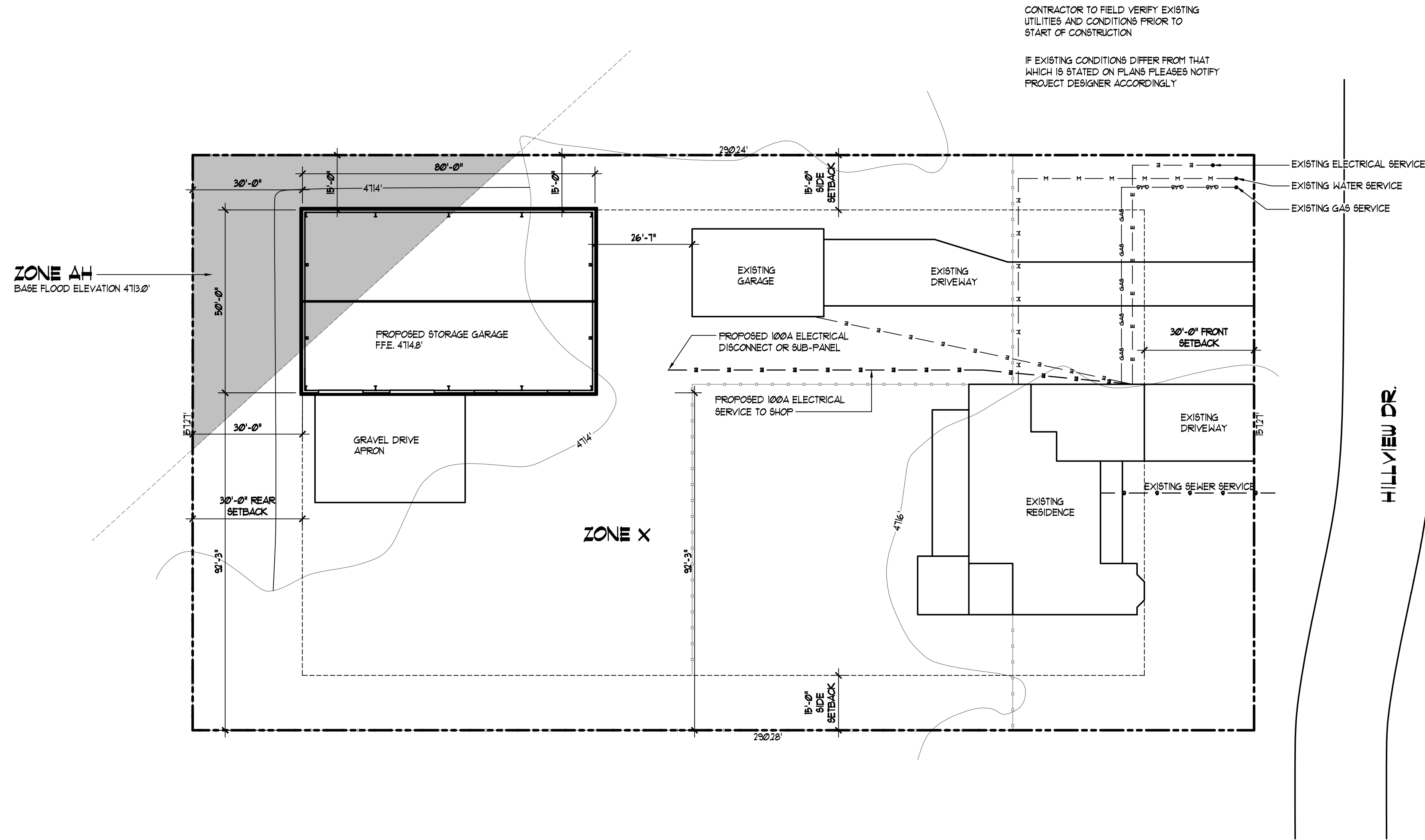
Element
Residential Design Studio LLC
675 Fairview St. #228 Carson City, NV 89701
Brian Hendrix R.D. #210-RD (775) 890-3862
WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:
JIMMIE & SHERYL WILLMAN
4488 HILLYVIEW DR.
CARSON CITY, NV 89701

PROJECT:
WILLMAN STORAGE GARAGE
4488 HILLYVIEW DR.
CARSON CITY, NV 89701
A.P.N. 009-189-18

DATE	12/14/2020
JOB NO.	084-20
FILE	084SP
SCALE	1" = 20'-0"
SHEET	C-1



SITE PLAN

APN. 009-189-18
ACREAGE: 1.0 ACRES
ZONING: SF1A
SETBACKS: FRONT - 30'
SIDES - 15'
REAR - 30'

FLOOD ZONE: X-UNSHADED / AH

PHYSICAL ADDRESS: 4488 HILLYVIEW DR
CARSON CITY, NV

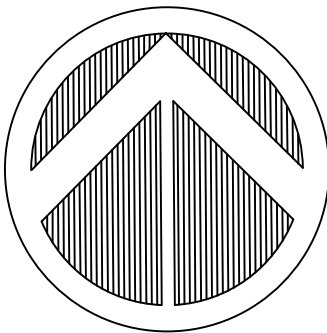
PROPOSED 4,000 SQ. FT. STORAGE GARAGE
FOR JIMMIE & SHERYL WILLMAN

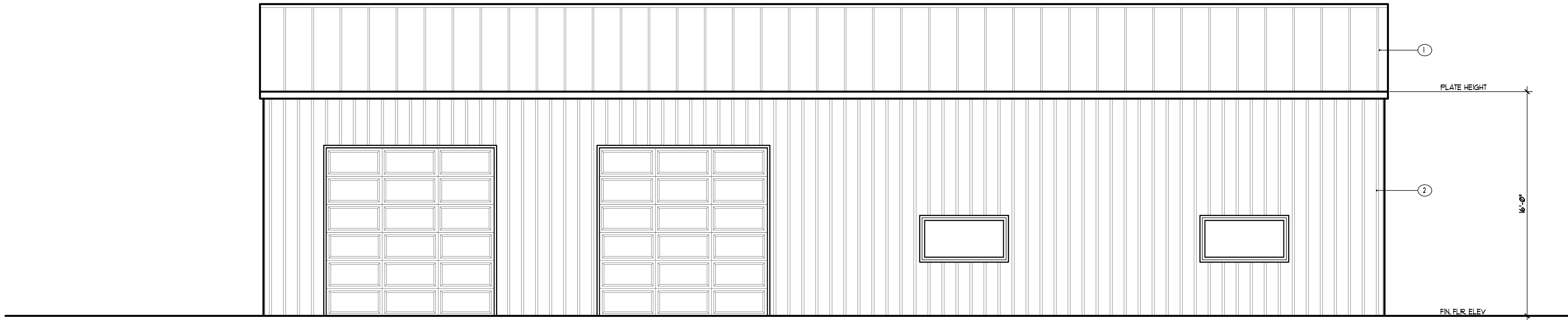
NO SURVEY PROVIDED
THIS SITE PLAN IS PROVIDED FOR THE LOCATION
OF THE PROJECT FOR CONSTRUCTION PURPOSES
ONLY. THIS IS NOT A GRADING PLAN.

- SITE PLAN NOTES:
- THE OWNER / CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS.
 - GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
 - THE OWNER / CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND UTILITY CONNECTIONS PRIOR TO START OF CONSTRUCTION. OWNER / CONTRACTOR SHALL NOTIFY PROJECT DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
 - OWNER / CONTRACTOR SHALL REMOVE ALL SITE DEBRIS PRIOR TO COMPLETION OF CONSTRUCTION.
 - COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO PERCENT (2%) OPTIMUM. SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN BUILDING AREAS.
 - MAXIMUM SLOPE TO BE 3:1 UNLESS SLOPE STABILIZATION IS USED.
 - PROVIDE TEMPORARY EROSION CONTROL FENCING WHERE NECESSARY OR REQUIRED.
 - CONTRACTOR TO SUPPLY SITE CONSTRUCTION FENCING AT LIMITS OF DISTURBANCE WHERE NECESSARY OR REQUIRED.

SITE PLAN

SCALE: 1" = 20'-0"



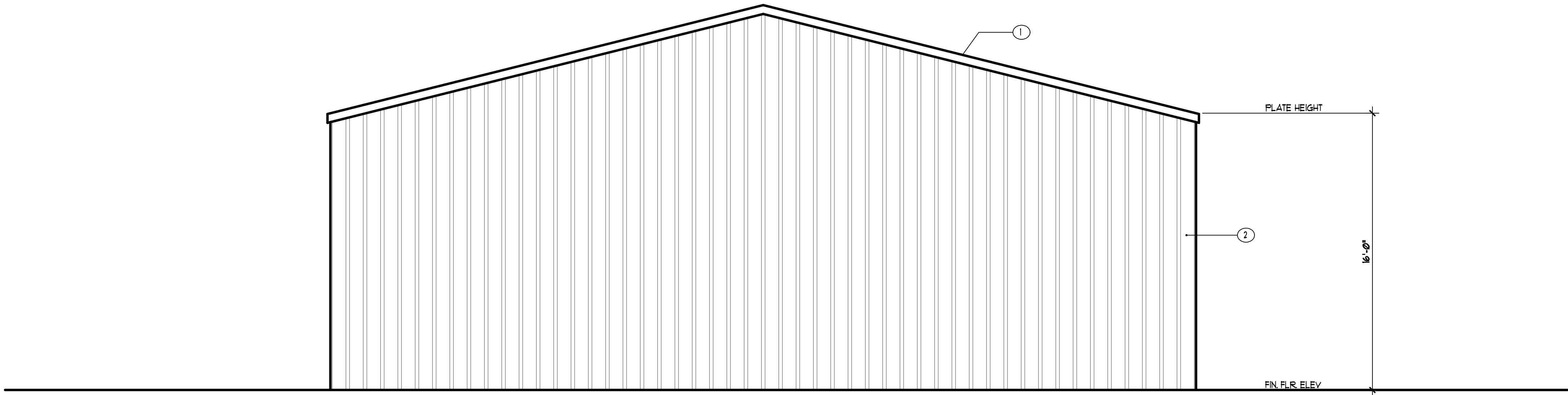


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1. METAL ROOF INSTALLED PER PEMB SPECS.
AND TO CONFORM TO 2012 IRC SECTION 905
2. CORRUGATED METAL SIDING OR PER PEMB
COLOR TO MATCH EXISTING RESIDENCE

DRAINAGE
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM
OF 5% SLOPE FOR 10', WHERE LOT LINES, WALLS, SLOPES,
OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL
WITHIN THE FIRST 10'. DRAINS OR SWALES SHALL BE
CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE
STRUCTURE.

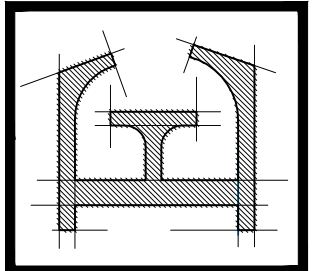


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

Element
Residential Design Studio LLC
675 Fairview St. #228 Carson City, NV 89701
Brian Hendrix R.D. #210-RD (775) 890-3862
WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:

JIMMIE & SHERYL WILLMAN
4488 HILLYVIEW DR.
CARSON CITY, NV 89701

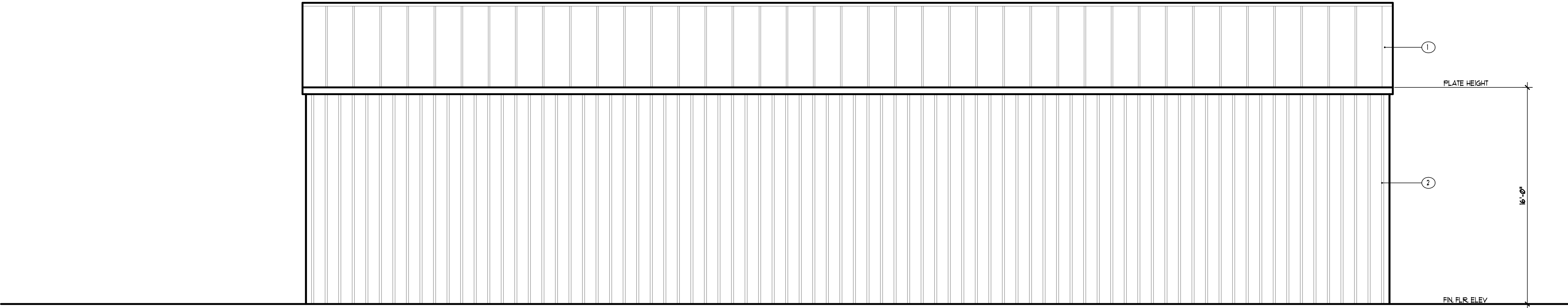
PROJECT:

WILLMAN STORAGE GARAGE
4488 HILLYVIEW DR.
CARSON CITY, NV 89701
A.P.N. 009-189-18

DATE	12/14/2020
JOB NO.	084-20
FILE	084EL1
SCALE	1/4" = 1'-0"

SHEET

A = 1

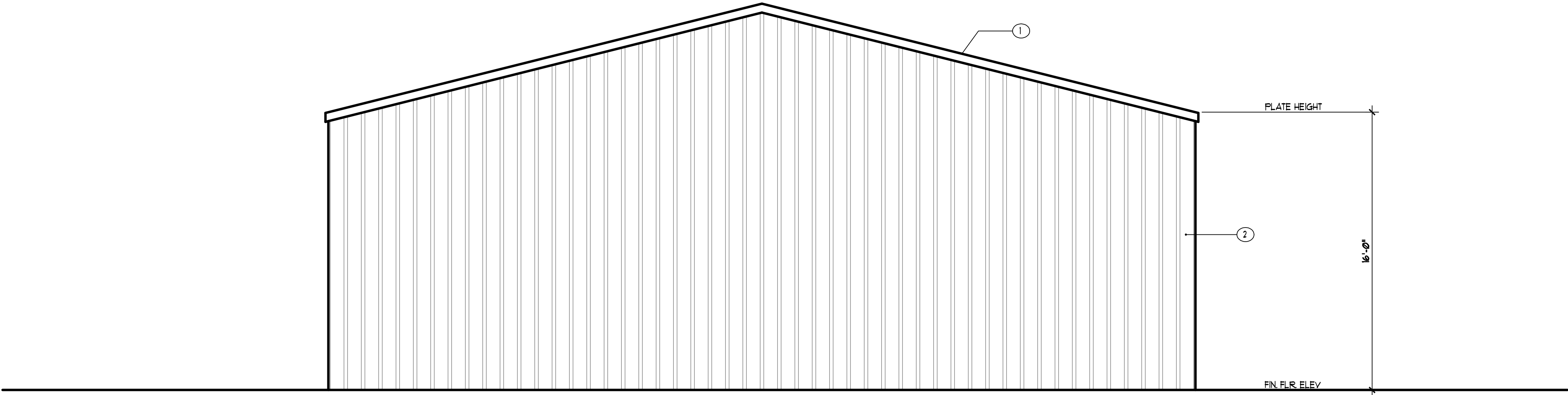


REAR ELEVATION

SCALE: 1/4" = 1'-0"

1. METAL ROOF INSTALLED PER PEMB SPECS. AND TO CONFORM TO 2012 IRC SECTION 905
2. CORRUGATED METAL SIDING OR PER PEMB COLOR TO MATCH EXISTING RESIDENCE

DRAINAGE
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN THE FIRST 10', DRAINS OR SHALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

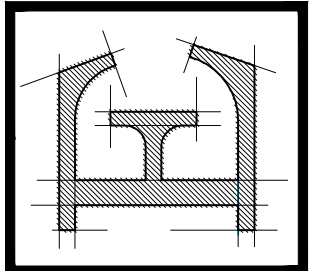


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

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Residential Design Studio LLC
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CARSON CITY, NV 89701

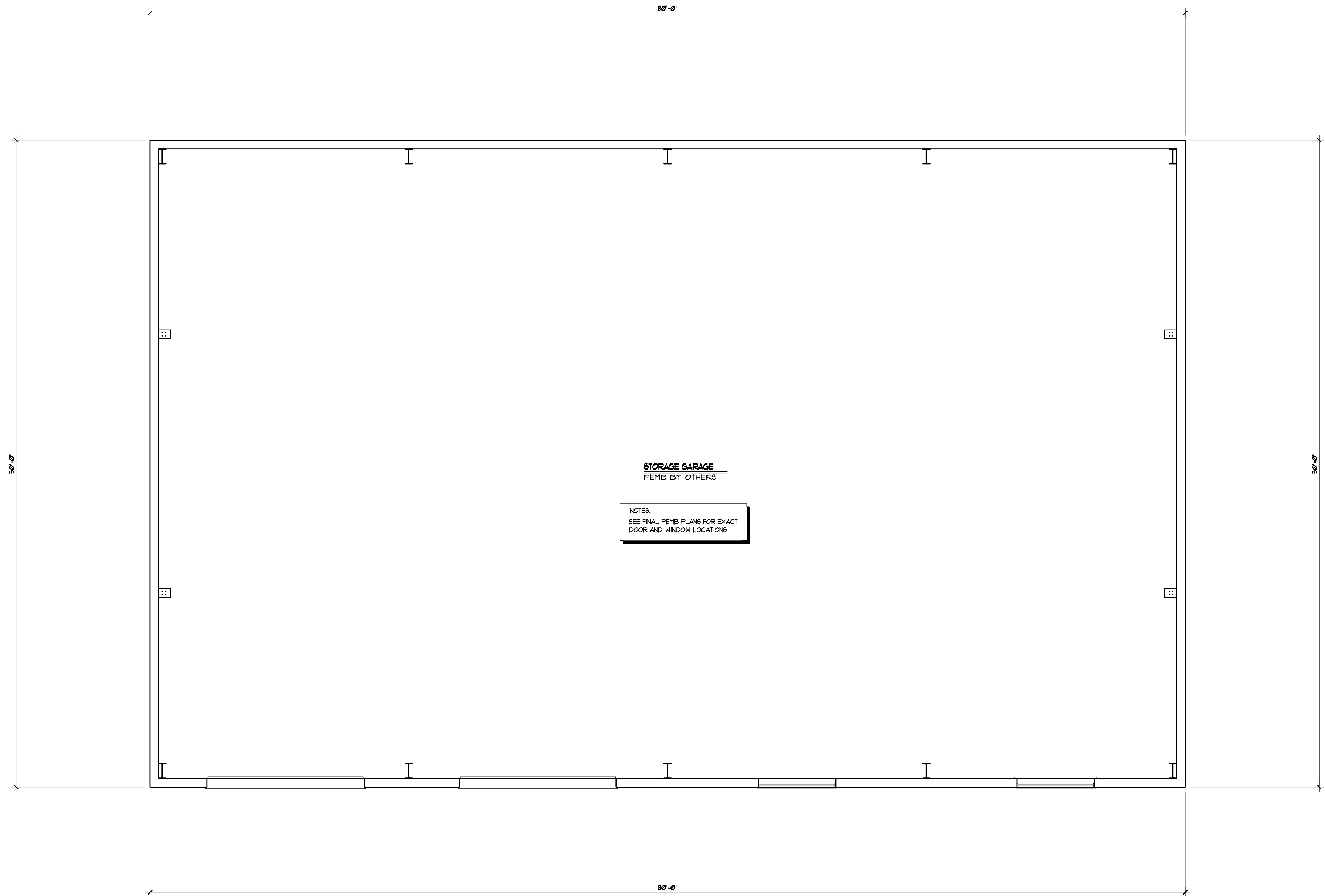
PROJECT:

WILLMAN STORAGE GARAGE
4488 HILLYVIEW DR.
CARSON CITY, NV 89701
A.P.N. 009-189-18

DATE	12/14/2020
JOB NO.	084-20
FILE	084EL2
SCALE	1/4"=1'-0"

SHEET

A-2



GENERAL NOTES:
SAFETY GLAZING MUST BE USED IN
ALL HAZARDOUS AREAS PER 2018
IRC SECTION R-308
PROVIDE LANDINGS PER 2018 IRC
SECTION 313
ALL LUMBER SHALL BE STD. NO. 2
GRADE OR BETTER UNLESS
OTHERWISE NOTED
MEASUREMENTS ARE TO STUD
FACE UNLESS OTHERWISE NOTED
ALL WORK & MATERIAL SHALL CONFORM TO ALL
PERTINENT REQUIREMENTS OF THE 2018 IRC,
AND ALL LOCAL GOVERNING CODES, REGULATIONS,
AND ORDINANCES.

WHERE CERAMIC TILE IS INSTALLED IN TUB AND SHOWER AREAS, ONLY GLASS MAT GYPSUM BACKING PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, AND NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS SHALL BE USED PER 2018 IRC R102.4.

TUB AND SHOWER SPACES WITH SHOWER HEADS SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6'-0" (11") ABOVE THE FLOOR PER 2018 IRC 302.12.

ALL BATHROOM WINDOWS SHALL BE SAFETY GLAZED PER 2018 IRC 308.4.5.

ALL GARAGE SLABS WITH STEPMALL FOUNDATION SHALL SLOPE TOWARDS THE GARAGE DOOR AT A 2% SLOPE MINIMUM.

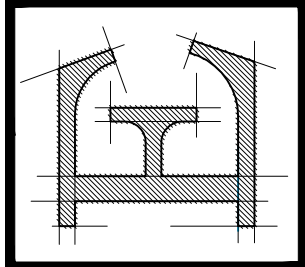
WATER HEATERS SHALL BE SEISMICALLY BRACED PER 2018 IRC M302.12.

FLOOR PLAN

STORAGE GARAGE: 4,000 SQ. FT.

SCALE: 1/4" = 1'-0"

REVISIONS



OWNER / CONTRACTOR:

JIMMIE & SHERYL WILLMAN
4488 HILLVIEW DR.
CARSON CITY, NV 89701

THE

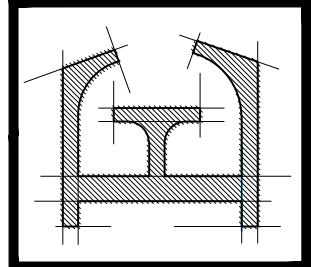
WILLMAN STORAGE GARAGE
4488 HILLYVIEW DR.
CARSON CITY, NV 89701
A.P.N. 009-189-18

DATE	12/14/2020
JOB NO.	084-20
FILE	084FP1
SCALE	1/4" = 1'-0"

A = 3

REVISIONS

Element
Residential Design Studio LLC
675 Fairview Ste. #228 Carson City, NV 89701
Brian Hendrix P.E. #210-RD (775) 680-3862
WWW.ELEMENTNEVADA.COM



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4488 HILLYVIEW DR.
CARSON CITY, NV 89701

PROJECT:
WILLMAN STORAGE GARAGE
4488 HILLYVIEW DR.
CARSON CITY, NV 89701
A.P.N. 009-189-18

DATE	12/14/2020
JOB NO.	084-20
FILE	084SP
SCALE	1" = 20'-0"

SHEET

C-1

SITE PLAN

A.P.N. 009-189-18

ACREAGE: 1.0 ACRES

ZONING: SFIA

SETBACKS: FRONT - 30'
SIDES - 15'
REAR - 30'

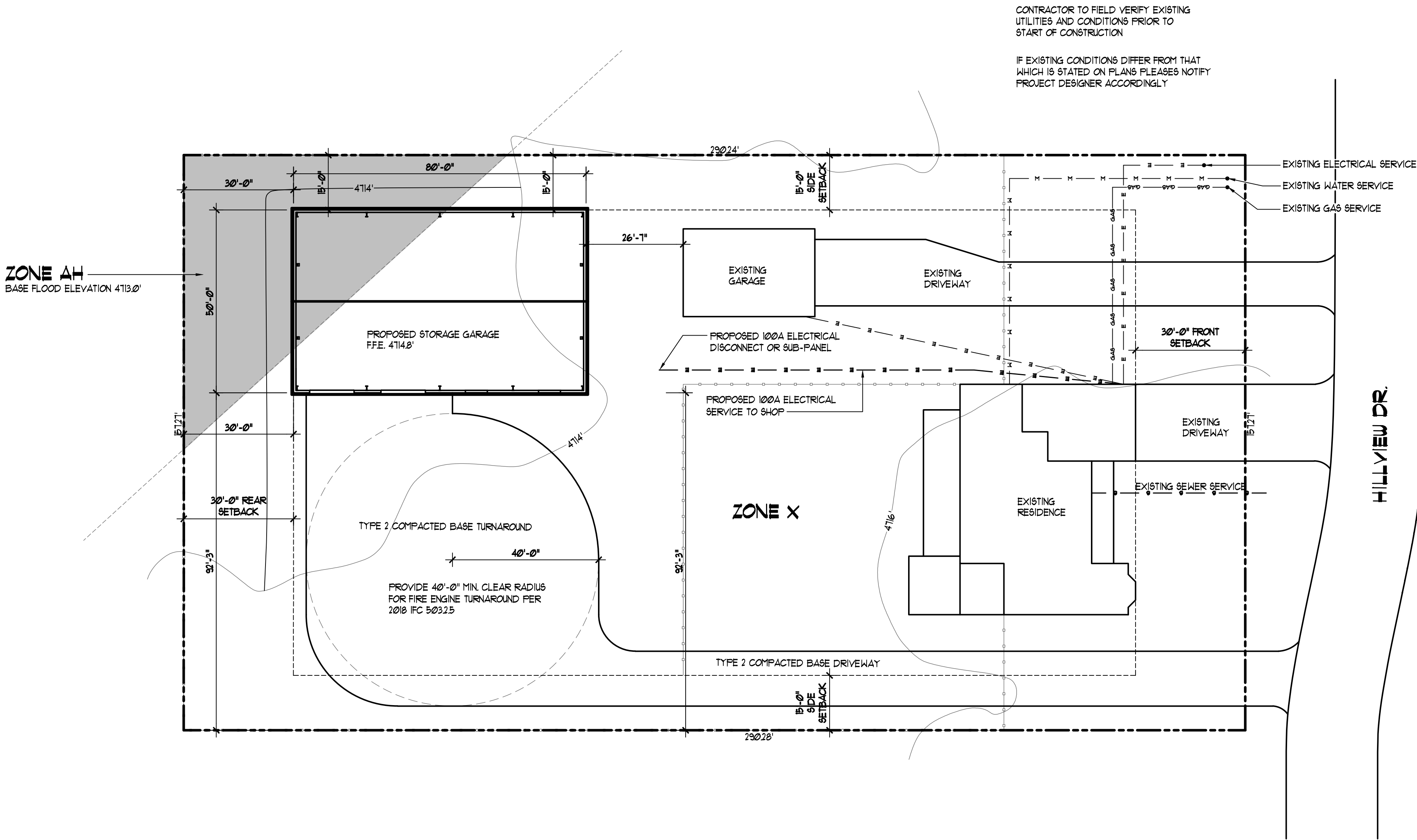
FLOOD ZONE: X-UNSHADED / AH

PHYSICAL ADDRESS: 4488 HILLYVIEW DR
CARSON CITY, NV

PROPOSED 4,000 SQ. FT. STORAGE GARAGE
FOR JIMMIE & SHERYL WILLMAN

NO SURVEY PROVIDED
THIS SITE PLAN IS PROVIDED FOR THE LOCATION
OF THE PROJECT FOR CONSTRUCTION PURPOSES
ONLY. THIS IS NOT A GRADING PLAN.

- SITE PLAN NOTES:
- THE OWNER / CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS.
 - GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
 - THE OWNER / CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND UTILITY CONNECTIONS PRIOR TO START OF CONSTRUCTION. OWNER / CONTRACTOR SHALL NOTIFY PROJECT DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
 - OWNER / CONTRACTOR SHALL REMOVE ALL SITE DEBRIS PRIOR TO COMPLETION OF CONSTRUCTION.
 - COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO PERCENT (2%) OPTIMUM. SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN BUILDING AREAS.
 - MAXIMUM SLOPE TO BE 3:1 UNLESS SLOPE STABILIZATION IS USED.
 - PROVIDE TEMPORARY EROSION CONTROL FENCING WHERE NECESSARY OR REQUIRED.
 - CONTRACTOR TO SUPPLY SITE CONSTRUCTION FENCING AT LIMITS OF DISTURBANCE WHERE NECESSARY OR REQUIRED.



SITE PLAN

SCALE: 1" = 20'-0"

