STAFF REPORT FOR THE HISTORIC RESOURCES COMMISSION MEETING OF MARCH 11, 2021

FILE NO: HRC-2021-0042 **AGENDA ITEM: F-2**

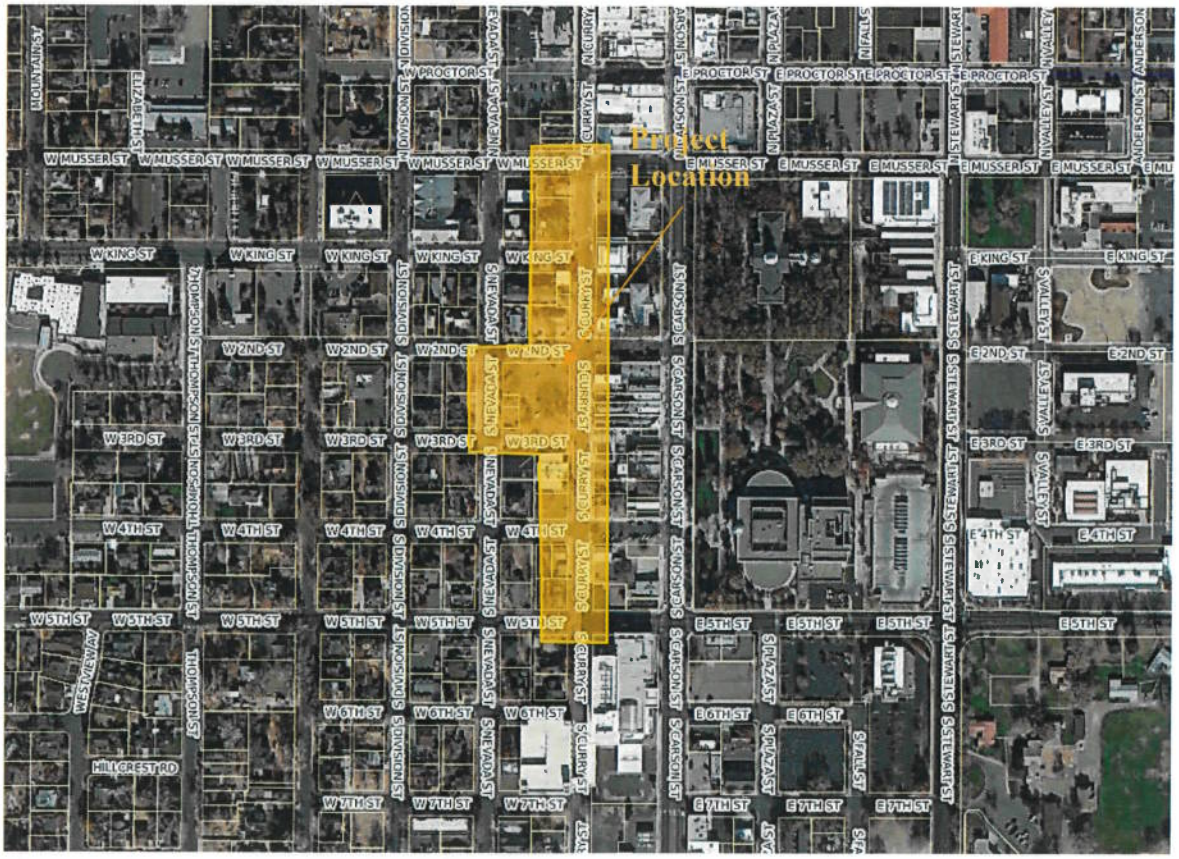
STAFF CONTACT: Hope Sullivan, AICP, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for streetscape improvements along Curry Street between 2nd Street and Musser Street and reconstruction of the Third Street parking lot on property zoned public community (PC) located at 202 South Curry Street, APN 003-114-06 (Hope Sullivan, hsullivan@carson.org).

STAFF SUMMARY: The applicant is proposing improvements along Curry Street including removing and replacing existing sidewalk trees and landscaping. Streetlights will be replaced, and furniture installed. Work in the parking lot will include reconfiguration and relocation of planters. The Commission will review the request for compliance with the guidelines for the historic district.

RECOMMENDATION: "I move to approve HRC-2021-0042, based on the finding that the request is consistent with the design guidelines for the historic district and the Secretary of the Interior Standards, and subject to the conditions of approval in the staff report."

MAP



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the attached site development plan.

2. All on and off-site improvements shall conform to City standards and requirements.

3. The use for which this permit is approved shall commence within 12 months of the date of final approval. An extension of time must be requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this request not be initiated within one year and no extension granted, the request shall become null and void.

4. The applicant must sign and return the Notice of Decision within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Historic Resources Commission meeting for further consideration.

5. The bump out of the sidewalk on the northwest side of the intersection of W. 2nd Street and S. Curry Street shall be removed unless determined to be necessary to meet ADA requirements.

LEGAL REQUIREMENTS: CCMC 18.06.015 (Procedure for Proposed Project)

DISCUSSION:

The Carson City Public Works is proposing to reconstruct the 3rd Street parking lot located at 202 S. Curry Street and complete streetscape improvements along Curry Street between 2nd Street and Musser. The work within the parking lot will consist of reconfiguring the interior parking lot layout and relocating parking lot planters. The location of the planters and sidewalk around the perimeter of the parking lot are to remain or be improved to match the existing layout. Improvements along Curry will consist of removing and replacing existing sidewalk, trees, and landscape planters. Gas Street lights will be replaced with electric lamps and additional lights will be added for improved visibility for pedestrians and vehicles. Site furnishing including benches, bike bollards, and trash receptacles will be installed to match the theme of furnishing installed in the previous project in the downtown.

Portions of the proposed project are located within the district including the 3rd Street parking lot; however, the parking lot is a non-contributing property and therefore there are no contributing elements to preserve. The proposed project will affect the exterior landscape features and spaces that characterize the district, therefore, review and approval by the HRC is required (CCMC 18.06.015).

Division 5.25 of the Carson City Development Standards provides guidelines for landscape elements. The guidelines recognize that the Carson City Historic District is characterized by a typical rectangular grid street system without alleys. The streets vary in width, but all are characterized by "L" shaped concrete curbs and gutters, a sidewalk and planting strip between the street and sidewalk. Generally, this planting strip contains a row of deciduous trees and lawn. These basic elements create a strong visual quality to the district which is consistent and should be encouraged. In this case, the applicant

has proposed maintaining existing trees wherever feasible in the planting strips; however, due to the width of the planting strips the bulk of the new plantings will be limited to shrubs, ornamental grasses, and perennials.

Attachments: HRC-2021-0042 application

Carson City Planning Division
108 E. Proctor Street· Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE

APPLICANT	PHONE #
Carson City Public Works	775-283-7584
MAILING ADDRESS, CITY, STATE, ZIP	
3505 Butti Way, Carson City, Nevada	
EMAIL ADDRESS	
danderson@carson.org	
PROPERTY OWNER	**PHONE #**
Carson City PW	775-283-7584
MAILING ADDRESS, CITY, STATE, ZIP	
3505 Butti Way, Carson City, Nevada	
EMAIL ADDRESS	
danderson@carson.org	
APPLICANT AGENT/REPRESENTATIVE	**PHONE #**
Darren Anderson	775-283-7584
MAILING ADDRESS, CITY, STATE, ZIP	
3505 Butti Way, Carson City, Nevada	
EMAIL ADDRESS	
danderson@carson.org	

FOR OFFICE USE ONLY:

CCMC 18.06

HISTORIC RESOURCES COMMISSION

FEE: **None**

☐ **SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:**

- ☐ Application Form with Signatures
- ☐ Written Project Description
- ☐ Site Plan
- ☐ Building Elevations
- ☐ Proposed Building Materials
- ☐ Documentation of Taxes Paid-to-Date

☐ **CD or USB DRIVE with complete application in PDF**

Application Received and Reviewed By:

_____

Submittal Deadline: Historic Resources Commission application submittal schedule.

Note: Submittals must be of sufficient clarify and detail for all departments to adequately review the request. Additional information may be required.

Project's Assessor Parcel Number(s):	Street Address	
00311406	Curry Street between Musser and 2nd, 202 S. Curry St	
Project's Master Plan Designation	**Project's Current Zoning**	**Nearest Major Cross Street(s)**
Downtown Mixed Use	Public Community	Curry, 2nd, King, Musser

riefly describe the work to be performed requiring Historic Resources Commission review and approval. In addition to the brief description of your roject and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. NOTE: The Historic District rdinance and Historic District Design Guidelines, as well as Policy Statements, are available in the Planning Division to aid applicants in preparing their lans. If necessary, attach additional sheets.

Carson City Public Works is proposing to reconstruct the 3rd Street parking lot located at 202 S. Curry as well as complete streetscape improvements along Curry Street between 2nd Street and Musser. Work in the parking lot will consist of reconfiguring the interior parking lot layout and relocating parking lot planters. The location of planters and sidewalk around the perimeter of the parking lot are to remain or be improved to match the existing layout. Improvements along Curry will consist of removing and replacing existing sidewalk, trees, and landscape planters. Gas street lights will be replaced with electric lamps and additional lights will be added for improved visibility for pedestrians and vehicles. Site furnishings including benches, bike bollards, and trash receptacleswill be installed to match the theme of furnishing installed in previous project in the downtown Carson area.

Reason for project:

This project is being funded through the redevelopment authority to help meet the goal of improving pedestrian circulation in an aesthetically pleasesing way, addition of street lighting, signage, and furniture systems, and undergrounding present overhead utilities systems. Additionally, there has been desire to make the 3rd street parking lot safer and more accessible by removing triping hazards, reducing driveway entrances, wideing drive isle widths, and replacing large trees that have overgrown the planters they are located within.

Will the project involve demolition or relocation of any structure within or into the Historic District? ☒ Yes ☐ No If Yes, please describe:

Existing light poles, planter curb, and sidewalk furnishings will be removed and replaced.

SUPPORTING DOCUMENTATION

Each application requires one complete original packet and three copies, folded to 8 ½ x 11 inches, including a quality site plan and drawings showing work to be performed on the subject project which requires Historic Resources Commission approval. This is any work which will affect the exterior of any structure and any modifications to the site, i.e., fences, walls, or major landscaping. The name of the person responsible for preparation of the plans and drawings shall appear on each sheet.

After the initial review and acceptance of your application by staff, an additional 14 copies will be required to present your project to the Historic Resources Commission.

Attached is a Plan Checklist to aid preparation of plans and architectural drawings. It is understood that all checklist items may not be included in all projects. The list is intended to give the applicant an idea of the breadth of review by the Commission on those items which are included in the subject project. Photographs can be used for illustration and discussion, but are not acceptable as substitutes.

Darren Anderson

Owner's Signature

Same

Applicant's/Agent's Signature

Darren Anderson, Project Manager

Owner's Printed Name

Same

Applicant's/Agent's Printed Name

HISTORIC RESOURCES COMMISSION APPLICATION CHECKLIST

Each application must include the following:

1. **WRITTEN PROJECT DESCRIPTION**

2. **SITE PLAN (SUGGESTED SCALE NOT MORE THAN 1" = 40 FT.)**

To include, but not limited to, the locations, designation and dimensions of the following, including indication if new or existing:

- New and existing building structures including:
  - Distances from property lines and building size indicated by dimensions or square footage.
  - Distances between buildings shall be indicated on the plot plan.
  - Clearly label existing and proposed structures.
  - Show a north point arrow and plot plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals twenty feet on the original plot plan:

- Driveways, walkways and off-street parking areas, including:
  - indication of surface materials
  - dimensions of aisles and spaces
- Property lines, dimensions
- Setback, easement and right-of-way lines
- Stairways, ramps (if new: include surfacing materials, dimensions)
- Fences and walls
- Sign locations with an indication of distance from sidewalks, curbs, driveways, buildings
- Light posts/standards
- Existing trees, landscaping to remain and to be removed
- Proposed landscaping (Complete landscaping requirements, guidelines and applications are available at the Planning Division - Required for all office and commercial projects.)

3. **BUILDING ELEVATIONS AND BUILDING MATERIALS**

Building elevations of all sides of the proposed structure(s) (suggested scale of not less than 1/4" = 1 ft) showing:

- Foundation height and materials
- Finished floor elevation above ground level
- Walls:
    - siding: type, profile shape and dimensions, finish, and texture
    - trim dimensions including all eave and frieze board widths
    - location, shape and size of wall vents, including trim dimensions
    - cornices
- Windows:
    - type (double hung, casement, awning or fixed)
    - material (wood, wood clad, metal)
    - manufacturer
    - window dimensions
    - pane configuration (example: two panes over four)
    - sills (dimensions)
    - trim, including caps, decorative treatments, trim dimensions (and details as necessary)
    - other exterior window treatments (i.e., shutters, window boxes, awnings)
    - storm windows
- Doors:
    - style/design
    - material
    - trim material and dimensions
    - sidelights
    - catalog cuts (if possible)
    - also, garage doors
- Roof:
    - roof line (including height of eave lines from finished grade)
    - roof pitch/slope
    - roof overhang widths
    - roofing materials (type and color)
    - skylights
    - vents, chimneys, stacks
    - exposed mechanical systems (such as air condition units)
- Dormers, including:
    - roof slope, overhang width, etc.
    - siding material
    - window information
    - trim dimensions
- Porches, Balconies:
    - floor height above grade (if a porch)
    - railings, balustrades, newel posts (including dimensions, materials and details as necessary)
    - beams (size and height above porch floor elevation)
    - posts, columns, pillars, including dimensions and any special treatments such as turnings, caps, post ornamentation, fret brackets, fret work, trim; provide details as necessary
    - post spacing (from post center to post center)
    - moldings and trim

- Protruding Bays
    - roofing information
    - roof slope + pitch
    - window information
    - siding information

- Stairways, Rampways
    - railings, balustrades, newel posts (dimensions, materials, and details as needed)
    - surface materials of stairs, ramps
    - ramp slopes

- Fences, Walls
    - material and material dimensions (including posts, rails, facing material, decorative fretwork, etc.)
    - height
    - length (show on site plan)
    - post spacing
    - thickness (if wall)
    - lighting

- Arbors, trellises, gazebos

- Signs, wall plaques, window graphics
    - material to be used and material dimensions, including post dimensions, post caps, sign board
    - size and height and ground clearance
    - shape
    - color
    - lettering and lettering size
    - location (show on site plan if not on building)
    - illumination
    - material samples

- Sections as required to illustrate proposed construction more clearly (suggested scale of not less than 1/4"). Items may include but may not be limited to the following:
    - porches, balconies
    - gable ends
    - eaves
    - cornices

- Detail drawings as required to illustrate proposed construction more clearly (suggested scale not less than ½ inch). See above for suggested items.

- Manufacturer's catalog data and/or samples keyed to drawings

RESTORATION, RENOVATION, RECONSTRUCTION AND ADDITIONS TO EXISTING STRUCTURES

Provide same information as above, but also include photographs showing existing building elevations, special building details, or any other information the applicant feels is important to further explain the project.

5. MOVING OF A STRUCTURE ONTO A PROPERTY

- Provide same information as above, but also provide photographs of all existing building elevations.

6. DEMOLITION OR REMOVAL OF A STRUCTURE TO ANOTHER LOCATION

- Provide photographs of the building; if structure is to be moved, provide address of new location. (Carson City Municipal Code Section 18.06.075 outlines procedures for action by the Historic Resources Committee on demolition of historic structures.)

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS

CARSON CITY, NEVADA

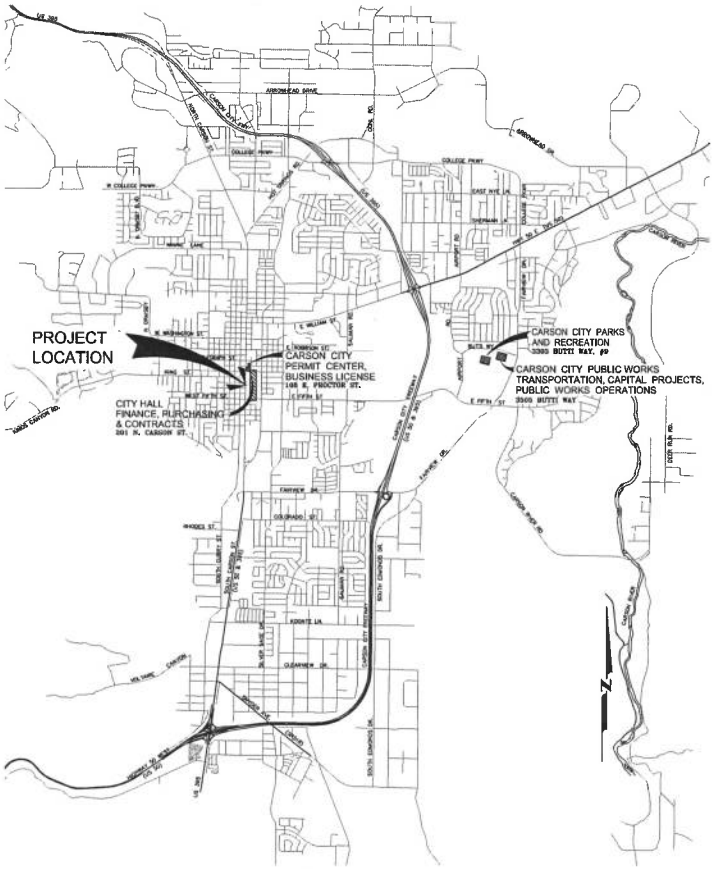
PROJECT NO. P751020001

BOARD OF SUPERVISORS

Lori Bagwell	Mayor
Stacey Giomi	Supervisor
Maurice White	Supervisor
Stan Jones	Supervisor
Lisa Schuette	Supervisor
Aubrey Rowlatt	City Clerk

DESIGNED FOR:

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY
CARSON CITY, NV 89701
(775) 887-2355



VICINITY MAP
N.T.S.

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CS5	SIGNING & STRIPING DETAILS
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LI1-LI4	LANDSCAPE IRRIGATION PLANS
LD1-LD2	LANDSCAPE / IRRIGATION DETAILS

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
OR
1-800-227-2600

DESIGNED BY: DSA/DLF
DRAWN BY: DLF/DGR
CHECKED BY: DSA/DGR
DWG NO.: P751020001-G1.dwg
SCALE (HORIZ): AS SHOWN
SCALE (VERT): N/A
PLOT DATE: 3/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET & 3RD STREET PARKING LOT
TITLE SHEET

SHEET G1 OF 57

90% DESIGN FOR REVIEW ONLY

1. ALL WORK SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (SSPWC) AND THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" (SSPWC) AS ADOPTED BY CARSON CITY. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR PUBLIC WORKS CONSTRUCTION FROM THE CARSON CITY PERMIT CENTER PRIOR TO THE START OF CONSTRUCTION.
2. ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE CARSON CITY RIGHT-OF-WAY SHALL CONFORM TO SECTION 100.33, 332.04 AND 332.05 OF THE STANDARD SPECIFICATIONS, PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE WAA TC CENTER, TEMPORARY TRAFFIC CONTROL GUIDELINES LATEST EDITION. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CARSON CITY ENGINEERING DIVISION PRIOR TO ANY STREET CLOSURES.
3. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (811) OR 1-800-227-2600) AT LEAST TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION AND COMPLY WITH THE REQUIREMENTS OF NRS AND NAC 455 THROUGHOUT THE COURSE OF THE WORK. SEWER SERVICE LATERALS ARE NOT OWNED OR MARKED BY CARSON CITY.
4. THE CONTRACTOR SHALL CALL THE CARSON CITY ENGINEERING DIVISION (887-2300) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL ONE (1) WORKING DAY PRIOR TO REQUIRED INSPECTIONS AND TESTING. THE REQUIRED INSPECTIONS AND TESTING ARE LISTED ON THE INSPECTION RECORD ISSUED WITH EACH PERMIT. THE CONTRACTOR MUST HAVE THE PERMIT NUMBER AND THE DESCRIPTION LISTED ON THE INSPECTION RECORD TO SCHEDULE REQUIRED INSPECTIONS AND TESTING. FOR CITY CONSTRUCTED PROJECTS, THE CONTRACTOR SHALL SCHEDULE INSPECTIONS PER THE CONTRACT DOCUMENTS.
5. FINAL INSPECTIONS WILL BE PERFORMED BY CARSON CITY ENGINEERING DIVISION ACCORDING TO THE CARSON CITY INSPECTIONS AND TESTING PROCEDURES. NOTE: THESE PROCEDURES REQUIRE SUBMITTAL OF RECORD DRAWING PRINTS BY THE CONTRACTOR AND 10 WORKING DAYS TO PREPARE A FINAL PUNCH LIST. ALL CONDITIONS OF THE FINAL INSPECTION MUST BE COMPLETED PRIOR TO FINAL ACCEPTANCE OR ANY APPROVAL OF A CERTIFICATE OF OCCUPANCY BY THE CARSON CITY ENGINEERING DIVISION.
6. MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE CARSON CITY ENGINEERING DIVISION. WORK PERFORMED WITHOUT WRITTEN APPROVAL BY CARSON CITY ENGINEERING WILL REQUIRE REMOVAL AT THE CONTRACTORS EXPENSE.
7. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
8. PLAN APPROVAL FOR SEWER AND WATER CONSTRUCTION SHALL EXPIRE ONE YEAR FROM DATE OF APPROVAL UNLESS CONSTRUCTION HAS BEEN INITIATED. (CCMC 12.08.180F, 12.01.140D)
9. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR ACQUIRING A STORMWATER DISCHARGE PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION (NDEP) INCLUDING DEVELOPING, SUBMITTING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL DEVELOP, PLACE AND MAINTAIN STORM WATER PROTECTION DEVICES IN COMPLIANCE WITH THE NEVADA CONTRACTORS FIELD GUIDE FOR CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (JUNE 2013).
10. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR LOCATING EXISTING UTILITIES. IT SHALL BE THE CONTRACTORS' RESPONSIBILITY TO VERIFY THESE LOCATIONS AT THE PROPOSED POINTS OF CONNECTIONS AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION, PRIOR TO BEGINNING CONSTRUCTION. POTHOLING IS REQUIRED. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THE CONSTRUCTION DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
11. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF PROPER SHORING OF TRENCHES IN ACCORDANCE WITH OCCUPATIONAL SAFETY LAWS. THE DUTIES OF THE ENGINEER DO NOT INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY IN, ON, OR NEAR THE CONSTRUCTION SITE.
12. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATING THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 10,11,12	9/17	GENERAL NOTES	CARSON CITY
				DRAWING NO. C-1.1.1
APPROVED BY: SSR		9/17		DATE SEP 2017

1. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND THE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS PER NAC 445A.67143 (1)(a)
2. WATER MAIN SHUTDOWNS/INTERRUPTION OF WATER/FIRE SERVICE:
   OBTAIN TENTATIVE APPROVAL FROM CARSON CITY WATER UTILITY PRIOR TO PLANNING A SHUTDOWN. APPROVAL IS REQUIRED ONE WORKING DAY PRIOR TO NOTIFICATION OF CUSTOMERS. COMMERCIAL CUSTOMERS SHALL RECEIVE 2 WORKING DAYS WRITTEN AND VERBAL NOTICE OF A SHUTDOWN. SPECIAL ARRANGEMENTS INCLUDING NIGHTTIME SHUTDOWNS MAY BE REQUIRED OF THE CONTRACTOR TO ACCOMMODATE CUSTOMER OPERATIONS. RESIDENTIAL CUSTOMERS SHALL RECEIVE 24 HOURS WRITTEN NOTICE. WHEN WORK IS PERFORMED BY CITY STAFF, THE CITY IS RESPONSIBLE FOR THE NOTIFICATION. THE CONTRACTOR MAY BE RESPONSIBLE FOR NOTIFICATION, DEPENDING ON THE SHUTDOWN SCENARIO AND MUST ALWAYS COORDINATE ALL CORRESPONDENCE WITH THE CITY. A LIST SHALL BE KEPT BY THE RESPONSIBLE PARTY LISTING THE DATE, TIME AND ADDRESS OF ALL PERSONS NOTIFIED. THE PERSON NOTIFIED SHALL BE INCLUDED ON THE LIST FOR ALL CUSTOMERS. CONTACT CARSON CITY WATER UTILITY FOR PHONE NUMBERS WHEN CUSTOMERS CANNOT BE LOCATED. THE CONTRACTOR WILL BE SUBJECT TO DAMAGE CLAIMS SHOULD THEY FAIL TO NOTIFY CUSTOMERS OR MAINTAIN DOCUMENTATION OF NOTIFICATION OF CUSTOMERS. THE TOTAL TIME OF ANY WATER SERVICE INTERRUPTION IS LIMITED TO 4 HOURS MAXIMUM UNLESS APPROVED OTHERWISE. WATER MAIN SHUTDOWNS WILL ONLY BE SCHEDULED FOR MONDAYS THROUGH WEDNESDAYS, EXCLUDING THE WORKING DAYS BEFORE AND AFTER A HOLIDAY. CONTRACTOR SHALL MAKE A WRITTEN REQUEST, TO THE WATER UTILITY MANAGER OR DESIGNEE, A MINIMUM OF 5 BUSINESS DAYS IN ADVANCE OF ANY PLANNED SHUTDOWN.
3. THE CONTRACTOR SHALL NOT OPERATE ANY EXISTING CITY WATER VALVES.
4. WATER MAINS SHALL BE PVC C900, DR 18 MINIMUM WALL THICKNESS UNLESS HIGHER PRESSURE IS SPECIFIED ON THE PLANS. ALL SEPARATIONS SHALL BE IN ACCORDANCE WITH THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS. WATER SERVICES 2 INCHES OR LESS SHALL BE CTS 901, PE TUBING MINIMUM 200 PSI; WATER SERVICES 3 INCHES OR GREATER SHALL BE 4 INCH MINIMUM DIAMETER PVC C900, DR 18 OR AS SPECIFIED ON THE PLANS.
5. MAINTAIN 18 INCHES VERTICAL AND 5 FEET HORIZONTAL SEPARATION BETWEEN ALL UNDERGROUND UTILITY LINES AND WATER LINES. IF WATER LINE IS BELOW POWER LINE OR IS WITHIN 18 INCH VERTICAL SEPARATION OF POWER LINE, POWER/TELEPHONE LINE SHALL BE ENCASED WITH 4 INCHES MINIMUM OF CONCRETE EXTENDING 5 FEET EACH SIDE OF CROSSING. (SEE HV ENERGY SPECS.) CONCRETE ENCASEMENT OF WATER LINES IS NOT ALLOWED.
6. ALL HOT TAPS, 4 INCH DIAMETER TO 12 INCH DIAMETER, ARE TO BE PERFORMED BY CARSON CITY WATER UTILITY. THE CONTRACTOR SHALL CONTACT THE WATER OPERATIONS SUPERVISOR AT LEAST 2 WORKING DAYS PRIOR TO SCHEDULING HOT TAP DATE AND TIME (HOT TAPS ARE PERFORMED MONDAY THRU THURSDAY EXCLUDING THE WORKING DAYS BEFORE AND AFTER A HOLIDAY). PRIOR TO HOT TAPPING, THE SADDLE SHALL BE HYDROSTATICALLY PRESSURE TESTED TO 150 PSI MINIMUM OR THE DESIGN OF PIPE SYSTEM FOR A MINIMUM OF 8 MINUTES. THE TEST SHALL BE PERFORMED BY THE WATER UTILITY PERSONNEL PRIOR TO PERFORMING THE TAP. FOR ALL TAPS PERFORMED BY THE CONTRACTOR, ALL TAPPING EQUIPMENT SHALL BE INSPECTED BY AND DISINFECTED IN THE PRESENCE OF CITY FORCES PRIOR TO TAPPING A CITY MAIN.
7. WATER VALVE MARKERS SHALL BE BLUE CARSONITE UTILITY MARKER (CUM-375), 5 FEET-3 INCHES (5'-2") WITH CARSON CITY WATER VALVE DECAL (CWV-116) OR APPROVED EQUAL. PLACE MARKER NO MORE THAN 5 FEET FROM THE VALVE OR AS DIRECTED BY THE CARSON CITY INSPECTOR.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	ALL NOTES	11/20	WATER GENERAL NOTES	CARSON CITY
				DRAWING NO. C-3.1.1
APPROVED BY: RR		11/20		DATE NOV 2020

8. REDUCED PRESSURE PRINCIPLE AND DOUBLE CHECK VALVE BACKFLOW ASSEMBLIES SHALL BE APPROVED BY THE CARSON CITY INSPECTOR, AND TESTED BY A CERTIFIED BACKFLOW ASSEMBLY TESTER. AND TEST RESULTS SHALL BE APPROVED BY CARSON CITY WATER UTILITY. FOR NEW WATER METER SETS, THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED, INSPECTED, APPROVED AND CERTIFIED TEST RESULTS PROVIDED TO THE CARSON CITY INSPECTOR WITHIN 5 DAYS OF METER SET, UNLESS THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR APPROVES OTHERWISE. THE SERVICE WILL BE LOCKED OFF IF INSPECTIONS AND CERTIFICATIONS ARE NOT COMPLETED AS SPECIFIED ABOVE. A 25 DOLLAR FEE WILL BE ASSESSED AT TIME OF TURN-ON WHEN LOCK IS REMOVED DURING NORMAL WORKING HOURS. THE FEE WILL BE ASSESSED ON THE BUILDING PERMIT FOR THE INSTALLATION OF THE BACKFLOW DEVICE.
9. ALL WATER MAIN, WATER/FIRE SERVICE, AND BACKFLOW PREVENTION INSPECTIONS AND TESTING MUST BE APPROVED PRIOR TO APPROVAL OF ANY CERTIFICATE OF OCCUPANCY.
10. DISINFECTION TABLETS SHALL BE PLACED USING TREBOND MULTI-PURPOSE CLEAR 100% SILICONE OR APPROVED EQUAL FOOD GRADE SILICONE.
11. DISINFECTION (NAC 445A.67145.6) – A WATER MAIN MUST NOT BE PLACED INTO SERVICE AFTER ITS INITIAL CONSTRUCTION UNTIL:
    (a.) THE WATER MAIN HAS BEEN DISINFECTED IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION STANDARD C651-05, AS ADOPTED BY REFERENCE IN NAC 445A.6983. THE DISPOSAL OF ANY SPENT CHLORINE SOLUTIONS MUST BE COORDINATED WITH THE DIVISION.
    (b) AN ANALYSIS OF THE WATER MAIN WHICH INDICATES THAT IT MEETS PRIMARY STANDARDS FOR COLIFORM BACTERIA HAS BEEN OBTAINED AND REPORTED TO THE DIVISION ON THE APPROPRIATE DISTRICT BOARD OF HEALTH.
12. PRESSURE TEST (NAC 445A.67145.7) – THE PIPING INSTALLED IN A DISTRIBUTION SYSTEM MUST (BEFORE THE PIPING IS FLUSHED, DISINFECTED OR SAMPLED FOR AN ANALYSIS OF WATER QUALITY), IF PIPING CONSISTS OF:
    (a) DUCTILE IRON, BE PRESSURE TESTED IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION STANDARD C600, AS ADOPTED BY REFERENCE IN NAC 445A.6983.
    (b) PVC, BE PRESSURE TESTED IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION STANDARD C605, AS ADOPTED BY REFERENCE IN NAC 445A.6983. OR
    (c) ANOTHER MATERIAL, BE PRESSURE TESTED IN ACCORDANCE WITH:
        (1) FOR PUBLIC WATER SYSTEMS IN CARSON CITY, FALLON, RENO, SPARKS, YERINGTON, DOUGLAS COUNTY, LANDER COUNTY, LYON COUNTY, NYE COUNTY OR WASHOE COUNTY, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AS ADOPTED BY REFERENCE IN NAC 445A.6983.
13. CONSTRUCTION (NAC 445A.67145.8) – DURING THE CONSTRUCTION OF A DISTRIBUTION SYSTEM, ANY OPENINGS IN UNFINISHED PIPING OR APPURTENANCES MUST BE SEALED AT THE END OF EACH WORKING DAY IN SUCH A MANNER AS TO PREVENT THE ENTRY OF BIRDS AND OTHER ANIMALS, DIRT, TRENCH WATER AND OTHER SOURCES OF POLLUTION OR CONTAMINATION.
14. ALL WATERLINE MATERIALS SHALL BE CERTIFIED TO NATIONAL SANITATION FOUNDATION/AMERICAN NATIONAL STANDARDS INSTITUTE (NSF/ANSI 61) AND 372 STANDARDS (OR APPROVED EQUIVALENT).

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 8,9,10	11/20	WATER GENERAL NOTES	CARSON CITY
				DRAWING NO. C-3.1.1 (307)
APPROVED BY: RR		11/20		DATE NOV 2020

CONSTRUCTION NOTES: (MASTER LIST)

1. PROTECT-IN-PLACE
2. POTHOLE TO VERIFY UTILITY SIZE, DEPTH AND/OR MAKE OF MATERIAL.
3. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.
10. ADJUST EXISTING UTILITY TO NEW FINISH GRADE. CONTRACTOR TO COORDINATE WITH UTILITY OWNER
11. INSTALL WATER VALVE, PER STD. DRAWING C-3.1.4
12. INSTALL/RELOCATE FIRE HYDRANT ASSEMBLY, PER STD. DRAWING C-3.1.7
13. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFICE-RATED LID. REPLACE METER, YOKE AND CHECK VALVE, CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.3.3.1 AND C-3.2.3.2.
14. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFICE-RATED LID. REPLACE METER, YOKE AND CHECK VALVE, CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.3.3.1 AND C-3.2.3.2.
15. ADJUST EXISTING WATER VALVE BOX TO NEW FINISH GRADE PER STD. DRAWING C-3.1.4.
20. INSTALL STORM DRAIN MANHOLE (SIZE PER PLAN), PER DETAIL 1, SHEET D1.
21. INSTALL STORM DRAIN PIPE (SIZE PER PLAN), PER STD. DRAWING C-1.2.1.
22. JOIN EXISTING STORM DRAIN WITH CONCRETE LIID.
23. INSTALL CATCH BASIN TYPE 4-R, PER STD. DRAWING C-4.1.5.
24. RESET EXISTING CATCH BASIN GRATE TO FINISH GRADE.
25. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.5.
26. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.5 AND DETAIL 1, SHEET D2.
27. INSTALL 24" X 36" DROP INLET WITH HIGH-CAPACITY GRATE PER DETAIL 2, SHEET D2.
28. EXISTING TELCO BOX TO BE REPLACED BY AT&T. CONTRACTOR TO COORDINATE WITH AT&T DURING SITE DEMOLITION AND CONSTRUCTION.
30. CONSTRUCT P.C.C. VALLEY GUTTER, PER STD. DRAWING C-5.1.2.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
32. CONSTRUCT GLUE DOWN CURB TYPE A, PER STD. DRAWING C-5.1.5
33. CONSTRUCT P.C.C. PLANTER CURB, PER DETAIL 3, SHEET D5.
34. CONSTRUCT SLOPED PLANTER CURB TRANSITION, PER DETAIL 4, SHEET D5.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
37. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
40. CONSTRUCT P.C.C DRIVEWAY APRON BYPASS, PER STD. DRAWING C-5.2.6.
41. CONSTRUCT PERPENDICULAR CURB RAMP DIRECTIONAL, PER STD. DRAWING C-5.3.2.
42. CONSTRUCT PERPENDICULAR CURB RAMP APEX, PER STD. DRAWING C-5.3.3.
43. CONSTRUCT RADIAL CURB RAMP, PER STD. DRAWING C-5.3.6.
44. CONSTRUCT LINEAR CURB RAMP OFFSET, PER STD. DRAWING C-5.3.7.
45. CONSTRUCT LINEAR CURB RAMP SINGLE ADJACENT, PER STD. DRAWING C-5.3.8.
46. CONSTRUCT MID BLOCK CURB RAMP, PER STD. DRAWING C-5.3.9.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.
48. CUT, DRESS AND INSTALL RECLAIMED GRANITE CURB.
49. INSTALL PAVERS PER SECTION 1, SHEET D5.
50. INSTALL PAVERS OVER EXISTING STORMDRAIN PER SECTION 1, SHEET UT3.
51. INSTALL BOLLARDS PER DETAIL 5, SHEET D5.

1. MANHOLE AND CATCH BASIN MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF SECTION 204 "MANHOLES AND CATCH BASINS" OF THE SSPWC.
2. MARKING TAPE SHALL BE INSTALLED 12 INCHES ABOVE ALL STORM DRAIN PIPE. TAPE WIDTH SHALL BE 3 INCHES; THICKNESS SHALL BE FOUR (4) MIL OR GREATER AND SHALL BE GREEN AND BEAR LARGE PRINTING DENOTING "CAUTION BURIED STORM DRAIN LINE BELOW" OR EQUIVALENT WORDING.
3. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, (CURB AND GUTTER TRANSITION ONLY, ALL UNEXPOSED CONCRETE MAY BE 3000 PSI) MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202.
4. REINFORCING STEEL SHALL BE GRADE 40 AND HAVE 1.5 INCHES MINIMUM CLEAR COVER.
5. EACH CATCH BASIN SHALL HAVE A 4 INCH ALUMINUM BLUE DISK WITH FISH IMAGE AND THE WORDS "NO DUMPING DRAINS TO RIVER" (ALMETEK SD-4 OR APPROVED EQUAL) INSTALLED ON THE TOP OF THE CURB BOX.
6. FRAMES AND GRATES SHALL BE MATCHED TO ACHIEVE A CLOSE TOLERANCE FIT, WITH MINIMAL GAPS, AS APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
7. STORM DRAINAGE IMPROVEMENTS SHALL INCORPORATE WATER QUALITY AND EROSION CONTROLS IN ACCORDANCE WITH CARSON CITY DEVELOPMENT STANDARDS-DIVISION 13, "EROSION & SEDIMENT CONTROL".
8. PRECAST MANHOLES SECTIONS, OTHER THAN GRADE RINGS, SHALL BE JOINED WITH FLEXIBLE PLASTIC GASKET MATERIAL SUCH AS RAM-NEK OR APPROVED EQUAL PER MANUFACTURERS RECOMMENDATIONS.
9. TRACER WIRE SHALL BE ATTACHED TO ANY STORM DRAIN LATERAL WHICH IS NOT PERPENDICULAR TO THE STORM DRAIN MAIN.
10. MANHOLES LOCATED OUTSIDE PAVED AREAS SHALL REQUIRE ALL WEATHER ACCESS ROADWAY CONSISTING OF 8 INCHES TYPE 2, CLASS B AGGREGATE BASE (CONFORMING TO THE SSPWC SECTION 200.01.02) AND STORM DRAIN MANHOLE MARKERS BE INSTALLED. STORM DRAIN MANHOLE MARKERS SHALL BE GREEN CARSONITE UTILITY MARKER (DUM 376), 8 FEET-2 INCHES (9'-2") WITH DECAL READING "STORM DRAIN MANHOLE". PLACE MARKERS ON EASEMENT LINE NEAREST TO MANHOLE OR AS DIRECTED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
11. MANHOLE CONCRETE COLLARS SHALL BE LEFT 2 1/2 INCHES TO 3 INCHES BELOW FINISHED ASPHALT SURFACE. APPLY AN APPROVED TACK COAT (CONFORMING TO THE SSPWC SECTION 316) AND FILL VOID BETWEEN ADJACENT PAVEMENT AND FRAME WITH TYPE 3 AC 20 PAVING (CONFORMING TO THE SSPWC SECTION 330). APPLY FOG SEAL (CONFORMING TO SSPWC SECTION 317) TO THE ASPHALT SURFACE. ALL CUTS IN PAVING SHALL BE STRAIGHT AND EVEN. EXCEPTION: WHEN STRUCTURE NOT LOCATED IN ASPHALT PAVEMENT OR LOCATED IN AN UNPAVED AREA, EXTEND CONCRETE TO FINISH GRADE.
12. GRATES SHALL BE PLACED OUTSIDE OF THE PEDESTRIAN TRAVELED WAY. GRATE OPENINGS SHALL NOT EXCEED 0.5 INCHES IN WIDTH OR 4 INCHES IN LENGTH. GRATES SHALL BE TRAFFIC RATED AND ADA COMPLIANT.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 7	9/17	STORM DRAIN GENERAL NOTES	CARSON CITY
				DRAWING NO. C-4.1.1
APPROVED BY: SSR		9/17		DATE SEP 2017

1. NO CONCRETE SHALL BE PLACED UNTIL FORMS AND SUBGRADE ARE INSPECTED AND APPROVED BY CARSON CITY PUBLIC WORKS.
2. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: SYNTHETIC FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POUND PER CUBIC YARD), 4000 PSI MIN COMPRESSIVE STRENGTH @ 28 DAYS, MIN 6 SACKS OF CEMENT PER CUBIC YARDS WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. DETAIL C-5.1.1 AND CONFORM TO SEC. 312 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
4. IF OBSTRUCTIONS SUCH AS INLETS, UTILITY POLES, FIRE HYDRANTS, ETC. ARE ENCOUNTERED, THE LOCATION AND DIMENSIONS MAY BE ADJUSTED UPON APPROVAL BY CARSON CITY PUBLIC WORKS. A MINIMUM SURFACE OF 4 FEET X 4 FEET CLEAR IS REQUIRED WHEN DIRECTION OF TRAVEL MAY CHANGE AND A MINIMUM SURFACE OF 4 FEET CLEAR IS REQUIRED WHERE DIRECTION OF TRAVEL IS NOT EXPECTED TO CHANGE, UNLESS OTHERWISE APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
5. ALL CONCRETE SHALL BE REMOVED TO A NEAT SAWCUT LINE AT THE NEAREST CONTROL JOINT.
6. ALL AGGREGATE BASE SHALL BE TYPE 2, CLASS B AND SHALL CONFORM TO SEC.200.01. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
7. NEW CONCRETE SHALL HAVE A HEAVY BROOM FINISH PERPENDICULAR TO SIDEWALK.
8. AC PAVEMENT EDGE SHALL BE FLUSH TO 1/4 INCH ABOVE THE LIP OF GUTTER.
9. ALL NEW CONCRETE SHALL BE TREATED WITH BARRACADE SEALANT 100 C OR APPROVED EQUAL. PROVIDED AND APPLIED PER MANUFACTURERS GUIDELINES. NEW CONCRETE TO BE CURED A MINIMUM OF 30 DAYS BEFORE APPLICATION. SURFACES MUST BE DRY A MINIMUM OF 24 HOURS FOLLOWING EXPOSURE TO RAIN OR OTHER SOURCES OF MOISTURE AND BE CLEAN FROM DUST, DIRT, PAINT, EFFLORESCENCE, LAITANCE CURING COMPOUNDS AND OTHER CONTAMINANTS. APPLY PRODUCT USING LOW PRESSURE, NON-ATOMIZING, AIRLESS SPRAY EQUIPMENT. GARDEN TYPE SPRAYERS, BRUSHES, OR ROLLERS MAY BE APPROPRIATE FOR SMALLER PROJECTS OF LESS THAN 200 SQUARE FEET. EXCESS MATERIAL SHALL BE REMOVED WITH A BROOM OR SQUEEGEE; DO NOT ALLOW PRODUCT TO PUDDLE. SURFACE MUST BE PROTECTED FROM PEDESTRIAN AND VEHICLE TRAFFIC FOR A MINIMUM OF 4 HOURS AFTER APPLICATION. DO NOT APPLY MATERIAL TO A FROST FILLED SURFACE, WHEN TEMPERATURES ARE BELOW 32 DEG. F, OR WHEN RAIN IS EXPECTED WITHIN 6 HOURS AFTER APPLICATION.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 8	11/20	SIDEWALK AND DRIVEWAY GENERAL NOTES	CARSON CITY
				DRAWING NO. C-5.2.1
APPROVED BY: RR		11/20		DATE NOV 2020

1. NO CONCRETE SHALL BE PLACED UNTIL FORMS AND SUBGRADE ARE INSPECTED BY CARSON CITY ENGINEERING DIVISION.
2. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: SYNTHETIC FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POUND PER CUBIC YARD), 4000 PSI MIN COMPRESSIVE STRENGTH @ 28 DAYS, MIN 6 SACKS OF CEMENT PER CUBIC YARDS WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. DETAIL C-5.1.1 AND CONFORM TO SEC. 312 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
4. IF OBSTRUCTIONS SUCH AS INLETS, UTILITY POLES, FIRE HYDRANTS, ETC. ARE ENCOUNTERED, THE LOCATION AND DIMENSIONS MAY BE ADJUSTED UPON APPROVAL BY CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR. A MINIMUM LANDING OF 5 FEET X 5 FEET CLEAR IS REQUIRED WHEN DIRECTION OF TRAVEL MAY CHANGE. A MINIMUM OF 4 FEET CLEAR MAY BE USED UPON APPROVAL OF THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR WHERE DIRECTION OF TRAVEL IS NOT EXPECTED TO CHANGE.
5. WHEN A CROSSWALK IS SERVICED BY RAMP, LANDINGS SHALL BE CONTAINED WITHIN THE CROSSWALK AREA.
6. EXISTING CONCRETE SHALL BE REMOVED TO A NEAT SAWCUT LINE OR NEAREST EXPANSION JOINT.
7. PLANTMIX BITUMINOUS SURFACE SHALL BE FLUSH WITH THE EDGE OF THE GUTTER PAN IN THE AREA OF THE CURB RAMP. GUTTER SHALL MAINTAIN POSITIVE DRAINAGE TO PREVENT PONDING.
8. ALL AGGREGATE BASE SHALL BE TYPE 2, CLASS B AND SHALL CONFORM TO SEC.200.01. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
9. NEW CONCRETE SHALL HAVE A HEAVY BROOM FINISH PERPENDICULAR TO SIDEWALK.
10. DETECTABLE WARNINGS SHALL BE:

    CAST JORDAN IRON WORKS 7000 SERIES CAST IRON DETECTABLE WARNING PLATES, TUFTILE ADA DETECTABLE WARNING PRODUCTS CAST IRON TILES OR APPROVED EQUAL.

    INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES AND CONFORM TO ADAAG (4.29) "DETECTABLE WARNINGS". COLOR: ASPHALT DIPPED UNLESS OTHERWISE APPROVED BY CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR. RADIAL DETECTABLE WARNINGS SHALL BE USED WHEN REQUIRED TO MAINTAIN MINIMUM CLEARANCE OF 3 INCHES AND MAXIMUM CLEARANCE OF 8 INCHES FROM DETECTABLE WARNINGS TO BACK FACE OF CURB. RADIAL DETECTABLE WARNINGS SHALL HAVE A RADIUS WITHIN 5 FEET OF BACK FACE OF CURB RADIUS. TUFTILE DETECTABLE WARNINGS SHALL HAVE A 1/8" GAP AROUND THE PERIMETER OF THE ENTIRE ASSEMBLY OF TILES CREATED WITH AN EDGING TROWEL DURING THE FINISHING OF THE CONCRETE TO ALLOW FOR TILE EXPANSION.
11. AC PAVEMENT EDGE SHALL BE FLUSH TO 1/4 INCH ABOVE THE LIP OF GUTTER.
12. CURBS AND CURB AND GUTTER SHALL BE POURED NON-MONOLITHICALLY FROM RAMPS AND LANDINGS.
13. LANDING CROSS SLOPES SHALL BE 1.5% MAXIMUM UNLESS OTHERWISE APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 10	11/20	CURB RAMP GENERAL NOTES	CARSON CITY
				DRAWING NO. C-5.3.1
APPROVED BY: RR		11/20		DATE

LEGEND

EXISTING	PROPOSED	
	BM #	BENCH MARK
WV	WV	WATER VALVE
W	W	WATER LINE
WM	WM	WATER METER
		FIRE HYDRANT
S		SANITARY SEWER MANHOLE
8" SS	8" SS	SEWER LINE
SD	SD	STORM DRAIN MANHOLE
CB	CB	CATCH BASIN (SQUARE)
		CATCH BASIN TYPE 4R
24" SD	24" SD	STORM DRAIN CULVERT
GV		GAS VALVE
		STREET LIGHT
		STREET LIGHT
OHP		OVERHEAD ELECTRIC LINE
		EDGE OF PAVEMENT
		CURB & GUTTER
		PLANTER CURB
5721	5721	CONTOUR LINES
		ASPHALT PAVING
		PCC PAVEMENT
		PAVERS
		LANDSCAPED AREA
X		FENCE LINE
G		GAS LINE
E	E	UNDERGROUND ELECTRIC LINE
T		TELEPHONE LINE
	IRR	IRRIGATION LINE
S	TYPE	SIGN

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BOTT	BOTTOM
BP	BEGINNING POINT
C&G	CURB & GUTTER
CIP	CAST-IN-PLACE
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CONN	CONNECTION
DI	DROP INLET/DUCTILE IRON
DIA, ø	DIAMETER
DWG	DRAWING
DWY	DRIVEWAY
E	EAST
EA	EACH
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EXIST, EX	EXISTING
FG	FINISHED GRADE
FL	FLOWLINE
FT	FEET
G	GAS
GB	GRADE BREAK
GRSS	GRASS
GRVL	GRAVEL
HCR	HANDICAPPED RAMP
HORIZ	HORIZONTAL
HYD	HYDRANT
IE, INV	INVERT ELEVATION
LAT	LATERAL
LF	LINEAL FEET
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRIC
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PERF	PERFORATED
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
Q	FLOW (CFS)
RCP	REINFORCED CONCRETE PIPE
RT	RIGHT
S	SLOPE, SOUTH
SCH	SCHEDULE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SDR	STANDARD DIMENSION RATIO
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SSPWC	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
STA	STATION
STD	STANDARD
STL	STEEL
TBC	TOP BACK OF CURB
T, TELE	TELEPHONE
TC	TOP OF CURB
TOG	TOP OF GRATE
TYP	TYPICAL
U/G	UNDERGROUND
VERT	VERTICAL
W	WEST, WATER
W/	WITH
W/O	WITHOUT
WV	WATER VALVE
XFMR	TRANSFORMER
XING	CROSSING

DESIGNED BY: DSA/DLF
DRAWN BY: DLF
CHECKED BY: DSA/DGR
DWG NO.: P751000000-0000
SCALE (HORIZ): 1"=20'
SCALE (VERT): N/A
PLOT DATE: 3/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET & 3RD STREET PARKING LOT
LEGEND & ABBREVIATIONS

SHEET G3 OF 57

90% DESIGN FOR REVIEW ONLY

I:\CAPITAL PROJECTS\Active\P751020001-2nd and Curry Parking Lot\Design\CAD\Civil\P751020001-Legend.dwg

HORIZONTAL & VERTICAL CONTROL POINT DATA				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
21	147332?.70	2291303.72	4650.70	CC021
82	147358?3.24	2288811.00	4677.12	CC082
88	147352?7.31	2285560.23	4665.78	CC088

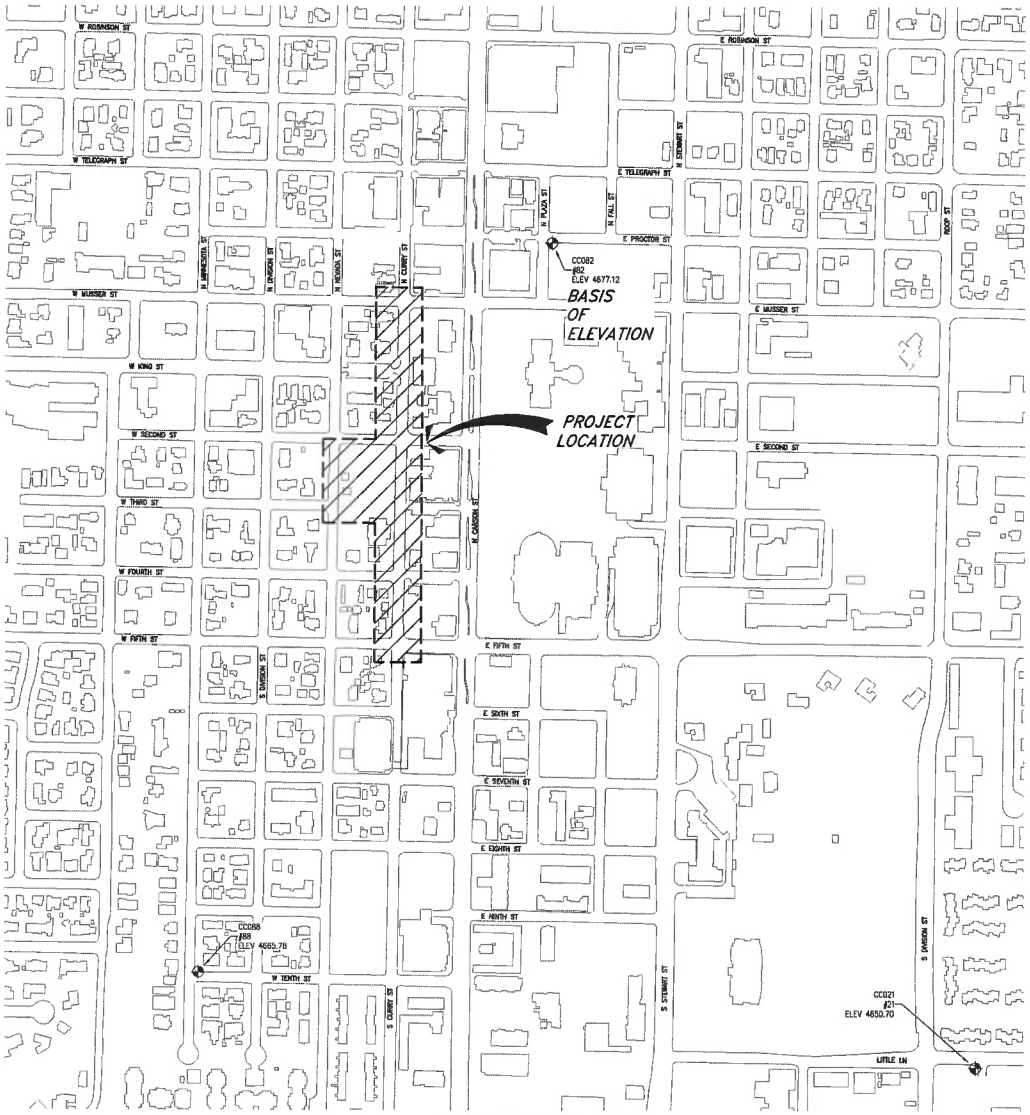
BASIS OF BEARING

NORTH AMERICAN DATUM OF 1983/1994 (NAD 83/94) AS SHOWN ON "2010 CARSON CITY CONTROL NETWORK" RECORD OF SURVEY MAP NO. 2749 RECORDED ON AUGUST 11, 2010 IN THE CARSON CITY RECORDER'S OFFICE AS FILE NO. 403435.

ALL DISTANCES SHOWN HEREON ARE AT GROUND. TO GET TO GRID (STATE PLANE), MULTIPLY THE GROUND VALUES BY 0.99980004.

BASIS OF ELEVATION

BASIS OF ELEVATION FOR THIS PROJECT IS CARSON CITY SURVEY CONTROL MONUMENT CC082, WHICH IS A 2" BRASS DISK STAMPED "CC082 2010" LOCATED AT THE NORTH RETURN OF THE SOUTHEAST CORNER OF THE INTERSECTION OF EAST PROCTOR STREET AND NORTH PLAZA STREET.



SURVEY CONTROL PLAN

SCALE: 1"=200'

SCALE

200 0 100 200

HORIZ: 1" = 200'

REV	DATE	DESCRIPTION	BY	APP'D

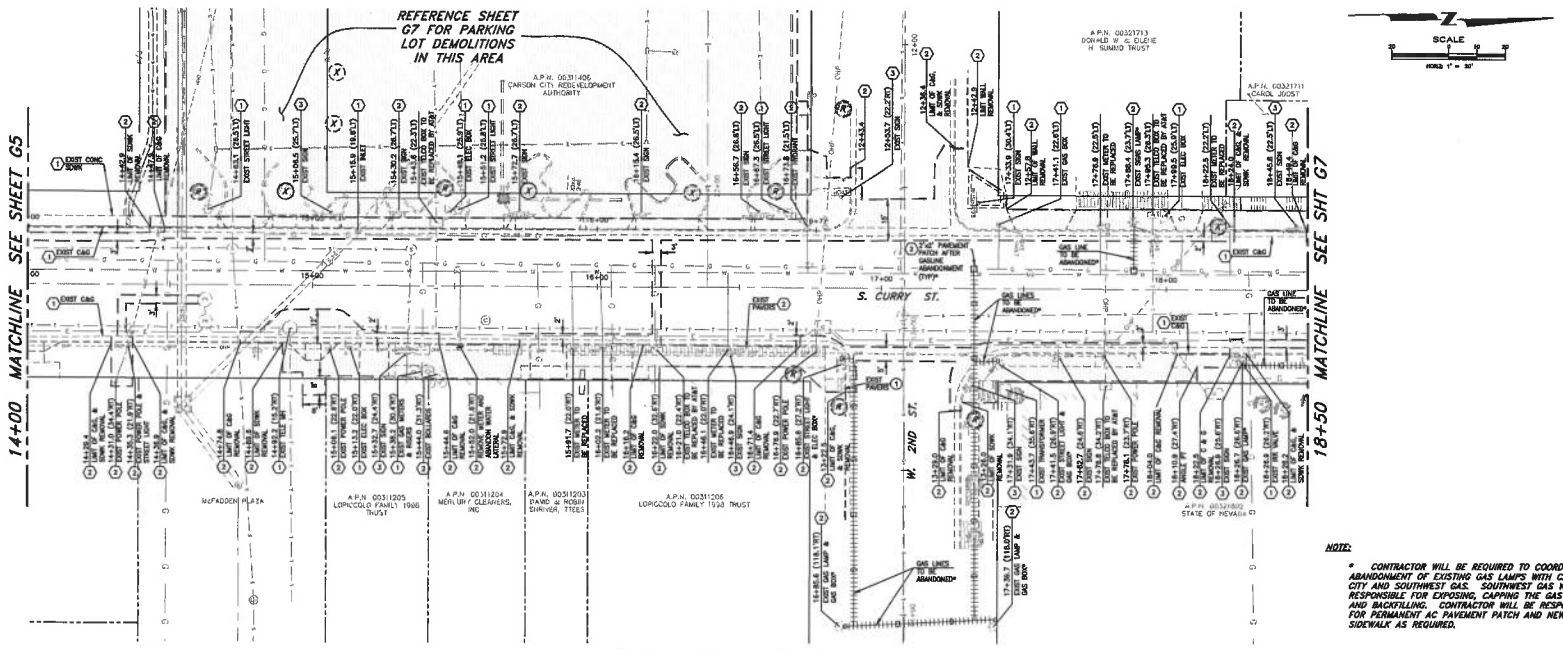
2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET & 3RD STREET PARKING LOT
SURVEY CONTROL PLAN

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2172

DESIGNED BY: DSA/DLF
DRAWN BY: DLF
CHECKED BY: DSA/DGR
DWG NO. P751020001-G4.DWG
SCALE (HORIZ): 1"=200'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

SHEET G4 OF 57

90% DESIGN FOR REVIEW ONLY



PLAN – CURRY STREET

SCALE: 1" = 20'

REFERENCE ELECTRICAL SHEETS FOR CONDUIT LOCATIONS
REFERENCE LANDSCAPE SHEETS FOR IRRIGATION LINE LOCATIONS
REFERENCE SIGNING & STRIPING SHEETS FOR SIGN LOCATIONS

NOTE:

** CONTRACTOR WILL BE REQUIRED TO COORDINATE ABANDONMENT OF EXISTING GAS LAMPS WITH CARSON CITY AND SOUTHWEST GAS. SOUTHWEST GAS WILL BE RESPONSIBLE FOR EXPOSING, CAPPING THE GAS LINE AND BACKFILLING. CONTRACTOR WILL BE RESPONSIBLE FOR PERMANENT AC PAVEMENT PATCH AND NEW PCC SIDEWALK AS REQUIRED.*

DEMOLITION LEGEND:

- AREAS OF DEMOLITION
- (X) EXISTING TREE TO BE REMOVED (TOTAL X)
- (T) EXISTING TREE TO BE TRANSPLANTED (TOTAL X)
- (R) EXISTING TREE TO REMAIN (TOTAL X)

DEMOLITION NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ALL IMPROVEMENTS WITHIN THE HATCHED AREA SCHEDULED FOR REMOVAL. IMPROVEMENTS NOT SHOWN ON THESE PLANS, BUT REQUIRING REMOVAL IN ORDER TO COMPLETE THE WORK SHOWN ON THESE PLANS, SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
2. CONTRACTOR SHALL RAISE/LOWER EXISTING UTILITY VAULTS/BOXES, SCHEDULED TO REMAIN, AS NECESSARY FOR CONSTRUCTION.
3. COORDINATE WITH LANDSCAPING PLANS FOR TREES TO REMAIN/RELOCATE.

(1) PROTECT-IN-PLACE
(2) DEMO AND REMOVE
(3) REMOVE & SALVAGE

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
OR
1-800-227-2600

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DSA, DSA
DWG NO.: P7310200001-Sht-Reg
SCALE (HORIZ): 1"=20'
SCALE (VERT): N/A
PLOT DATE: 2/11/21

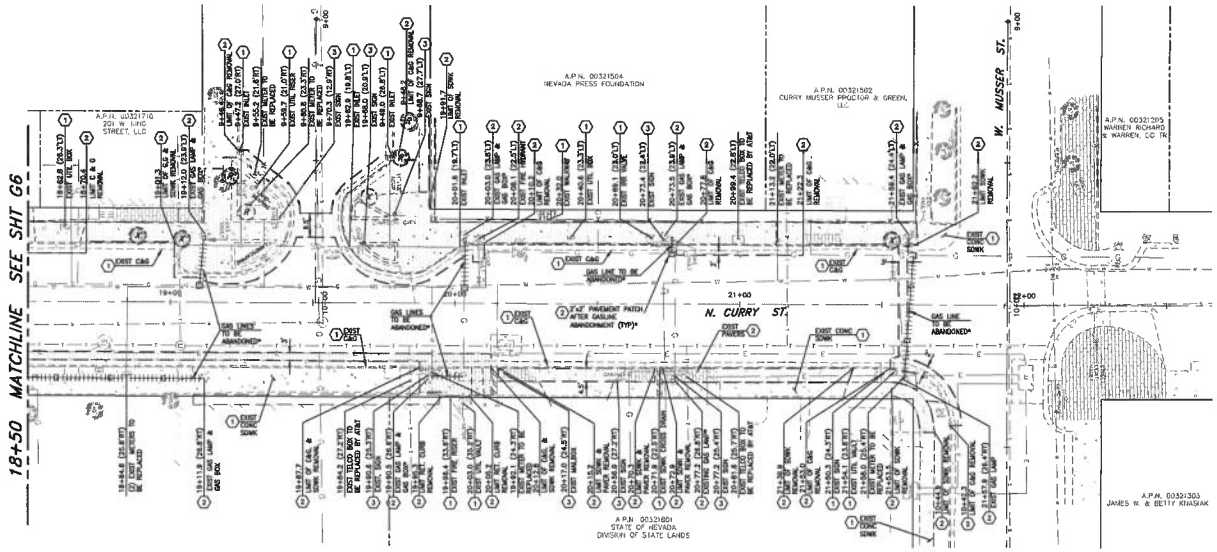
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

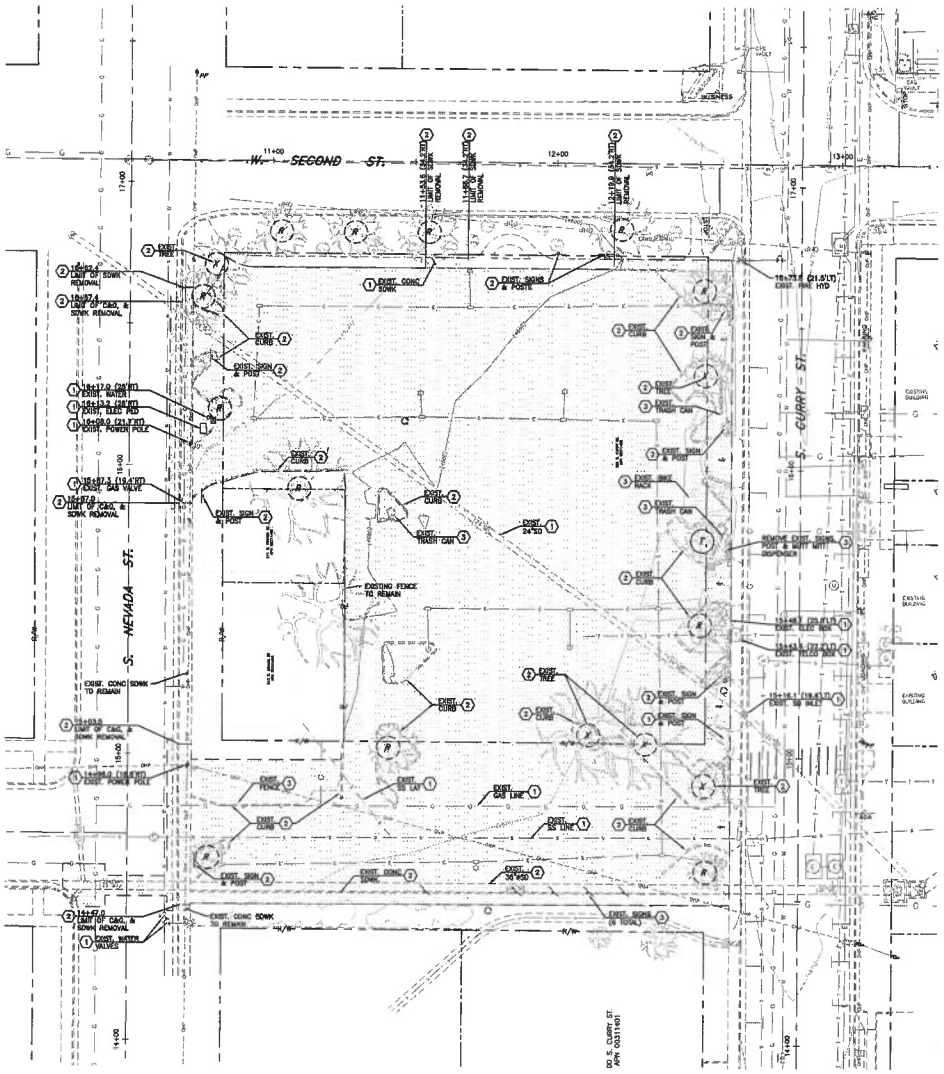
2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P7310200001

CURRY STREET DEMOLITION PLAN
STA 10+00 to STA 18+50

SHEET G8 OF 57

90% DESIGN FOR REVIEW ONLY


18+50 MATCHLINE SEE SHT G6
A.P.N. 00321710
201 N. KING STREET, LLC
A.P.N. 00321504
NEVADA PRESS FOUNDATION
A.P.N. 00321502
CURRY MUSSER PROCTOR & GREEN, LLC
A.P.N. 00321305
WARREN RICHARD & WARREN, CO TN
A.P.N. 00321303
JAMES W. & BETTY KRASIAK
A.P.N. 00321801
STATE OF NEVADA
DIVISION OF STATE LANDS
N. CURRY ST.
W. MUSSER ST.
EXIST C&G
GAS LINE TO BE ABANDONED
GAS LINES TO BE ABANDONED*
GAS LINE TO BE ABANDONED*
7'x7' PAVEMENT PATCH AFTER GASLINE ABANDONMENT (TYP)*
EXIST PAVERS
EXIST CONC SDWK
EXIST CONC SIDWK
EXIST GAS LAMP
EXIST UTIL BOX
EXIST TELCO BOX TO BE REPLACED BY AT&T
EXIST TELCO BOX TO BE REPLACED BY AT&T
EXIST TELCO BOX TO BE REPLACED BY AT&T
EXIST GAS LAMP TO BE REPLACED
EXIST GAS LAMP TO BE REPLACED
EXIST GAS LAMP TO BE REPLACED



DEMOLITION PLAN

SCALE: 1" = 20'

REFERENCE SHEET UT4, FOR LIMITS OF STORM DRAIN REMOVAL & REPLACEMENT

DEMOLITION LEGEND:

- AREAS OF DEMOLITION
- EXISTING TREE TO BE REMOVED (TOTAL 5)
- EXISTING TREE TO BE TRANSPLANTED (TOTAL 1)
- EXISTING TREE TO REMAIN (TOTAL 12)
- (1) PROTECT-IN-PLACE
- (2) DEMO AND REMOVE
- (3) REMOVE & SALVAGE /STOCKPILE FOR REUSE

DEMOLITION NOTES:

1. CONTRACTOR SHALL DEMOLISH AND REMOVE ALL IMPROVEMENTS SHOWN WITHIN THE HATCHED AREA UNLESS OTHERWISE NOTED TO REMAIN.
2. CONTRACTOR SHALL FIELD VERIFY ALL IMPROVEMENTS WITHIN THE HATCHED AREA SCHEDULED FOR REMOVAL. IMPROVEMENTS NOT SHOWN ON THESE PLANS, BUT REQUIRING REMOVAL IN ORDER TO COMPLETE THE WORK SHOWN ON THESE PLANS, SHALL BE INCLUDED IN THE CONTRACTORS BID.
3. CONTRACTOR SHALL RAISE/LOWER EXISTING UTILITY VAULTS/BOXES, SCHEDULED TO REMAIN, AS NECESSARY FOR CONSTRUCTION.
4. COORDINATE WITH LANDSCAPING PLANS FOR TREES TO REMAIN/RELOCATE.
5. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT SHOWN TO BE REMOVED, ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF THREE (3) DAYS PRIOR TO WORKING WITHIN THE DRIP LINE OF A TREE, OR WITHIN 1 FOOT PER DIAMETER INCH OF TREE TRUNK (EXAMPLE: WITHIN 12" OF A 12" DIAMETER TREE).

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
OR
1-800-227-2600

DESIGNED BY: DSA/DGR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO. P751020001-G-DEMO
SCALE (HORIZ) 1"=20'
SCALE (VERT) N/A
PLOT DATE 2/10/21

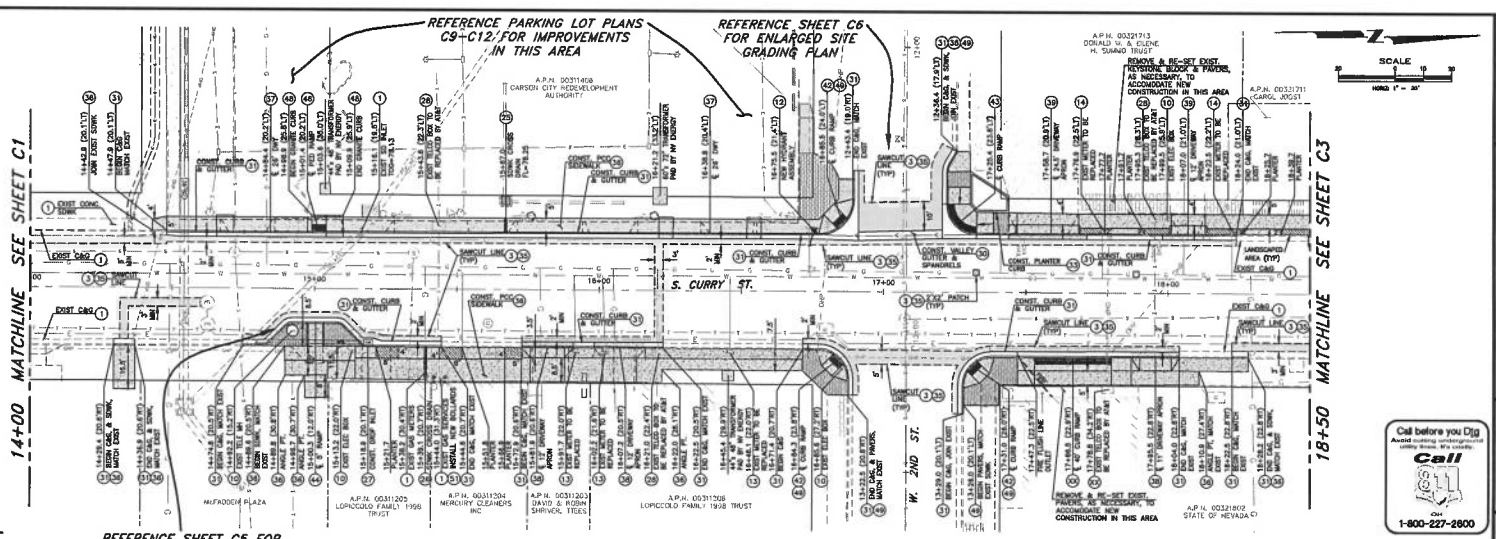
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
3RD STREET PARKING LOT
DEMOLITION PLAN

SHEET G10 OF 57

90% DESIGN FOR REVIEW ONLY



Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call
811
1-800-227-2600

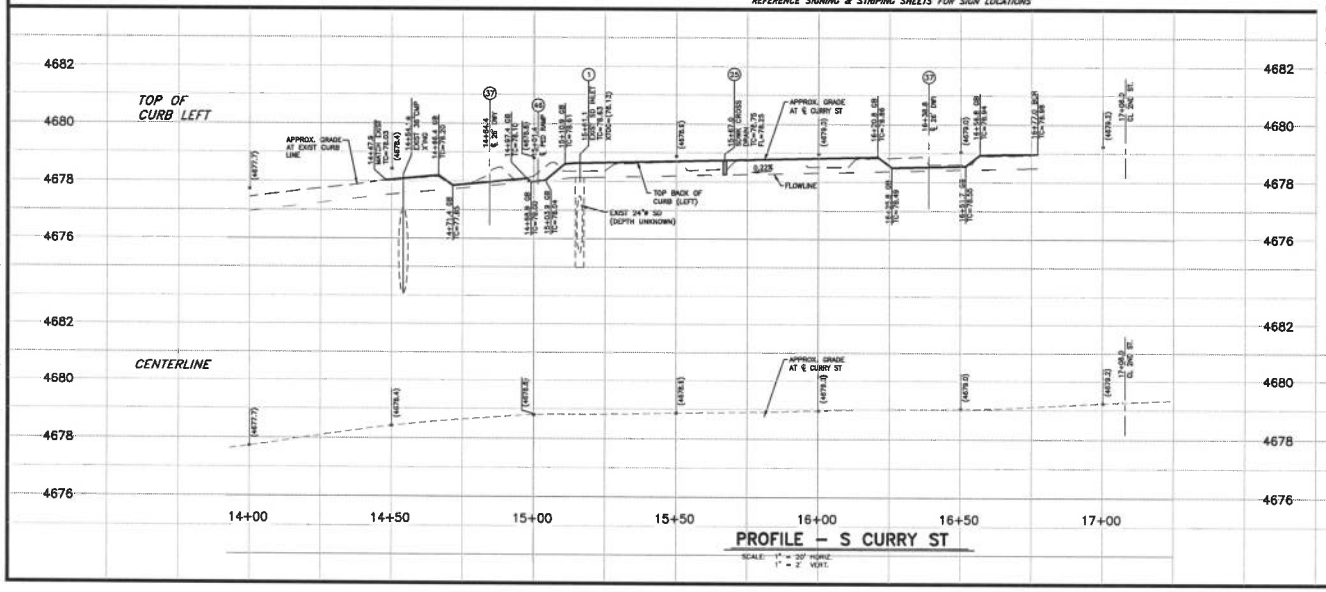
LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS
- LANDSCAPE PLANTER

PLAN – S CURRY STREET

SCALE: 1" = 20'

REFERENCE ELECTRICAL SHEETS FOR CONDUIT LOCATIONS
REFERENCE LANDSCAPE SHEETS FOR IRRIGATION LINE LOCATIONS
REFERENCE SITE GRADING PLANS FOR ADDITIONAL NOTES & GRADING DETAILS
REFERENCE SIGNING & STRIPING SHEETS FOR SIGN LOCATIONS



PROFILE – S CURRY ST

SCALE: 1" = 20' HORIZ.
1" = 2' VERT.

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
3. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.
10. ADJUST EXISTING UTILITY TO NEW FINISH GRADE, CONTRACTOR TO COORDINATE WITH UTILITY OWNER
12. INSTALL/RELOCATE FIRE HYDRANT ASSEMBLY, PER STD. DRAWING C-3.1.7
13. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL H20 TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
14. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
25. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.6.
26. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.6 AND DETAIL 1, SHEET D2.
27. INSTALL 24" X 36" DROP INLET WITH HIGH CAPACITY GRATE PER DETAIL 2, SHEET D2.
28. EXISTING TELCO BOX TO BE REPLACED BY AT&T. CONTRACTOR TO COORDINATE WITH AT&T DURING SITE DEMOLITION AND CONSTRUCTION.
30. CONSTRUCT P.C.C. VALLEY GUTTER, PER STD. DRAWING C-5.1.2.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
33. CONSTRUCT P.C.C. PLANTER CURB, PER DETAIL 3, SHEET D5.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.5.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
37. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
42. CONSTRUCT PERPENDICULAR CURB RAMP APEX, PER STD. DRAWING C-5.3.3.
43. CONSTRUCT RADIAL CURB RAMP, PER STD. DRAWING C-5.3.6.
44. CONSTRUCT MID BLOCK CURB RAMP, PER STD. DRAWING C-5.3.9.
46. CUT, DRESS AND INSTALL RECLAIMED GRANITE CURB.
49. INSTALL PAVERS PER SECTION 1, SHEET D5.
51. INSTALL BOLLARDS PER DETAIL 5, SHEET D5.

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DGR, DSA
DWG NO.: P751020001-001.dwg
SCALE (HORIZ): 1" = 20'
SCALE (VERT): 1" = 2'
PLOT DATE: 2/11/21

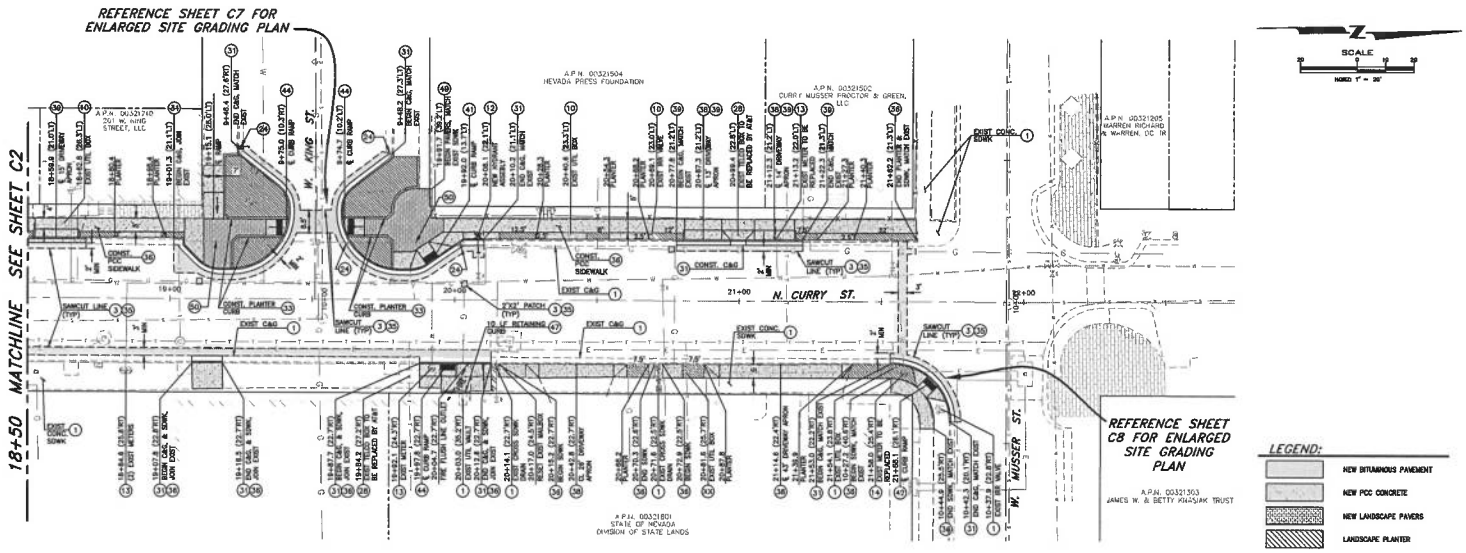
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

CURRY STREET
LAYOUT PLAN & PROFILE
STA 14+00 to STA 17+00

SHEET C2 OF 57

90% DESIGN FOR REVIEW ONLY



PLAN – CURRY STREET

SCALE: 1" = 20'

REFERENCE ELECTRICAL SHEETS FOR CONDUIT LOCATIONS
REFERENCE LANDSCAPE SHEETS FOR IRRIGATION LINE LOCATIONS
REFERENCE SITE GRADING PLANS FOR ADDITIONAL NOTES & GRADING DETAILS
REFERENCE SIGNING & STRIPING SHEETS FOR SIGN LOCATIONS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
2. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.
10. ADJUST EXISTING UTILITY TO NEW FINISH GRADE, CONTRACTOR TO COORDINATE WITH UTILITY OWNER
12. INSTALL/RELOCATE FIRE HYDRANT ASSEMBLY, PER STD. DRAWING C-3.1.7
13. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL H20 TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
14. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFICE-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
24. RESET EXISTING CATCH BASIN GRATE TO FINISH GRADE.
28. EXISTING TELCO BOX TO BE REPLACED BY AT&T. CONTRACTOR TO COORDINATE WITH AT&T DURING SITE DEMOLITION AND CONSTRUCTION.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
33. CONSTRUCT P.C.C. PLANTER CURB, PER DETAIL 3, SHEET D5.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
41. CONSTRUCT PERPENDICULAR CURB RAMP DIRECTIONAL, PER STD. DRAWING C-5.3.2.
42. CONSTRUCT PERPENDICULAR CURB RAMP APEX, PER STD. DRAWING C-5.3.3.
44. CONSTRUCT LINEAR CURB RAMP OFFSET, PER STD. DRAWING C-5.3.7.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.
48. INSTALL PAVERS PER SECTION 1, SHEET D5.
50. INSTALL PAVERS OVER EXISTING STORMDRAIN PER SECTION 1, SHEET U13.

Call before you Dig
Avoid cutting underground utility lines. It's easy.
Call
811
OR
1-800-227-2600

DESIGNED BY:	DSA, DJF
DRAWN BY:	DJF
CHECKED BY:	DGR, DSA
DWG NO.:	J:\P31020001\dwgs\
SCALE (HORIZ):	1"=20'
SCALE (VERT):	N/A
PLOT DATE:	2/11/21

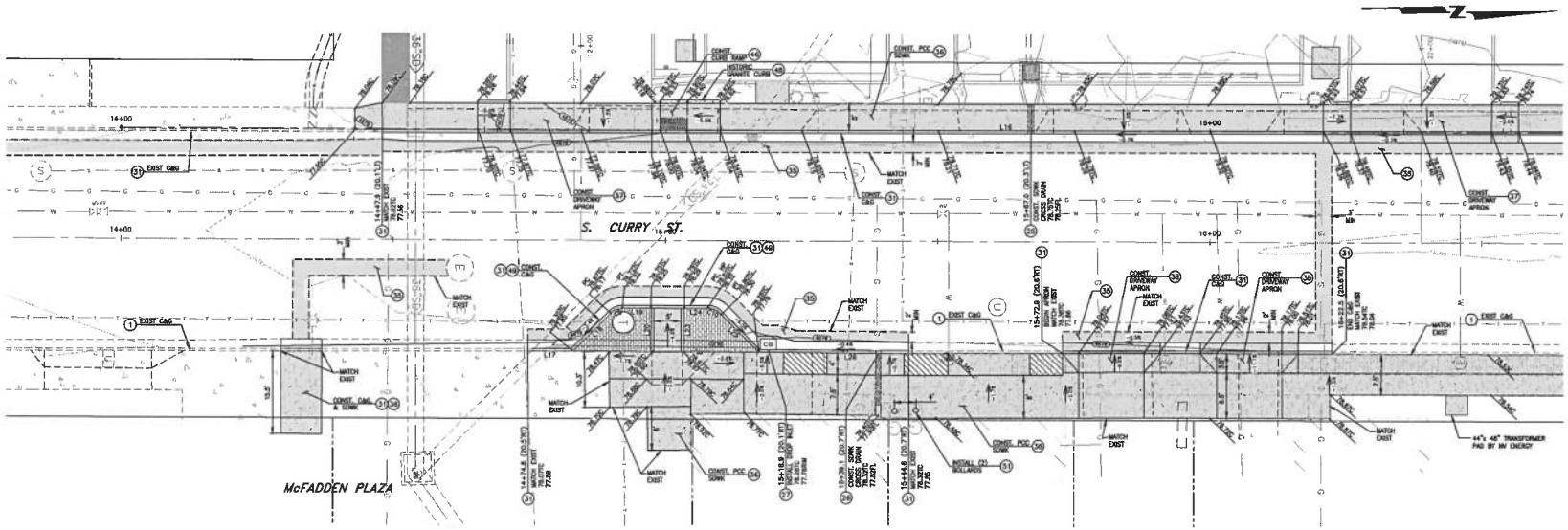
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P731020001
CURRY STREET
LAYOUT PLAN
STA 10+00 to STA 19+00

SHEET C3 OF 57

90% DESIGN FOR REVIEW ONLY



ENLARGED PLAN–S CURRY & McFADDEN PLAZA

SCALE: 1" = 10'

LINE TABLE		
Line #	Direction	Length
L16	N0° 54' 50"E	229.11'
L17	N1° 05' 40"E	8.16'
L18	N44° 03' 29"W	10.07'
L19	N1° 01' 01"E	5.20'
L20	S88° 58' 59"E	8.04'
L23	N88° 58' 59"W	8.04'
L24	N1° 01' 01"E	4.49'
L25	N45° 56' 31"E	10.18'
L26	N1° 21' 16"E	27.47'

CURVE TABLE				
Curve #	Delta	Radius	Length	Tangent
C9	45°04'30"	3.00'	2.36'	2.36'
C10	44°55'30"	3.00'	2.35'	2.35'

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
23. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8.
24. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8 AND DETAIL 1, SHEET D2.
25. INSTALL 24" X 36" DROP INLET WITH HIGH CAPACITY GRATE PER DETAIL 2, SHEET D2.
26. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
27. CONSTRUCT GLUE DOWN CURB TYPE A, PER STD. DRAWING C-5.1.5
28. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
29. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
30. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
31. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
32. CONSTRUCT MID BLOCK CURB RAMP, PER STD. DRAWING C-5.3.9.
33. CUT, DRESS AND INSTALL REDLAMED GRANITE CURB.
34. INSTALL PAVERS PER SECTION 1, SHEET D3.
35. INSTALL BOLLARDS PER DETAIL 8, SHEET D3.

LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS
- LANDSCAPE PLANTER

SCALE
10 0 5 10
HORZ: 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call
811
OR
1-800-227-2600

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DGS, DSA
DWG NO.: F31020001-dsa.dwg
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 2/11/21

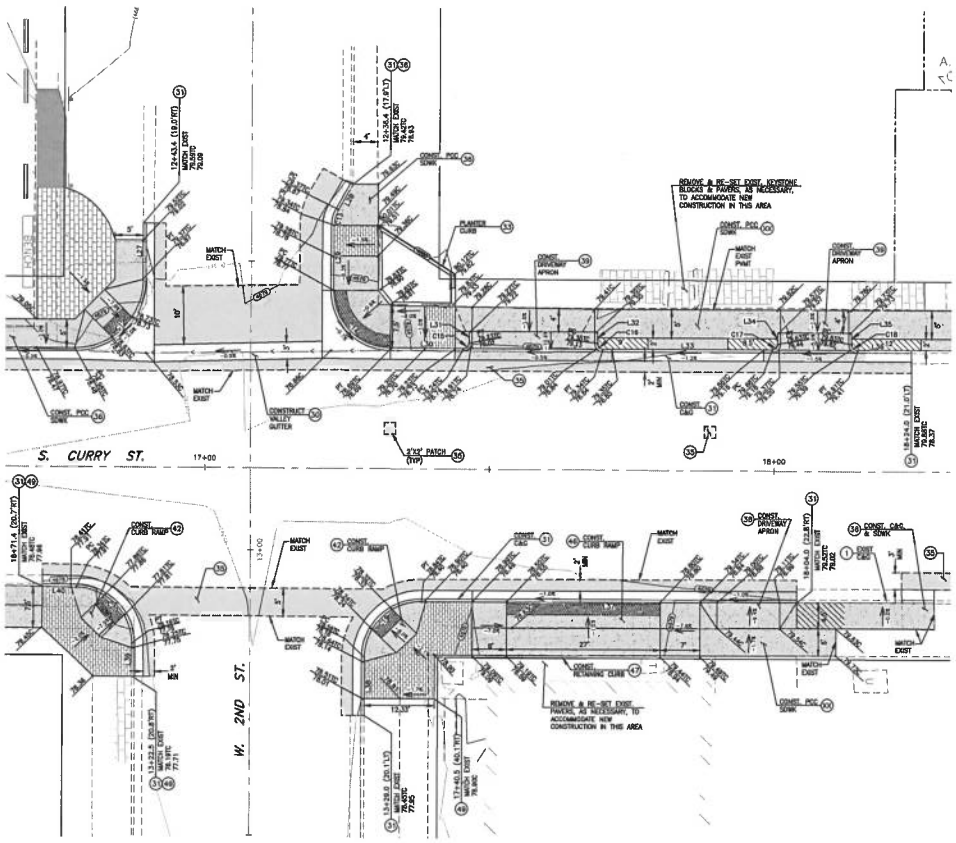
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. F31020001
CURRY STREET
SITE GRADING PLAN
PARKING LOT FRONTAGE

SHEET C5 OF 57

90% DESIGN FOR REVIEW ONLY



ENLARGED PLAN-S CURRY & W 2ND ST

SCALE: 1" = 10'

LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS
- LANDSCAPE PLANTER

SCALE

HORZ: 1" = 10'

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
30. CONSTRUCT P.C.C. VALLEY GUTTER, PER STD. DRAWING C-5.1.2.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
42. CONSTRUCT PERPENDICULAR CURB RAMP APEX, PER STD. DRAWING C-5.3.3.
43. CONSTRUCT RADIAL CURB RAMP, PER STD. DRAWING C-5.3.6.
44. CONSTRUCT MID BLOCK CURB RAMP, PER STD. DRAWING C-5.3.9.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.
49. INSTALL PAVERS PER SECTION 1, SHEET D3.

LINE TABLE		
Line #	Direction	Length
L27	N89° 08' 54"W	10.00'
L28	S58° 58' 05"E	5.36'
L29	S88° 58' 59"E	11.47'
L30	N1° 09' 48"E	12.83'
L31	N88° 49' 39"W	1.99'
L32	S89° 05' 04"E	2.00'
L33	N0° 54' 56"E	29.60'
L34	N89° 05' 04"W	2.00'
L35	S89° 05' 04"E	2.00'
L36	N0° 54' 56"E	9.50'
L37	S0° 50' 07"W	65.97'
L38	S89° 04' 55"E	9.98'
L39	S89° 11' 29"E	5.85'
L40	N1° 50' 36"E	5.91'

CURVE TABLE				
Curve #	Delta	Radius	Length	Tangent
C12	90°03'44"	12.00'	18.86'	18.86'
C13	30°00'54"	5.00'	2.62'	2.62'
C14	89°50'40"	10.00'	15.68'	15.68'
C15	89°59'27"	1.00'	1.57'	1.57'
C16	90°00'00"	1.00'	1.57'	1.57'
C17	90°00'00"	1.00'	1.57'	1.57'
C18	90°00'00"	1.00'	1.57'	1.57'
C19	89°55'02"	10.00'	15.69'	15.69'
C20	88°57'54"	10.00'	15.53'	15.53'

Call before you Dig
Avoid cutting underground utility lines, it's costly.
Call
811
OR
1-800-227-2600

DESIGNED BY: DSA DLF
DRAWN BY: DLF
CHECKED BY: DOR DSA
DWG NO.: P751020001-CS-Site.dwg
SCALE (HORIZ): 1" = 10'
SCALE (VERT): N/A
PLOT DATE: 2/11/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

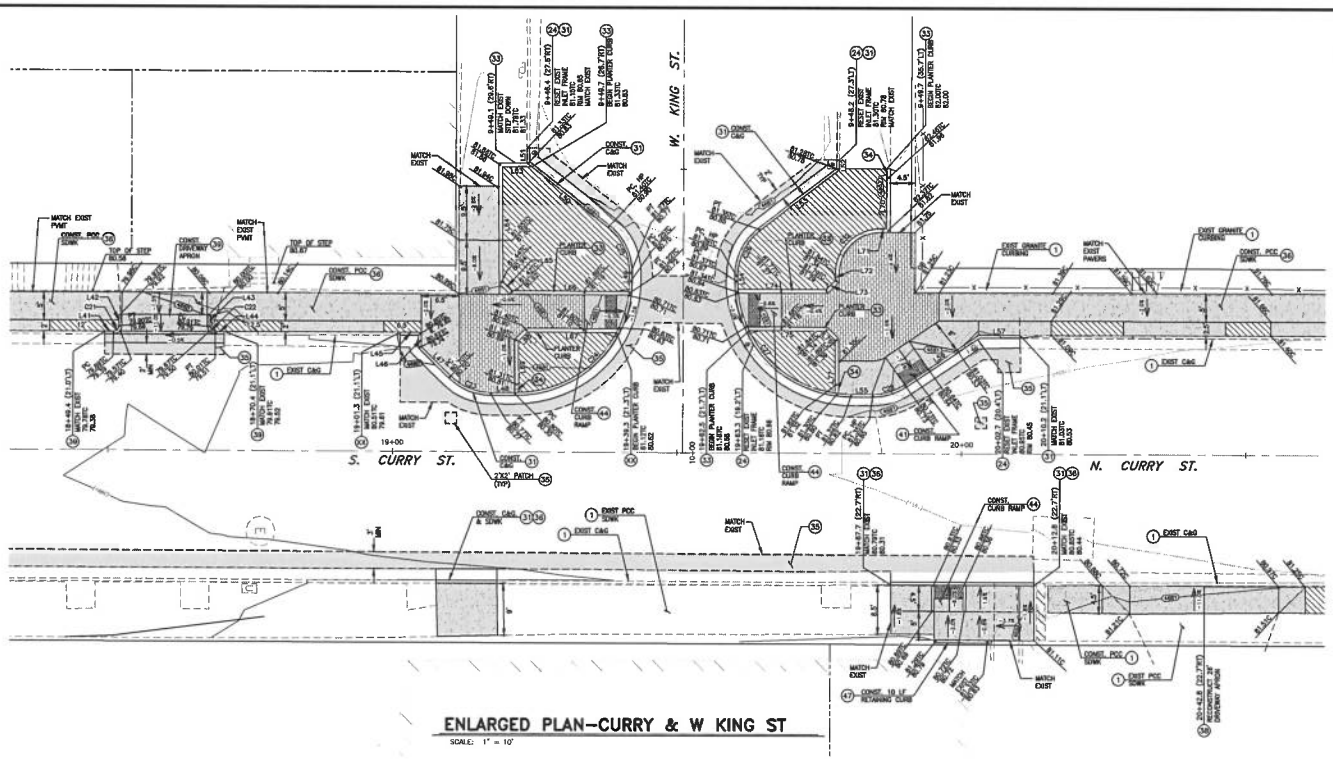
REV.	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

CURRY STREET
SITE GRADING PLAN
SECOND ST

SHEET C6 OF 57

90% DESIGN FOR REVIEW ONLY



ENLARGED PLAN–CURRY & W KING ST

SCALE: 1" = 10'

CURVE TABLE				
Curve #	Delta	Radius	Length	Tangent
C21	90°00'00"	1.00'	1.57'	1.57'
C22	90°00'00"	1.00'	1.57'	1.57'
C23	45°00'00"	10.00'	7.85'	7.85'
C24	90°00'00"	20.00'	31.42'	31.42'
C25	51°52'27"	10.00'	9.05'	9.05'
C26	52°42'07"	10.00'	9.20'	9.20'
C27	90°00'00"	20.00'	31.42'	31.42'
C28	34°21'33"	10.00'	6.00'	6.00'
C32	89°54'04"	8.00'	12.55'	12.55'

LINE TABLE		
Line #	Direction	Length
L41	S0° 54' 58"W	1.50'
L42	S89° 05' 04"E	2.00'
L43	S89° 05' 04"E	2.00'
L44	N0° 54' 58"E	1.50'
L45	N0° 54' 58"E	3.71'
L46	S88° 58' 59"E	2.50'
L47	N46° 01' 01"E	7.35'
L48	N1° 01' 01"E	4.24'
L49	N88° 58' 59"W	1.40'
L50	S39° 08' 34"W	18.11'
L51	N88° 56' 32"W	2.84'
L52	S88° 06' 56"E	1.77'
L53	S36° 16' 52"E	17.44'
L54	S88° 58' 59"E	0.97'
L55	N1° 01' 01"E	3.78'
L56	N33° 20' 32"W	15.71'
L57	N0° 56' 36"E	7.27'
L63	S0° 33' 25"W	5.14'
L64	S89° 28' 35"E	20.05'
L65	N46° 14' 49"E	2.24'

LINE TABLE		
Line #	Direction	Length
L66	N1° 01' 04"E	20.55'
L67	S1° 01' 01"W	15.63'
L68	S44° 12' 47"E	2.27'
L69	S89° 28' 35"E	9.16'
L70	S88° 51' 54"E	10.48'
L71	S0° 55' 05"W	0.99'
L72	S88° 58' 59"E	1.13'
L73	S43° 58' 59"E	2.28'
L74	S1° 01' 01"W	15.49'
L75	N1° 01' 01"E	13.53'
L76	N46° 01' 01"E	2.28'
L77	S88° 58' 59"E	9.43'

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
24. RESET EXISTING CATCH BASIN GRATE TO FINISH GRADE.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
33. CONSTRUCT P.C.C. PLANTER CURB, PER DETAIL 3, SHEET D5.
34. CONSTRUCT SLOPED PLANTER CURB TRANSITION, PER DETAIL 4, SHEET D5.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.5.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
43. CONSTRUCT PERPENDICULAR CURB RAMP DIRECTIONAL, PER STD. DRAWING C-5.3.2.
44. CONSTRUCT LINEAR CURB RAMP OFFSET, PER STD. DRAWING C-5.3.7.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.
49. INSTALL PAVERS PER SECTION 1, SHEET D5.

LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW POC CONCRETE
- NEW LANDSCAPE PAVERS
- LANDSCAPE PLANTER

SCALE
HORIZ 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call
811
OR
1-800-227-2600

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DGR, DSA
DWG NO.: 2013000000-00-0000
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 2/11/21

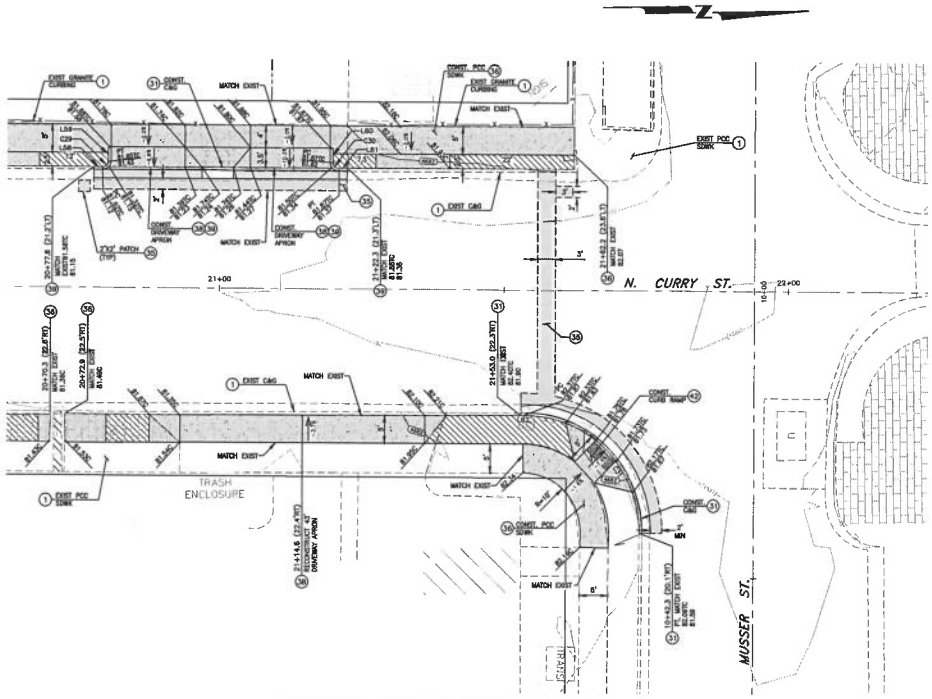
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET
SITE GRADING PLAN
W KING ST

SHEET C7 OF 57

90% DESIGN FOR REVIEW ONLY



ENLARGED PLAN–N CURRY & MUSSER ST

SCALE: 1" = 10'

LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS
- LANDSCAPE PLANTER

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
39. CONSTRUCT MODIFIED DRIVEWAY APRON TYPE 2, PER DETAIL 1, SHEET D3.
42. CONSTRUCT PERPENDICULAR CURB RAMP APEX, PER STD. DRAWING C-5.3.3.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.

LINE TABLE		
Line #	Direction	Length
L58	N0° 56' 36"E	1.50'
L59	N89° 03' 24"W	2.50'
L60	S89° 03' 24"E	2.50'
L61	N0° 56' 36"E	1.50'
L62	N0° 53' 05"E	0.67'

CURVE TABLE				
Curve #	Delta	Radius	Length	Tangent
C29	90°00'00"	1.00'	1.57'	1.57'
C30	90°00'00"	1.00'	1.57'	1.57'
C31	90°20'55"	20.00'	31.54'	31.54'

SCALE
HORZ: 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call
811
OR
1-800-227-2600

DESIGNED BY: CSA, DLF
DRAWN BY: DLF
CHECKED BY: DCR, CSA
DWG NO.: P751020001-GD-01
SCALE (HORZ): 1" = 10'
SCALE (VERT): N/A
PLOT DATE: 2/11/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

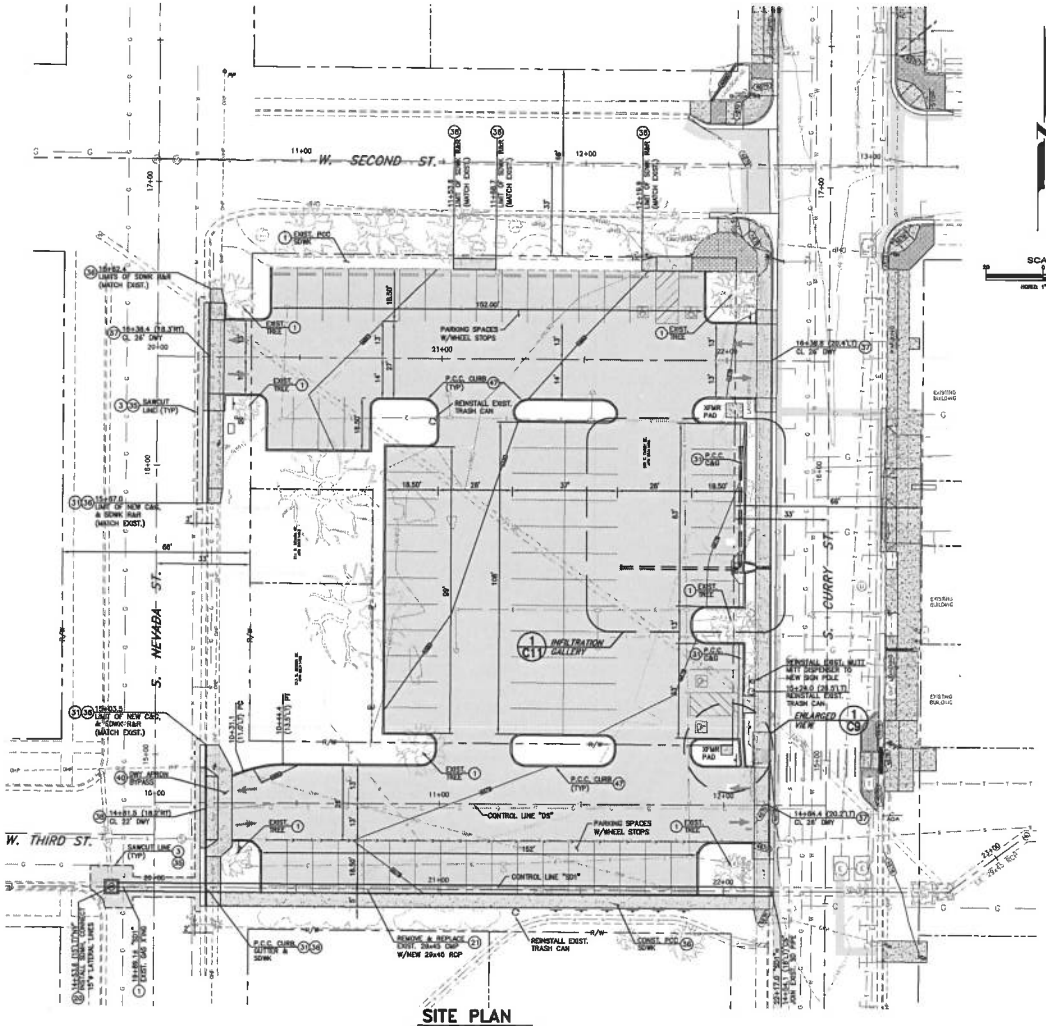
REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

CURRY STREET
SITE GRADING PLAN
MUSSER ST

SHEET C8 OF 57

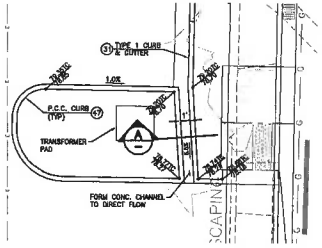
90% DESIGN FOR REVIEW ONLY



SITE PLAN

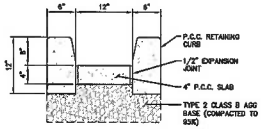
SCALE: 1" = 20'

REFERENCE SHEET UT3, FOR STORM DRAIN PLAN & PROFILE
REFERENCE "C SHEETS" FOR CURRY ST. IMPROVEMENTS
REFERENCE "E SHEETS" FOR ELECTRICAL IMPROVEMENTS



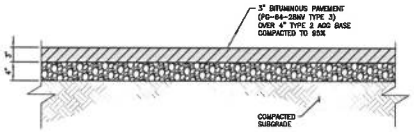
ENLARGED VIEW (1)

SCALE: 1" = 6'



CHANNEL SECTION (A)

NO SCALE



TYPICAL PAVEMENT SECTION (B)

NO SCALE

NOTES:

1. STRUCTURAL SECTION BY ENGINEERING DESIGN, BUT NOT LESS THAN THE MINIMUM SHOWN.
2. ASPHALT MIX SHALL BE PG 64-28 NV WITH LIME TREATED TYPE 3 AGGREGATE, MAXIMUM 15% RECLAIMED ASPHALT PAVEMENT, 50 BLOW, WITH 3% AIR VOIDS. ALL A.C. SURFACES SHALL BE COMPACTED TO 94% (MINIMUM) MARSHALL MAXIMUM DENSITY. NON-POLYMER OIL SURFACES SHALL RECEIVE A NON-POLYMER FOG SEAL.
3. BITUMINOUS PAVING MACHINES SHALL BE SELF CONTAINED, POWER-PROPELLED UNITS, WITH AN ACTIVATED SCREED OR STRIKE-OFF ASSEMBLY, HEATED IF NECESSARY, MINIMUM HOPPER CAPACITY OF 10 TONS AND CAPABLE OF SPREADING AND FINISHING COURSES OF BITUMINOUS MIXTURE IN LANE AND SHOULDER WIDTHS APPLICABLE TO THE SPECIFIED TYPICAL SECTION AND THICKNESS SHOWN ON PLANS.

PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
2. POTHOLE TO VERIFY UTILITY SIZE, DEPTH AND/OR MAKE OF MATERIAL.
3. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.

20. INSTALL STORM DRAIN MANHOLE (SIZE PER PLAN), PER DETAIL 1, SHEET D1.
21. INSTALL STORM DRAIN PIPE (SIZE PER PLAN), PER STD. DRAWING C-1.2.1.
25. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8.

31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
37. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
40. CONSTRUCT P.C.C DRIVEWAY APRON BYPASS, PER STD. DRAWING C-5.2.8.
41. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
OR
1-800-227-2600

DESIGNED BY: DSA/DGR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO.: 2751020001-C-C-04
SCALE (HORIZ): 1" = 20'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

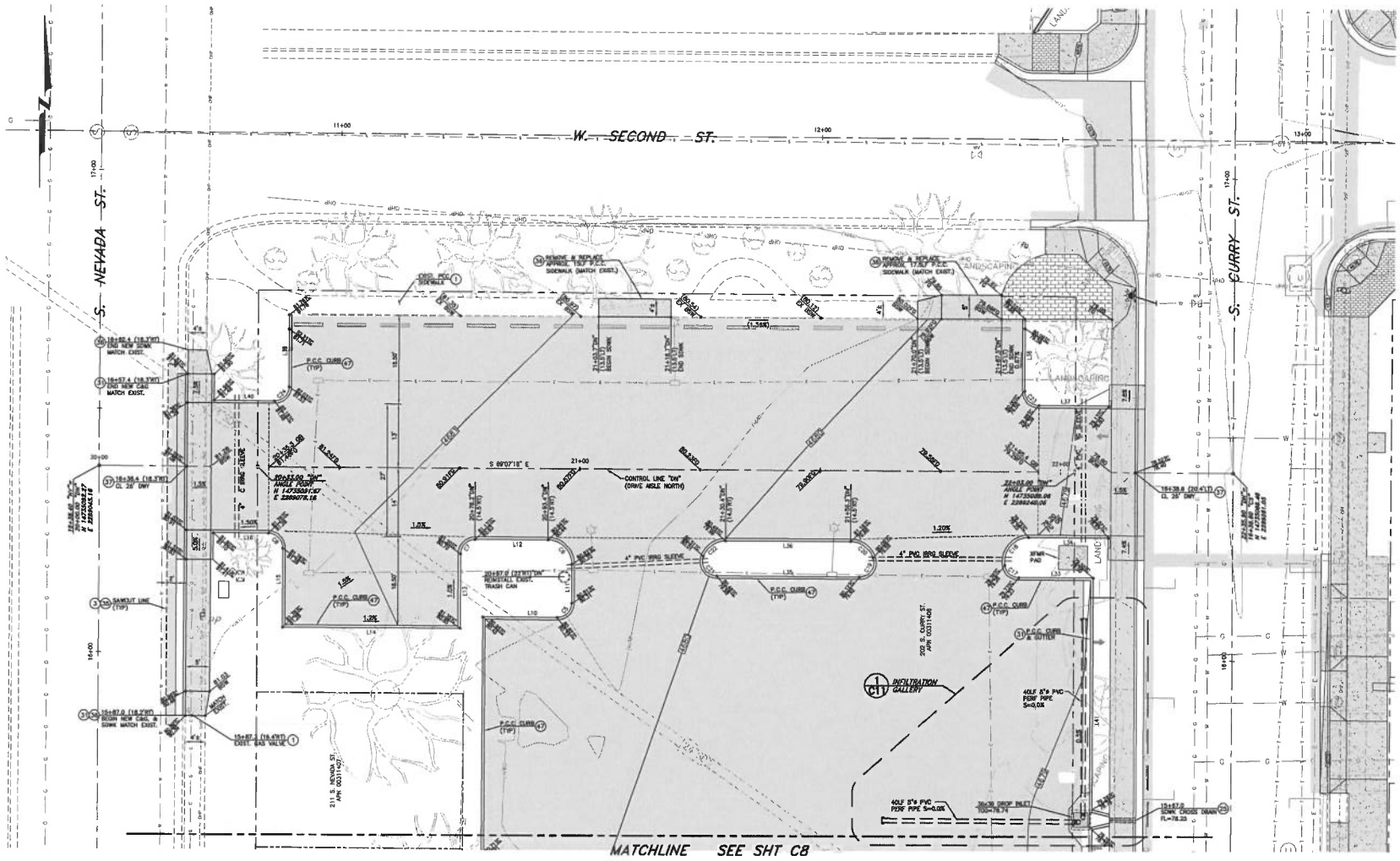
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV.	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
3RD STREET PARKING LOT
SITE PLAN

SHEET C9 OF 57

90% DESIGN FOR REVIEW ONLY



PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

SITE GRADING PLAN

SCALE: 1" = 10'

REFERENCE SHEET UT3, FOR STORM DRAIN PLAN & PROFILE
REFERENCE "C SHEETS" FOR CURRY ST. IMPROVEMENTS
REFERENCE "E SHEETS" FOR ELECTRICAL IMPROVEMENTS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
2. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.
3. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
4. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
5. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
6. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
7. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.

SCALE
HORZ: 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811 OR 1-800-227-2600

DESIGNED BY: DSA/DGR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO.: P751020001-GRADING.dwg
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

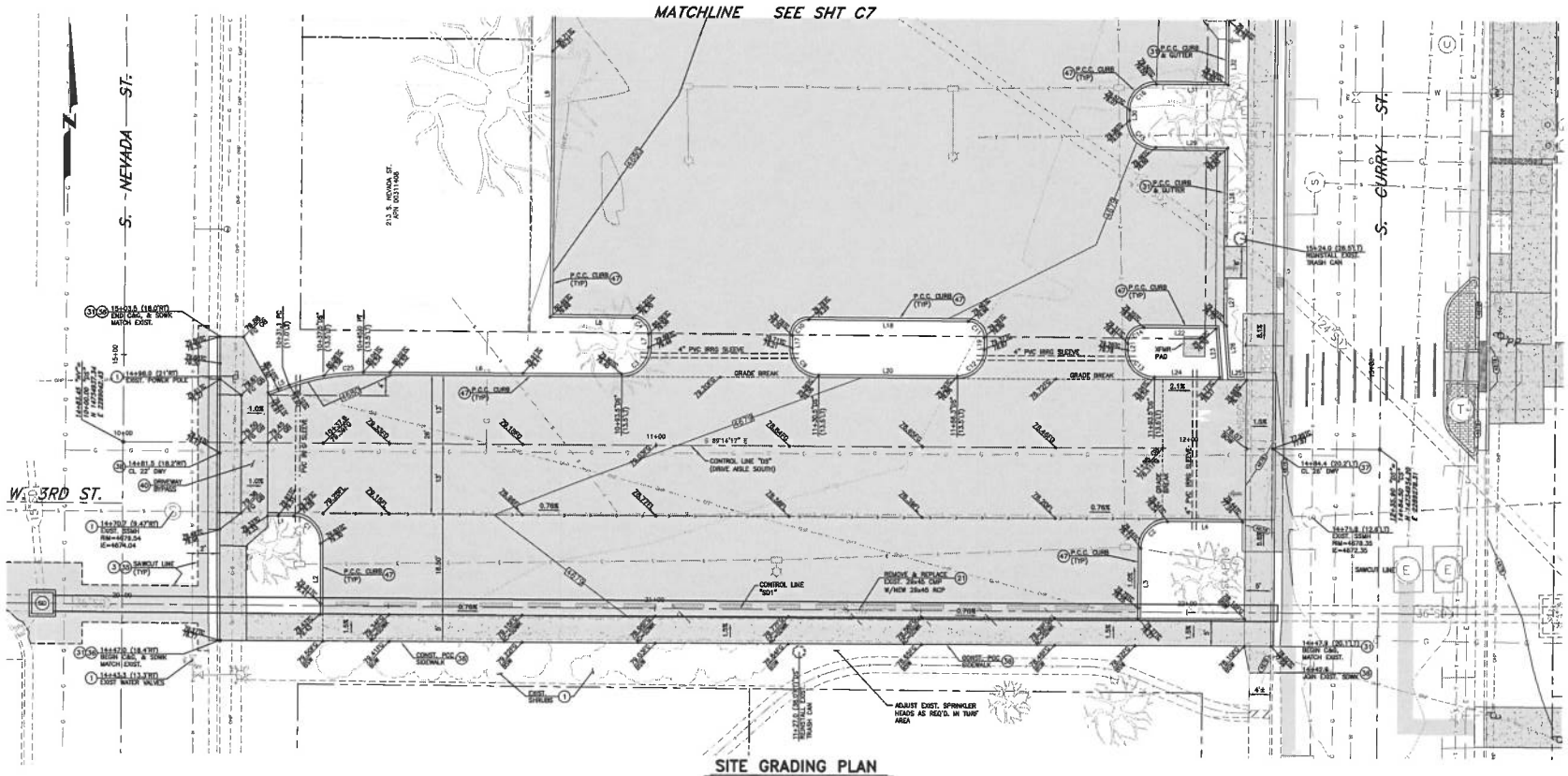
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET &
3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
3RD STREET PARKING LOT
SITE GRADING PLAN

SHEET C10 OF 57

90% DESIGN FOR REVIEW ONLY



SITE GRADING PLAN

SCALE: 1" = 10'

REFERENCE SHEET UT3, FOR STORM DRAIN PLAN & PROFILE
REFERENCE "C SHEETS" FOR CURRY ST. IMPROVEMENTS
REFERENCE "E SHEETS" FOR ELECTRICAL IMPROVEMENTS

Line Table

Line #	Direction	Length
L1	S89° 14' 18"E	4.93'
L2	S0° 45' 42"W	13.00'
L3	S0° 45' 42"W	13.00'
L4	S89° 14' 18"E	14.11'
L5	S89° 50' 00"W	4.19'
L6	S89° 14' 18"E	48.48'
L7	N1° 01' 01"E	2.49'
L8	S88° 58' 59"E	15.50'
L9	N1° 01' 01"E	100.00'
L10	S88° 58' 59"E	15.50'
L11	N1° 02' 02"E	6.17'
L12	S89° 07' 18"E	15.16'
L13	N0° 52' 42"E	15.54'
L14	S89° 07' 18"E	57.00'
L15	N0° 52' 42"E	16.54'
L16	N88° 58' 28"W	11.30'
L17	N1° 01' 01"E	2.33'
L18	S88° 58' 59"E	30.00'
L19	N1° 01' 01"E	2.21'
L20	S89° 14' 18"E	28.00'

Line Table

Line #	Direction	Length
L21	N1° 01' 01"E	1.19'
L22	S60° 58' 59"E	13.54'
L23	S3° 36' 30"E	9.16'
L24	S89° 14' 18"E	12.25'
L25	S89° 14' 18"E	2.24'
L26	N3° 36' 30"W	9.68'
L27	N1° 01' 01"E	8.98'
L28	N1° 01' 01"E	16.50'
L29	N88° 58' 59"W	13.50'
L30	N1° 01' 01"E	2.00'
L31	S88° 58' 59"E	13.50'
L32	N1° 01' 01"E	12.49'
L33	N88° 58' 59"W	15.48'
L34	S88° 58' 59"E	16.59'
L35	S88° 58' 59"E	29.69'
L36	S89° 07' 18"E	25.96'
L37	S88° 58' 59"E	14.59'
L38	N0° 52' 42"E	14.98'
L39	N0° 52' 42"E	15.01'
L40	N88° 59' 28"W	12.57'
L41	N1° 01' 01"E	48.50'

Curve Table

Curve #	Delta	Radius	Length	Tangent
C1	90°00'00"	5.00	7.85	5.00
C2	90°00'00"	5.00	7.85	5.00
C3	89°44'41"	5.00	7.83	4.98
C4	90°00'00"	3.00	4.71	3.00
C5	90°00'00"	3.00	4.71	3.00
C6	90°08'16"	3.00	7.87	5.01
C7	90°00'00"	3.00	4.71	3.00
C8	89°52'11"	3.00	4.71	2.99
C9	90°15'19"	5.00	7.88	5.02
C10	90°00'00"	3.00	4.71	3.00
C11	90°00'00"	3.00	4.71	3.00
C12	89°44'41"	5.00	7.83	4.98
C13	90°15'19"	5.00	7.88	5.02
C14	90°00'00"	3.00	4.71	3.00
C15	90°00'00"	5.00	7.85	5.00
C16	90°00'00"	5.00	7.85	5.00
C17	61°22'23"	3.00	4.28	2.56
C18	98°37'37"	5.00	8.61	5.82
C19	109°32'02"	3.00	5.74	4.25
C20	70°35'16"	5.00	6.16	3.54

Curve Table

Curve #	Delta	Radius	Length	Tangent
C21	111°27'05"	3.00	5.84	4.40
C22	68°24'36"	5.00	5.97	3.40
C23	89°31'42"	3.00	4.71	2.99
C24	90°07'49"	3.00	4.72	3.01
C25	20°23'08"	40.00	14.23	7.19

PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
3. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.8.
23. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-5.1.8.
31. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.8.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
37. CONSTRUCT DRIVEWAY APRON TYPE 1, PER STD. DRAWING C-5.2.3.
38. CONSTRUCT DRIVEWAY APRON TYPE 2, PER STD. DRAWING C-5.2.4.
46. CONSTRUCT P.C.C DRIVEWAY APRON BYPASS, PER STD. DRAWING C-5.2.5.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.

SCALE
HORZ: 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
1-800-227-2600

DESIGNED BY: DSA/DGR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO.: JF7510200-GRADING.dwg
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

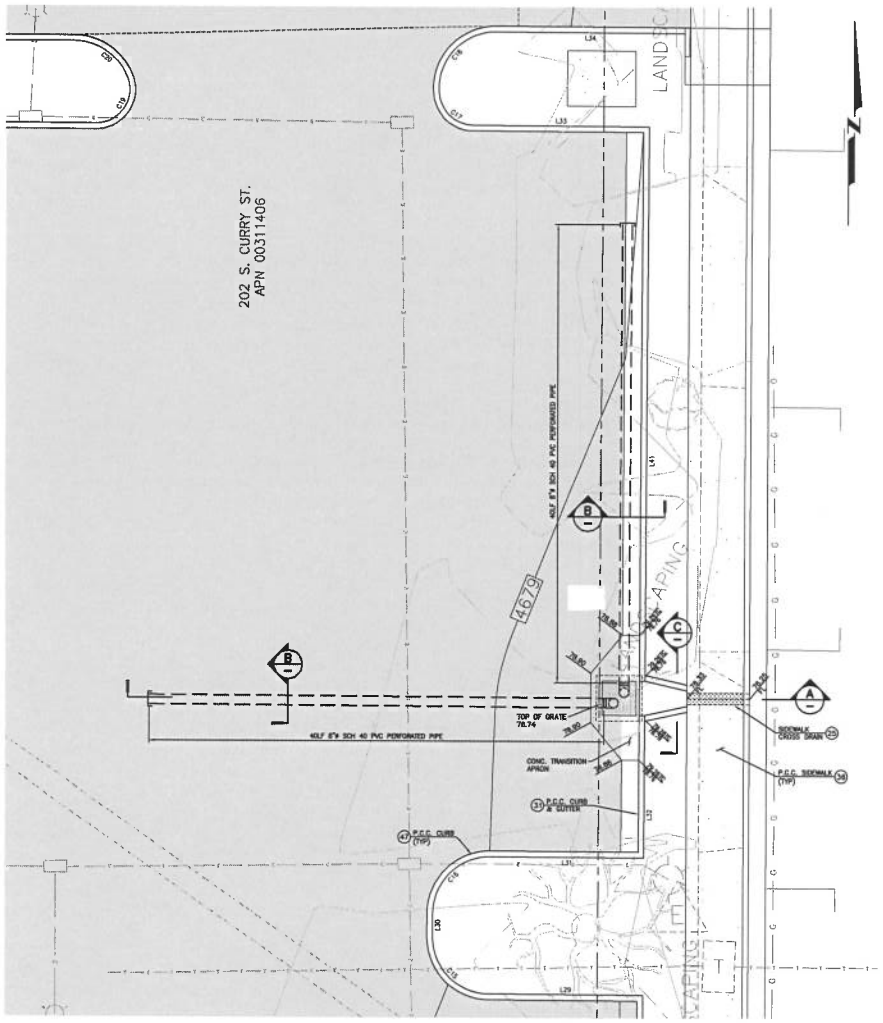
2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

3RD STREET PARKING LOT
SITE GRADING PLAN

SHEET C11 OF 57

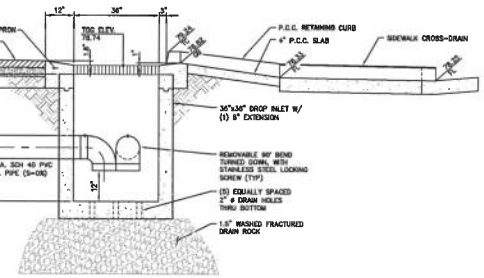
90% DESIGN FOR REVIEW ONLY

I:\CARSON_PROJECTS\projects\P751020001-Curry&3rdStreetImprovements\JF&Dwg\UPC\P751020001-JF7510200-GRADING.dwg, Grandmaster, 2/10/21



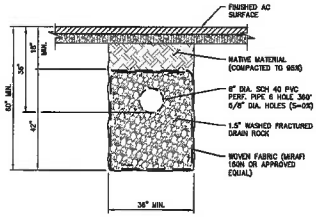
L.I.D. INFILTRATION GALLERY SITE PLAN (1)

SCALE: 1" = 5'



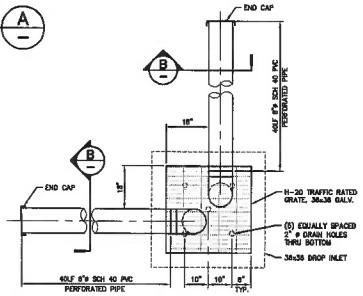
TYPICAL SECTION (A)

NO SCALE



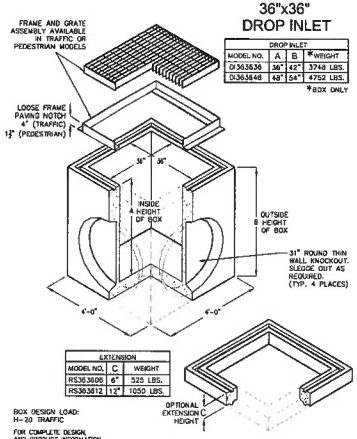
TRENCH SECTION (B)

NO SCALE



PIPING DETAIL (2)

NO SCALE



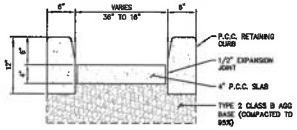
DROP INLET			
MODEL NO.	A	B	*WEIGHT
DI363636	36"	42"	3748 LBS.
DI363648	48"	54"	4752 LBS.

*BOX ONLY

EXTENSION		
MODEL NO.	C	WEIGHT
RS363606	6"	525 LBS.
RS363612	12"	1050 LBS.

DROP INLET DETAIL (3)

NO SCALE



CHANNEL SECTION (C)

NO SCALE

SCALE: HORZ. 1" = 10'

Call before you Dig
Avoid cutting underground utility lines. It's easy.
Call 811
OHS
1-800-227-2600

PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

CONSTRUCTION NOTES:

(25) INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8.
(31) CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
(36) CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
(47) CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.

DESIGNED BY: DSA/DCR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO.: J2120000-Drawing.dwg
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

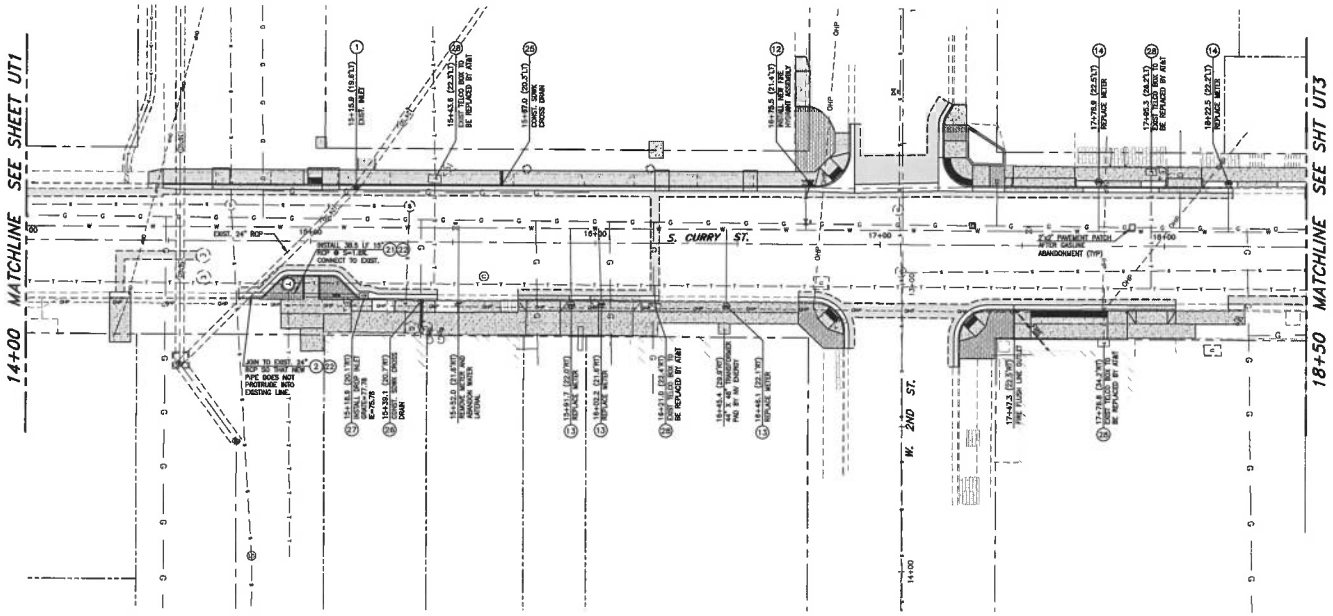
REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

3RD STREET PARKING LOT
L.I.D. INFILTRATION GALLERY
SITE PLAN & DETAILS

SHEET C12 OF 57

90% DESIGN FOR REVIEW ONLY



UTILITY PLAN – CURRY STREET

SCALE: 1" = 20'

SEE ELECTRICAL SHEETS FOR CONDUIT LOCATIONS
SEE LANDSCAPE SHEETS FOR IRRIGATION LINE LOCATIONS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE.
2. POTHOLE TO VERIFY UTILITY SIZE, DEPTH AND/OR MAKE OF MATERIAL.
12. INSTALL/RELOCATE FIRE HYDRANT ASSEMBLY, PER STD. DRAWING C-3.1.7
13. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL H20 TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
14. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE. CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.3.3.1 AND C-3.3.3.2.
21. INSTALL STORM DRAIN PIPE (SIZE PER PLAN), PER STD. DRAWING C-1.2.1.
22. JOIN EXISTING STORM DRAIN WITH CONCRETE LUG.
25. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8.
26. INSTALL SIDEWALK CROSS DRAIN, PER STD. DRAWING C-4.1.8 AND DETAIL 1, SHEET D2.
27. INSTALL 24" X 38" DROP INLET WITH HIGH-CAPACITY GRATE PER DETAIL 2, SHEET D2.
28. EXISTING TELCO BOX TO BE REPLACED BY AT&T. CONTRACTOR TO COORDINATE WITH AT&T DURING SITE DEMOLITION AND CONSTRUCTION.

PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

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Call
811
1-800-227-2600

REV.	DATE	DESCRIPTION	BY	APP'D

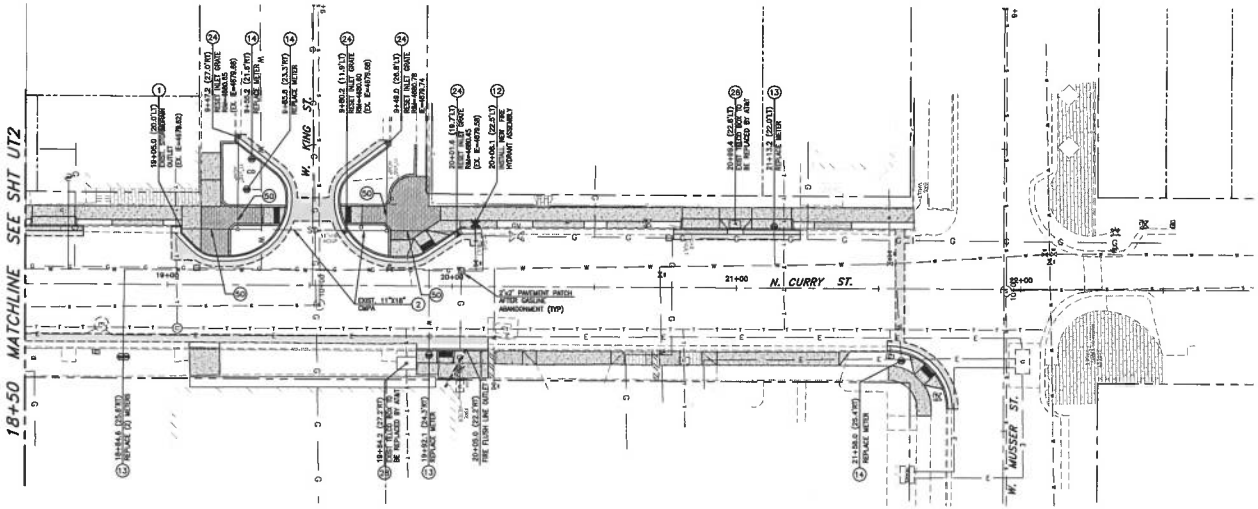
2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
S. CURRY STREET UTILITY PLAN
STA 14+00 to STA 18+50

SHEET UT2 OF 57

90% DESIGN FOR REVIEW ONLY

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DGR, DSA
DWG NO.: P751020001-UT2.dwg
SCALE (HORIZ): 1"=20'
SCALE (VERT): 1"=2'
PLOT DATE: 2/11/21



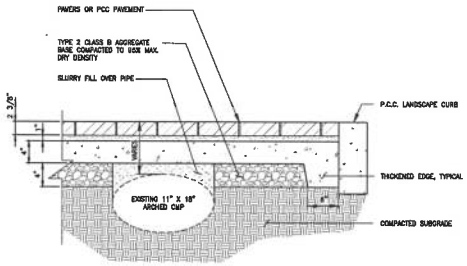
UTILITY PLAN – CURRY STREET

SCALE: 1" = 20'

SEE ELECTRICAL SHEETS FOR CONDUIT LOCATIONS
SEE LANDSCAPE SHEETS FOR IRRIGATION LINE LOCATIONS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
2. POTHOLE TO VERIFY UTILITY SIZE, DEPTH AND/OR MAKE OF MATERIAL.
12. INSTALL/RELOCATE FIRE HYDRANT ASSEMBLY, PER STD. DRAWING C-3.1.7
13. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL H20 TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE, CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
14. REMOVE AND REPLACE EXISTING WATER METER BOX. INSTALL NON-TRAFFIC-RATED LID. REPLACE METER, YOKE AND CHECK VALVE, CONNECT TO EXISTING WATER LATERAL LOCATION SHOWN ON PLANS PER STD. DRAWING C-3.2.3.1 AND C-3.2.3.2.
24. RESET EXISTING CATCH BASIN GRATE TO FINISH GRADE.
28. EXISTING TELCO BOX TO BE REPLACED BY AT&T. CONTRACTOR TO COORDINATE WITH AT&T DURING SITE DEMOLITION AND CONSTRUCTION.
50. INSTALL PAVERS OVER EXISTING STORMDRAIN PER SECTION 1, SHEET UT3.



PAVING ABOVE STORMDRAIN SECTION (1)

NOT TO SCALE

PAVEMENT LEGEND:

- NEW BITUMINOUS PAVEMENT
- NEW PCC CONCRETE
- NEW LANDSCAPE PAVERS

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Call
1-800-227-2600

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA, DLF
DRAWN BY: DLF
CHECKED BY: DGS, DSA
DWG NO.: F31020001-UT3.dwg
SCALE (HORIZ): 1"=20'
SCALE (VERT): 1"=2'
PLOT DATE: 2/11/21

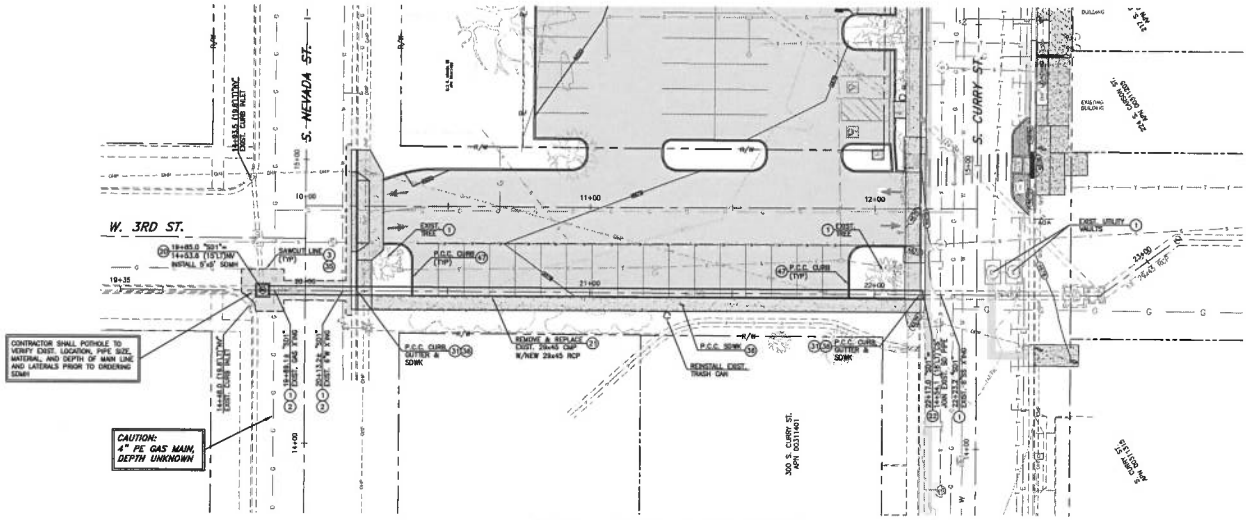
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. F31020001

S. CURRY STREET
UTILITY PLAN
STA 18+50 to STA 22+00

SHEET UT3 OF 57

90% DESIGN FOR REVIEW ONLY



PLAN – STORM DRAIN "SD1"

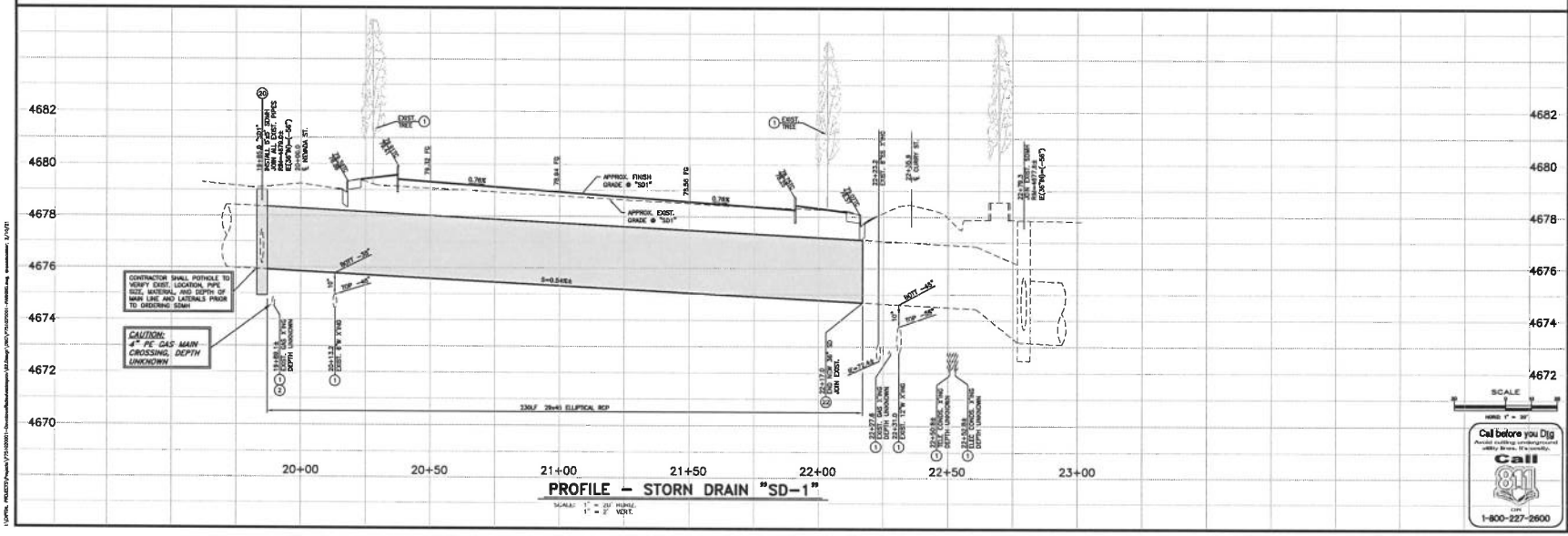
SCALE: 1" = 20'

REFERENCE SHEETS C6 & C8, FOR SITE IMPROVEMENTS & FINISH GRADING

REFERENCE SHEET UT3, FOR STORM DRAIN PLAN & PROFILE
REFERENCE "C SHEETS" FOR CURRY ST. IMPROVEMENTS
REFERENCE "E SHEETS" FOR ELECTRICAL IMPROVEMENTS

CONSTRUCTION NOTES:

1. PROTECT-IN-PLACE
2. POTHOLE TO VERIFY UTILITY SIZE, DEPTH AND/OR MAKE OF MATERIAL.
3. LIMITS OF FULL DEPTH SAWCUT, REMOVAL AND REPLACEMENT OF EXISTING AC PAVEMENT PATCH, PER STD. DWG C-5.1.6.
20. INSTALL STORM DRAIN MANHOLE (SIZE PER PLAN), PER DETAIL 1, SHEET D1.
21. INSTALL STORM DRAIN PIPE (SIZE PER PLAN), PER STD. DRAWING C-1.2.1.
22. JOIN EXISTING STORM DRAIN WITH CONCRETE LUG.
34. CONSTRUCT P.C.C. CURB & GUTTER TYPE 1, PER STD. DRAWING C-5.1.3.
35. CONSTRUCT PAVEMENT PATCH, PER STD. DRAWING C-5.1.6.
36. CONSTRUCT TYPE "A" SIDEWALK, PER STD. DRAWING C-5.2.2.
47. CONSTRUCT P.C.C. RETAINING CURB, PER STD. DRAWING C-5.3.10.



PROFILE – STORM DRAIN "SD-1"

SCALE: 1" = 20' HORIZ.
1" = 2' VERT.

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Avoid cutting underground utility lines. It's costly.
Call 811
or 1-800-227-2600

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA/DGR
DRAWN BY: DGR
CHECKED BY: DSA
DWG NO. P75120001-D-1
SCALE (HORIZ): 1"=10'
SCALE (VERT): N/A
PLOT DATE: 3/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

3RD STREET PARKING LOT STORM DRAIN "SD-1" PLAN & PROFILE

SHEET UT4 OF 57

90% DESIGN FOR REVIEW ONLY

PLANT LEGEND

- EXISTING TREE
- SMALL DECIDUOUS TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- DECOMPOSED GRANITE MULCH (2" MIN. THICKNESS)
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TO REMAIN

PLANT LIST (QUANTITY, TOTAL ALL SHEETS)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ab	Acer buergeranum	Trident Maple	6	2" Cal
Ag	Acer ginnala	Amur Maple	9	2" Cal
Cc	Cercis canadensis	Redbud	2	2" Cal
Ma	Malus spp. (fruitless only)	Crabapple, Spring Snow Flowering	4	2" Cal
Pc	Pyrus calleryana	Flowering Pear	4	2" Cal
Pp	Carpinus caroliniana	Hornbeam	1	2" Cal
SHRUBS				
Bt	Berberis thunbergii	Japanese Barberry	12	2 Gal.
Ea	Euonymus alatus 'Compactus'	Dwarf Burning Bush	20	2 Gal.
La	Lavandula spp.	Lavender	46	2 Gal.
Rs	Ribes alpinum	Alpine Currant	8	2 Gal.
Sb	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	6	2 Gal.
PERRENIALS				
As	Achillea spp.	Yarrow	4	1 Gal.
Au	Agastache urticifolia	Nettleleaf Giant Hyssop	26	1 Gal.
Hs	Hemerocallis spp.	Daylily	84	1 gal.
Hu	Heuchera spp.	Coral Bells	49	1 Gal.
Ls	Leucanthemum superbum	Shasta Daisy	48	1 Gal.
Ob	Oenothera berlandieri	Mexican Evening Primrose	62	1 Gal.
Pa	Penstemon eatonii	Firecracker Penstemon	25	1 Gal.
ORNAMENTAL GRASSES				
Ca	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	30	1 Gal.
Hs	Helictrichon spp.	Blue Oat Grass	13	1 Gal.
Ms	Miscanthus sinensis	Maiden Grass	6	1 Gal.

IRRIGATION LEGEND

SYMBOL	BRAND	MODEL NUMBER	COMMENTS
—— IRR ——		2" IRRIGATION MAIN (SCH 40 PVC) WITH CONTROL WIRES	INSTALL 24" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL ROADWAYS (SLEEVE NOT REQ'D WHEN UNDER SIDEWALKS)
—·—·—		1" IRRIGATION DISTRIBUTION LINE (SCH 40 PVC)	INSTALL 18" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (CONCRETE & AC)
—— SCR ——		2" SCR-1 (C.T.A.) POLYETHYLENE PIPE	INSTALL 24" MIN. BELOW FINISH GRADE, AT LOCATIONS INDICATED ON PLANS. (SLEEVE NOT REQUIRED)
—·—·—·—	FIRPCO	3/4" FLEXIBLE DRIP TUBING	INSTALL 18" MIN. BELOW FINISH GRADE. SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (CONCRETE & AC)
==========		4" SCH 40 PVC PIPE SLEEVE	INSTALL AT SPECIFIED DEPTH PER MAIN LINE OR LATERAL PIPE. EXTEND SLEEVE 2' BEYOND PAVEMENT AND MARK WITH A WOOD STAKE
		DRIPLINE INSERT FITTING TO PVC PIPE	SEE DETAILS
	JENSEN PRECAST	H1324	TRAFFIC RATED IRRIGATION BOX WITH BOLT DOWN COVER LABELED "IRRIGATION" TO SET FLUSH & LEVEL WITH FINISH GRADE
	RAINBIRD	XCZ-100-PRF	1" DRIP CONTROL VALVE KIT W/DRF VALVE, PRF BALL VALVE, PSI-100-33GPM IN LINE FILTER, PSI-75-MPR-100 PRESSURE REGULATOR OR CONTROL ZONE KIT RAIN/SMART X
	RAINBIRD	ISOLATION VALVE	LOCATE IN PLANTER, IN 10" ROUND IRRIGATION BOX
	RAINBIRD	44QLRC	1" QUICK COUPLER
	FIRPCO	FLUSHING END CAP IN 10" ROUND IRRIGATION BOX	INSTALL 4'-6" BELOW FINISH GRADE. CAP ENDS WITH FLUSHING END CAP PER DETAIL
2 / D1		VALVE NUMBER / DRP | VALVE SIZE	

GENERAL LANDSCAPE NOTES

1. ALL TREES AND PLANT MATERIAL MUST BE INSPECTED AND APPROVED BY THE PARKS AND RECREATION DEPARTMENT AND OWNER'S REPRESENTATIVE, TO SEE IF SPECIFICATIONS ARE MET BEFORE PLANTING .
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION. THE ACQUISITION OF ALL NECESSARY PERMITS ASSOCIATED WITH CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING ALL NOTES, CHECKING PLANT NAMES AND CONFIRMING ALL NUMBERS, SIZES, AND PLANT AVAILABILITY PRIOR TO SUBMITTING BID.
4. IF QUANTITIES LISTED IN THE PLANTING SCHEDULES DO NOT CORRELATE WITH THE QUANTITIES INDICATED ON THE PLANS, THEN PLAN QUANTITIES SHALL GOVERN.
5. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO INSTALL ALL MATERIALS COMPLETE AND IN PLACE AS SHOWN AND/OR SPECIFIED.
6. ALL PROPERTY LINES WERE PROVIDED AND ESTABLISHED BY OTHERS - THIS SITE PLAN IS NOT A LEGAL SURVEY.
7. ROUGH GRADE, FINISH GRADE AND ALL ITEM LOCATIONS/VARIES SHALL BE ESTABLISHED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT BEFORE INSTALLATION OF THE IRRIGATION SYSTEM, SITE ELEMENTS OR ANY SOD.
8. SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE TOP 6"-8" (TYP.) OF THE ROUGH GRADE OF ALL LAWN AREAS PRIOR TO SODDING.
9. ALL SOD AND PLANT MATERIALS SHALL BE #1 GRADE NURSERY STOCK AND WARRANTED FOR ONE YEAR AFTER FINAL PROJECT ACCEPTANCE. REPLACE ANY PLANT WHICH DIES WITHIN TWO WEEKS WITH PLANTS EQUAL TO ORIGINAL MATERIALS USED (EXCEPT FOR PLANT LOSSES DUE TO VANDALISM, ACTS OF NATURE, OR NEGLECT BY THE OWNER.
10. THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE ALL LAWN & PLANTING BED AREAS TO ESTABLISH ROUGH GRADE AND INSTALL REQUIRED SOIL AMENDMENTS (4 1/2" BELOW TOP OF CURBS IN PLANTING AREAS & 1 1/2" BELOW SIDEWALKS IN LAWN AREAS)
11. ANY IMPORTED TOPSOIL REQUIRED FOR INSTALLATION OF THE SHRUB OR ESTABLISHMENT OF ROUGH GRADE OR FINISH GRADE SHALL BE NEVADA ORGANIC PREMIUM TOPSOIL MIX OR AN APPROVED EQUAL.
12. TREE STAKING SHALL BE DONE ON ALL TREES. CONTRACTOR SHALL STAKE AS PER DETAIL. ORIGINAL NURSERY STAKES ON TREES SHALL BE REMOVED BEFORE INSTALLATION. TREES MUST STAND UPRIGHT WITHOUT SUPPORT TO BE ACCEPTABLE.
13. INSTALL DIRRITT PRO 5 LANDSCAPE FABRIC ON AN APPROVED EQUAL UNDER ALL MULCH AREAS. SECURE TO ROUGH GRADE, DO NOT LEAVE EXPOSED.
14. ALL PLANTING PITS SHALL BE EITHER HAND OR BACKHOE DUG (NO AUGERS). THE BOTTOM AND SIDES OF THE PLANTING PITS SHALL BE SCARIFIED BEFORE INSTALLATION OF THE PLANT MATERIAL. HOLES SHALL BE 3 TIMES AS WIDE AS THE ROOTBALL DIAMETER, THE SAME DEPTH AS THE ROOTBALL AND BACKFILLED WITH AN APPROVED SOIL MIX.
15. ALL PLANTING BEDS AND SOD AREAS SHALL BE STRIPPED AND CLEARED OF ALL LAWN, ROOTS, WEEDS, AND DEBRIS AND SHALL BE RAKED TO A SMOOTH AND EVEN GRADE PRIOR TO PLANT MATERIAL OR SOD INSTALLATION.
16. "SUPER" WATER SOLUBLE STARTER PLANT FERTILIZER SAGG/TABLETS OR AN APPROVED EQUAL SHALL BE INSTALLED IN ALL PLANTING PITS. USE 1 PER 1-GALLON CONTAINER, 3 PER 5-GALLON CONTAINER, AND 5 PER 15-GALLON CONTAINER 2" CAL. OR LARGER TREE.
17. FINAL LOCATION OF ALL LANDSCAPE PLANT MATERIAL SHALL BE SET BY THE CONTRACTOR ACCORDING TO THE PLANS AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
18. NO PLANTS SHALL BE PLACED TO CONFLICT OR CREATE CONFLICT W/ SIGNS, LIGHTS, UTILITIES, ETC. IF PLANT LOCATION WILL CAUSE A CONFLICT, CONTACT THE LANDSCAPE ARCHITECT.
19. ALL PERENNIAL AND GROUNDCOVER AREAS SHALL BE HAND SET BY THE CONTRACTOR IN AREAS SHOWN ON DRAWINGS AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
20. THE CONTRACTOR SHALL REMOVE ALL BURLAP, TWINE, TIES, CONTAINERS AND WIRE BASKETS FROM ALL PLANT MATERIAL. DO NOT DISTURBS ROOTBALLS. REMOVE ANY EXCESS SOIL ON TREES OR SHRUBS THAT HAS ACCUMULATED DURING THE PACKAGING & SHIPPING PROCESS. (BUD STOCK - ESPECIALLY) IN ORDER TO DETERMINE PROPER PLANTING DEPTH IN ORDER TO PLACE ROOTBALL AT 1" ABOVE GRADE. CLEAN DOWN TO THE TOP OF STRUCTURAL (FLARED) ROOT SYSTEM.
21. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROVIDE EFFECTIVE DUST CONTROL OF ALL PREPARED SOIL AREAS.
22. ALL TREES TO BE #1 GRADE NURSERY STOCK AND MEET CURRENT INDUSTRY QUALITY STANDARDS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1 AND NRS B49 (REGULATIONS OF NURSERY AND NURSERY STOCK). ALL TREES TO INCLUDE THE FOLLOWING:
- NO GIRDLING, KINKED, CIRCLING OR "J" ROOTS.
- NO TREES THAT HAVE BEEN TOPPED.
- NO WOUNDS IN THE TRUNK BARK OR ON LIMBS.
- TO BE INSECT AND DISEASE FREE, RODENT AND MECHANICAL DAMAGE FREE.
- NO TREES THAT HAVE LARGE NURSERY STAKES THROUGH ROOTBALL OR HAVE BEEN GROWN ON A NURSERY STAKE.
- ROOTBALL TO BE APPROPRIATE TO CALIPER AND GROWN SIZE.
- TRUNK/ GROWN STRUCTURE AND TRUNK TAPER TO BE APPROPRIATE FOR THE SPECIES.
- ALL GRAFT UNIONS TO BE HEALTHY WITH TRUNK DIAMETER BELOW UNION LARGER THAN ABOVE UNION.
- ALL TREES TO STAND UPRIGHT WITHOUT STAKES.
- ROOTS, BARK, AND SHOOT GROWTH TO GIVE EVIDENCE OF GOOD TREE VIGOR.
- ANY REPLACEMENT OF PLANT STOCK TO BE EQUAL TO ORIGINAL SPECIFICATION AND APPROVED BY THE OWNER'S REPRESENTATIVE.
23. ALL PLANTING BEDS AND SOD AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
24. ALL BOX TREES TO BE STAKE FREE NURSERY STOCK, NO LARGE STAKES THROUGH ROOTBALL.
25. THE CONTRACTOR SHALL SPACE PLANT MATERIALS TO ACCOMMODATE EVERGREEN TREE GROWTH. SPACE ALL SHRUBS/ GROUND COVERS/ PERENNIALS A MINIMUM OF 6' AWAY FROM ANY EVERGREEN TREE TRUNK.
26. ANY SUBSTITUTION OF PLANT MATERIAL TO BE SUBMITTED IN WRITING FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND THE CARSON CITY DEVELOPMENT DEPARTMENT.
27. A 48 HR. MIN. NOTICE TO CARSON CITY PARKS AND RECREATION DEPARTMENT (775) 887-2262 REQUIRED FOR PLANT MATERIAL, SPACING, AND LAYOUT REVIEW PRIOR TO PLANTING. A 48 HR. MIN. NOTICE TO THE CARSON CITY URBAN FORESTER (775) 884-1865 TO REVIEW TREES UPON ARRIVAL AT SITE IS REQUIRED.
28. THE CONTRACTOR SHALL INSPECT THE SITE REGULARLY TO REVIEW THE CONDITION OF ALL PLANTINGS. IF ANY CHANGES IN THE OVERALL MAINTENANCE PROGRAM ARE REQUIRED TO IMPROVE THE CONDITIONS TO AN ACCEPTABLE STANDARD, THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING. OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR THE CONDITION OF THE PLANTINGS AND THAT HONOR THE GUARANTEE. ANY PLANTS REPLACED UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF REPLACEMENT.
29. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE MAINTENANCE OF THE ENTIRE IRRIGATION SYSTEM & ALL LANDSCAPING UNTIL FINAL PROJECT ACCEPTANCE. AFTER FINAL PROJECT ACCEPTANCE ALL PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CARSON CITY PARKS & RECREATION DEPARTMENT.
30. THE CONTRACTOR SHALL TOP DRESS ROUGH GRADE OF ALL LAWN AREAS WITH 2" OF NEVADA ORGANIC PREMIUM TOP SOIL MIX, SCARIFY ALL LAWN AREAS INCORPORATING TOP SOIL INTO ROUGH GRADE, AGAIN, TOP DRESS ALL LAWN AREAS WITH AN ADDITIONAL 2" OF NEVADA ORGANIC PREMIUM TOP SOIL MIX TO ESTABLISH FINISH GRADE.

GENERAL IRRIGATION NOTES

1. ALL PLUMBING AND ELECTRICAL WORK SHALL BE COMPLETED AS PER ALL LOCAL CODES.
2. INSTALLATION OF MATERIALS SHALL BE PER MANUFACTURERS RECOMMENDATIONS OR AS SPECIFIED. SPRINKLER HEADS ARE EXACT. NO EXTRA PAYMENT WILL BE MADE WHERE PIPING MUST BE OFFSET TO AVOID EXISTING CONDITIONS, OTHER WORK OR WHERE CHANGES ARE NECESSARY TO FACILITATE INSTALLATION.
3. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED FOR COMPRESSED AIR BLOW OUT AND SHALL BE BLOWN DRY AFTER THE FIRST FROST IN THE FALL, BY THE CONTRACTOR.
4. ALL MATERIALS SHALL BE NEW WITHOUT FLAWS AND CONSIDERED THE BEST AVAILABLE IN STOCK. THE COMPLETE SYSTEM SHALL HAVE A ONE-YEAR WARRANTY AFTER FINAL PROJECT ACCEPTANCE ON ALL PARTS AND LABOR.
5. PRIOR TO FINAL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL INSTRUCT THE OWNER, OR HIS REPRESENTATIVE, IN THE PROPER OPERATION, MAINTENANCE, AND WINTERIZATION OF THE ENTIRE IRRIGATION SYSTEM.
6. THE CONTRACTOR SHALL PROVIDE AND KEEP CURRENT A COMPLETE SET OF RECORD DRAWINGS WHICH SHALL BE CORRECTED DAILY TO SHOW CHANGES IN THE ORIGINAL DRAWINGS. ALL MAINLINE PIPING AND VALVE LOCATIONS SHALL BE SHOWN WITH ACTUAL MEASUREMENTS TO REFERENCE POINTS. THESE DRAWINGS SHALL BE SUBMITTED TO THE PARKS AND RECREATION DEPARTMENT PRIOR TO FINAL PAYMENT.
7. WHEN THE SYSTEM IS COMPLETE, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL LAWN & LANDSCAPE PLANTING BED AREAS.
8. ALL IRRIGATION MAINLINE PIPING & LATERAL PIPING SHALL BE SCHEDULE 40 PVC PIPE. ALL PVC IRRIGATION MAINLINES WILL BE ASSEMBLED WITH WELD ON "IS INDUSTRIAL GRADE GLUE AND PURPLE PRIMER. ALL LATERAL LINES WILL BE ASSEMBLED WITH CHRISTY'S RED HOT OR WELD ON "IS BLUE GLUE AND PRIMER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SETTLING IN THE IRRIGATION TRENCHES OR ASSOCIATED IRRIGATION WORK AS A WARRANTY ITEM.
10. ALL IRRIGATION VALVES SHALL BE LOCATED IN "CARSON INDUSTRIES INC" VALVE BOXES WITH LOCKING COVERS (OR APPROVED EQUAL). SIZE OF VALVE BOXES SHALL VARY WITH NUMBER OF VALVES LOCATED IN BOX. ALL VALVE BOX LID ELEVATIONS SHALL BE SET FLUSH WITH FINISHED GRADE. PROVIDE BOX SIZE THAT WILL ALLOW 6" CLEARANCE AROUND ALL SIDES OF VALVES. PROVIDE BOLTS PER MANUFACTURER'S RECOMMENDATIONS AND SECURE EACH VALVE BOX.
11. ON ALL THREADED JOINTS WITHIN THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL USE 2-3 FULL TURNS OF TEFLON TAPE AT EACH CONNECTION.
12. RAINBIRD PEN-TITE OR KINGWIRE SPLICE WIRE CONNECTIONS SHALL BE USED ON ALL FIELD WIRE SPLICES AND CONNECTIONS.
13. ALL CONTROL WIRE SHALL BEAR A UL APPROVED LABEL FOR DIRECT UNDERGROUND BURIAL IN NATIONAL ELECTRIC CODE CLASS 1 CIRCUITS. AWG #18GA MINIMUM SIZE TO ALL CONTROL WIRE RUNS LESS THAN 1000' SHALL HAVE NO SPLICES. IF A SPLICE OCCURS ON A RUN LESS THAN 1000', THE CONTRACTOR SHALL INSTALL THE SPLICE IN A 6" ROUND VALVE BOX, IF APPROVED BY THE LANDSCAPE ARCHITECT. OTHERWISE THE ENTIRE FIELD CONTROL WIRE SHALL BE REMOVED & REPLACED.
14. TAPE AND BUNDLE ALL CONTROL WIRE TO BOTTOM OF MAINLINE PIPE AT 10' O.C.
15. THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN A LOCATION AS SHOWN ON THE PLANS. THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE WILL APPROVE FINAL CONTROLLER LOCATION.
16. IRRIGATION VALVE BOXES ARE TO BE INSTALLED IN LANDSCAPE PLANTING BEDS OR OTHER PROTECTED AREAS. VALVE BOXES SHALL NOT BE INSTALLED IN LAWN AREAS.
17. THE CONTRACTOR SHALL INSTALL BRASS AND PVC PIPING ONLY, 8" ON EITHER SIDE OF THE BACKFLOW PREVENTER, WITH ONE SET OF UNION JOINTS AS DEPICTED IN THE STANDARD DETAIL FOR REMOVAL.
18. FILTER FABRIC FOR ABOVE ALL ROCK SHALL BE DIRRITT PRO 5 WEED BARRIER OR AN APPROVED EQUAL.
19. IRRIGATION MAINLINE TO BE BURIED 24" BELOW FINISHED GRADE AND ALL LATERAL LINE PIPING TO BE BURIED 18" BELOW FINISHED GRADE. ALL FLEXIBLE DRIP IRRIGATION DISTRIBUTION TUBING TO BE BURIED 4"-6" BELOW FINISH GRADE.
20. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. THE ACQUISITION OF ALL NECESSARY PERMITS ASSOCIATED WITH CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY.
21. THE CONTRACTOR SHALL INSTALL A BRASS MUNE MUELLER CURB STOP AND WASTE VALVE AT THE BACKFLOW PREVENTER (SIZE TO MATCH MAINLINE) (AS PER DETAIL) THE STOP AND WASTE VALVES SHALL HAVE A RUBBER SEAT (WITH SCHEDULE 80 90° STREET ELL WITH CURB HANDLES.
22. THE CONTRACTOR SHALL PROVIDE 3' OF COILED WIRE IN VALVE BOX.
23. PIPE DOPE SHALL NOT BE USED ANYWHERE ON THE IRRIGATION SYSTEM.
24. NO 1 1/4" PIPE SHALL BE USED ANYWHERE ON THE IRRIGATION SYSTEM. 3/4" AND 1/2" PIPE WILL ONLY BE USED FOR SMALL ROTOR AND POP-UP SPRAY HEAD SWING JOINTS.
25. THE CONTRACTOR SHALL EXPOSE ENDS OF ALL IRRIGATION SLEEVES. ANY BROKEN OR SHATTERED ENDS OF THE IRRIGATION SLEEVES SHALL BE CUT TO A CLEAN END BEFORE INSTALLATION OF EITHER MAINLINE PIPE, LATERAL LINES OR DRIP IRRIGATION TUBING. ALL SLEEVE ENDS SHALL BE INSPECTED BY PARKS & RECREATION DEPT. STAFF BEFORE BURYING.
26. FINAL CONNECTION OF THE VALVE WIRES TO THE CONTROLLER AND FINAL CONTROLLER AND DECODER PROGRAMMING SHALL BE THE CONTRACTORS RESPONSIBILITY.
27. THE CONTRACTOR SHALL AT HIS OWN EXPENSE LOCATE ALL UNDERGROUND UTILITIES WHICH THAT EFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE SAME.
28. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER AND/OR TELEPHONE, WATER, GAS AND SEWER FACILITIES SO AS TO SAFELY PROTECT ALL UTILITIES, PERSONNEL, AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
29. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE FROM DAMAGE, AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
30. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
31. THE CONTRACTOR SHALL FLUSH ALL LATERALS AND EMITTER LINES PRIOR TO INSTALLING EMITTERS. EMITTERS TO BE INSTALLED IN THE FOLLOWING RATIOS: (1) 1 GPH EPU / AND 2 GAL PLANT, (3) 1 GPH EPU / 5 GAL PLANT AND (4) 2 GPH EPU PER TREE.
32. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS, FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER SIDEWALKS AND PAVING.
33. SHOULD DISCREPANCIES ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS WHICH REQUIRE FIELD MODIFICATIONS OR PLAN REVISIONS, THE OWNER'S REPRESENTATIVE SHALL BE CONTACTED PRIOR TO CONSTRUCTION FOR RESOLUTION OR PLAN REVISION.
34. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
or
1-800-227-2600

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA, DLF
DRAWN BY: DLF/DGR
CHECKED BY: DGR, DSA
DWG NO.: P751020001-LA.dwg
SCALE (HORIZ): N/A
SCALE (VERT): N/A
PLOT DATE: 2/10/21

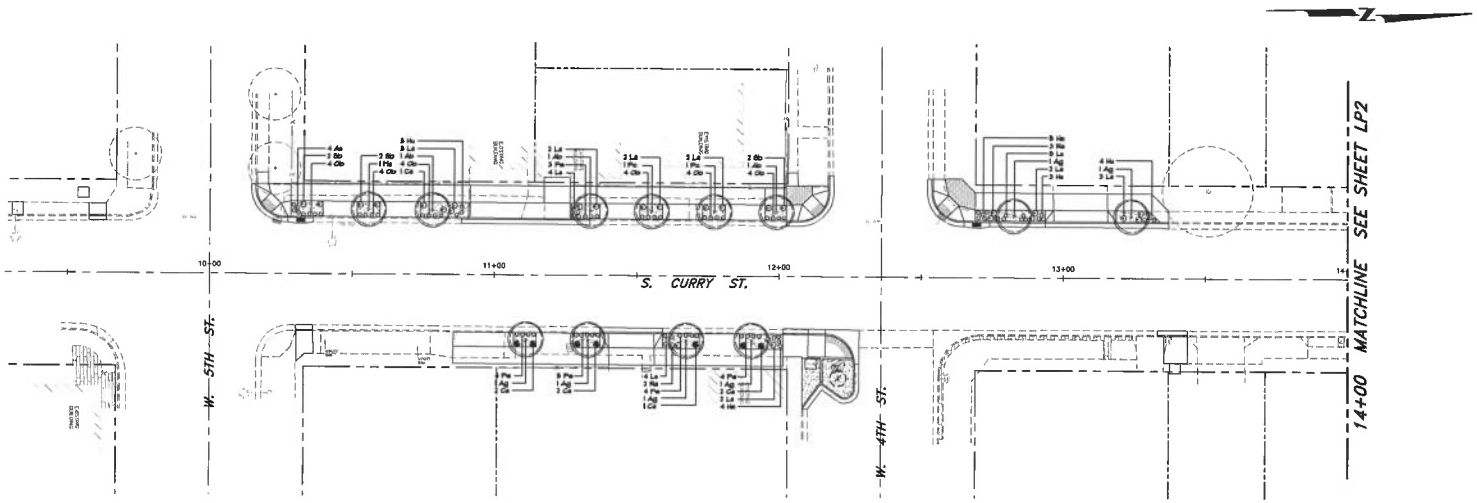
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

2021 CURRY STREET &
3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET /
3RD STREET PARKING LOT
LANDSCAPE & IRRIGATION NOTES

SHEET LP0 OF 57

90% DESIGN FOR REVIEW ONLY

I:\CAPITAL PROJECTS\Projects\P751020001 - Downtown Improvements\100 Design\DWG\P751020001-LA.dwg 2/10/21



LANDSCAPE PLAN -- CURRY STREET

SCALE: 1" = 20'

NOTES:

1. ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF ASPHALT, COMPACTED ROAD BASE OR OTHER FOREIGN DEBRIS, TO PROMOTE WATER DRAINAGE AND TO PROMOTE PLANT GROWTH.
2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF (3) DAYS PRIOR TO WORKING WITHIN THE DRIP LINE OF A TREE, OR WITHIN 1 FOOT PER INCH OF TREE TRUNK DIAMETER (EXAMPLE: 2' FOR A 2" DIAMETER TREE)

PLANT LEGEND

- EXISTING TREE
- SMALL DECIDUOUS TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- DECOMPOSED GRANITE MULCH (2" MIN. THICKNESS)
- (X) EXISTING TREE TO BE REMOVED
- (T) EXISTING TREE TO BE TRANSPLANTED
- (R) EXISTING TREE TO REMAIN

PLANT LIST (QUANTITY, THIS SHEET ONLY)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ab	Acer buergerianum	Trident Maple	3	2" Cal.
Ag	Acer ginnala	Amur Maple	6	2" Cal.
Cc	Cercis canadensis	Redbud	-	2" Cal.
Ma	Malus spp. (fruitless only)	Crabapple, Spring Snow Flowering	1	2" Cal.
Pc	Pyrus calleryana	Flowering Pear	2	2" Cal.
Pp	Carpinus caroliniana	Hornbeam	-	2" Cal.
SHRUBS				
Bt	Berberis thunbergii	Japanese Barberry	-	2 Gal.
Ea	Euonymus alatus "Compactus"	Dwarf Burning Bush	-	2 Gal.
La	Lavandula spp.	Lavender	16	2 Gal.
Ra	Ribes alpinum	Alpine Currant	5	2 Gal.
Sb	Spirea bumalda "Anthony Waterer"	Anthony Waterer Spirea	6	2 Gal.
PERRENIALS				
Ae	Achillea spp.	Yarrow	4	1 Gal.
Au	Agastache urticifolia	Nettleleaf Giant Hyssop	-	1 Gal.
Hn	Hemerocallis spp.	Daylily	9	1 Gal.
Hu	Heuchera spp.	Coral Bells	7	1 Gal.
Ls	Leucanthemum superbum	Shasta Daisy	13	1 Gal.
Ob	Oenothera berlandieri	Mexican Evening Primrose	24	1 Gal.
Pe	Penstemon eatonii	Firecracker Penstemon	20	1 Gal.
ORNAMENTAL GRASSES				
Ca	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	8	1 Gal.
He	Helictotrichon spp.	Blue Oat Grass	3	1 Gal.
Ms	Miscanthus sinensis	Maiden Grass	-	1 Gal.

SCALE
HORIZ: 1" = 20'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811 or 1-800-227-2600

DESIGNED BY: DSA, DLF
DRAWN BY: DLF/DGR
CHECKED BY: DGR, DSA
DWG NO.: #751020001-Sheet
SCALE (HORIZ): 1"=20'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

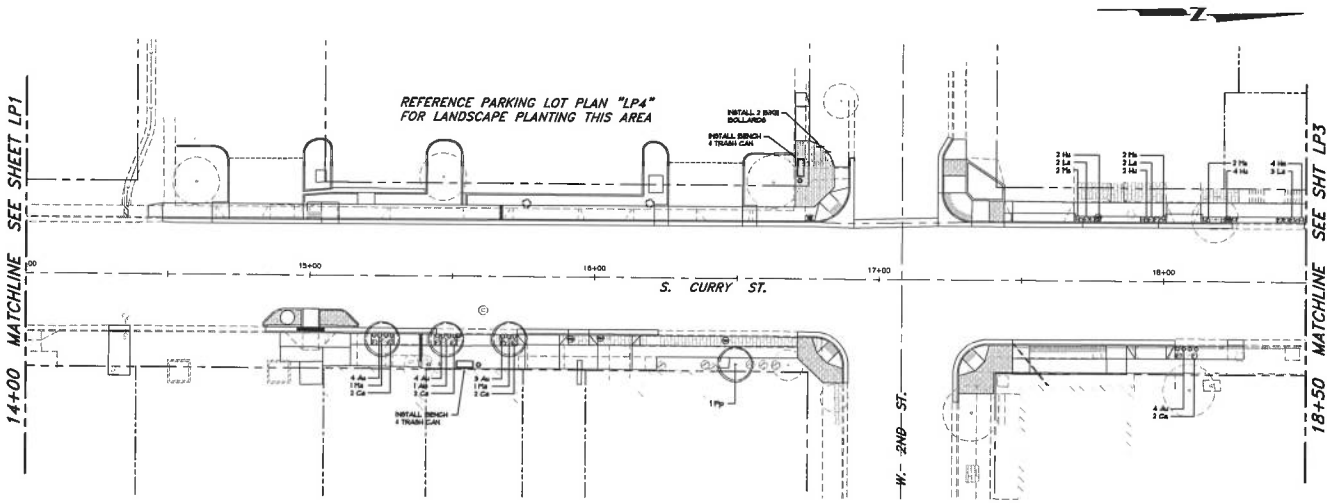
CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET &
3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. #751020001
S. CURRY STREET
LANDSCAPE PLANTING PLAN
STA 10+00 to STA 14+00

SHEET LP1 OF 57

90% DESIGN FOR REVIEW ONLY



LANDSCAPE PLAN – CURRY STREET

SCALE: 1" = 20'

NOTES:

1. ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF ASPHALT, COMPACTED ROAD BASE OR OTHER FOREIGN DEBRIS, TO PROMOTE WATER DRAINAGE AND TO PROMOTE PLANT GROWTH.
2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF (3) DAYS PRIOR TO WORKING WITHIN THE DRIP LINE OF A TREE, OR WITHIN 1 FOOT PER INCH OF TREE TRUNK DIAMETER (EXAMPLE: 12' FOR A 12" DIAMETER TREE)

PLANT LEGEND

- EXISTING TREE
- SMALL DECIDUOUS TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- DECOMPOSED GRANITE MULCH (2" MIN. THICKNESS)
- (X) EXISTING TREE TO BE REMOVED
- (T) EXISTING TREE TO BE TRANSPLANTED
- (R) EXISTING TREE TO REMAIN

PLANT LIST (QUANTITY, THIS SHEET ONLY)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ap	Acer buergeranum	Trident Maple	1	2" Cal.
Ag	Acer ginnala	Amur Maple	-	2" Cal.
Cc	Cercis canadensis	Redbud	-	2" Cal.
Ma	Malus spp. (fruitless only)	Crabapple, Spring Snow Flowering	2	2" Cal.
Pc	Pyrus calleryana	Flowering Pear	-	2" Cal.
Pp	Carpinus caroliniana	Hornbeam	1	2" Cal.
SHRUBS				
Bt	Berberis thunbergii	Japanese Barberry	-	2 Gal.
Ea	Euonymus alatus "Compactus"	Dwarf Burning Bush	-	2 Gal.
La	Lavandula spp.	Lavender	7	2 Gal.
Ra	Ribes alpinum	Alpine Currant	-	2 Gal.
Sb	Spiraea bumalda "Anthony Waterer"	Anthony Waterer Spiraea	-	2 Gal.
PERRENIALS				
As	Achillea spp.	Yarrow	-	1 Gal.
Au	Agastache urticifolia	Nettleleaf Giant Hyssop	19	1 Gal.
Hm	Hemerocallis spp.	Daylily	4	1 gal.
Hu	Heuchera spp.	Coral Bells	5	1 Gal.
Lx	Leucanthemum superbum	Shasta Daisy	-	1 Gal.
Oc	Oenothera berlandieri	Mexican Evening Primrose	-	1 Gal.
Pc	Penstemon eatonii	Firecracker Penstemon	-	1 Gal.
ORNAMENTAL GRASSES				
Ca	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	8	1 Gal.
Hs	Helictotrichon spp.	Blue Oat Grass	-	1 Gal.
Ms	Miscanthus sinensis	Maiden Grass	5	1 Gal.

SCALE
10 0 10 20
HORIZ 1" = 20'

Call before you Dig
Avoid cutting underground utility lines. It's easily.
Call 811
CH
1-800-227-2600

DESIGNED BY: DSA, DLF
DRAWN BY: DLF/DSR
CHECKED BY: DSA, DSA
DWG NO.: 2751020001-Curry
SCALE (HORIZ): 1"=20'
SCALE (VERT): N/A
PLOT DATE: 2/15/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

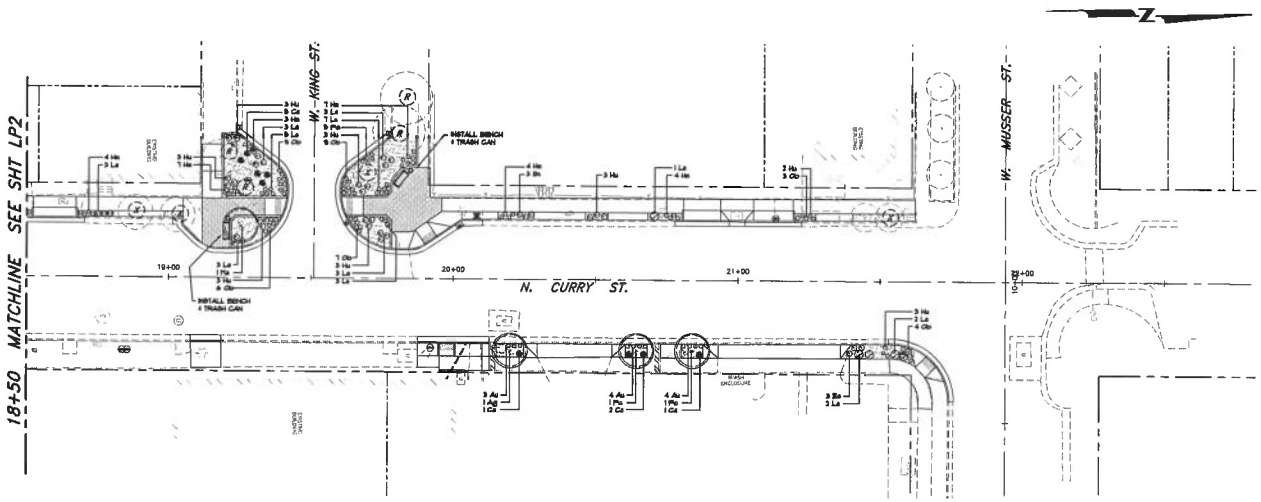
REV.	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET &
3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
S. CURRY STREET
LANDSCAPE PLANTING PLAN
STA 14+00 to STA 18+50

SHEET LP2 OF 57

90% DESIGN FOR REVIEW ONLY

I:\CAPITAL PROJECTS\Projects\P751020001 - Downtown Improvements\CD\Curry\Curry\P751020001-LP.dwg 2/15/21



LANDSCAPE PLAN – CURRY STREET

SCALE: 1" = 20'

NOTES:

1. ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF ASPHALT, COMPACTED ROAD BASE OR OTHER FOREIGN DEBRIS, TO PROMOTE WATER DRAINAGE AND TO PROMOTE PLANT GROWTH.
2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF (3) DAYS PRIOR TO WORKING WITHIN THE DRIP LINE OF A TREE, OR WITHIN 1 FOOT PER INCH OF TREE TRUNK DIAMETER (EXAMPLE: 12' FOR A 12" DIAMETER TREE)

PLANT LEGEND

- EXISTING TREE
- SMALL DECIDUOUS TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- DECOMPOSED GRANITE MULCH (2" MIN. THICKNESS)
- (X) EXISTING TREE TO BE REMOVED
- (T) EXISTING TREE TO BE TRANSPLANTED
- (R) EXISTING TREE TO REMAIN

PLANT LIST (QUANTITY, THIS SHEET ONLY)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ab	Acer buergerianum	Trident Maple	-	2" Cal.
Ag	Acer ginnala	Amur Maple	1	2" Cal.
Cc	Cercis canadensis	Redbud	-	2" Cal.
Ma	Malus spp. (fruitless only)	Crabapple, Spring Snow Flowering	1	2" Cal.
Pc	Pyrus calleryana	Flowering Pear	2	2" Cal.
Cp	Carpinus caroliniana	Hornbeam	-	2" Cal.
SHRUBS				
Bt	Berberis thunbergii	Japanese Barberry	3	2 Gal.
Ea	Eucrypta alatus "Compactus"	Dwarf Burning Bush	3	2 Gal.
La	Lavandula spp.	Lavender	17	2 Gal.
Ra	Ribes alpinum	Alpine Currant	-	2 Gal.
Sb	Spiraea bumalda "Anthony Waterer"	Anthony Waterer Spiraea	-	2 Gal.
PERRENIALS				
As	Achillea spp.	Yarrow	-	1 Gal.
Au	Agastache urticifolia	Nettleleaf Giant Hyssop	11	1 Gal.
Hn	Hemerocallis spp.	Daylily	18	1 gal.
Hu	Heuchera spp.	Coral Bells	26	1 Gal.
Lc	Leucanthemum superbum	Shasta Daisy	19	1 Gal.
Ob	Oenothera berlandieri	Mexican Evening Primrose	39	1 Gal.
Pe	Penstemon eatonii	Firecracker Penstemon	5	1 Gal.
ORNAMENTAL GRASSES				
Ca	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	9	1 Gal.
He	Helictrichon spp.	Blue Oat Grass	-	1 Gal.
Ms	Miscanthus sinensis	Maiden Grass	-	1 Gal.

SCALE
HORZ: 1" = 20'

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
CHI
1-800-227-2600

DESIGNED BY: DSA DLF
DRAWN BY: DLF/DGR
CHECKED BY: DGR DSA
DWG NO.: P751020001-Sheet
SCALE (HORIZ): 1"=20'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

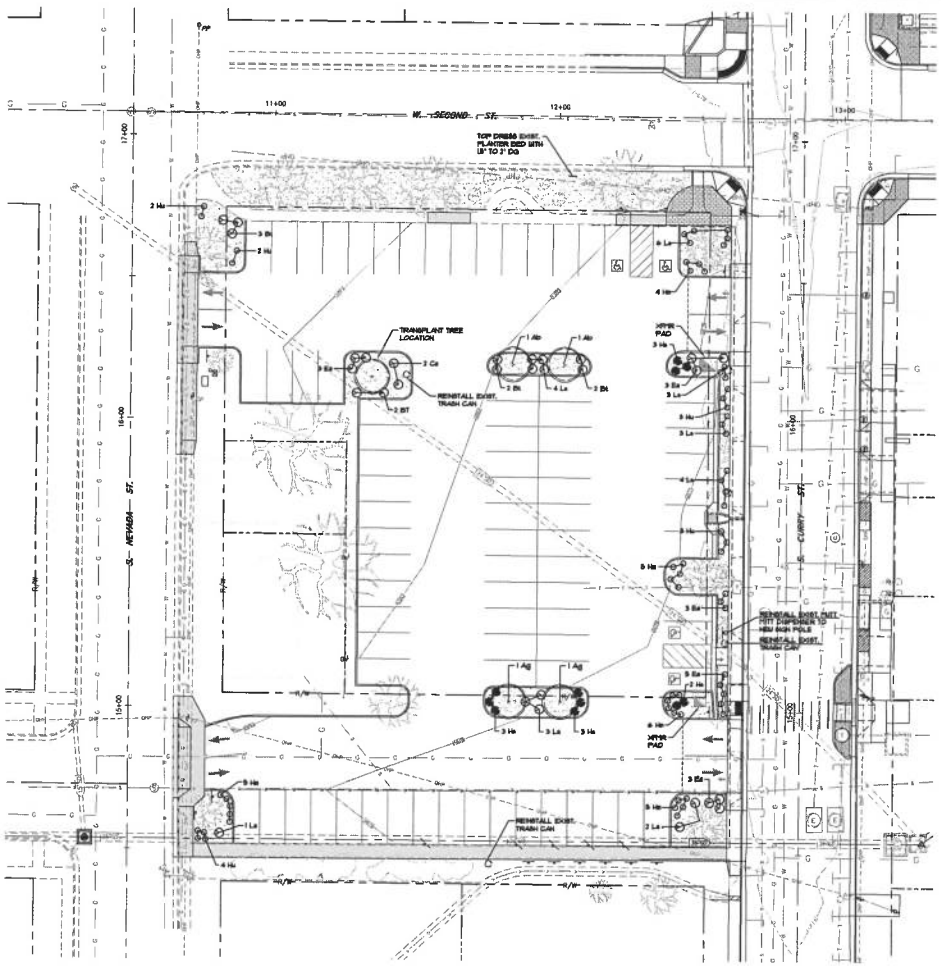
REV	DATE	DESCRIPTION	BY	APP'D

2021 CURRY STREET &
3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001
CURRY STREET
LANDSCAPE PLANTING PLAN
STA 18+50 to STA 22+00

SHEET LP3 OF 57

90% DESIGN FOR REVIEW ONLY

J:\DATA_PROJECTS\Projects\P75\020001-Downtown Improvements\CD\dwg\Sht\P751020001-CD.dwg 2/10/21



PARKING LOT LANDSCAPE PLAN

SCALE: 1" = 20'

NOTES:

1. ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF ASPHALT, COMPACTED ROAD BASE OR OTHER FOREIGN DEBRIS, TO PROMOTE WATER DRAINAGE AND TO PROMOTE PLANT GROWTH.
2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA, NOT SHOWN TO BE REMOVED, ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF (5) DAYS PRIOR TO WORKING WITHIN THE DRIP LINE OF A TREE, OR WITHIN 1 FOOT PER INCH OF TREE TRUNK DIAMETER (EXAMPLE: 12" FOR A 12" DIAMETER TREE)

PLANT LEGEND

- EXISTING TREE
- SMALL DECIDUOUS TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE TRANSPLANTED
- EXISTING TREE TO REMAIN
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL
- DECOMPOSED GRANITE MULCH (2" MIN. THICKNESS)

PLANT LIST (QUANTITY, THIS SHEET ONLY)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ab	Acer buergeranum	Trident Maple	2	3" Cal
Ag	Acer ginnala	Amur Maple	2	3" Cal.
Cc	Cercis canadensis	Redbud	-	3" Cal.
Ma	Malus spp. (fruitless only)	Crabapple, Spring Snow Flowering	-	3" Cal.
Pc	Pyrus calleryana	Flowering Pear	-	3" Cal.
Pp	Carpinus caroliniana	Hornbeam	-	3" Cal.
SHRUBS				
Bt	Berberis thunbergii	Japanese Barberry	9	5 Gal.
Co	Cotoneaster lucidus	Hedge Cotoneaster	-	5 Gal.
Ea	Euonymus alatus "Compactus"	Dwarf Burning Bush	11	5 Gal.
La	Lavandula spp.	Lavender	6	5 Gal.
Ra	Ribes alpinus	Alpine Currant	-	5 Gal.
So	Spiraea bumalda "Anthony Waterer"	Anthony Waterer Spiraea	-	5 Gal.
PERRENIALS				
Aa	Achillea spp.	Yarrow	-	1 Gal.
Au	Agastache urticifolia	Nettleleaf Giant Hyssop	-	1 Gal.
Cr	Centranthus ruber	Jupiter's Beard	-	1 gal.
Hm	Hemerocallis spp.	Daylily	25	1 Gal.
Hu	Heuchera spp.	Coral Bells	14	1 Gal.
Ls	Leucanthemum superbum	Shasta Daisy	20	1 Gal.
Ob	Oenothera berlandieri	Mexican Evening Primrose	-	1 Gal.
Pa	Penstemon eatonii	Firecracker Penstemon	-	1 Gal.
ORNAMENTAL GRASSES				
Ca	Calamagrostis x acutiflora	Karl Foerster Feather Reed Grass	2	1 Gal.
He	Helictotrichon spp.	Blue Oat Grass	11	1 Gal.
Ms	Miscanthus sinensis	Maiden Grass	-	1 Gal.

LANDSCAPE INSPECTIONS/APPROVALS: 6/2015

1. ALL APPROVALS TO BE BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE.
2. FINISH GRADE OF ALL LAWN AND PLANTING BED AREAS SHALL BE REVIEWED & APPROVED BEFORE INSTALLATION OF EITHER MULCH OR SOD.
3. ROUGH GRADE, FINISH GRADE, & ALL BERM LOCATIONS/SHAPES SHALL BE REVIEWED & APPROVED BEFORE INSTALLATION OF THE IRRIGATION SYSTEM & SITE ELEMENTS.
4. THE CONTRACTOR SHALL SUBMIT THE BELOW ITEMS FOR REVIEW & APPROVAL AS REQUIRED BY THE DRAWINGS:
   - SOD MIX NEED SPECIFICATIONS
   - MULCH
   - PRE-EMERGENT HERBICIDE

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
OR
1-800-227-2600

REV	DATE	DESCRIPTION	BY	APP'D

DESIGNED BY: DSA/DGB
DRAWN BY: DGB
CHECKED BY: DSA
DWG NO.: P751020001-landscape_lp.dwg
SCALE (HORIZ): 1" = 10'
SCALE (VERT): N/A
PLOT DATE: 2/10/21

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY CARSON CITY, NEVADA 89701
PH: 887-2355 FAX: 887-2112

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS
PROJECT No. P751020001

3RD STREET PARKING LOT LANDSCAPING PLANTING PLAN

SHEET LP4 OF 57

90% DESIGN FOR REVIEW ONLY