

STAFF REPORT FOR PLANNING COMMISSION MEETING OF MAY 26, 2021

FILE NO: LU-2021-0148

AGENDA ITEM: 13.B

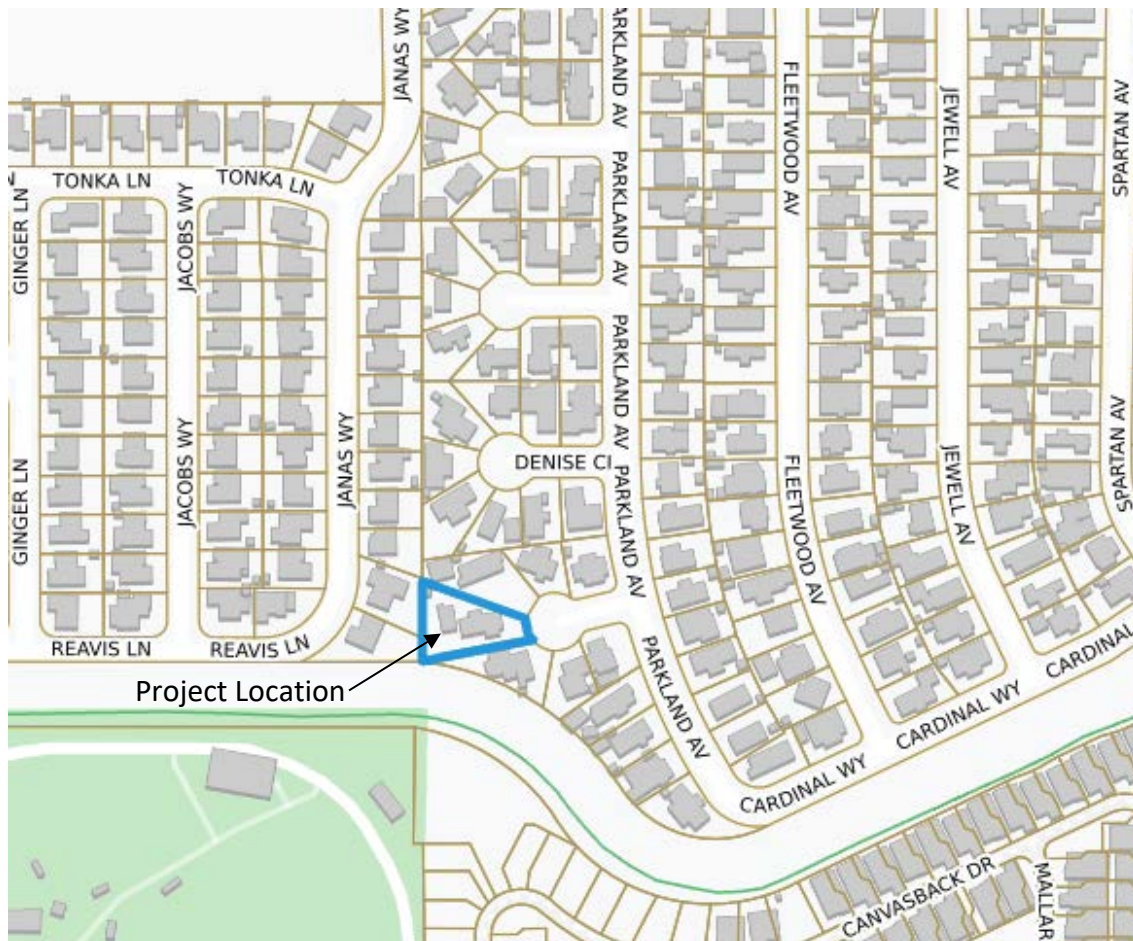
STAFF CONTACT: Lena Reseck, Assistant Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for a Special Use Permit to construct an accessory structure that exceeds 75 percent of the size of the primary building on property zoned Mobile Home 6000 (MH6), located at 1120 Claudia Circle, APN 009-657-40. (Heather Ferris, hferris@carson.org)

Summary: The subject property is currently improved with a 1,512 square foot home and a 680 square foot detached garage on a 0.3100 acre lot. The applicant is proposing to construct a 550 square foot detached carport. This will result in the cumulative square footage of the detached accessory structures being approximately 81 percent of the size of the primary building. As the cumulative square footage of the detached accessory structures will exceed 75 percent of the size of the primary structure, per CCMC 18.05.055, a Special Use Permit is required. The Planning Commission is authorized to approve a Special Use Permit.

PROPOSED MOTION: "I move to approve Special Use Permit LU-2021-0148, based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of issuance of the Special Use Permit. A single, one-year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year and no extension granted the permit shall become null and void.
5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with the Building Permit application.
6. Any other detached accessory structures proposed for the site in the future will require additional review and approval of a Special Use Permit prior to construction.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits); 18.04.085 (Mobilehome 6,000 (MH6) and 12,000 (MH12) Residential Districts); 18.05.055 (Accessory Structures).

MASTER PLAN DESIGNATION: Medium Density Residential (MDR)

PRESENT ZONING: Mobilehome 6000 (MH6)

KEY ISSUES: Will the proposed carport have an adverse impact on the adjacent residential neighborhood?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Mobilehome 6000 (MH6)
EAST: Public (P)/Public Community (PC)/Single Family 21,000(SF21-P)
SOUTH: Public Community (PC)/Mobilehome 6,000(MH6-P)
WEST: Mobilehome 6,000(MH6)

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: The parcel is mainly in Zone X (shaded) however the southwest corner of the parcel is Zone AH (4645 feet) and the east side of the property is in Zone AO (depth 1 foot) and the street is Zone AO (depth 2 feet).
2. EARTHQUAKE FAULT: The nearest fault is over 500 feet away with a slip rate of less than 0.2 mm/yr.
3. SLOPE/DRAINAGE: Relatively flat

SITE DEVELOPMENT INFORMATION:

1. LOT SIZE: 0.31 acres
2. PROPOSED STRUCTURE SIZE: 550 square feet
3. PROPOSED STRUCTURE HEIGHT: 11 feet 1 ¾" high

5. REQUIRED SETBACKS: 20 feet from front; 5 feet from side; 10 feet from rear. As proposed, the structure meets these setbacks.
6. VARIANCES REQUESTED: None

DISCUSSION:

The applicant is seeking to construct a 550 square foot carport. The primary residence on the site is 1,512 square feet. There is currently a 680 square foot detached garage on-site.

The proposed and current detached accessory structures (carport and garage) will result in the cumulative area of the detached structures being 81 percent of the primary building.

An accessory structure is a permitted accessory use in the Mobilehome 6,000 (MH6) zoning district; however, per CCMC 18.05.055.7, if the cumulative area of the accessory structures is more than 75% of the size of the primary structure, a Special Use Permit is required.

Per the provisions of 18.02.080, the Planning Commission has the authority to approve a Special Use Permit upon making each of the seven required findings in the affirmative.

PUBLIC COMMENTS: Public notices were mailed to 47 property owners within 300 feet of the subject site on May 11, 2021. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on May 26, 2021 depending on the date of submission of the comments to the Planning Department.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all Carson City Development Standards and Standard Details.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

Local intersections:

- This parcel is at the end of a cul de sac, Claudia Circle with the closest intersection being Claudia Circle and Parkland Ave.

Parking and internal circulation:

- The existing parking is an existing detached garage, on the driveway as well as on-street parking.

C.C.M.C. 18.02.080 (5d) - Public Services

Storm Drain:

- The property drains to the street. No proposed changes to the existing drainage. No additional mitigation is needed for stormwater runoff.

Public Lands:

- Appears to have no impact on the City's property to the south.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project will meet engineering standards for health and safety if conditions are met.

Earthquake faults: The nearest fault is over 500 feet away with a slip rate of less than 0.2 mm/yr.

FEMA flood zones: The parcel is mainly in Zone X (shaded) however the southwest corner of the parcel is Zone AH (4645 feet) and the east side of the property is in Zone AO (depth 1 foot) and the street is Zone AO (depth 2 feet). The structure would have to comply with CCMC 12.09.

Site slope: The site is already developed so the slope is minimal.

Soils and Groundwater: The site is already developed.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The subject property is designated as Medium Density Residential. The primary uses associated with the Medium Density Residential master plan land use designation include single family residences. The primary use of the subject site is a single-family residential use and the proposed carport will not change the land use, as it will be accessory to the single-family residential use.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare, or physical activity.

The detached accessory structure will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or neighborhood. The carport will allow for vehicles to be stored under cover instead of in the open.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The carport will allow for vehicles to be stored undercover instead of in the open. The proposed accessory structure will not constitute a change of use. The land use will continue to be single-family residential with the trips associated with a single-family residence.

- 4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The proposed accessory structure will not constitute a change of use. The land use will continue to be single-family residential. The project does not include new connections to sewer or water and does not require modifications to the existing storm drain infrastructure. The project will not result in increased impacts on schools, police, or fire protection.

- 5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

Accessory structures incidental to the primary use are allowed in the SF1A zoning district. The proposed location complies with the required setbacks and the proposed height is in compliance with the maximum height of 26 feet. The building will require a building permit and must comply with all City standards.

- 6. Will not be detrimental to the public health, safety, convenience, and welfare.**

The accessory structure will not be detrimental to public health, safety, convenience, and welfare. The structure is consistent with the MH6 zoning. The carport will allow for vehicles to be stored under cover instead of in the open.

- 7. Will not result in material damage or prejudice to other property in the vicinity.**

The primary use of the subject site is a single-family residential use and the proposed carport will not change the land use, as it will be accessory to the single-family residential use. The proposed accessory structure will not result in material damage or prejudice to other property in the vicinity. The structure will comply with the required setbacks and the height limitations.

Attachments:

Application (LU-2021-0148)

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential
zoning districts)

+ noticing fee

*Due after application is deemed complete by
staff

☐ SUBMITTAL PACKET – 4 Complete Packets (1 Unbound
Original and 3 Copies) including:

- ☐ Application Form
- ☐ Detailed Written Project Description
- ☐ Site Plan
- ☐ Building Elevation Drawings and Floor Plans
- ☐ Special Use Permit Findings
- ☐ Master Plan Policy Checklist
- ☐ Applicant's Acknowledgment Statement
- ☐ Documentation of Taxes Paid-to-Date
- ☐ Project Impact Reports (Engineering)

☐ CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By: _____

Submittal Deadline: Planning Commission application
submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for
all departments to adequately review the request. Additional
information may be required.

FILE

APPLICANT PHONE #
KRIS DIESON 775 430-1448

MAILING ADDRESS, CITY, STATE, ZIP
1120 CLAUDIA CIR CARSON CITY

EMAIL ADDRESS
BAIAKRIS2004@YAHOO.COM

PROPERTY OWNER PHONE #
KRISTIAN ALAN DIESON 775 430-1448

MAILING ADDRESS, CITY, STATE, ZIP
1120 CLAUDIA CIR CARSON CITY NV. 89701

EMAIL ADDRESS
BAIAKRIS2004@YAHOO.COM 775 430

APPLICANT AGENT/REPRESENTATIVE PHONE #
SAME 1448

MAILING ADDRESS, CITY STATE, ZIP
SAME

EMAIL ADDRESS
SAME

Project's Assessor Parcel Number(s):

009-657-40

Street Address

1120 CLAUDIA CIR CARSON CITY NV. 89701

Project's Master Plan Designation

Project's Current Zoning

Nearest Major Cross Street(s)

PARKLAND

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

INSTALL 3 SIDE CHAPOST IN BACKYARD TO PROTECT VEHICLES
FROM WEATHER ON ASPHALT SLAB

PROPERTY OWNER'S AFFIDAVIT

I, KRIS DIESON, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have
knowledge of, and I agree to, the filing of this application.

Kris Dieson

Signature

1120 CLAUDIA CIR

Address

04-22-2021

Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY

On April 22, 2021, Kris Dieson, personally appeared before me, a notary public,
personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she
executed the foregoing document.

Lena E. Reseck

Notary Public



LENA E. RESECK
NOTARY PUBLIC
STATE OF NEVADA

No. 1148732-5 My Appt. Exp. March 28, 2022

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the
Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

here is any additional information that would provide a clearer picture of your proposal that you would like to add for
resentation to the Planning Commission, please be sure to include it in your detailed description.

ase type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to
lly comply with all conditions as established by the Planning Commission. I am aware that this permit
comes null and void if the use is not initiated within one-year of the date of the Planning Commission's
approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I
rther understand that approval of this application does not exempt me from all City code requirements.

Kristian A. Dieson
pplicant's Signature

KRISTIAN A. DIESON
Print Name

Date

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: KRIS DIESON

Reviewed By: KRIS DIESON

Date of Review: 04-22-2021

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- N/A ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- N/A ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- N/A ☐ Located in a priority infill development area (1.2a)?
- N/A ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☒ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- N/A ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- N/A ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☒ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☒ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☒ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- N/A ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- N/A ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- N/A ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- N/A ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- N/A ☐ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- N/A ☐ Encourage the development of regional retail centers (5.2a)
- N/A ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- N/A ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- N/A ☐ Promote revitalization of the Downtown core (5.6a)?
- N/A ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- ☒ Use durable, long-lasting building materials (6.1a)?
- ☒ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- N/A ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- ☒ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- N/A ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- N/A ☐ If located Downtown:
- ☐ Integrate an appropriate mix and density of uses (8.1a, e)?
 - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- N/A ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- N/A ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- N/A ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- N/A ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Gayle Robertson
Carson City Treasurer
(775) 887-2092

CARSON CITY CONSOLIDATED MUNICIPALITY REAL PROPERTY TAXES FOR FISCAL YEAR 2020-2021



TAXES FROM JULY 1, 2020 THRU JUNE 30, 2021

PROPERTY LOCATION / DESCRIPTION			
PARCEL NUMBER	DISTRICT	ROLL NUMBER	PROPERTY LOCATION
009-657-40	2.4	2020054478	1120 CLAUDIA CIR



*****SCH 5-DIGIT 89701
DIESON, KRISTIAN
1120 CLAUDIA CIR
CARSON CITY, NV 89701-0000

1-0004502
000010
000001

MAKE REMITTANCE PAYABLE TO:
CARSON CITY TREASURER
201 N. CARSON STREET #5
CARSON CITY, NV 89701

YOUR CHECK IS YOUR RECEIPT
IF ADDITIONAL RECEIPT IS NEEDED, RETURN
ENTIRE TAX BILL WITH PAYMENT AND SELF-
ADDRESSED STAMPED ENVELOPE.

NOTE: IF YOUR TAXES ARE INCLUDED IN YOUR MORTGAGE PAYMENT, DO NOT PAY THIS BILL.

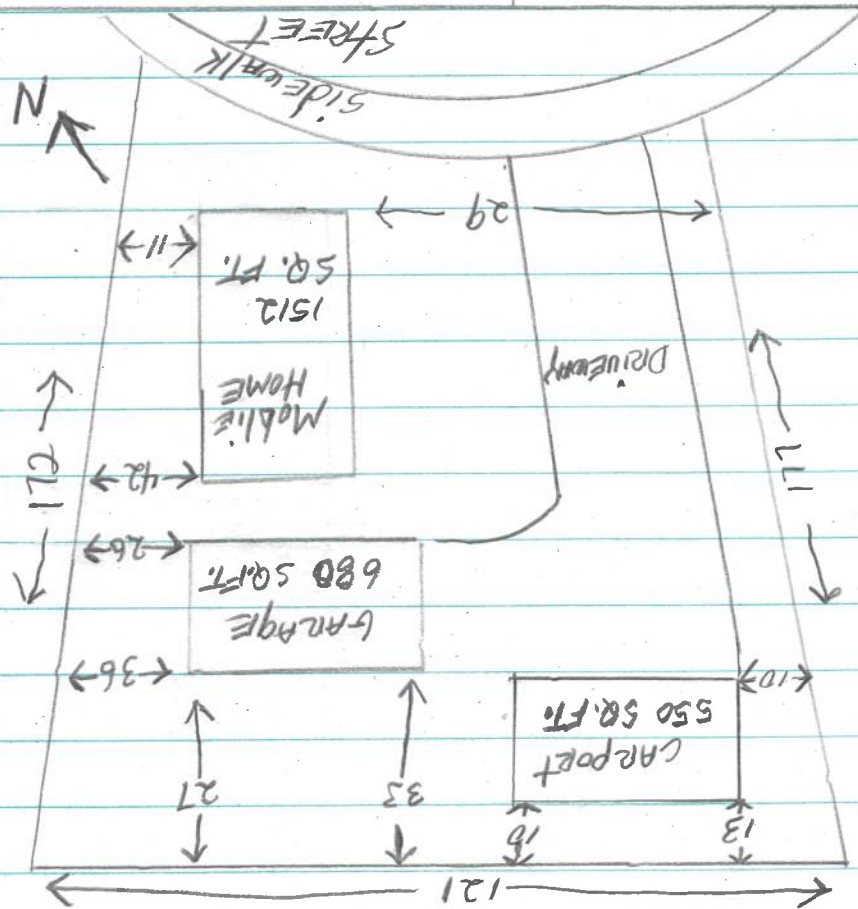
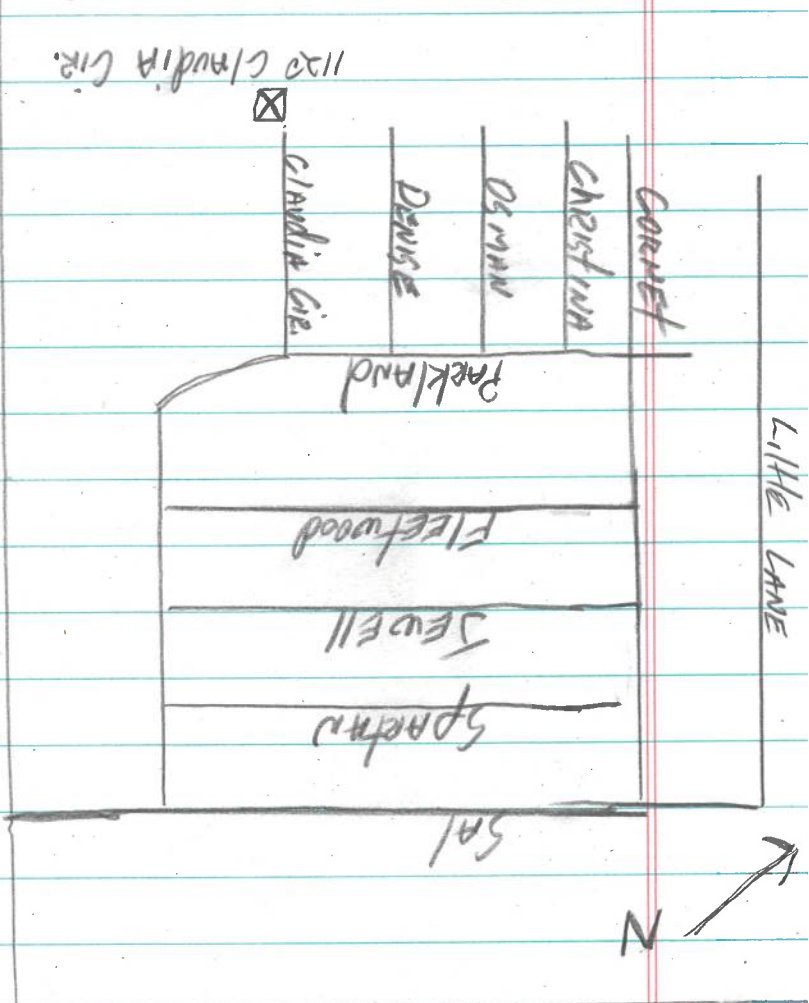
ASSESSED VALUATION		DISTRIBUTION OF TAX AMOUNTS				
DESCRIPTION	VALUE	TAXING AGENCY	RATE	PREABATEMENT AMOUNT	ABATEMENT/RECAPTURE AMOUNT	TAX AMOUNT
Real Estate Bldg./Improvements Other Personal Property	15,750	CITY OPER.	1.9622	\$510.48	\$-122.05	\$388.43
	8,702	CO-OP EXT.	0.0128	\$3.33	\$-0.73	\$2.60
	1,564	SR. CIT.	0.0500	\$13.01	\$-2.85	\$10.16
		ACCIDENT INDG	0.0150	\$3.90	\$-0.86	\$3.04
		MEDICAL INDG	0.1000	\$26.02	\$-5.70	\$20.32
		CAP.PROJ. (L)	0.0500	\$13.01	\$-2.85	\$10.16
		SCHOOL OPER.	0.7500	\$195.12	\$-42.78	\$152.36
		SCH. DEBT (V)	0.4300	\$111.87	\$-24.52	\$87.35
		STATE OF NV	0.1700	\$44.23	\$-9.69	\$34.54
		SUB-CONSERV.	0.0300	\$7.80	\$-1.71	\$6.09
		Ad Valorem Totals	3.5700	\$928.77	\$-213.72	\$715.05
		EAGLE VLY GRND WTR				\$0.35
NET ASSESSED	26,016					
Information concerning taxing authorization, rates and uses of taxes collected can be found at www.gover.ca/taxes		And 366.28 11-11-20 on line Debit				

Information concerning taxing
authorization, rates and uses of
taxes collected can be found at
www.carsoncitytaxes.com

*And
366.28
11-11-20
ON LINE
Debit*

Install a 22x25 550 sq. ft. 3 side carport
in backyard ~~on~~ on a asphalt slab with
standard setbacks.

APN 009-657-40
 Site Plan Prepared by Kris Dieson
 Applicant SAME
 Request Carport is proposed
 Location 1120 Claudia Cir.
 Zoning Single Family
 Master Plan Land Low Density
 Designation Residential
 Owner Kris Dieson
 1120 Claudia Cir.
 Carson City NV 89701
 775 430-1448



Special Use Permit Application Findings

1. Airport in backyard

(A) Airport

(B) Other airports in area same materials
(C) Airport in backyard to protect vehicles from this weather

(D) No lights

(E) no landscaping. (just gravel)

(F) N/A

3. Airport in my backyard

(A) Airport

(B) Steel Airport No affect to police + fire Dept.
(C) ~~Don't need water~~
(D) Flat asphalt slab

(E) N/A

(F) N/A

(G) N/A

5. Airport in backyard

6. Airport in backyard made of steel

7. N/A



KRIS DIESON
1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701
22' X 25' X 8'

DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2018, ASCE7-16, OSHA, AISC 360, AISI 100, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
- ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. NO FIELD WELDING IS REQUIRED.
- ALL FIELD CONNECTIONS SHALL BE #12 (1/4"X1") (ESR-2196) OR APPROVED EQUAL.
- STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 GALV. STEEL (FY = 50 KSI, FU = 65 KSI) PER RELEVANT ASTM.
- STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
- 12GA IS DEFINED AS 0.109" THICKNESS. 14GA IS DEFINED AS 0.083" THICKNESS. 26GA IS DEFINED AS 0.019" THICKNESS. 29GA IS DEFINED AS 0.015" THICKNESS.
- GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

DESIGN CRITERIA

PREVAILING CODE:	IBC 2018
USE GROUP:	U (CARPORTS, BARNs)
CONSTRUCTION TYPE:	II - B
RISK CATEGORY:	I
BUILDING FOOTAGE:	550 SQ.FT
1. DEAD LOAD (D)	D = 2.0 PSF
2. ROOF LIVE LOAD (Lr)	Lr = 20 PSF
3. SNOW LOAD (S)	
GROUND SNOW LOAD	P _g = 30 PSF
IMPORTANCE FACTOR	I _s = 0.80
THERMAL FACTOR	C _t = 1.2
EXPOSURE FACTOR	C _e = 1.0
ROOF SLOPE FACTOR	C _s = 1.0
FLAT ROOF SNOW LOAD	P _f = 20 PSF
SLOPED ROOF SNOW LOAD	P _s = 20 PSF
4. WIND LOAD (W)	
DESIGN WIND SPEED	Vult = 130 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
S _s / S ₁	2.036/0.737
SD _s / SD ₁	1.628/N/A
DESIGN CATEGORY	
SITE CLASS	D (DEFAULT)
IMPORTANCE FACTOR	I _e = 1.00

LOAD COMBINATIONS:

- D + (Lr OR S)
- D + (0.6W OR ±0.7E)
- D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
- 0.6D + (0.6W OR ±0.7E)

SCOPE OF WORK

NO MECHANICAL / ELECTRICAL / PLUMBING / ARCHITECTURAL WORK IS INTENDED OR IS PART OF THE SCOPE OF THE DRAWINGS PRESENTED.

DRAWING INDEX

- COVER SHEET
- ELEVATIONS
- FOUNDATION PLAN
- FOUNDATION DETAILS
- FLOOR PLAN & DETAILS
- FRAME SECTION & DETAILS
- SIDE WALL FRAMING & DETAILS
- END WALL FRAMING & DETAILS
- END WALL FRAMING DETAILS

SPECIAL INSPECTIONS

NO SPECIAL INSPECTIONS ARE REQUIRED FOR THIS STRUCTURE, AS IT MEETS THE EXCEPTIONS OF SECTION 1704 PER IBC 2018, UNLESS EXPLICITLY REQUIRED BY THE BUILDING OFFICIAL.

REVISIONS

MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	FEB 11 2021

2.0.52.0

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LOCATION:
1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

OWNER:
KRIS DIESON

SHEET TITLE:
COVER SHEET

PROJECT NO.:
130-21-0379

CHECKED BY:
T.O.

SHEET NO.:
1 OF 7

DRAWING NO.:
MBD5DD4B1B8

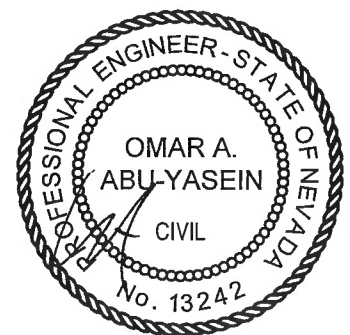
DRAWN BY:

DATE:
2/11/2021

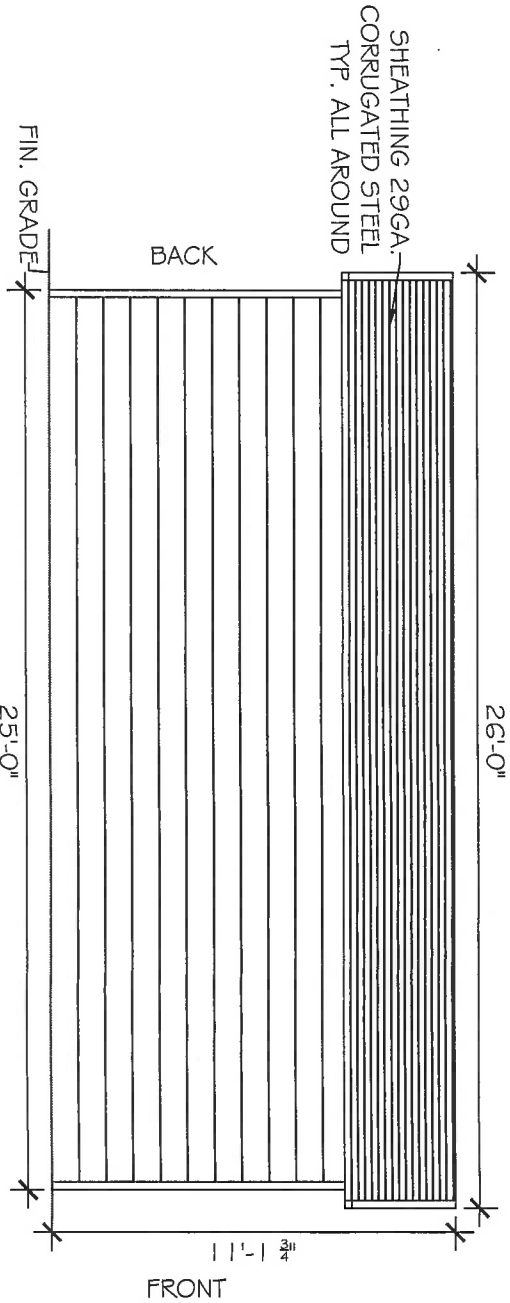
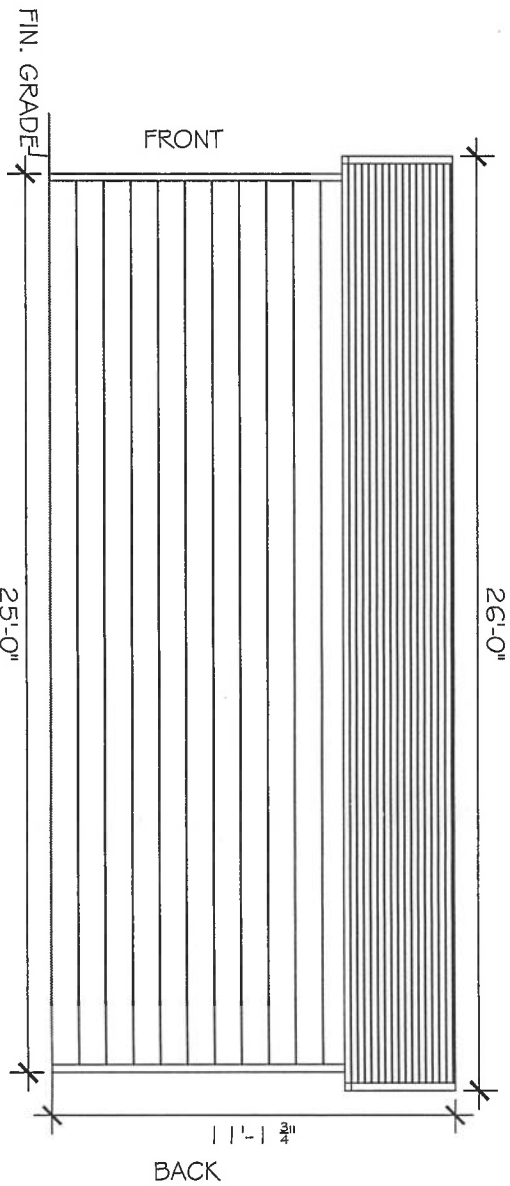
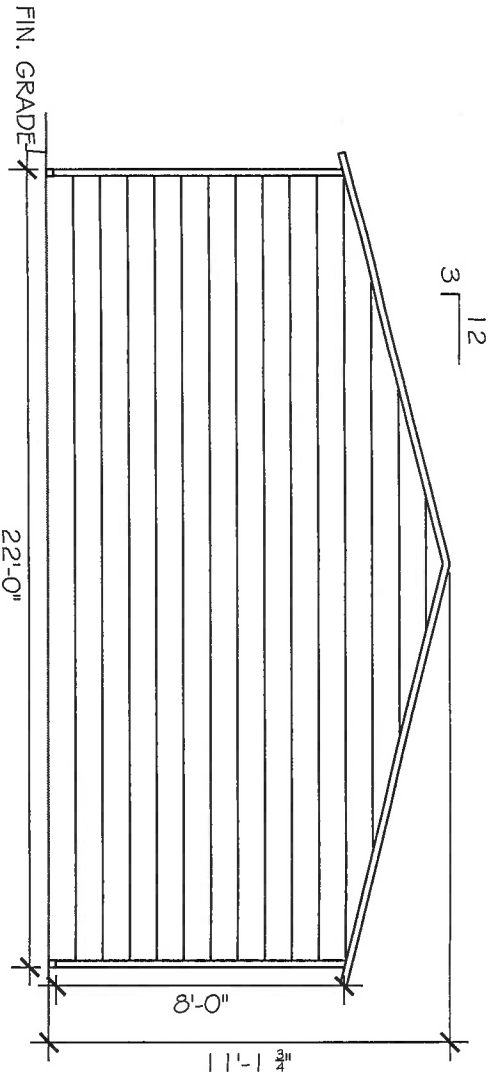
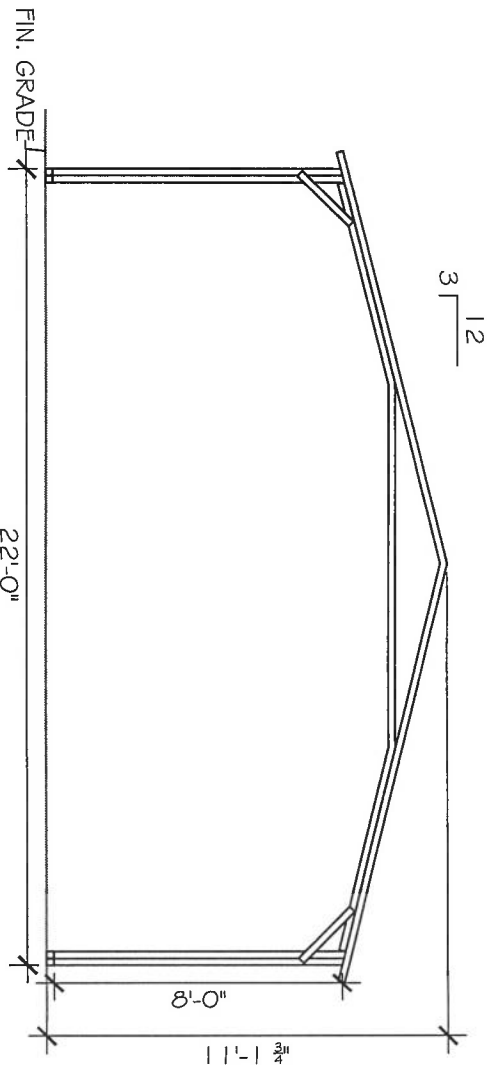


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SEAL:



EXPIRES: 12/31/2022



FRONT END WALL ELEVATION

SCALE: 3/16" = 1'

BACK END WALL ELEVATION

SCALE: 3/16" = 1'

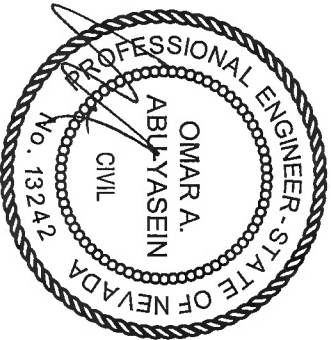
RIGHT SIDE WALL ELEVATION

SCALE: 3/16" = 1'

LEFT SIDE WALL ELEVATION

SCALE: 3/16" = 1'

SEAL:



EXPIRES: 12/31/2022

PREPARED FOR:



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OWNER:
KRIS DIESON

LOCATION:
1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

SHEET TITLE:
ELEVATIONS

DRAWING NO.: MBD5DD4B1B8

PROJECT NO.: 130-21-0379

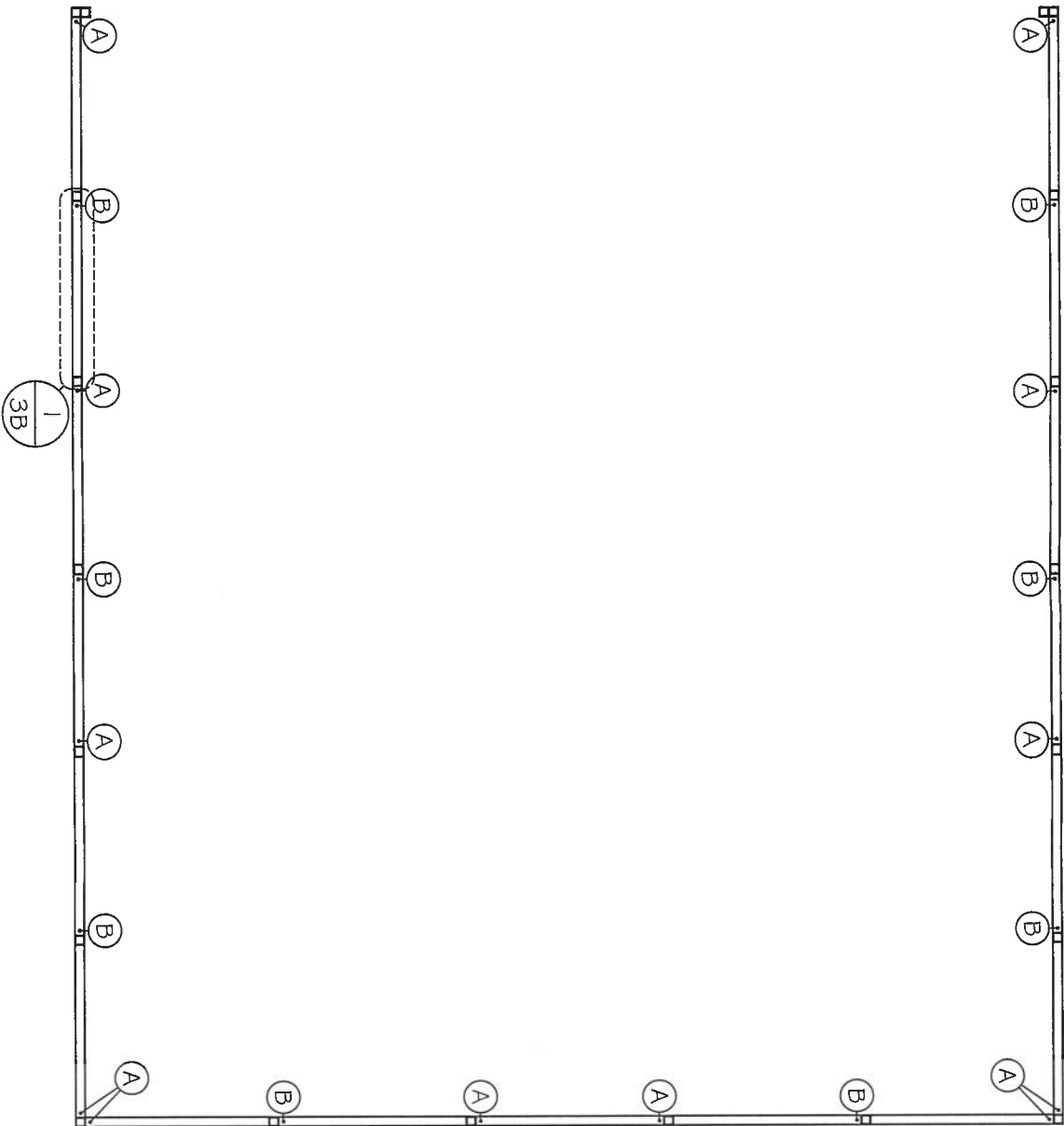
DRAWN BY: T.O.

CHECKED BY:

DATE: 2/11/2021

SHEET NO.: 2 OF 7

MEMBER PROPERTIES	
BASE RAIL	2 1/4" SQ. X 12GA TUBE
COLUMN POST	2 1/4" SQ. X 12GA TUBE
ASPHALT ANCHORS	
ANCHOR 'A'	TIE DOWN ASPHALT ANCHOR #59367
ANCHOR 'B'	3/4"Ø X 30" THRD. ROD EMBED. IN EARTH



FOUNDATION PLAN
SCALE: 1/4" = 1'

SEAL:



EXPIRES: 12/31/2022

PREPARED FOR:



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Fresno, CA 93703
Tel: 1-844-800-5413
Fax: 1-559-354-6721

OWNER:
KRIS DIESON

LOCATION:
1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

SHEET TITLE:
FOUNDATION PLAN:
ASPHALT

DRAWING NO.: MBD5DD4B1B8

PROJECT NO.: 130-21-0379

DRAWN BY: T.O.

CHECKED BY:

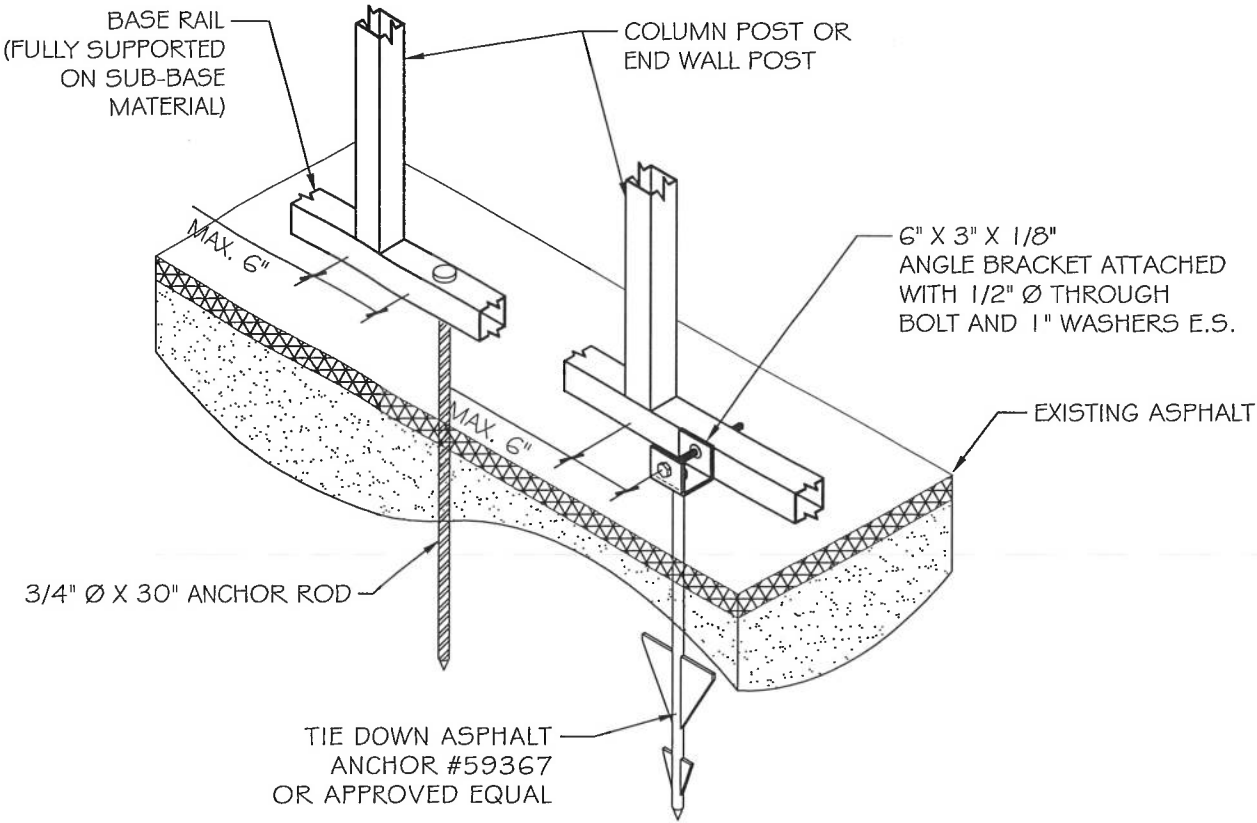
DATE: 2/11/2021

SHEET NO.: 3A OF 7

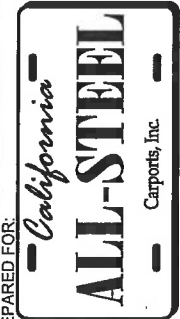
MEMBER PROPERTIES	
BASE RAIL	2 1/4" SQ. X 12GA TUBE
COLUMN POST	2 1/4" SQ. X 12GA TUBE
ASPHALT ANCHORS	
ANCHOR 'A'	TIE DOWN ASPHALT ANCHOR #59367
ANCHOR 'B'	3/4"Ø X 30" THRD. ROD EMBED. IN EARTH

ANCHORAGE NOTES:

1. ASPHALT ANCHORS SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
2. ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 3/4" Ø X 30" LG. ROD. RODS WILL HAVE A WELDED NUT AT THE TOP AND ONE COAT OF RUST PROOF PRIMER.
3. BASE RAIL MUST BE CONTINUOUSLY SUPPORTED OVER COMPACTED AND LEVELED GROUND / GRADE.

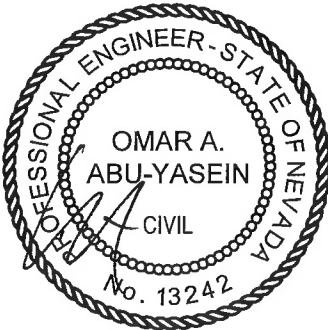


FOUNDATION DETAIL 1
SCALE: 3/4" : 1'



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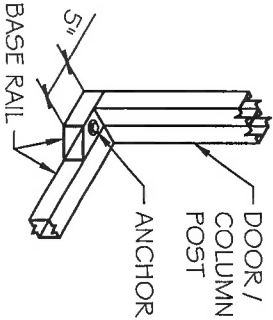
OWNER:	KRIS DIESON	LOCATION:	1120 CLAUDIA CIRCLE CARSON CITY, NV 89701
SHEET TITLE:	FOUNDATION DETAILS: ASPHALT		
DRAWING NO.:	MBD5DD4B1B8	PROJECT NO.:	130-21-0379
DRAWN BY:	T.O.	CHECKED BY:	
DATE:	2/11/2021	SHEET NO.:	3B OF 7



EXPIRES: 12/31/2022

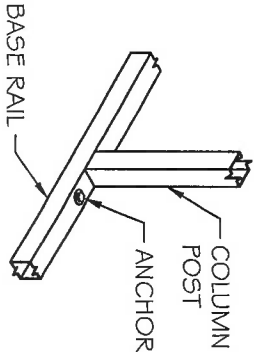
ANCHOR DETAIL 1

SCALE: 1/2" = 1'



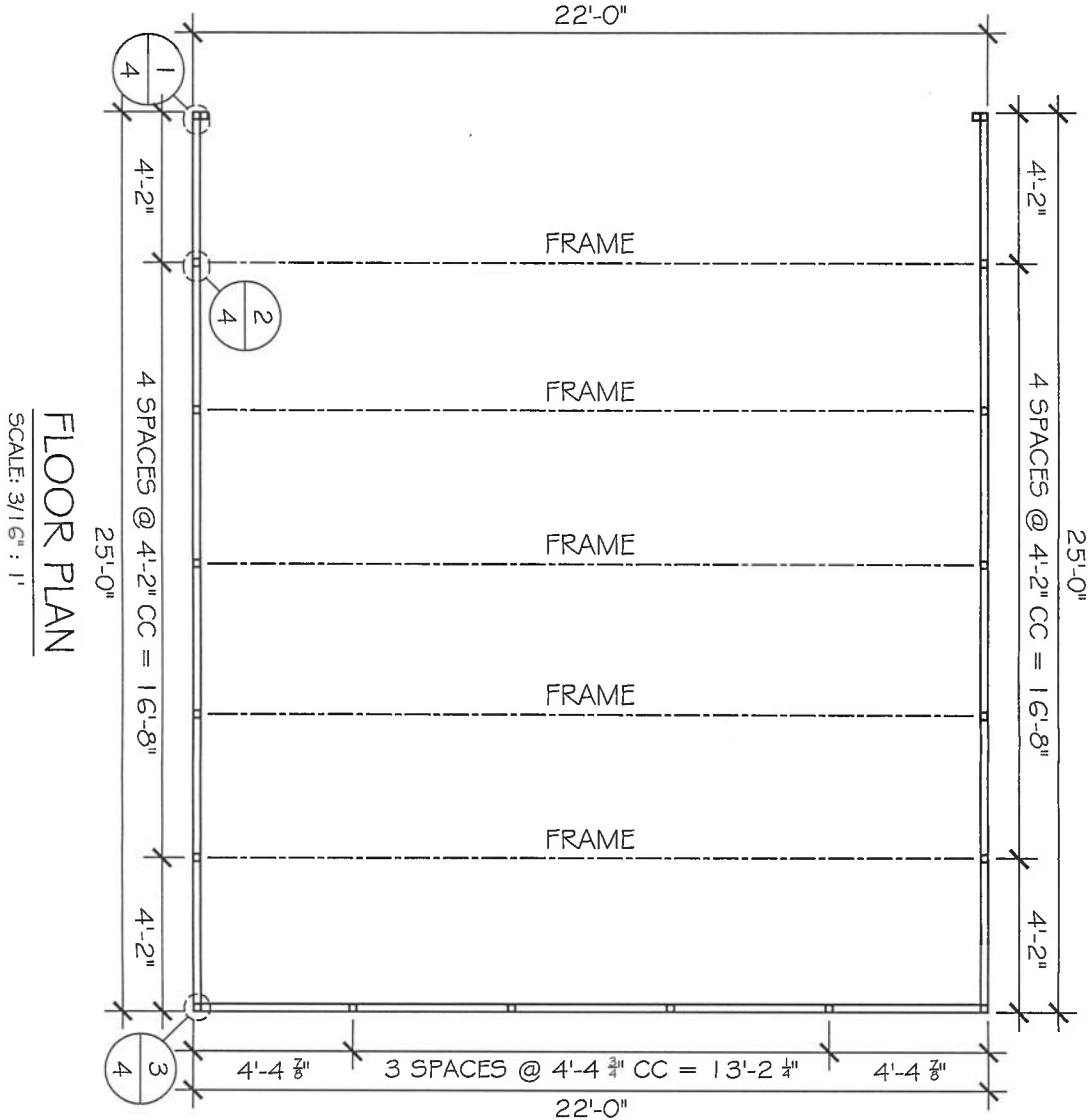
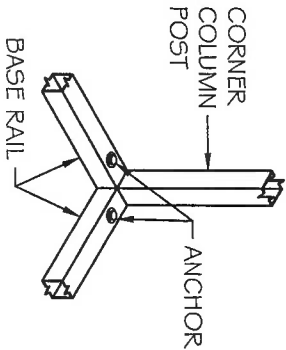
ANCHOR DETAIL 2

SCALE: 1/2" = 1'



ANCHOR DETAIL 3

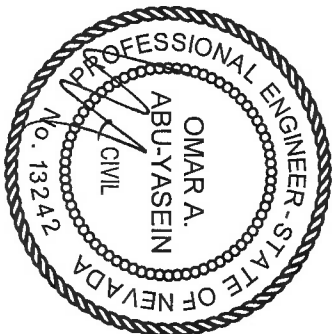
SCALE: 1/2" = 1'



FLOOR PLAN
SCALE: 3/16" = 1'

NOTE: SEE SHEET 3 FOR ANCHOR TYPE & MEMBER PROPERTIES

SEAL:



PREPARED FOR:



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OWNER:
KRIS DIESEN

LOCATION:
1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

SHEET TITLE:

FLOOR PLAN & ANCHORS

DRAWING NO.: MBD5DD4B1B8

PROJECT NO.: 130-21-0379

DRAWN BY: T.O.

CHECKED BY:

DATE: 2/11/2021

SHEET NO.: 4 OF 7

EXPIRES: 12/31/2022



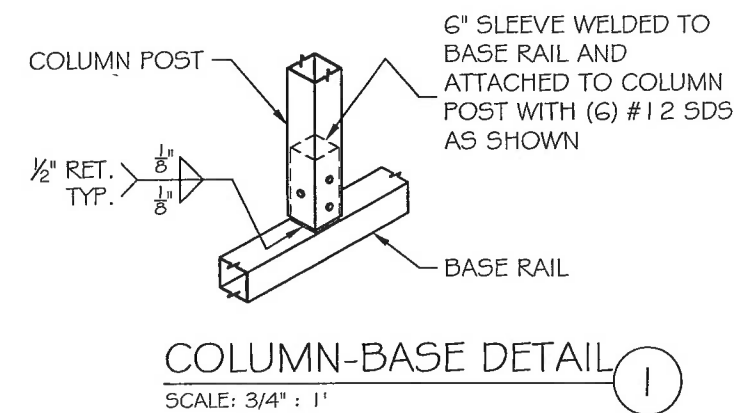
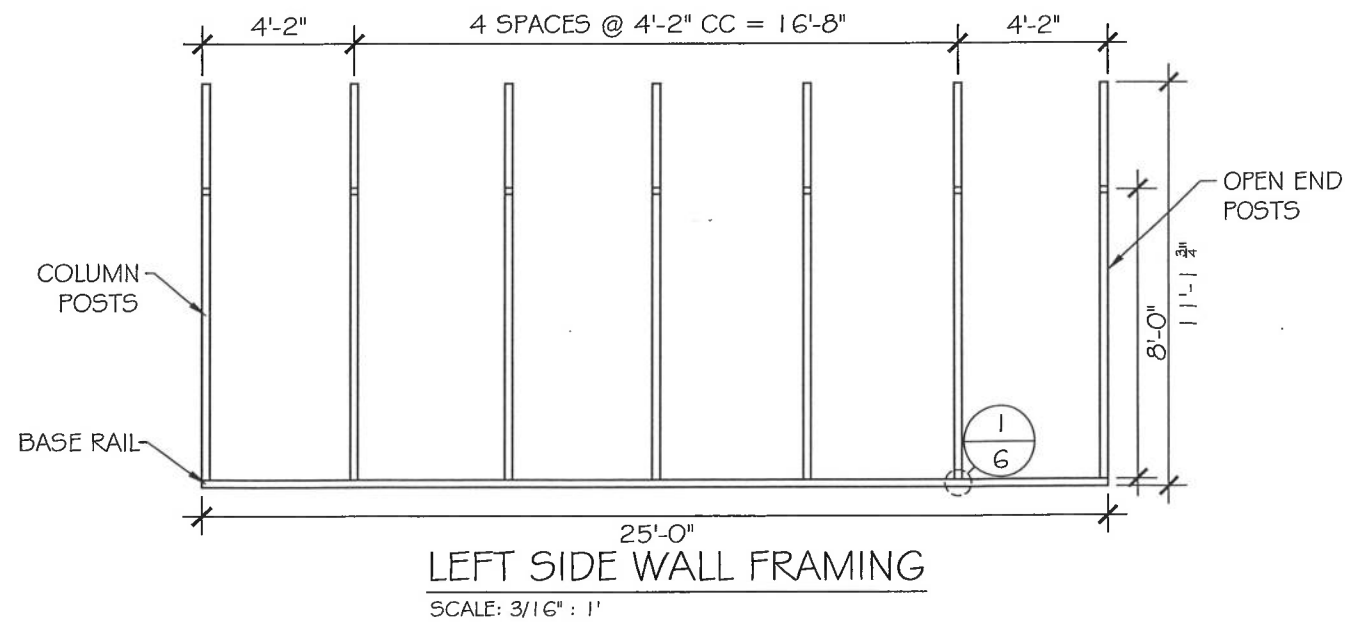
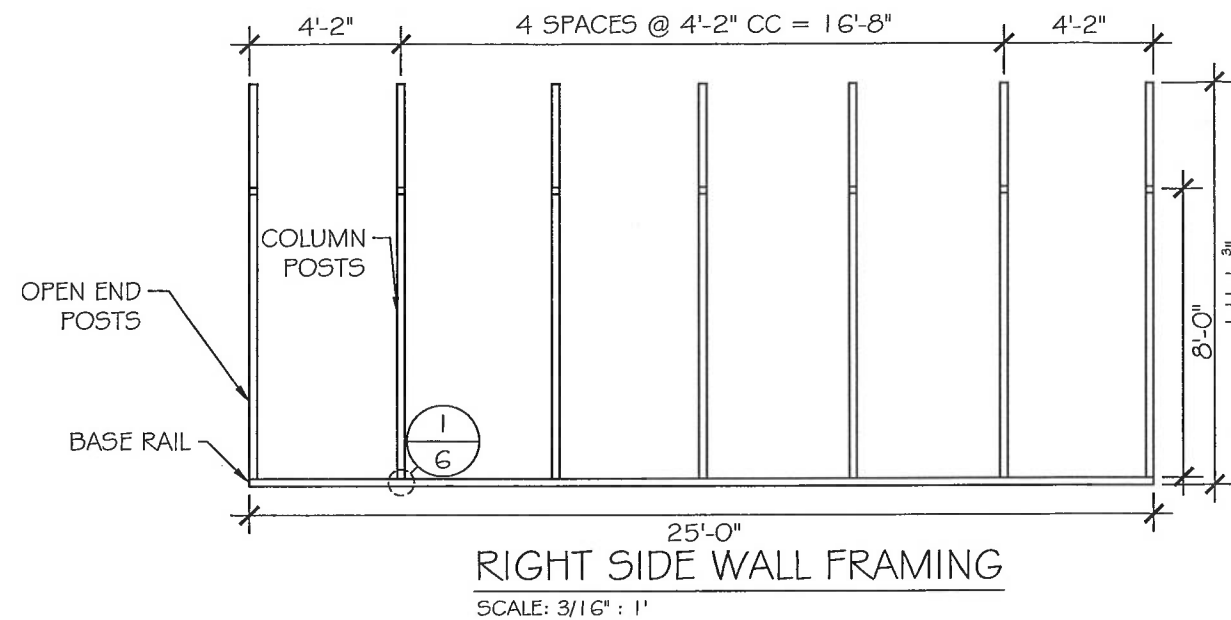
FASTENER TYPE: # 12x1" SELF-DRILL SCREWS
(ESR-2196) W/ NEOPRENE/STEEL WASHER



SHEET NO.: 5 OF 7

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MEMBER PROPERTIES	
OPEN END WALL POST	(2) 2 1/4" SQ. X 12GA TUBE - STITCH WELDED
SIDE WALL POST	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE

OWNER: KRIS DIESON

LOCATION: 1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

SHEET TITLE: SIDE WALL FRAMING

DRAWING NO.: MBD5DD4B1B8

PROJECT NO.: 130-21-0379

DRAWN BY: T.O.

CHECKED BY:

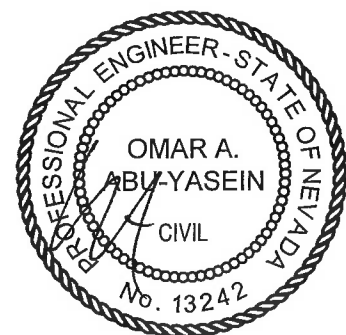
DATE: 2/11/2021

SHEET NO.: 6 OF 7

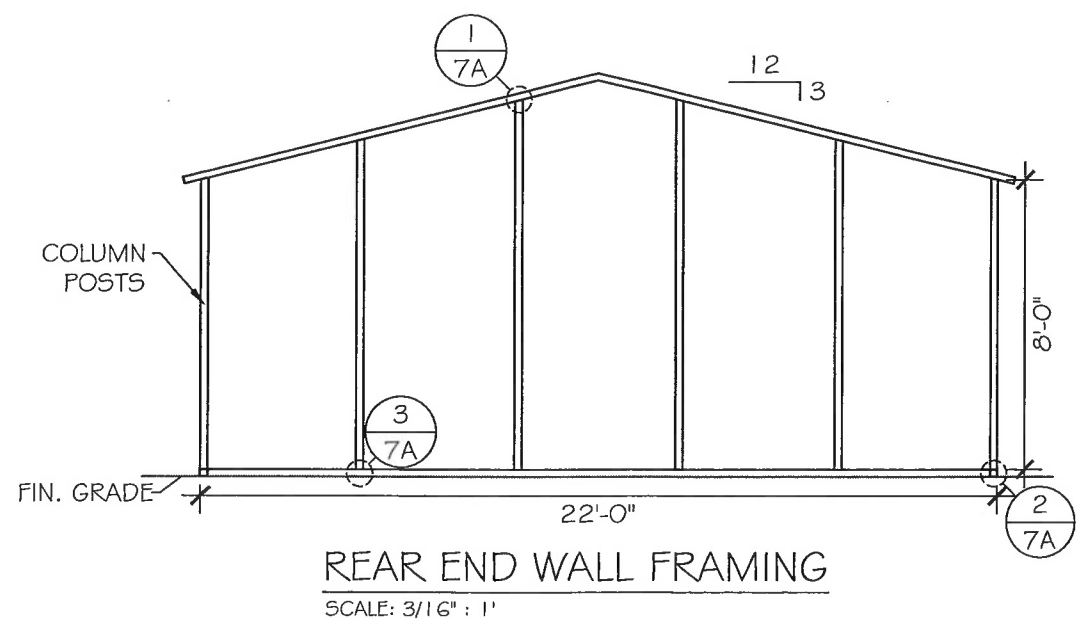
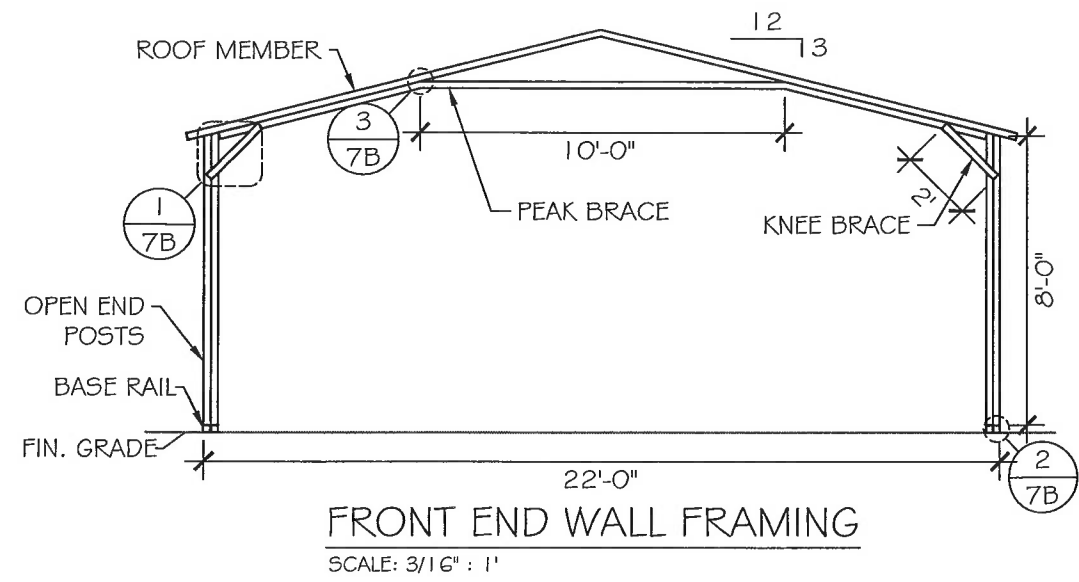


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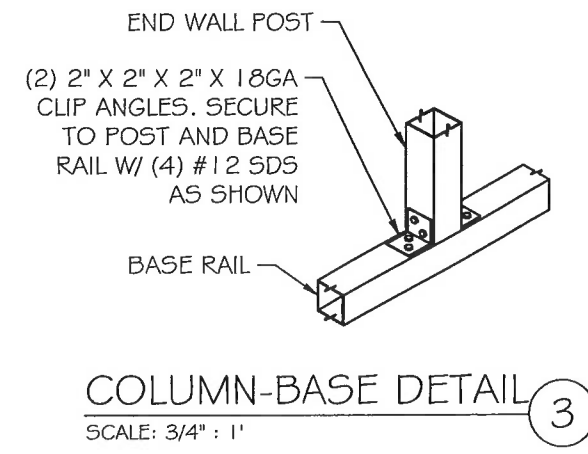
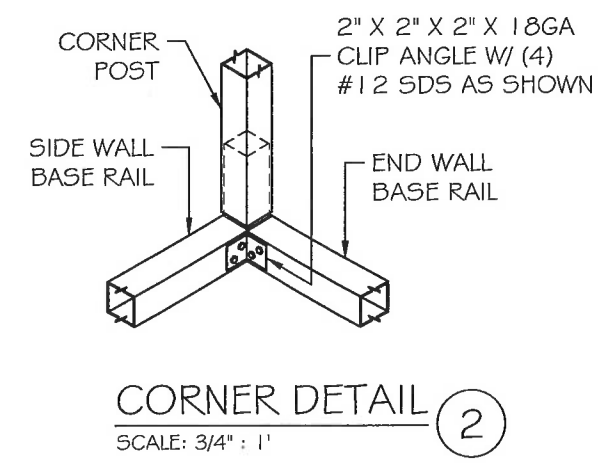
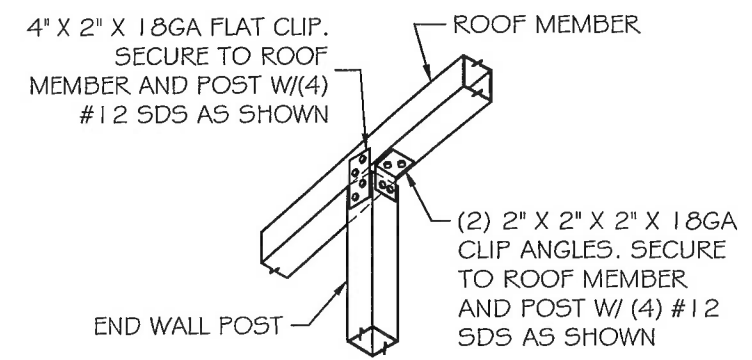
SEAL:



EXPIRES: 12/31/2022



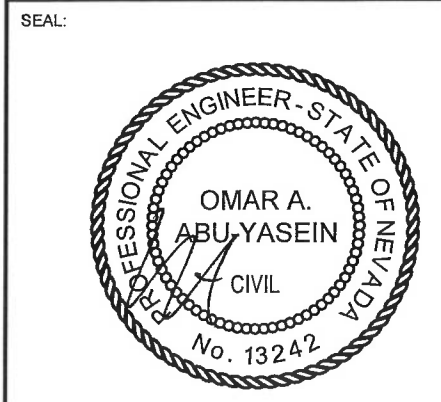
MEMBER PROPERTIES	
CORNER POST	2 1/4" SQ. X 12GA TUBE
OPEN END WALL POST	(2) 2 1/4" SQ. X 12GA TUBE - STITCH WELDED
ROOF MEMBER	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
END WALL POSTS	2 1/4" SQ. X 12GA TUBE



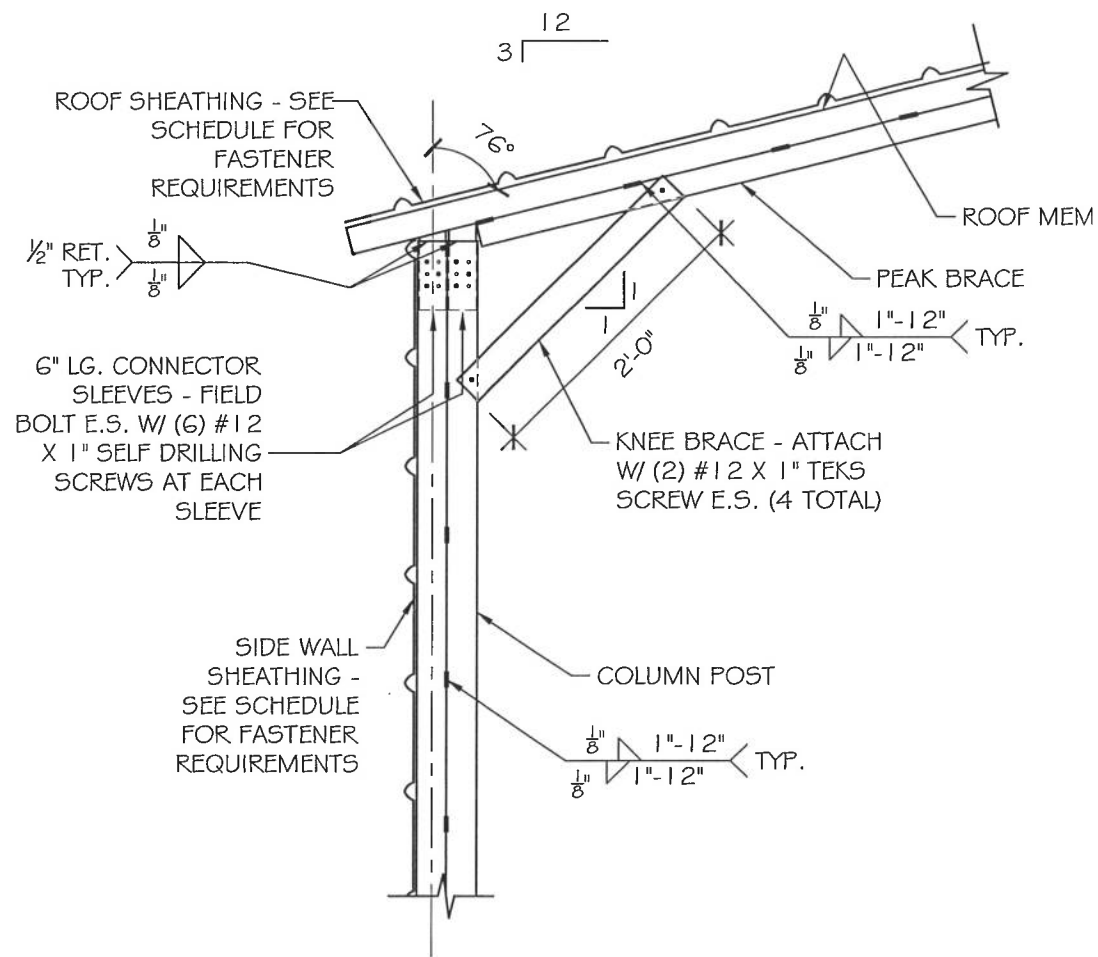
OWNER:	KRIS DIESON	LOCATION:	1120 CLAUDIA CIRCLE CARSON CITY, NV 89701
SHEET TITLE:	END WALL FRAMING & DETAILS		
DRAWING NO.:	MBD5DD4B1B8	PROJECT NO.:	130-21-0379
DRAWN BY:	T.O.	CHECKED BY:	
DATE:	2/11/2021	SHEET NO.:	7A OF 7



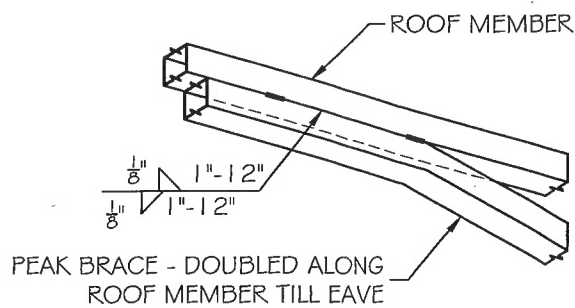
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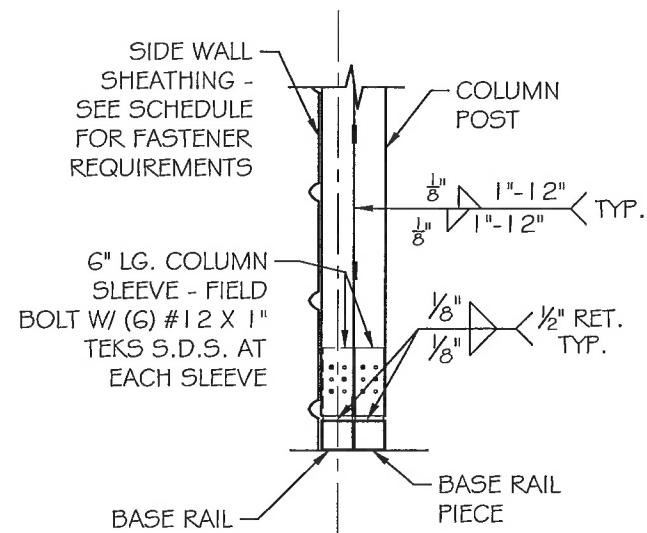
EXPIRES: 12/31/2022



FRAME DETAIL 1
SCALE: 3/4" : 1'



PEAK BRACE DETAIL 3
SCALE: 3/4" : 1'



BASE DETAIL 2
SCALE: 3/4" : 1'

1120 CLAUDIA CIRCLE
CARSON CITY, NV 89701

LOCATION:

OWNER: KRIS DIESEN

END WALL FRAMING DETAILS

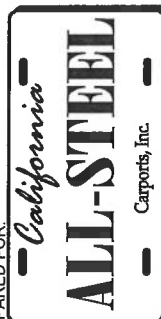
PROJECT NO.: 130-21-0379

DRAWING NO.: MBD5DD4B1B8

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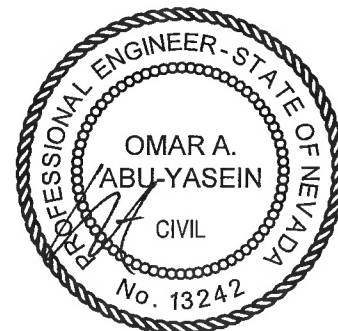
SHEET NO.: 7B OF 7

PREPARED FOR:



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SEAL:



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