

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF AUGUST 25, 2021

FILE NO: LU-2021-0217

AGENDA ITEM: 13.C

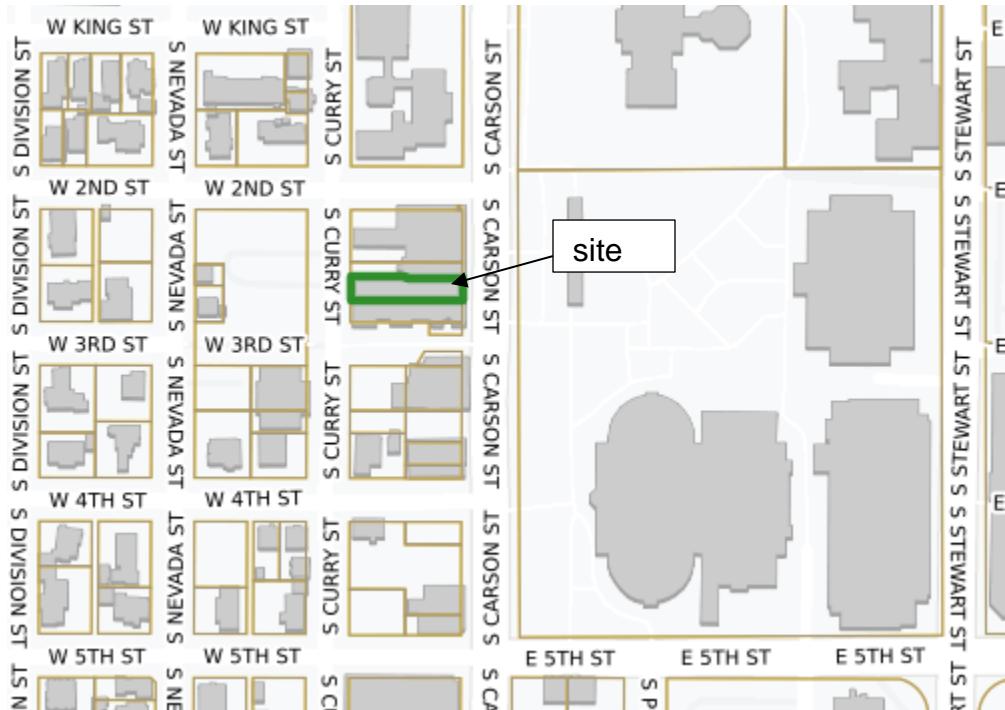
STAFF CONTACT: Hope Sullivan, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a Special Use Permit for alternative compliance to the Downtown Mixed Use Standards for a property zoned Downtown Mixed Use (DT-MU) and located at 217 South Curry Street, APN 003-112-04. (Hope Sullivan, hsullivan@carson.org)

STAFF SUMMARY: The subject property is known as Mercury Cleaners and has historically been a dry-cleaning business. Through an agreement with the Nevada Department of Environmental Protection (NDEP), the property owner proposes to remove a majority of the building to accommodate groundwater clean-up operations. As the property is zoned DT-MU, it is subject to the design standards in Division 6 of the Development Standards. As an alternative to meeting those standards, the applicant proposed to erect a large decorative banner along the Curry Street frontage to create aesthetic interest and to screen the work site. The Planning Commission is authorized to approve a Special Use Permit to allow for alternative compliance with the DT-MU standards.

RECOMMENDED MOTION: "I move to approve LU-2021-0217, based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must sign and return the Notice of Decision for conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to city standards and requirements.
4. The use for which this permit is approved shall commence within 24 months of the date of final approval. Should this permit not be initiated within two years, the permit shall become null and void.
5. The portion of the building fronting Carson Street will not be modified as part of this project.
6. The banner utilized for screening must be maintained in good condition without tears or holes. This will require periodic replacement.
7. The property owner will work with the Downtown Business Group, Visit Carson City, the Historic Society and local arts groups to include cultural and artistic graphics on the banner.
8. Commercial speech is not permitted on the banner.
9. When the site is redeveloped, it will comply with the Downtown Mixed Use design standards that are in place at that time. This special use permit does not extend to future redevelopment of the site.
10. The project must repair any curb, gutter, or sidewalk that is damaged by equipment during the demolition and remediation activities. Photographs of the curb, gutter, and sidewalk must be submitted at the time of building permit to document the condition of these improvements prior to commencing the demolition.
11. A backflow preventer must be installed on the domestic water line above ground in a hot box, located as close to the property line as possible.
12. The project must coordinate with Public Works to confirm that discharge is acceptable for disposal prior to discharging to the City sewer.
13. If the sanitary sewer lateral will not be used as part of the remediation process, the lateral must be abandoned at the main.
14. The City has a project scheduled for this area that will remove and replace deteriorated surface improvements and will add landscaping. The project must include screening which is more aesthetically pleasing than typical construction fencing.
15. The project must meet all Carson City Development Standards and Standard Details.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permits), CCMC 18.04.125 (Downtown Mixed-Use DT-MU); Development Standards Division 6 (Downtown Mixed-Use District)

MASTER PLAN DESIGNATION: Downtown Mixed - Use

ZONING DISTRICT: Downtown Mixed-Use - District

KEY ISSUES: Will the alternative compliance of the Downtown Mixed - Use development standards meet the required findings.

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Downtown Mixed-Use and Retail Commercial / Office

EAST: Public / Capital Grounds

WEST: Public Community / Parking Lot

SOUTH: Downtown Mixed-Use / Restaurant

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X shaded

EARTHQUAKE FAULT: Moderate severity beyond 500 feet

SLOPE/DRAINAGE: flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: .13 acres

PREVIOUS REVIEWS:

None

DISCUSSION:

The subject property is known as Mercury Cleaners. The 1907 Sanborn map notes that the brick building contains a kettle, suggesting it may have functioned as a laundry at that stage. There was an alley to the east of the building that was sealed off by a new timber building to the south. The 1941 revision to the 1907 Sanborn map includes a brick building identified as a washroom and the commercial building to the east is identified as a Japanese Laundry. In 1955, a concrete masonry unit building was constructed on top of what had been the northern side of the E. Edgecomb's Stables and constitutes the Mercury Cleaners building that exists today.

Although the building technically extends from Curry Street to Carson Street, there is actually a roofed alley that separates the two buildings. Therefore, the building fronting Carson Street will not be impacted by the proposed project.

The Mercury Cleaners building has been subject to a program of environmental remediation work intended to address tetrachloroethene (PCE) and trichloroethene (TCE) releases during operation of a dry-cleaning business between 1955 and 2007. Remediation efforts to date have included soil excavation activities to a depth of ten (10) feet below the source and installation of ventilation piping in the excavation bottom. While these efforts have been helpful in defining the extent of impact and removal of some of that impact, additional remediation activities are required.

To accommodate additional soil and ground water remediation efforts, the applicant proposes to remove three walls of the building, leaving only the southern wall. The future remediation will take 3 to 5 years, and the applicant will not commence remediation until construction work on Curry Street has substantially concluded. Given that the Curry Street construction project will, to a large extent, dictate the start date, the staff is recommending providing two years for the use to commence.

As the subject property is in the Downtown Mixed-Use zoning district, it is subject to the design standards of Division 6 of the Development Standards. Per CCMC 18.07.020, upon request by an applicant for a special use permit, the planning commission may approve an alternative approach that may be substituted in whole or in part for a plan not meeting one or more the development standards contained in Division 6. This approach is intended to provide flexibility to meet the development standards and shall apply in circumstances in which an alternative approach would provide a result that is equal to or superior to that which would be provided by the standards. The special use permit is not intended as a substitute for a variance when relief from a particular standard is desired. Economic considerations shall not be a basis for an alternative compliance.

The removal of three sides of the building will not be consistent with the City's Development Standards for the Downtown Mixed - Use. As such, the applicant is seeking a special use permit for an alternative approach. Specifically, the applicant proposes to place a decorative banner along the Curry Street frontage similar to what was done along Curry Street during the construction of 308 North Curry Street. Staff has recommended that the applicant work with local groups include the Downtown Business Group, the Historic Society, Visit Carson City, and the arts community to identify non-commercial content for the banner that will contribute cultural and artistic value to the downtown while the remediation is occurring.

As the subject building is more than 50 years old, CCMC 18.07.03 must be considered in considering the removal of the building. Per CCMC 18.07.030.2, the Director may authorize the removal of the building if it is found that the structure or site is a hazard to public health or safety and repairs and stabilization are not physically possible. The Director has found that this site is a hazard to public health and it is in the interest of the public for the site to be remediated. The Public Works Department is a co-applicant with Nevada Department of Environmental Protection on this application due to the department's interest in this clean up. Of note, the applicant has prepared an Architectural Inventory Report that has been provided to the State Historic Preservation Officer and to the City. This report documents the history of the building both in a narrative as well as provides maps and photographs.

PUBLIC COMMENTS: Public notices were mailed to 53 property owners within 300 feet of the subject site on August 11, 2021. As of the writing of this report, no comments have been received. Any comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting, depending on the submittal date to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must repair any curb, gutter, or sidewalk that is damaged by equipment during the demolition and remediation activities. Photographs of the curb, gutter, and sidewalk must be submitted at the time of building permit to document the condition of these improvements prior to commencing the demolition.
- A backflow preventer must be installed on the domestic water line above ground in a hot box, located as close to the property line as possible.
- The project must coordinate with Public Works to confirm that discharge is acceptable for disposal prior to discharging to the City sewer.
- If the sanitary sewer lateral will not be used as part of the remediation process, the lateral

must be abandoned at the main.

- The City has a project scheduled for this area that will remove and replace deteriorated surface improvements and will add landscaping. The project must include screening which is more aesthetically pleasing than typical construction fencing.
- The project must meet all Carson City Development Standards and Standard Details.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

The City has a project scheduled for this area that will remove and replace deteriorated surface improvements and will add landscaping.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

Local intersections: The project has a negligible impact on traffic movements and local intersections.

Parking and internal circulation: On-street parking is available in the area.

Proposed and/or necessary improvements: The project must repair any curb, gutter, or sidewalk that is damaged by the project.

C.C.M.C. 18.02.080 (5d) - Public Services

Sanitary Sewer: The project will be required to get a discharge permit and coordinate with public works prior to discharging to the City Sewer system.

Water: There is sufficient water to serve the project. The domestic water line must be protected with a backflow preventer.

Storm Drain: There will temporarily be an increase in pervious area on the site while remediation is occurring.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public Health, Safety, Convenience, and Welfare

The project will meet engineering standards for health and safety if conditions are met.

Earthquake faults: The closest fault line is over 500 feet away.

FEMA flood zones: The project is located in an X-shaded flood zone so no additional mitigation or analysis is required.

Site slope: There are no slope hazards.

Soils and Groundwater: Soil and groundwater are contaminated and are to be remediated by the state.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

1. Project must comply with the International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) with the supplemental findings identified in Division 6.5.2 of the Development Standards as enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the objectives of the Master Plan elements.*

The project site is designated Downtown Mixed-Use (DTMU). The purpose of the designation is to recognize downtown as the most intense activity center and the "heart" of the community. The DTMU designation is intended to allow for and encourage a broader mix of uses than exist today in Downtown, while respecting its historic context and creating an inviting, pedestrian-friendly environment.

The remediation of this site will allow for the redevelopment of the subject property consistent with the DTMU designation. By having a banner of cultural or artistic interest, the applicant will be able to execute on the remediation while contributing to downtown as an activity center.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

The request is not to allow for remediation, but to allow for an alternative design standard. Staff finds that by installing a decorative banner along the Curry Street front will add visual interest to the streetscape and will not be detrimental to the use, peaceful enjoyment, economic value or development of surrounding properties. The subject property is currently a vacant, CMU building that is not contributing to the vitality of downtown. The proposed remediation will allow for future redevelopment. In the meantime, the banner will screen the activity while providing artistic and cultural messages. The banner will not have adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity. Staff has included a condition of approval that the banner must be maintained in good condition without tears or holes, recognizing this will mean it will need to be replaced from time to time.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The proposed banner will not have a detrimental effect on vehicular or pedestrian traffic. Any driveways will need to meet City standards. The banner will be along the sidewalk but will not compromise the sidewalk. The applicant does not propose to commence the remediation until the South Curry Street project is substantially complete.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The proposed banner as an alternative to the design standards will not overburden existing public services or facilities. There will be no impact on schools. The site will be secured to avoid safety concerns. The site must meet all Fire Code requirements. The applicant will work with Public Works staff relative to connections to water, sanitary sewer or storm drain. Staff has included a condition of approval that the applicant submit photographs of the curb, gutter, and sidewalk at the time of building permit to document the condition of these improvements prior to commencing the demolition. The project must repair any curb, gutter, or sidewalk that is damaged by equipment during the demolition and remediation activities.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.*

Section 6.6 of the Development Standards provides for the general development standards and guidelines in the Downtown Mixed-Use District. These standards are as follows.

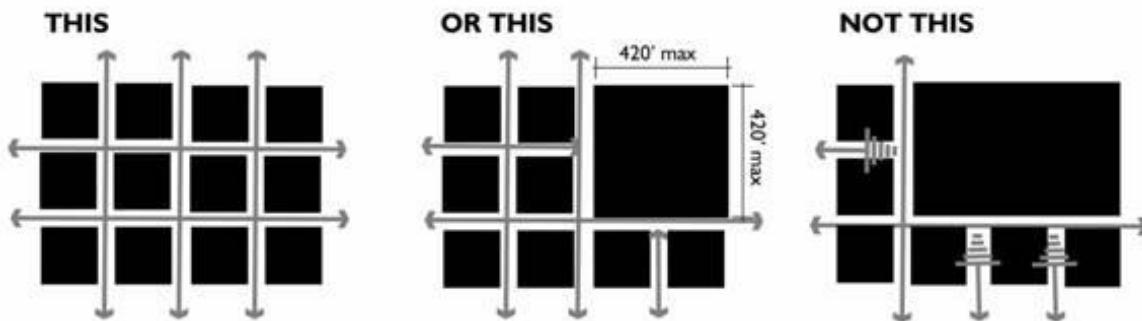
6.6.1 Vehicular and Pedestrian Connections.

1. Intent.

- a. *To maintain a well-defined pattern of urban blocks within downtown that provide frequent connections to adjacent neighborhoods and serve as a framework for a varied mix of uses.*
- b. *To maintain frequent pedestrian connections that reflect Carson City's traditional pattern of blocks while allowing for the incorporation of some larger developments and outdoor plazas that require the consolidation of 2 or more blocks, where appropriate.*

2. Block Size.

- a. *To the maximum extent feasible, new development shall work within the framework of downtown's existing pattern of blocks to avoid interrupting the grid pattern, creating large "superblocks," and limiting access to adjacent neighborhoods.*
- b. *Maximum block lengths resulting from block consolidation shall be limited to 420 feet.*
- c. *Where block consolidation is proposed (by right-of-way abandonment), special consideration shall be given to vehicular circulation patterns, flood/drainage pathways, and view corridors to significant features in the area, such as the Capitol building and the mountains to the west.*



STAFF RESPONSE: The proposed development will not involve any modification to the shape or size of the block. The proposed project will not commence until the South Curry Street project is substantially complete, and will not compromise those improvements.

6.6.2 *Lighting.*

1. *Intent.*
 - a. *To encourage a safe, appealing, and pedestrian-friendly nighttime environment within downtown core.*
 - b. *To promote the retention of the downtown core's unique nighttime character, as provided by its numerous lighted marques and animated lights.*
 - c. *To ensure that new lighting is compatible with the established character of the downtown and the surrounding neighborhoods.*
2. *Exterior Lighting.*
 - a. *Low-scale, decorative lighting shall be used to accent architectural details, building entries, or signs. Additional, pedestrian-scaled lighting shall be provided to illuminate sidewalks, enhancing security and extending hours of activity.*
 - b. *All light sources shall be shielded to protect the city's dark skies and prevent spillover into adjacent residential neighborhoods and the city's downtown.*
 - c. *Lighted marques and animated lighting, such as chase lights, exist in many locations within downtown and are reflective of the city's gaming traditions. Generally, this type of lighting should be limited to that which exists today; however, new lights may be approved by the director or designee on a project-by-project basis.*
 - d. *Building façade accent lighting is limited to an upward angle of 45 degrees and must be focused on the building to minimize light trespass onto adjacent properties and into the sky.*
3. *Storefront Lighting. The incorporation of interior window lighting to highlight displays is strongly encouraged to provide off-hour interest along Carson Street.*
4. *Street Lights. All street lights, whether intended for pedestrian or auto-oriented purposes, shall be consistent with the city's downtown streetscape plan.*

STAFF RESPONSE: The applicant does not propose exterior lighting.

6.6.3 *Signage.*

1. *Intent.*
 - a. *To encourage a diverse and visually interesting streetscape environment along Carson Street by allowing a variety of types of business signage, as traditionally found; and*
 - b. *To ensure that signage is compatible with the pedestrian-oriented scale of downtown.*
2. *General.*
 - a. *All standards contained in this subsection shall be applied in addition to signage regulations contained in Division 4 of the city's development standards.*
 - b. *If a conflict between the two articles appears to exist, the standards contained in this article shall take precedence.*
3. *Materials. Signs shall be constructed of durable, low-maintenance materials that complement the design and character of the building they serve.*

4. *Preferred Signage Types.*
 - a. *The use of hanging signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Hanging signs and other sign types attached to the front of buildings are permitted to project into the public right-of-way, over the sidewalk, subject to the issuance of an encroachment permit. Hanging signs shall not:*
 - (1) *Exceed 24 inches in height and 3 feet in length; or*
 - (2) *Be located where less than 8 feet of clear height can be provided above the sidewalk from the overhang or awning from which they are suspended.*
 - b. *The creative use of symbols or other images indicative of the use contained within the building in the design of signs is strongly encouraged.*
 - c. *The use of permanent window signs is encouraged for non-gaming uses to reinforce the pedestrian-oriented scale of downtown. Window signs shall not exceed 10 percent of the window area.*
5. *Neighborhood Transition Character Area. The following standards shall be applicable within the neighborhood transition character area only.*
 - a. *The maximum freestanding sign height shall be 6 feet.*
 - b. *Signs shall be designed to reflect the more residential scale and appearance of the neighborhood transition character area.*
6. *Wayfinding Signage. All on-site wayfinding signage shall be consistent with the city's wayfinding signage design standards.*
7. *A-Frame Signs ("Sandwich-Board" Signs).*
 - a. *One A-Frame sign is permitted per business per street frontage.*
 - b. *Sign must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.*
 - c. *A minimum of 6 feet of unobstructed sidewalk clearance must be maintained.*
 - d. *Signs must be professionally manufactured and shall not exceed 32 inches in width and 36 inches in height. However, chalkboard frames with erasable letters are also appropriate.*
 - e. *All signs shall be in good repair and neatly painted. No attachments to signs are permitted.*
 - f. *Signs shall not be displayed during non-business hours.*
 - g. *No sign shall be located where it obstructs the line of sight for passing motorists.*

STAFF RESPONSE: As conditions, the proposed banner will not include any commercial speech.

6.6.4 *Sustainable Design and Construction.*

1. *Intent.*
 - a. *To encourage the use of sustainable building materials and construction techniques in downtown projects, through programs such as the US Green Building Council's LEED (Leadership in Energy Efficiency and Design) program;*
 - b. *To encourage the use of new and emerging technologies that lead to increased energy conservation for downtown uses; and*

- c. *To establish downtown Carson City as a leader in the incorporation of innovative and sustainable design and construction techniques.*
- 2. *LEED (Leadership in Energy and Environmental Design). All new residential, commercial, and mixed-use buildings are required to meet basic LEED green building rating system criteria and are required to submit a LEED scorecard as part of the design review process.*

STAFF RESPONSE: The proposed development is limited to a banner to shield site remediations. The proposed development does not involve a building.

6.6.4 *Outdoor Gathering Spaces and Community Amenities.*

- 1. *Intent.*
 - a. *To establish a series of safe and inviting outdoor gathering spaces where downtown residents, employees, and visitors may gather, interact, rest, shop, and eat.*
 - b. *To create an attractive public realm and vibrant pedestrian environment within downtown's most urban character areas.*
 - c. *To encourage the incorporation of public art, urban recreation spaces, and other community amenities into the design of outdoor gathering space.*
- 2. *Improvements in Public Space. Public and private improvements on any city-owned property within the DT-MU district, including without limitation streets, sidewalks, curbs, landscaping and outdoor gathering and urban recreation spaces must conform to the design standards in this chapter and to the city's downtown streetscape plan, as applicable.*
- 3. *Provision of On-Site Amenities.*
 - a. *Development on sites 50,000 square feet or less shall incorporate at least one of the following on-site outdoor gathering spaces or community amenities, and developments on sites larger than 50,000 square feet shall incorporate at least two of the following outdoor gathering spaces or community amenities and one additional amenity for each 25,000 square feet above 50,000 square feet of area, as highly-visible, easily-accessible, focal points:*
 - (1) *Patio or plaza with a minimum depth and width of 10-feet, and a minimum total area of 150 square feet.*
 - (2) *Landscaped mini-parks or squares provided such park or green has a minimum depth and width of 10-feet and a minimum total area of 250 square feet.*
 - (3) *Protected pedestrian walkways; arcades; recessed corner entries with a minimum area of 100 square feet; or easily identifiable building pass-throughs containing window displays and intended for general public access.*
 - (4) *Outdoor public art, as approved by the city, in an area that is:*
 - (i) *Visible from an adjacent public sidewalk or street, and*
 - (ii) *Easily accessed for viewing by pedestrians (e.g., a sculpture mounted to an exterior building wall).*
 - (5) *Similar feature as approved by the director or designee.*
 - b. *Outdoor gathering spaces provided in accordance with the above standard shall incorporate a variety of pedestrian amenities to promote regular use. Pedestrian amenities may include, but are not limited to, seating, lighting, special paving,*

landscaping, food and flower vendors, artwork, and/or special urban recreational features.

4. *Buildings Adjacent to Outdoor Gathering Spaces/Community Amenities.* *To ensure the visibility and security of outdoor gathering spaces and community amenities, buildings located adjacent to an existing or planned pedestrian plaza, patio, or urban park shall provide at least two of the following elements along the building wall abutting the outdoor gathering space or community amenities:*
 - a. *A building entry;*
 - b. *Windows meeting the street frontage standards facing onto the outdoor amenity;*
 - c. *Arcades along the edges of the outdoor amenity;*
 - d. *Outdoor seating areas or cafes; or*
 - e. *A similar feature that the director finds will, to at least the equivalent degree, bolster security and encourage pedestrian use of the outdoor amenity.*
5. *Outdoor Decks and Balconies.* *Decks and balconies may project into the public right-of-way, over sidewalk areas, subject to the issuance of an encroachment permit.*

STAFF RESPONSE: The banner will function as public art. The subject property is only 35 feet wide. Therefore, it cannot accommodate public spaces. Additionally, given the remediation efforts occurring on the site, it is not conducive to gatherings. The South Curry Street improvements will create an attractive streetscape that is pedestrian friendly, and the banner will not compromise the walkway.

6.6.5 *Parking.*

1. *Intent.*
 - a. *To encourage the redevelopment of smaller sites and the preservation and adaptive reuse of historic structures in downtown by providing a more flexible approach to parking;*
 - b. *To minimize the visual and physical impact of surface parking lots on the downtown pedestrian environment;*
 - c. *To reduce the predominance of single-purpose, surface parking lots in downtown; and*
 - d. *To make efficient use of available on-street parking.*
2. *Minimum Required On-Site Parking.*

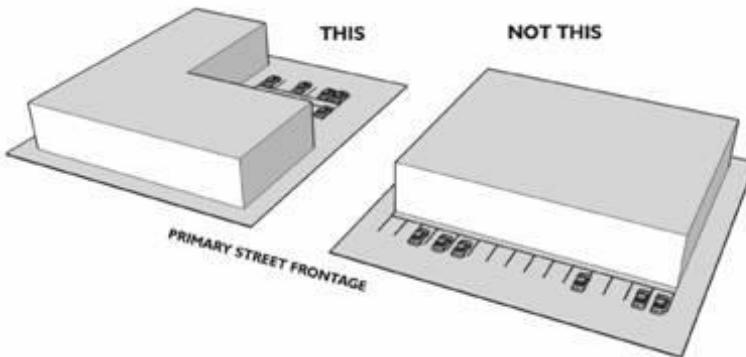
Type of Use	Minimum # of on-site Parking Spaces Required
Commercial/Retail/Office Uses *	
Existing building	<i>No additional parking is required for a change of use in an existing building, even where the existing parking may be nonconforming. Additional parking must be provided in accordance with these standards for any building addition area that adds new habitable or leasable floor area. Amount of additional parking to be provided shall be calculated based upon new square footage only.</i>

3. *Fee-In-Lieu.* *Applicants may make an in-lieu payment (as defined within the Carson City downtown parking strategy) for construction, maintenance and operation of public off-street parking or on-street parking instead of providing the full number of off-street parking spaces as*

required above. The portion of required parking eligible for an in-lieu payment shall vary according to the type of use and the size of the development as follows:

Type of Use	Percentage of Required Off-street Parking spaces eligible for in-lieu payment
Commercial/Retail/Office Uses	
Existing building	Up to 100-percent of additional parking required in conjunction with a building addition area that adds new habitable or leasable floor area.

4. *Shared Parking.* The amount of off-street parking required may be reduced by an amount determined through a parking demand study establishing that sufficient parking is or can be met by the subject uses through shared parking. The parking demand study shall provide information and evidence about the anticipated parking demand at peak times during the day and the distance relationship between available shared parking spaces and the specific uses served.
5. *Tandem Parking.* Required parking for residents of residential developments may be provided in the form of tandem parking when at least one space is within an enclosed garage or parking structure.



6. *Parking Location.* Surface parking shall be located behind and/or to the side of buildings. Surface parking will not be permitted between the building and the primary street frontage.

STAFF RESPONSE: Parking improvements are not proposed.

6.6.6 Landscaping and Screening.

1. *Intent.*
 - a. To create a more attractive, inviting, streetscape environment within downtown;
 - b. To reduce the visual prominence of surface parking within downtown; and
 - c. To reinforce the more urban character of the downtown streetscape through the use of less space-intensive, structural screening methods.
2. *Parking Lot Screening.*
 - a. All surface parking lots visible from the public right-of-way shall be screened using one of the following methods, unless otherwise noted in (c), below:
 - (1) A low masonry wall in combination with landscaping; or

(2) A wrought iron or other ornamental fence in combination with landscaping.

b. To satisfy the above standard:

- (1) Landscaping shall be planted between the wall and the public right-of-way, sidewalk, or boundary; and
- (2) Walls, fences, and landscaping shall not exceed 3.5 feet in height to adequately screen most car headlights while maintaining clear visibility into and out of the parking lot.

c. Developments of less than 10,000 square feet, or that involve the renovation of an existing building may use an ornamental fence or wall as a standalone screening mechanism to meet the surface parking screening requirement above to maximize available space.



STAFF RESPONSE: The applicant will utilize chain linked fencing to secure the site. As an alternative to the design standards, the applicant proposes a decorative banner along the property frontage that will shield the site while providing for a type of public art.

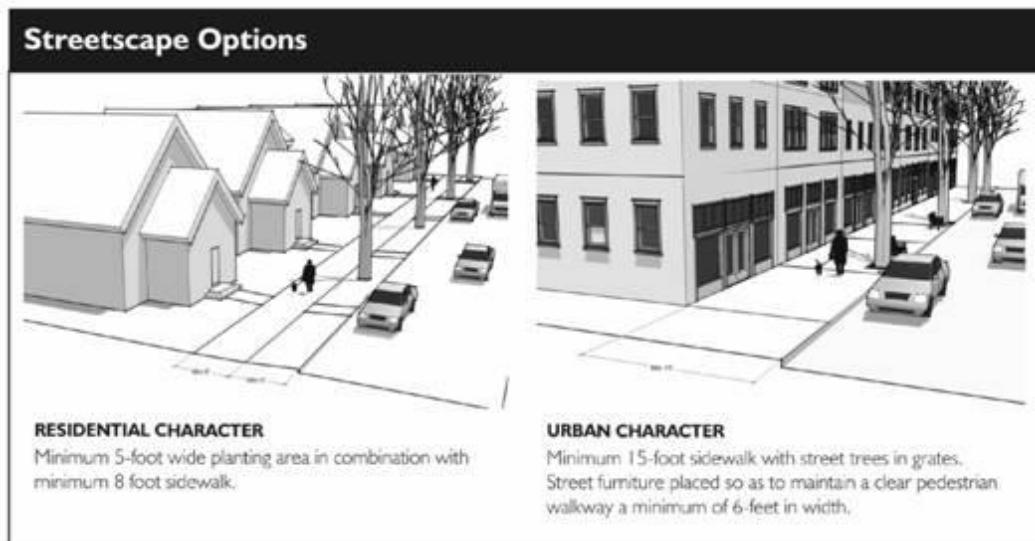
3. Trash Collection Areas.

- a. Trash enclosure area shall be provided or available to serve any new development or building expansion. Unscreened storage of trash receptacles is prohibited.
- b. Trash collection areas shall be screened from public rights-of-way and adjacent uses through the use of a 6-foot masonry wall enclosure and gate.
- c. Trash enclosures should be compatible with the architectural character of the building they serve and should incorporate similar materials and colors.

STAFF RESPONSE: Any trash collection facilities will be located on-site behind the banner.

6.6.7 Streetscape.

1. *Intent.*
 - a. *To create a safe, inviting streetscape environment for pedestrians in downtown;*
 - b. *To ensure that streetscape enhancements provided by infill and redevelopment projects are consistent with the city's downtown streetscape plan, and the surrounding development context, as applicable.*
2. *Downtown Streetscape Plan. Streetscape treatments (including street furniture) for all developments shall be provided in accordance with the city's downtown streetscape plan, as applicable.*
3. *Streetscape.*
 - a. *Prior to the completion of the city's downtown streetscape plan, and for all other properties not addressed within the completed downtown streetscape plan, streetscape shall be provided along all street frontages as follows:*
 - (1). *Residential Character: Minimum 5 foot-wide planter area in combination with minimum 8 foot sidewalk; or*
 - (2) *Urban Character: Minimum 15-foot sidewalk with street trees in grates.*
 - b. *Where angled, on-street parking currently exists or is specified within the city's downtown streetscape plan and the above configurations are not feasible, alternative streetscape configurations may be approved by the director.*
 - c. *Street furniture shall be placed so as to maintain a clear pedestrian walkway that is a minimum of 6 feet in width. Street furniture includes benches, trash receptacles, outdoor dining areas, and other pedestrian amenities.*



4. *Clear Zone. A clear zone of a minimum of 6-feet in width that is unobstructed by any permanent or nonpermanent street furniture, outdoor merchandise displays, benches, trash receptacles, outdoor dining areas, and other pedestrian amenities must be maintained.*

5. *Outdoor Merchandise Displays.*
 - a. *Each business shall be limited to one outdoor merchandise display. Outdoor merchandise displays may include:*
 - (1) *A single display table a maximum of 3 feet wide and 6 feet in length;*
 - (2) *A mannequin used to display clothing or other merchandise sold within the store;*
 - (3) *A grouping of furniture or other merchandise sold within the store that occupies a portion of the sidewalk not more than 3 feet in width and 6 feet in length; or*
 - (4) *Similar display as approved by the director.*
 - b. *Outdoor merchandise displays must be placed against the building the business operates from or within the landscaped area between the sidewalk and the street.*
 - c. *Outdoor merchandise displays shall be in compliance with clear zone provisions, as specified in subsection 6.6.7(4), of this section.*
 - d. *Outdoor merchandise displays shall not be displayed during non-business hours.*
 - e. *No outdoor merchandise display shall be located where it obstructs the line of sight for passing motorists.*

STAFF RESPONSE: The decorative banner is intended to be an inviting streetscape while the remediation is occurring. No street furniture or sale of merchandise is proposed.

6.6.9 *Street and Sidewalk Vending.*

1. *Intent.*
 - a. *To establish a set of baseline standards for the regulation of street vendor carts within downtown to ensure that they complement existing retail businesses, are compatible with the character of downtown, and expand the range of services available to downtown workers, visitors, and residents; and*
 - b. *To establish a framework for the long-term development of a formal street and sidewalk vending program to enliven the Downtown streetscape.*
2. *Vendor Carts. Street vendors are permitted in the DT-MU district only after approval by the redevelopment advisory citizens committee. Street vendors should have a positive impact upon the downtown, as determined by an evaluation of the application against all relevant provisions of this title. The following minimum standards shall apply for all such requests:*
 - a. *Street vendors shall be approved at a specific, permanent location;*
 - b. *Carts used for street vending shall be on wheels and shall not be larger than 3 feet by 5 feet;*
 - c. *Only consumable products may be sold from a street vendor cart;*
 - d. *If located within a city or State right-of-way, encroachment permits and liability insurance shall be required;*
 - e. *If adjacent to or in front of a business not their own, the street vendor cart operator shall be responsible for obtaining permission of the affected business and property owner and shall submit evidence of such permission;*
 - f. *If adjacent to or in front of a property listed in the Carson City historic district, review, approval, and compliance with conditions of the HRC shall be required;*

- g. *Electrical and gas services require review and approval of the building and engineering divisions and the fire department;*
- h. *Approval of the health department is required for all food vendors.*

3. *Vending Review Board. The redevelopment advisory citizens committee shall serve as the vending review board to review all applications for street vending.*

STAFF RESPONSE: No street vendors or vendor carts are proposed.

6.6.10 *Building Design and Character.*

- 1. *Intent.*
 - a. *Allow for the incorporation of a variety of architectural styles while ensuring that infill and redevelopment relates to the historic traditions of downtown Carson City and its surrounding neighborhoods in terms of its basic form, composition of building elements, and quality of materials;*
 - b. *Establish a high quality appearance for downtown infill and redevelopment through the incorporation of architectural detailing, façade articulation, and other features designed to provide a more distinct character and pedestrian scale;*
 - c. *Ensure that infill and redevelopment contributes towards the vision set forth for downtown by the city's master plan.*
- 2. *Materials. Primary building materials shall be durable and project an image of permanence typical of downtown's traditional masonry storefronts and public buildings. Appropriate materials include, but are not limited to brick, stone, or other masonry products, steel, stucco, cast concrete, split face block, composite siding, or comparable material approved by the director.*
- 3. *Four-Sided Design.*
 - a. *All building facades shall be designed with a similar level of design detail. Blank walls void of architectural detailing shall not be permitted.*
 - b. *Exceptions from the above standard may be granted for those areas of the building envelope that the applicant can demonstrate are not visible from adjacent development and streets.*
 - c. *Entrance locations should be placed with consideration of business-to-business pedestrian access and the relation to pedestrian crossings for safety.*
- 4. *Street Level Interest/Transparency.*
 - a. *A minimum percentage of the total area of each ground floor building façade which faces a street, plaza, park, or other public space, shall be comprised of transparent window openings to allow views of interior spaces and merchandise, to enhance the safety of public spaces by providing direct visibility to the street, and to create a more inviting environment for pedestrians. Minimum percentages vary according to character area and use as follows:*
 - (1) *Main Street Mixed-Use Character Area: 50 percent minimum.*
 - (2) *Urban Mixed-Use Character Area:*
 - (a) *Non-Residential Uses: 50 percent minimum;*
 - (b) *Residential Uses: 35 percent minimum.*

- (3) *Neighborhood Transition Character Area:*
 - (a) *Non-Residential Uses: 40 percent minimum;*
 - (b) *Residential Uses: 30 percent minimum.*
- b. *For the purposes of the above standard, all percentages shall be measured using elevation views of the building plan and "ground floor" shall be measured from floor plate to floor plate.*
- c. *The following standards shall apply to all ground floor windows:*
 - (1) *Non-residential Uses. Glazing on all ground floor windows shall be transparent;*
 - (2) *Residential Uses. Glazing on ground floor windows shall be transparent to allow views into common hallways, foyers, or entryways, but may be translucent or opaque when necessary to protect the privacy of ground-floor spaces used for dwelling purposes;*
 - (3) *Black or mirrored glass is prohibited.*
5. *Primary Building Entrances. Primary building entrances shall be clearly distinguished through the use of one or more of the following architectural features:*
 - a. *Covered walkways or arcades;*
 - b. *Awnings, canopies, or porches; and/or*
 - c. *Projected or recessed building mass.*
6. *Parking Structures.*
 - a. *Facades of single-use parking structures (e.g., no retail or residential) shall be articulated through the use of 3 or more of the following architectural features;*
 - (1) *Windows or window shaped openings;*
 - (2) *Masonry columns;*
 - (3) *Decorative wall insets or projections;*
 - (4) *Awnings;*
 - (5) *Changes in color or texture of materials;*
 - (6) *Approved public art;*
 - (7) *Integrated landscape planters; or*
 - (8) *Other features as approved by the director or designee.*
 - b. *Openings in parking structures shall be designed to screen views of parked cars from surrounding properties through the use of architectural screens or similar features.*
7. *Residential Garage Location and Design.*
 - a. *Where lot configurations permit, residential garages shall be located in the rear yard and accessed from the alley or a narrow drive from the street, as traditionally found in downtown's residential neighborhoods.*
 - b. *Attached front-loading garages shall be recessed behind the front façade of the home a minimum of 10 feet.*
8. *Screening of Utility/Mechanical Equipment.*

- a. *Roof mounted mechanical equipment shall be screened from public rights-of-way and adjacent properties through the use of parapet walls, equipment wells, architectural screens, or similar features that may be integrated into the overall design of the building.*
- b. *All equipment shall be located below the highest vertical element of the building.*
- c. *Wall-mounted air conditioning units shall be integrated into the design of the building and/or screened.*

STAFF RESPONSE: The proposed development does not include a building.

6.6.11 Guidelines for the Renovation and Restoration of Existing Structures.

1. *Intent.*
 - a. *To promote the preservation of existing downtown buildings that have historic characteristics, although they are not included as part of the historic district.*
 - b. *To promote and establish appropriate procedures for the cleaning, renovation, and restoration of original downtown storefronts that have been substantially altered and obscured during previous remodeling efforts.*
2. *Inappropriate Alterations.*
 - a. *Remodeling with unauthentic false historical details, trims, and moldings creates a confusing historical context for the community and should be avoided.*
 - b. *The use of light gauge metal, steel panels, or other materials to make two or more storefronts appear to be a single, larger structure should be avoided. If panels are already in place, upper story windows, storefronts, doors, cornices, and other trim materials which were removed to accommodate the panels should be researched and replaced during the rehabilitation process.*
 - c. *Upper story doors and windows and street-level storefronts that have been previously covered, sealed, or filled in should be restored to their original proportions and appearance during the rehabilitation process.*
 - d. *Transom windows which were covered over when suspended acoustical tiled ceilings were installed, or for other reasons, should be uncovered during the rehabilitation process.*
3. *Cleaning.*
 - a. *Abrasive cleaning techniques such as sandblasting should be avoided on the exterior of downtown buildings. Such cleaning methods cut into the building's materials, causing irreversible damage.*
 - b. *Sandblasted buildings that have not severely deteriorated should be painted to slow the process. Care must be taken to avoid varnishes, enamels, polyurethane sealants and other products impervious to moisture penetration. Sealants will lock moisture inside the masonry and prevent evaporation ultimately causing severe moisture damage.*
 - c. *As an alternative to abrasive cleaning techniques, the following techniques should be considered:*
 - (1) *A gentle water wash in combination with a natural bristle brush used to gently*

scrub the surface of the building. If necessary, a mild detergent can be used, but must be thoroughly rinsed.

- (a) *For heavy grime or layers of paint, a chemical cleaner may be necessary. Alkaline or acidic cleaners are available; however, chemical cleaning should always be done by experienced professionals.*
 - (b) *A steam cleaning process may also be appropriate for certain building materials.*
- d. *Whether water, steam, or chemical cleaner is used, always clean a test patch area first to judge the reaction, or consult a professional in the field. A list of local professionals is available at the planning division.*
- e. *All debris and cleaning materials should be contained on site and not allowed to flow into the storm drain system.*

4. *Repair, Removal, and Replacement.*

- a. *Removal of materials or structures including oversized signs, windows or door coverings, or metal slipcovers should not take place until the following steps are followed:*
 - (1) *Inventory and photograph or draw accurate elevations of the elements to be removed;*
 - (2) *Examine each element and determine how it is attached and anchored to the building. If possible, remove a small portion of a slipcover to determine how the rest is anchored;*
 - (3) *Create a plan for repair of original material that was damaged when alterations were made; drilled holes for anchor bolts, lost or damaged decorative elements, accumulated dirt and rust stains are the most common types of damage.*
- b. *If a decorative element such as a cornice or trim around a window was removed or altered to accommodate earlier renovation efforts, it may require replication by a skilled artisan or replacement with a simpler element. Catalogs of companies that specialize in replicating historic building architectural details are available from the planning division.*
- c. *If the original element is lost and no photo documentation is present, it is recommended that the element be substituted with a more conservative design element.*
- d. *Materials used to renovate existing buildings should be of a texture, scale, and color that are compatible with the original primary building material. Replacement parts should be selected so as to blend in with existing ones; rather than calling attention to themselves.*
- e. *Native stone and masonry should be retained on existing buildings when possible.*
- f. *Missing or damaged architectural features that are to be replaced should blend with the building fabric and duplicate the old or match it as closely as possible. However, these new materials should not be antiqued or made to look old when they are not.*
- g. *Retention of original historic building elements is encouraged over replacement. When replacement is required, attention should be given to matching the building's original window treatment as closely as possible.*

STAFF RESPONSE: The applicant proposes to remove the building. An architectural inventory

report including a narrative of the history of the building as well as maps and photographs has been prepared and provided to both the State Historic Preservation Officer and the City.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

The project will not be detrimental to the public health, safety, convenience, or welfare. The project will promote public health by allowing for soil and groundwater remediation.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The project will not result in material damage or prejudice to other properties within the vicinity. The project consists of the removal of a building to accommodate soil and groundwater remediation. The decorative banner will shield the site from public view while creating public interest.

Supplemental findings

Development Standards Division 6.5.2 requires that in addition to the findings listed in Section 18.02.080 of this code, the following three supplement findings must be found in the affirmative for the proposed conditional use.

1. *Is consistent and compatible with the character and intent for the downtown character area in which it is proposed;*

The intent of the decorative banner is to create compatibility with the downtown character. Once the remediation is complete, redevelopment of the site will need to be consistent with the downtown guidelines.

2. *Incorporates or can be incorporated as part of a broader mix of uses to support an active "people-oriented" environment within the downtown character area; and*

The proposed banner with cultural or artistic information along the frontage of the property on Curry Street will support an active "people-oriented" environment.

3. *Can be integrated into the more urban development pattern in a manner that is consistent with master plan policies for downtown.*

The banner will shield the remediation work from public view. The remediation work will allow for redevelopment of the currently vacant site, thus allowing for more vitality in the downtown.

Attachments:

Application LU-2021-0217

Carson City Planning Division 108 E. Proctor Street • Carson City NV 89701 Phone: (775) 887-2180 • E-mail: planning@carson.org		FOR OFFICE USE ONLY: CCMC 18.02.080
<h2>FILE #</h2>		
APPLICANT PHONE # Nevada Division of Environmental Protection (775) 687-9384		SPECIAL USE PERMIT FEE*: \$2,450.00 MAJOR \$2,200.00 MINOR (Residential zoning districts) + noticing fee <i>*Due after application is deemed complete by staff</i>
MAILING ADDRESS, CITY, STATE, ZIP 901 S Stewart St., Suite 4001		
EMAIL ADDRESS ssmale@ndep.nv.gov		
PROPERTY OWNER PHONE # Mercury Cleaners, Inc.		
MAILING ADDRESS, CITY, STATE, ZIP 1894 E William St, Ste 4, Carson City, NV 89701		
EMAIL ADDRESS jane@brandwest.com		
APPLICANT AGENT/REPRESENTATIVE PHONE # Scott Smale, NDEP (775) 687-9384		
MAILING ADDRESS, CITY STATE, ZIP 901 S Stewart St, Ste 4001, Carson City, NV 89701		
EMAIL ADDRESS ssmale@ndep.nv.gov		
Project's Assessor Parcel Number(s): 003-112-04		Street Address 217 S Curry Street
Project's Master Plan Designation Downtown Mixed-Use		Project's Current Zoning 400--General Commercial
		Nearest Major Cross Street(s) Curry St between W 2nd and W 3rd
Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. The Nevada Division of Environmental Protection, under a Settlement Agreement with the property owner of the former Mercury Cleaners will be implementing a groundwater cleanup to address historic releases of dry cleaning contaminants that originate from the facility.		
PROPERTY OWNER'S AFFIDAVIT I, <u>Jane Uramoto for Mercury Cleaners Inc.</u> , being duly deposed, do hereby affirm that <u>I am the record owner</u> of the subject property, and that I have knowledge of, and I agree to, the filing of this application.		
Signature <u>Jane Uramoto, Secretary</u> Mercury Cleaners Inc.		Address <u>1894 E. William St, Ste 4</u> Date <u>07/07/2021</u>
Use additional page(s) if necessary for additional owners.		
STATE OF NEVADA COUNTY))) On _____, 2 _____, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she		
Notary Public _____		
NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.		

NEVADA DIVISION OF ENVIRONMENTAL PROTECTION & MERCURY CLEANERS, INC
SPECIAL USE PERMIT, ALTERNATIVE COMPLIANCE
CARSON CITY DOWNTOWN MIXED-USE AREA

PROJECT DESCRIPTION

The Mercury Cleaners building, located at 217 South Curry Street, Carson City, Nevada (Site) has been subject to a program of environmental remediation work intended to address tetrachloroethene (PCE) and trichloroethene (TCE) releases during operation of a dry-cleaning business between 1955 and 2007. Having completed initial phases of characterization and abatement, the Nevada Division of Environmental Protection (NDEP) now intends to partially disassemble the Mercury Cleaners building to complete groundwater cleanup and allow for eventual redevelopment of the Site.

The Mercury Cleaners building occupies the western half of Parcel 003-112-04 (0.08 acres), a long, narrow parcel that extends through from Curry Street to South Carson Street. The eastern half of the parcel contains a second building, divided into two commercial units. The parcel is located in the NW 1/4 of the SW 1/4 of Section 17, T16N R20E, USGS 7.5' Topo *Carson City, NV* (1994). The direct physical Area of Potential Effect (APE) is the western part of the parcel (See Figure titled *Site Plan Map*). Proposed demolition, grading, and remediation activities would be confined to this parcel, and specifically to the former Mercury Cleaners structure that occupied the western portion of the parcel.

The on-site building is constructed of a wood roof with Concrete Masonry Unit (CMU) walls on the front portion, and unreinforced masonry walls in the back (eastern) section. The Mercury Cleaners building is in contact with adjacent buildings on the south side, on the east side, and on the northeast corner section. It is our understanding that the adjacent buildings are constructed with unreinforced masonry building materials and that they are to remain unchanged during the Mercury Cleaners building disassembly process.

Currently, there are several groundwater monitoring wells at the site and hydrologically downgradient which contain PCE and TCE concentrations that exceed the Nevada State Action Level of 5.0 micrograms per liter ($\mu\text{g}/\text{L}$). Figures from the most recent (First Quarter 2021) groundwater monitoring report for the Site have been included in the Special Use Permit application package (See Figures titled *Drawing 2: Groundwater Potentiometric Surface Map* and *Drawing 3: Building Interior Groundwater Analytical Summary Map*). Previous remedial efforts conducted on-site include soil excavation activities in the source area (southeast quadrant of building) down to a depth of ~10 feet below land surface (bls), and installation of ventilation piping in the excavation bottom to accommodate future passive and/or active ventilation activities relative to remaining in-place impacts.

While previously conducted activities have been helpful in defining the extent of impact (and removal of some of that impact), additional remediation activities are required. Soil remediation activities (for PCE and TCE impacts) are to be focused in the southeast corner area of the onsite building (primary source

area), while groundwater remediation activities will focus on shallow groundwater impacts in this same area and laterally out from this area to east and southeast.

Removing portions of the Mercury building will facilitate open access to remediate the primary source area, and it will eliminate the need for specialized, low clearance equipment for groundwater assessment and remediation activities. Lastly, it will eliminate indoor air concerns during conduct of both assessment and remediation activities. A building demolition plan has been prepared by Forbes Linchpin Engineering, and Olcese Construction is the selected contractor for building demolition.

Building walls along the south property border and north property border, where they are adjacent or connected to surrounding structures, will be left in-place and supported with structural trusses to maintain their integrity (See Figures titled *Mercury Cleaners Demolition Specifications S0-S5*). Building walls removed along the west property and north property line which are not adjacent to any other structures will be replaced by temporary fencing during construction of the groundwater cleanup system and by permanent privacy fencing or construction hoarding during the operation of the groundwater cleanup system (see Figure titled *Drawing 2 Mercury Cleaners Site Post-Demolition with Proposed Remediation System Compound*). It is estimated that groundwater cleanup may require 3 to 5 years of operation to achieve health-based cleanup goals.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

The NDEP believes that the groundwater cleanup at the former Mercury Cleaners site in downtown Carson City is in furtherance of several of the goals of the Carson City Master Plan. While the project will require alteration of the building to accommodate cleanup and will require an operational presence at the site for several years while cleanup is achieved, the ultimate goal is to return the property to productive use and promote the economic vitality of the downtown core.

The former Mercury Cleaners building is currently vacant, and the redevelopment of this parcel is complicated by the environmental issues resulting from previous site operations. This property is located in a priority infill development area (CCMP 1.2a) adjacent to other downtown core development, which makes it an attractive candidate for retail or commercial development. However, the environmental liability of the property (both the cost of cleanup and the need to accommodate a footprint for groundwater cleanup infrastructure) likely outweighs the current property value or is otherwise sufficient to deter redevelopment projects.

While the cleanup is being conducted, there will be no impacts to existing downtown land uses or character. Cleanup infrastructure will be located behind privacy fencing or construction hoarding with banners along street fronts. All appropriate abatement measures will be taken to minimize noise, vibrations, and emissions. Pedestrian pathways, parking, and traffic in the downtown core will not be affected, so the short term effects on the Master Plan themes will be minimized until the site can be placed back into productive use in the priority in-fill area.

2. **Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

Explanation: A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)

The former Mercury Cleaners building, which is the site of the cleanup project in this Special Use Permit, sits in a downtown city block that consists of and is zoned for general commercial use consistent with the mixed-use envisioned in the Master Plan for the Downtown Core. The city block includes offices for real estate and other general commercial use. There is retail, hair salons, and restaurants. The block is located on the north of the Bob McFadden Plaza. The business frontage of the Mercury Cleaners buildings is on Curry Street, and none of the existing business in this block include a frontage on Curry Street.

To the west of the block across Curry Street is a full-block parking lot. The parking lot has hosted a Downtown Farmer's Market in the past.

B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.

The project will involve temporary infrastructure to accommodate groundwater cleanup activities. There will be a short-term construction phase where the cleanup infrastructure is installed followed by a period of operation of the cleanup system until health-based cleanup goals are achieved. During the project, cinderblock masonry walls along the Curry Street frontage and along the north property boundary will be replaced by chain link fencing with wind screens or obscuring slats or by construction hoarding. This fence line will obscure views from the street to the interior of the lot which will have a groundwater cleanup system on a portion of the land.

Aesthetic conditions, such as noise, vibration, and fumes, will be considered during design of the groundwater cleanup system, and abatement actions will be implemented to minimize or eliminate detrimental impacts to surrounding properties, their businesses and customers. Groundwater cleanup systems are located throughout the urban environment, and they go largely unnoticed due to their small footprint and the use of security fencing or other designed housing and cladding features.

Printed banners will be incorporated into the street-facing portions of fencing or hoarding for visual appeal. Input from neighboring property owners will be included in the design and visual theming of banners. The banners will be maintained and regularly replaced during the lifetime of the project.

C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.

The groundwater cleanup at the former Mercury Cleaners is necessary to allow for redevelopment of this vacant, unmaintained building/lot in the downtown core. The approach being envisioned by the NDEP is intended to achieve cleanup goals in the shortest timeframe possible. Cleanup cannot be effectively achieved with the existing structure; however, any removed walls will be replaced by fencing or hoarding that will block views of the lot and cleanup infrastructure. Outside of the initial, short-term phase of the project involving the installation of the groundwater cleanup system, there will be minimal activity on the lot, while the cleanup system operates.

Groundwater and soil vapors collected by the cleanup system will be treated in accordance with state and federal permitting requirements. Water effluent streams will be piped directly to the sewer or stormwater system and will not be visible to neighboring businesses or their customers. Noise, vibrations, and fumes from the pumps necessary to extract groundwater and soil vapor will be minimized through system design, and abatement features, such as additional fencing, cladding, or venting, will be incorporated as necessary to eliminate or minimize nuisances.

D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

Outdoor lighting will not be a part of the project. Site work, both during the installation and operation/maintenance periods of the project, will be conducted during daylight hours and will not require installation of supplemental lighting.

E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.

There will be no landscaping associated with the project. The existing building footprint currently aligns with the property lines, which means that there is no existing landscaping at the site. As part of the project, the building walls that are removed will be replaced with chain-link fencing or construction hoarding, roughly corresponding to the same footprint. There will be a slight setback of the fencing or hoarding along the Curry Street facing of the property. This may allow for placement of potted landscaping for additional visual interest to minimize the impact of fencing or hoarding.

F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

The cleanup of contaminated soil and groundwater at the former Mercury Cleaners site will allow for future redevelopment of the property in a manner consistent with Downtown Core development goals. In the short-term, the disassembly of the structure will allow for improved access for utility and storm water maintenance for the surrounding structures. Hydraulic and vapor control of dry cleaning contaminants in soil and groundwater will also be achieved within a short time-frame of project implementation, to provide additional piece of mind to surrounding property owners and tenants.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

The project will not create additional pedestrian or vehicular traffic. During construction there will be short periods when heavy equipment will need to access the site; however, the contractors overseeing work for drilling and installation of groundwater cleanup infrastructure have experience developing traffic plans with municipalities to minimize impacts and threats during these activities.

For the most part, the site will be secured with fencing or construction hoarding, and the site will only need to be accessed occasionally to service and maintain the groundwater cleanup system.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

Explanation: A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?

The project will not add to the student population or affect the school district.

B. How will your project affect police and fire protection?

The project will not affect police or fire protection. Site access will be limited. However, there will be routine visits by the contractor to service and maintain the groundwater cleanup system. In addition, the property owner will maintain a property manager that can respond to any reports by neighbors, contractors, or NDEP employees.

Other than the electric connection and electric-operated pumps and blowers, there will be no fire hazards on the site. No flammable or hazardous materials will be present on-site that present fire hazards or other safety concerns.

C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

The project requires minimal water service for cleaning, maintenance, and operation. The existing water line will be more than sufficient for project needs. Some rearrangement of water lines may be necessary to accommodate subsurface infrastructure for the groundwater cleanup system, which will be addressed as part of system design.

D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

The project will involve the removal of some building walls and the entire building roof. The building walls which are left in place will maintain existing drainage structures for the surrounding buildings. The lot will be left unpaved and covered with gravel to minimize soil runoff. The site will be graded to prevent runoff pooling around the surrounding structures.

E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

As part of design of the groundwater cleanup system, it will be determined whether the effluent generated by groundwater treatment will be discharged to the sewer system or directly to the stormwater system. The effluent will be treated to meet all discharge requirements. Once we have better calculations of the effluent volume that will be generated by the cleanup system, we will work with the Development Engineering Division to determine the most appropriate or beneficial method of discharge. No grey water or sewage will be generated during the life of the project.

F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

No road improvements are required for the project.

G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources.)

The groundwater cleanup project is being overseen by the NDEP and its environmental contractor, who are staffed with Certified Environmental Managers. The contractor is also staffed with Professional Engineers in the environmental and civil engineering fields. Subcontractors have been retained or are sought for areas of expertise outside of

environmental projects where needed. This includes a Structural Engineer and a demolition company for the disassembly of the Mercury Cleaners building.

The NDEP has been in contact with city departments including Public Works, the Building Division, and Community Development on various aspects of the project. We also presented an overview of the project at the Major Project Review meeting on February 16, 2021, and we have worked towards satisfying or addressing the items identified by City staff from various departments.

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

The construction and operation of a groundwater cleanup system to address releases from dry cleaning solvents is necessary to clear the location of Mercury Cleaners for reuse/redevelopment consistent with the intended purpose of the Downtown Mixed-Use district under CCMC 18.04.125 and Division 6 of the Development Standards. Based on the depth and scale of soil and groundwater issues, this cleanup system cannot be installed and operated within the existing building. Greater access is required, and the NDEP proposes to house cleanup infrastructure on the partially cleared lot. However, fencing or hoarding will replace any removed building walls to shield cleanup activities from downtown residents, businesses, customers, and tourists. Decorative banners will be placed on street facing fences to minimize visual impacts during the life of the groundwater cleanup project.

The footprint of the project will maintain the existing intensity and dimensional standards of the existing structure. However, fencing or construction hoarding will replace cinder block masonry walls along Curry Street and the northern property line.

The following supplemental findings are applicable for alternative compliance in the Downtown Mixed-Use area as identified by Planning staff:

- A. Is consistent and compatible with the character and intent for the downtown character area, as identified in the development standards, in which it is proposed.

The groundwater cleanup project at the Mercury Cleaners building is taking place on a portion of an existing parcel in the downtown core. The cleanup is necessary to put the vacant parcel back into productive reuse. The NDEP plans to retain as much of the existing walls of the building that will still allow for cleanup to occur in a reasonable timeframe. Walls that are removed will be replaced with fencing or hoarding to maintain existing sightlines and obscure cleanup infrastructure. Banners will be placed along street fronts to maintain visual interest, and these banners will be periodically replaced or updated.

- B. Incorporates or can be incorporated as part of a broader mix of uses to support an active “people-oriented” environment within the downtown character area.

Groundwater cleanup will benefit surrounding properties and the downtown core by eliminating any potential exposures and removing any environmental stigma. Mitigation measures are in place for potential exposures, but a groundwater cleanup will ensure long-term health and sustainability of downtown businesses. The project will improve access for adjacent businesses for utility repairs and upgrades that are currently difficult because of the interconnected construction of the structures. Drainage structures are being retained, and improvements can be made to alleviate occasional drainage issues in adjacent buildings or sidewalks that are the result of the current building layout. Pedestrian and traffic flows will not be impacted during groundwater cleanup, and the infrastructure and operation of the cleanup will not be visible and will not detract from residents, workers, and visitors to the downtown core.

- C. Can be integrated into the more urban development pattern in a manner that is consistent with master plan policies for downtown.

The Mercury Cleaners building has been vacant for more than 10 years and without cleanup would remain an underutilized lot in the priority infill area of the downtown core. The priority of the NDEP is to address the environmental issues resulting for past releases at the site, but through our operation of the Brownfields program, we also understand the importance of getting sites back into productive reuse. Cleanup and redevelopment of sites with environmental issues keep city cores vibrant and connected and reduces the pressures to utilize or develop open or green spaces for these types of developments. The NDEP is pursuing an aggressive groundwater cleanup approach that will have the best chance of success to get this site redevelopment ready in the shortest timeframe possible while still limiting short-term impacts to surrounding properties.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

The groundwater cleanup at the former Mercury Cleaners is necessary to allow for redevelopment of this vacant, unmaintained building/lot in the downtown core. The approach being envisioned by the NDEP is intended to achieve cleanup goals in the shortest timeframe possible. Outside of the initial, short-term phase of the project involving the installation of the groundwater cleanup system, there will be minimal activity on the lot, while the cleanup system operates.

Groundwater and soil vapors collected by the cleanup system will be treated in accordance with state and federal permitting requirements. Water effluent streams will be piped directly to the sewer or stormwater system and will not be visible to neighboring businesses or their customers. Noise, vibrations, and fumes from the pumps necessary to extract groundwater and soil vapor will be minimized through system design, and abatement features, such as additional fencing, cladding, or venting, will be incorporated as necessary to eliminate or minimize nuisances.

Groundwater cleanup systems are located throughout the urban environment, and they go largely unnoticed due to their small footprint and the use of security fencing or other designed housing and cladding features. Printed banners will be incorporated into the street-facing portions of fencing or hoarding for visual appeal. Input from neighboring property owners will be included in the design and visual theming of banners. The banners will be maintained and regularly replaced during the lifetime of the project.

Groundwater contamination affects quality of life by threatening drinking water sources and creating potential exposure through vapor intrusion into buildings. The former Mercury Cleaners site is a high-priority cleanup site being pursued by the NDEP to address impacts to human health and to promote and improve the economic vitality of the downtown Carson City core.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

The preparation of the site for groundwater treatment will be undertaken by licensed contractors and subject to the following mitigation measures to prevent damage to surrounding structures and properties.

PRE-DISASSEMBLY ACTIVITIES

- *Engineering subcontractor will provide a demolition sequencing plan including details for bracing of the existing wall that is adjacent to the existing building to remain. Structural calculations will also be provided for the existing wall bracing.*
- *Engineering subcontractor will provide an assessment of the adjacent buildings to document any pre-demolition damage. Deliverables will be a report noting all existing damage of adjacent buildings include locations and photo documentation.*
- *Vibration Monitoring: Configuration of three seismographs along with three Verizon wireless modems to automatically monitor and to download the daily monitoring data to subcontractor's remote vibration server each day, and in the event that the measured vibration every exceeds the vibration limit that you specify, to send out text message alerts to each person in the specified recipient list.*
- *Subcontractor will provide sidewalk protection and detour signs in front of the building (west facing side).*
- *Call in USA Dig Service to locate underground utilities.*
- *Gas line will be capped at sidewalk by Southwest Gas.*
- *Overhead power to neighbor property will be relocated.*
- *Water supply lines to neighbor properties will be addressed and rerouted.*
- *Prior to disassembly activities, a building investigation will be completed by cutting small 12" x 12" holes to see what is on the other side of the walls on the south side and northeast corner of the building. Subcontractor will also pull back the roof on the south building to see if there is an air gap. If there is a sufficient air gap, plywood will be installed in the air gap to protect the building to the south. Same process will be applicable for the northeast corner.*

DISASSEMBLY ACTIVITIES

Disassembling of the building will begin in the front of the building (west side) working to the rear of the building (east side) using an excavator with a thumb. Debris will be hauled off as it is disassembled. Subcontractor will tap into existing water for dust control on site as disassembly progresses from front to rear. The slab and footing will be removed last. Below are details of the disassembly steps:

- *Removal of slabs and footings that are not supporting neighboring walls*
- *Shore bracing and hand demo of south wall*

- *Peel back roofing from neighboring buildings that are connected to CMU wall - creating a gap. Permanent repair of roofing will be completed following disassembly of the building.*
- *Cut away bonded brick wall in back (east wall) per engineer design.*
- *Remove interior brick walls supporting 2nd floor per engineer design*
- *Maintain old existing bonded brick walls in alleyway.*
- *Remove CMU wall on NE corner where neighbor property-built addition with metal shed roof.*

Following disassembly of the building, grading and surface stabilization (gravel placement) activities will be conducted for the Property.

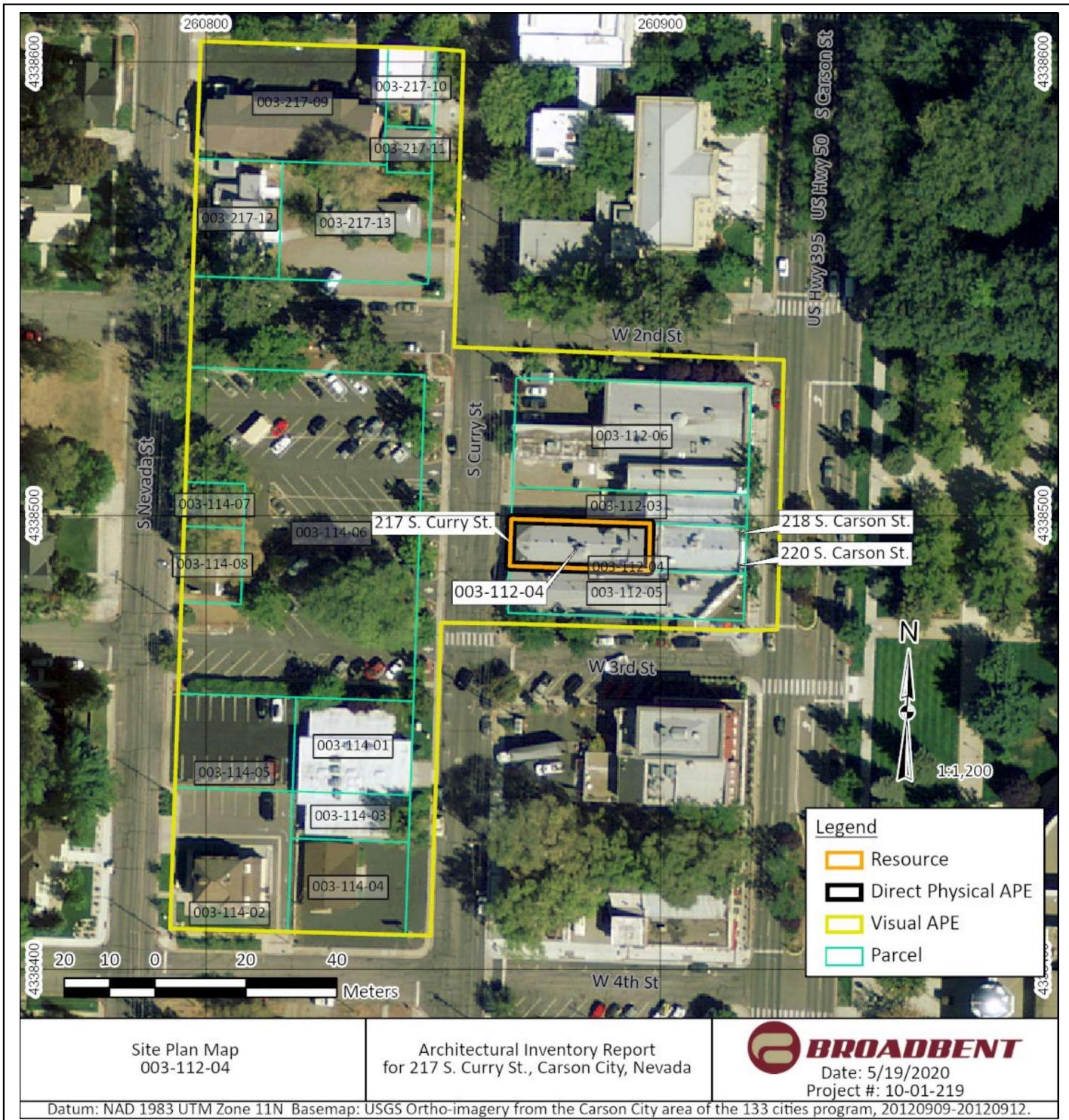
LIST OF FIGURES

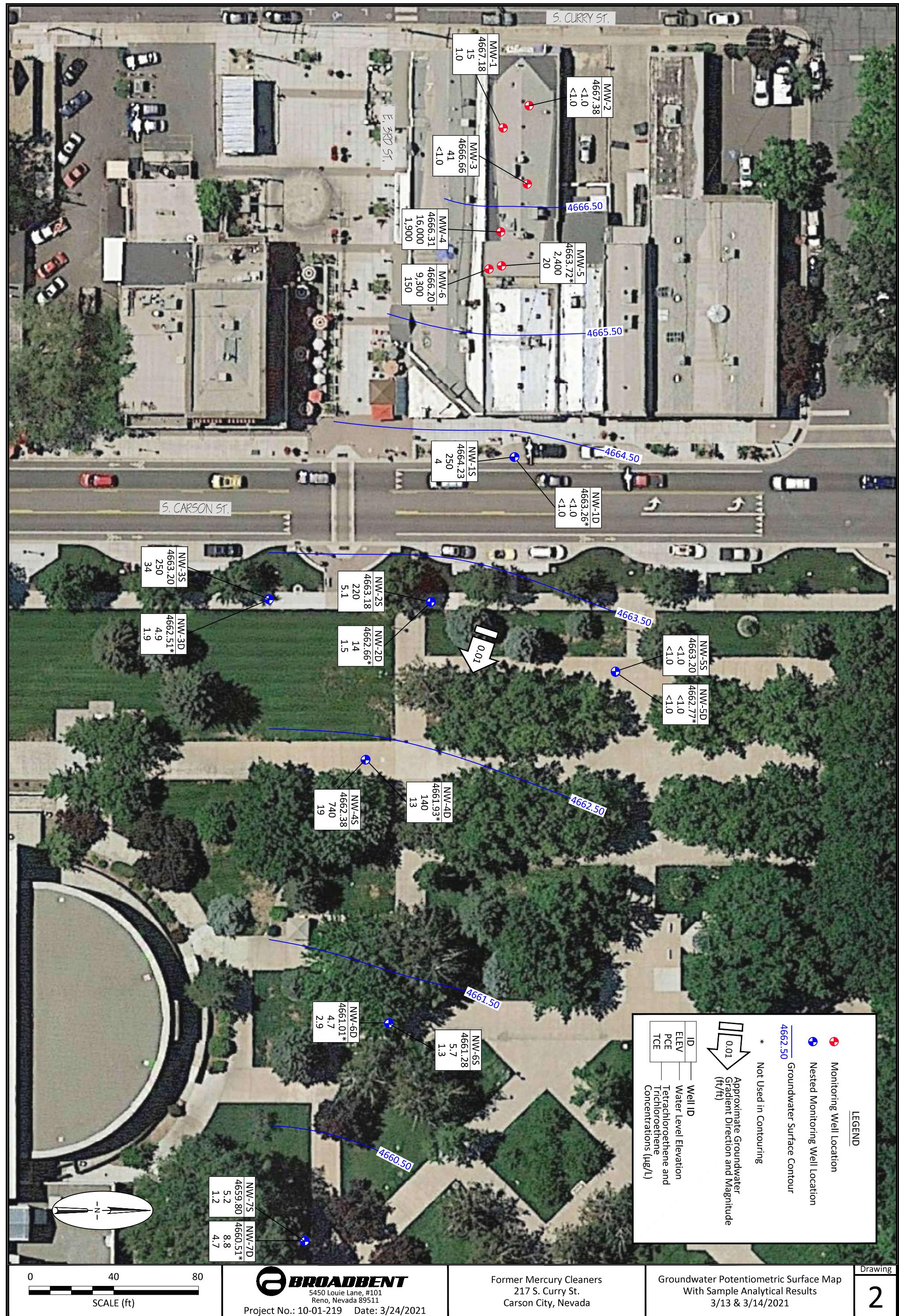
Figures are pulled from multiple sources and reports, which have inconsistent numbering and titling schemes. For clarity, figures are referenced in the project description based on the title of the figure. The following figures are referenced and are included in the Special Use Permit in the following order:

- Site Plan Map
- Drawing 2: Groundwater Potentiometric Surface Map
- Drawing 3: Building Interior Groundwater Analytical Summary Map
- Mercury Cleaners Demolition Specifications S0-S5
- Drawing 2 Mercury Cleaners Site Post-Demolition with Proposed Remediation System Compound

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.





LEGEND

Nested Monitoring Well Location

4662.50 Groundwater surface contour

* Not Used in Contouring

ID	Well ID
ELEV	Water Level Elevation
PCE	Tetrachloroethylene and
TCE	Trichloroethylene Concentrations ($\mu\text{g/L}$)

S. CURRY ST.

1960-1961

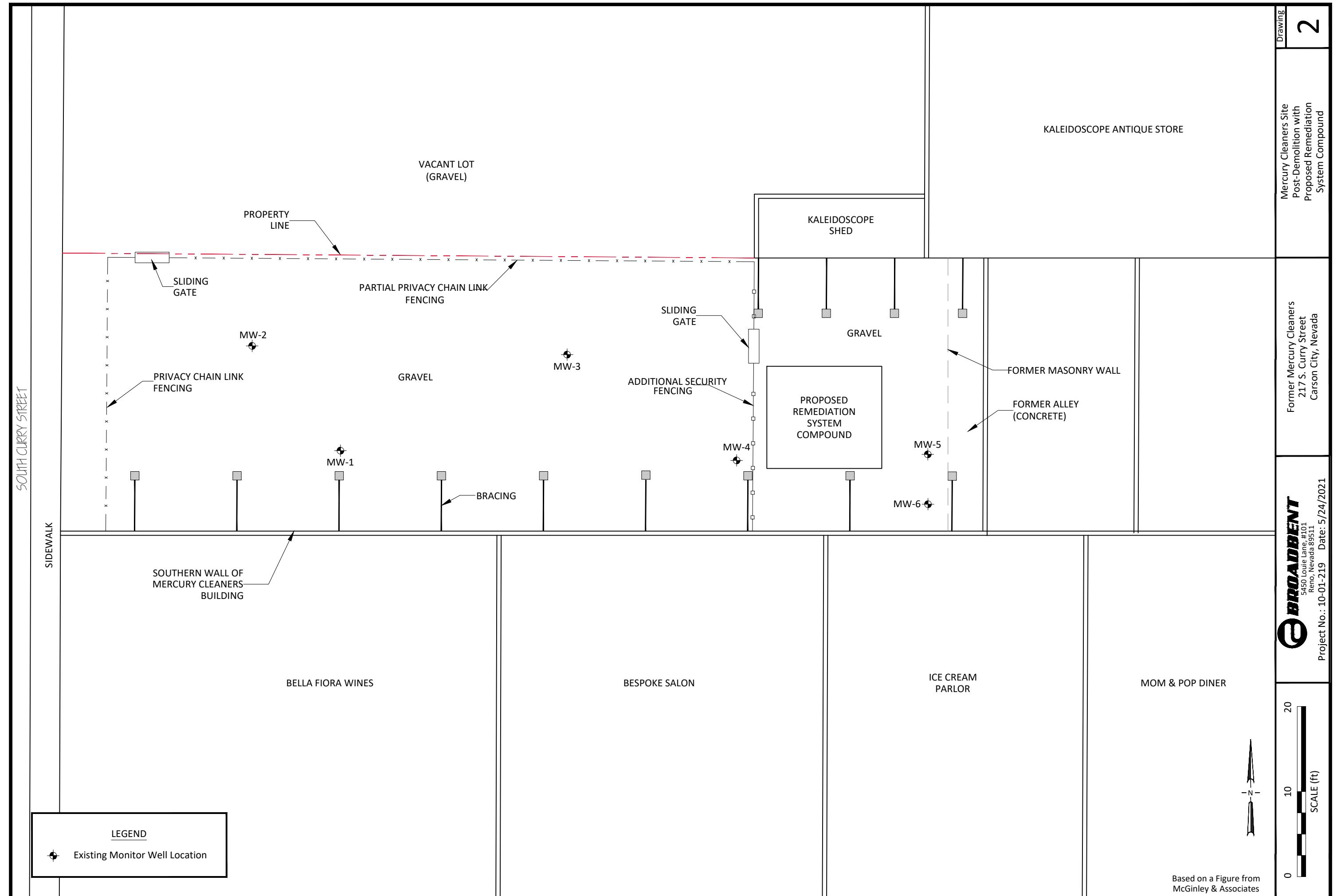
BROADBENT
5450 Louis Lane, #101

3430 Eudie Lane, #101
Reno, Nevada 89511

Former Mercury Cleaners
217 S. Curry St.
Carson City, Nevada

Groundwater Potentiometric Surface Map With Sample Analytical Results 3/13 & 3/14/2021

Drawin



Mercury Cleaners Site
Post-Demolition with
Proposed Remediation
System Compound

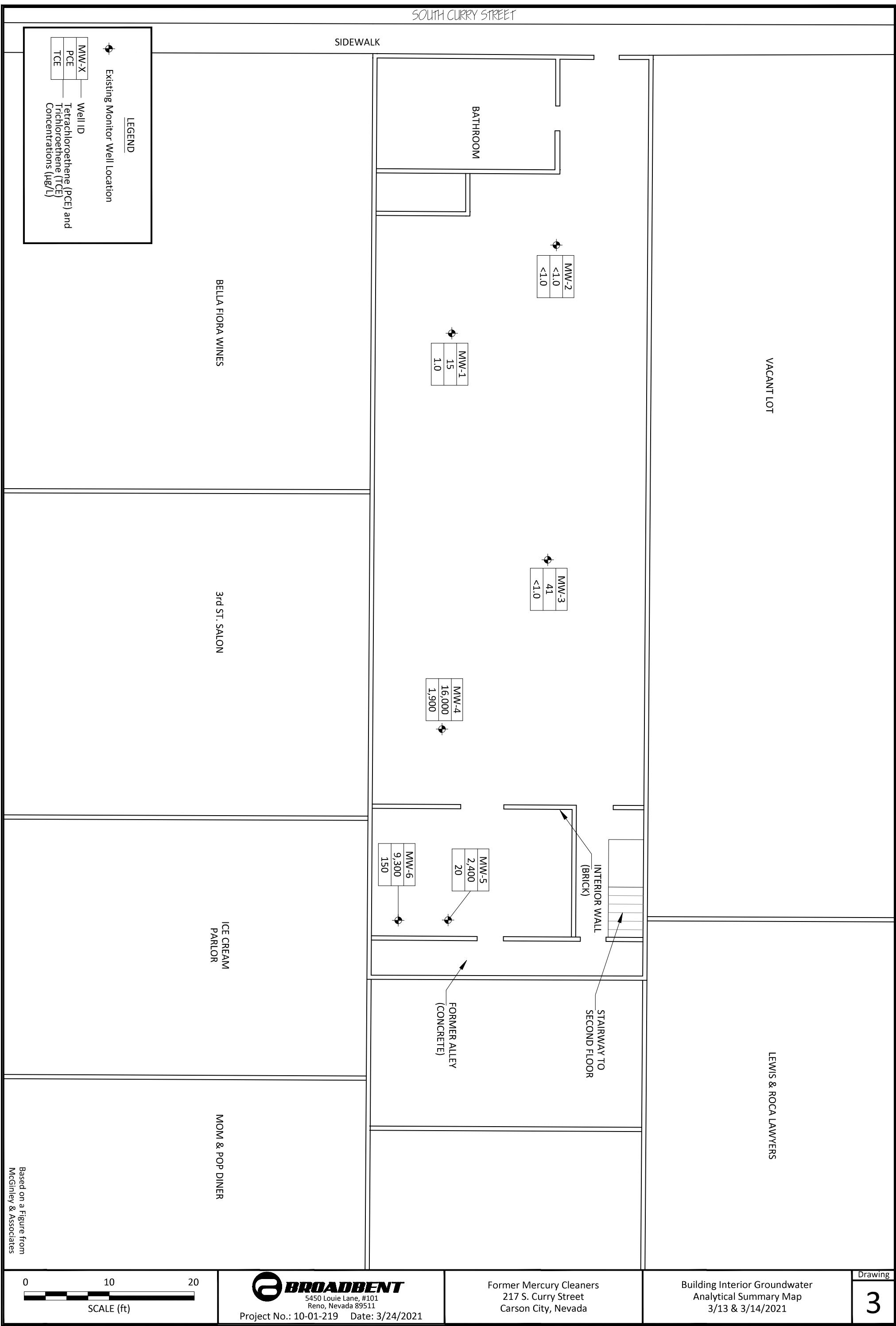
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Former Mercury Cleaners
217 S. Curry Street
Carson City, Nevada

5450 Louis Lane #101
Reno, Nevada 89511

Project No.: 10-01-219

Date: 5/24/2021



STRUCTURAL ABBREVIATIONS		WOOD		CONCRETE		CONTROL AND CONSTRUCTION JOINTS		STRUCTURAL STEEL	
AB	- ANCHOR BOLT	WOOD SHEATHING (STRUCTURAL):	SHEATHING ON ROOF SURFACES SHALL BE PLYWOOD ONLY. SHEATHING ON FLOOR AND WALLS SHALL BE PLYWOOD OR ORIENTED STRAND BOARD (OSB). PLYWOOD SHEATHING SHALL BE 5-PLY MINIMUM WHERE INDICATED AS 3/4" OR THICKER. WOOD SHEATHING SHALL BE "STRUCTURAL" CONFORMING TO PS-95 AND/OR PS-92. ALL PANELS SHALL BEAR THE STAMP OF AN APPROVED GRADING AGENCY.	CAST-IN-PLACE CONCRETE		CONSTRUCTION JOINTS SHALL MEET THE REQUIREMENTS OF ACI 301 SECTIONS 2.2.2.5 AND 5.3.2.6. KEYWAYS PER SECTION 2.2.2.6B ARE NOT REQUIRED UNLESS DETAILED ON THE STRUCTURAL DRAWINGS. SPECIAL BONDING METHODS PER SECTION 5.2.2.6 SHALL BE SATISFIED BY ITEM 3 BELOW UNLESS OTHERWISE DETAILED ON THE STRUCTURAL DRAWINGS. WHERE CONSTRUCTION JOINTS ARE NOT SHOWN ON PLAN OR ADDITIONAL CONSTRUCTION JOINTS ARE REQUIRED, SUBMIT PROPOSED JOINTING FOR ENGINEER'S APPROVAL. PROVIDE CONSTRUCTION JOINTS AS INDICATED BELOW UNLESS NOTED OTHERWISE ON THE PLANS:		DETAILING, FABRICATION AND ERECTION	
ADDL	- ADDITIONAL	GLUE-LAMINATED MEMBERS: CONFORM TO ANSI/AITC A190.1. MEMBERS SHALL BE 24F-V4 DF/DF FOR SIMPLE SPANS AND 24F-V8 DF/DF FOR CANTILEVERED SPANS WITH $E=1.8 \times 10^6$ PSI AND $E=1.8 \times 10^6$ PSI GRADE WHERE EXPOSED TO VIEW; INDUSTRIAL APPEARANCE WHERE NOT EXPOSED TO VIEW. ALL MEMBERS TO HAVE AITC OR APA-EWS STAMP.	CODES, SPECIFICATIONS, AND STANDARDS: CONCRETE WORK SHALL CONFORM TO THE FOLLOWING CODES, SPECIFICATIONS, AND STANDARDS, AND THE STANDARDS AND SPECIFICATIONS THEY REFERENCE. THE CONTRACTOR SHALL OBTAIN AND HAVE READILY AVAILABLE ON SITE THE LATEST VERSION OF THE "ACI MANUAL OF CONCRETE PRACTICE".		CONSTRUCTION JOINTS SHALL MEET THE REQUIREMENTS OF ACI 301 SECTIONS 2.2.2.5 AND 5.3.2.6. KEYWAYS PER SECTION 2.2.2.6B ARE NOT REQUIRED UNLESS DETAILED ON THE STRUCTURAL DRAWINGS. SPECIAL BONDING METHODS PER SECTION 5.2.2.6 SHALL BE SATISFIED BY ITEM 3 BELOW UNLESS OTHERWISE DETAILED ON THE STRUCTURAL DRAWINGS. WHERE CONSTRUCTION JOINTS ARE NOT SHOWN ON PLAN OR ADDITIONAL CONSTRUCTION JOINTS ARE REQUIRED, SUBMIT PROPOSED JOINTING FOR ENGINEER'S APPROVAL. PROVIDE CONSTRUCTION JOINTS AS INDICATED BELOW UNLESS NOTED OTHERWISE ON THE PLANS:		ALL WORKMANSHIP SHALL CONFORM TO THE CURRENT AISC MANUAL OF STEEL CONSTRUCTION AND AISC 360 CURRENT EDITION.		
ADJ	- ADJACENT	FRAMING LUMBER: STANDARDS: EACH PIECE SHALL BEAR THE GRADE TRADEMARK OF AN AGENCY ACCREDITED BY THE AMERICAN LUMBER STANDARD COMMITTEE (ALSC) TO GRADE UNDER ALSO CERTIFIED GRADING RULES. ALL NEW FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION.	ACI:		CONSTRUCTION JOINTS SHALL MEET THE REQUIREMENTS OF ACI 301 SECTIONS 2.2.2.5 AND 5.3.2.6. KEYWAYS PER SECTION 2.2.2.6B ARE NOT REQUIRED UNLESS DETAILED ON THE STRUCTURAL DRAWINGS. SPECIAL BONDING METHODS PER SECTION 5.2.2.6 SHALL BE SATISFIED BY ITEM 3 BELOW UNLESS OTHERWISE DETAILED ON THE STRUCTURAL DRAWINGS. WHERE CONSTRUCTION JOINTS ARE NOT SHOWN ON PLAN OR ADDITIONAL CONSTRUCTION JOINTS ARE REQUIRED, SUBMIT PROPOSED JOINTING FOR ENGINEER'S APPROVAL. PROVIDE CONSTRUCTION JOINTS AS INDICATED BELOW UNLESS NOTED OTHERWISE ON THE PLANS:		STEEL MEMBERS ARE EQUALLY SPACED BETWEEN DIMENSION POINTS UNLESS NOTED OTHERWISE.		
ARCH	- ARCHITECTURAL	COL:	1. ACI 116 "CEMENT AND CONCRETE TERMINOLOGY". 2. ACI 301 "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE". 3. ACI 302.1R-15 "GUIDE TO CONCRETE FLOOR AND SLAB CONSTRUCTION". 4. ACI 304R-00 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE". 5. ACI 305.1R-14 "HOT WEATHER CONCRETING". 6. ACI 306.1R-14 "COLD WEATHER CONCRETING". 7. ACI 307.1-11 "STANDARD SPECIFICATION FOR CURING CONCRETE". 8. ACI 309R-05 "STANDARD PRACTICE FOR CONSOLIDATION OF CONCRETE". 9. ACI 311.4R-05 "GUIDE FOR CONCRETE INSPECTION". 10. ACI 315R-18 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT". 11. ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE". 12. ACI 506R "GUIDE FOR SHOTCRETING".		1. SLABS ON GRADE: PROVIDE CONSTRUCTION AND/OR CONTROL JOINTS AT 13 FEET OC FOR SLABS ON GRADE. PERPENDICULAR SPACING RATIO SHALL NOT EXCEED 1.5.		ALL FABRICATION SHALL BE PERFORMED BY A FABRICATOR CERTIFIED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.		
BIG	- BIG HOLE	CONC:	2. WALLS AND COLUMNS: COORDINATE CONSTRUCTION JOINTS WITH ARCHITECTURAL REVEALS.		THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE BUT ARE NOT LIMITED TO, ERECTION ANGLES, LIFT HOLES, AND OTHER AIDS, WELDING PROCEDURES, REQUIRED ROOT OPENINGS, ROOT FACE DIMENSIONS, GROOVE ANGLES, BACKING BARS, WELD EXTENSION TABS, COPIES, SURFACE ROUGHNESS VALUES AND TAPERS OF UNEQUAL PARTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH ALL CURRENT OSHA REQUIREMENTS.				
BLW	- BELOW	COL:	3. BONDING AGENT: WHERE BONDING AGENT IS SPECIFICALLY CALLED OUT ON THE STRUCTURAL DRAWINGS, USE "WELD CRET" BY LARSON PRODUCTS CORPORATION OR PRE-APPROVED EQUAL. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS.		HOLES, COPIES, OR OTHER CUTS OR MODIFICATIONS OF THE STRUCTURAL STEEL MEMBERS SHALL NOT BE MADE IN THE FIELD WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.				
BN	- BOUNDARY NAILS	CONC:	EMBEDDED ITEMS		ALL STRUCTURAL STEEL SURFACES SHALL BE SHOP PAINTED. ALL STEEL EXPOSED TO WEATHER SHALL HAVE TWO COATS OF PAINT. ALL EXPOSED STRUCTURAL STEEL SHALL SATISFY AISC REQUIREMENTS FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) UNLESS WAIVED IN WRITING BY ARCHITECT.				
BTN	- BETWEEN	COL:	EMBEDDED CONDUIT IS NOT PERMITTED IN SLAB EXCEPT WHERE SPECIFICALLY SHOWN. IT SHALL BE PLACED AND REINFORCED PER THE TYPICAL CONCRETE DETAILS. NO ALUMINUM ITEMS SHALL BE EMBEDDED IN ANY CONCRETE. ALL EMBED PLATES SHALL BE SECURELY FASTENED IN PLACE.		MATERIAL PROPERTIES				
CBC	- CALIFORNIA BUILDING CODE	COL:	CONCRETE CURING AND SEALING		WIDE FLANGE SECTIONS: ASTM A992 (Fy = 50 KSI) STRUCTURAL PLATES: ASTM A36 (Fy = 35 KSI) STRUCTURAL STEEL PIPES: ASTM A53, GRADE B, TYPE E OR S (Fy = 35 KSI) STEEL STRUCTURAL TUBING: ASTM A505, GRADE B, (Fy = 46 KSI). MACHINE BOLTS (M.B.): ASTM A307, GRADE A HIGH-STRENGTH BOLTS: A325-ASTM F1852, A490-ASTM A490 ANCHOR BOLTS (A.B.): ASTM F1554, GRADE 36, CLASS 2A				
CL	- CENTERLINE	COL:	CONCRETE CURING NOTES		ALL STRUCTURAL STEEL SURFACES SHALL BE SHOP PAINTED. ALL STEEL EXPOSED TO WEATHER SHALL HAVE TWO COATS OF PAINT. ALL EXPOSED STRUCTURAL STEEL SHALL SATISFY AISC REQUIREMENTS FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) UNLESS WAIVED IN WRITING BY ARCHITECT.				
COL	- COLUMN	COL:	1. PROVIDE PRE-APPROVED MOISTURE CURING METHOD FOR A MINIMUM OF 7 DAYS.		WELDING:				
CONC	- CONCRETE	COL:	2. WHEN THE ESTIMATED EVAPORATION RATE IS GREATER THAN 0.2 PSF/HOUR, PROVIDE A SPRAY APPLIED EVAPORATION RETARDER IMMEDIATELY AFTER CONCRETE PLACEMENT. THE EVAPORATION RATE MAY BE CALCULATED PER ACI 305 FIGURE 2.1.5.		STRUCTURAL STEEL: WELD IN ACCORDANCE WITH "STRUCTURAL WELDING CODE" AWS D-1.1. 70 KSI MINIMUM WELD MATERIAL.				
CONT	- CONTINUOUS	COL:	3. APPLY A LIQUID MEMBRANE FORMING CURING COMPOUND PER MANUFACTURER'S RECOMMENDATIONS TO ALL EXPOSED SURFACES IMMEDIATELY AFTER FINAL FINISHING.		CERTIFICATION: ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS. WELDERS SHALL BE PREQUALIFIED FOR EACH POSITION AND WELD TYPE WHICH THE WELDER WILL BE PERFORMING. IF WELDERS ARE NOT CERTIFIED, CONTRACTOR SHALL PAY FOR ANY INSPECTIONS BY TESTING AGENCY THAT WOULD NOT HAVE BEEN REQUIRED IF WELD WAS CERTIFIED. WITHOUT CERTIFICATION, ALL WELDS SHALL BE CONSIDERED FIELD WELDS.				
DF	- DOUGLAS FIR	COL:	4. APPLY A LIQUID MEMBRANE FORMING CURING COMPOUND PER MANUFACTURER'S RECOMMENDATIONS TO ALL FORMED SURFACES IMMEDIATELY AFTER FORM REMOVAL. NOT REQUIRED IF FORMWORK REMAINS IN PLACE FOR MORE THAN 7 DAYS.		WELD TABS (ALSO KNOWN AS WELD "EXTENSION" TABS OR "RUN OFF" TABS SHALL BE USED. AFTER THE WELD HAS BEEN COMPLETED THE WELD TABS SHALL BE REMOVED AND THE WELD END GROUND TO A SMOOTH CONTOUR. WELD "DAMS" OR "END DAMS" SHALL NOT BE USED).				
DFP	- DOUGLAS FIR PRESSURE TREATED	COL:	5. APPLY A SILANE SEALER WITH A MINIMUM SOLIDS CONTENT OF 40% PER MANUFACTURER'S RECOMMENDATIONS.		THE PROCESS CONSUMABLES FOR ALL WELD FILLER METAL INCLUDING TACK WELDS, ROOT PASS, AND SUBSEQUENT PASSES DEPOSITED IN A JOINT SHALL BE COMPATIBLE.				
DN	- DEAD LOAD	COL:	GROUT		ALL WELD FILLER METAL AND WELD PROCESS SHALL PROVIDE CHARPY V-NOTCH TOUGHNESS RATING PER LATEST EDITION OF AISC 341.				
DRST	- DRIVING STRENGTH	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		SHOP DRAWINGS				
ELECT	- ELECTRICAL	COL:	EPOXY: USE TWO-PART LOW-SAG EPOXY. GROUT MAY CONTAIN QUARTZ SAND AGGREGATE AS PROPORTIONED BY THE MANUFACTURER. USE EQUIPMENT WHICH WILL ACCURATELY MIX AND DISPENSE THE COMPONENTS. HOLE SHALL BE DRY AND CLEANED WITH WIRE BRUSH AND PRESSURIZED AIR JUST PRIOR TO INSTALLING GROUT. THE REBAR OR ROD SHALL BE CLEAN AND INSTALLED SLOWLY, AND SHALL BE ROTATED AS IT IS PUSHED INTO THE HOLE. COLD WEATHER GROUTING SHALL BE DONE WITH PROPER GROUT FORMULA. FIRST STAGES OF THE GROUTING OPERATION SHALL BE PROPER.		THE FOLLOWING SHOP DRAWINGS/SUBMITTALS SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR DELIVERY.				
ENGR	- EDGE NAIL	COL:	REINFORCING STEEL: REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 (GRADE A706 FOR WELDED BARS UNLESS OTHERWISE NOTED, GRADE 40 FOR BEND OUT BARS). DETAIL, FABRICATE AND PLACE PER ACI 315 AND ACI 318. HORIZONTAL BEAM BARS, VERTICAL COLUMN BARS AND VERTICAL SHEAR WALL BARS SHALL MEET THE REQUIREMENTS OF ACI 318 SECTION 21.2.5. REINFORCEMENT SHALL COMPLY WITH ASTM A706 FOR LOW-ALLOY STEEL. BILLET STEEL A615 GRADE 60 REINFORCEMENT MAY BE USED IF THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED STRENGTH BY MORE THAN 18,000 PSI AND THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL YIELD STRENGTH IS NOT LESS THAN 1.25.		STRUCTURAL ENGR. BLDG. DEPT.				
ES	- EACH SIDE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		1. CONCRETE MIX DESIGNS X 2. STRUCTURAL STEEL X 3. MISCELLANEOUS STEEL X 4. WOOD FRAMING X				
EW	- EACH WAY	COL:	REINFORCING STEEL: REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 (GRADE A706 FOR WELDED BARS UNLESS OTHERWISE NOTED, GRADE 40 FOR BEND OUT BARS). DETAIL, FABRICATE AND PLACE PER ACI 315 AND ACI 318. HORIZONTAL BEAM BARS, VERTICAL COLUMN BARS AND VERTICAL SHEAR WALL BARS SHALL MEET THE REQUIREMENTS OF ACI 318 SECTION 21.2.5. REINFORCEMENT SHALL COMPLY WITH ASTM A706 FOR LOW-ALLOY STEEL. BILLET STEEL A615 GRADE 60 REINFORCEMENT MAY BE USED IF THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED STRENGTH BY MORE THAN 18,000 PSI AND THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL YIELD STRENGTH IS NOT LESS THAN 1.25.		FOUNDATION DESIGN CRITERIA				
FON	- FOUNDATION	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		DESIGN SOIL BEARING CAPACITY 2000 PSF ASSUMED FOR DEAD PLUS LONG TERM LIVE LOADS.				
FF	- FINISH FLOOR	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		ALL FOUNDATION EXCAVATION TO BE CARRIED TO UNDISTurbed NATIVE MATERIAL OR PLACED IN AN APPROVED ENGINEERING FIL.				
FSC	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		OVER-EXCAVATION OF SOILS TO BE BACKFILLED WITH CONCRETE.				
FST	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		UNUSUAL SITE CONDITIONS (LOOSE FILL, SUB-SURFACE WATER, ORGANICS, ETC.) TO BE REPORTED TO ENGINEER. DO NOT PROCEED WITH THE WORK UNTIL ISSUE IS RESOLVED.				
FSTG	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		BACKFILL AROUND FOOTINGS, BEHIND WALLS, & UNDER SLABS TO BE COMPACTED TO 95% RELATIVE DENSITY IN ACCORDANCE WITH ASTM D 1557 UNO IN THE SPECIFICATIONS OF A GEOTECHNICAL REPORT.				
FS	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		DO NOT BACKFILL AGAINST WALLS UNTIL CONCRETE OR MASONRY HAS REACHED ITS FULL 28 DAY DESIGN STRENGTH, SUPPORTING STRUCTURE (FLOORS) ARE CONSTRUCTED, AND FOR 7 DAYS MIN.				
FSYM	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		THE BOTTOM OF ALL EXTERIOR BEARING WALL FOOTINGS SHALL BE A MIN. OF 24" BELOW FINISH GRADE.				
FTR	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		GENERAL NOTES				
FR	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THESE GENERAL NOTES, AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. THE SITE CONDITIONS HAS BEEN DESIGNATED TO THE CONTRACTOR AS THE LATERAL FORCES AFTER THE CONSTRUCTION OF ALL STRUCTURAL ELEMENTS HAS BEEN COMPLETED. STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THIS RESPONSIBILITY INCLUDES BUT IS NOT LIMITED TO: JOB SITE SAFETY; ERECTION MEANS, METHODS, AND SEQUENCES; TEMPORARY SHORING, FORMWORK, AND BRACING; USE OF EQUIPMENT AND CONSTRUCTION PROCEDURES; PROVIDE ADEQUATE RESISTANCE TO LOADS ON THE STRUCTURES DURING CONSTRUCTION; CONSTRUCTION OBSERVATION BY THE STRUCTURAL ENGINEER IS FOR GENERAL CONFORMANCE WITH DESIGN ASPECTS ONLY AND IS NOT INTENDED IN ANY WAY TO REVIEW THE CONTRACTOR'S CONSTRUCTION PROCEDURES.				
FTG	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		STANDARDS				
FTG	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		ALL METHODS, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED AND ADOPTED BY THE LOCAL BUILDING OFFICIAL OR APPLICABLE JURISDICTION.				
FTG	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.		CONTRACT DRAWINGS / DIMENSIONS				
FTG	- FINISHING SURFACE	COL:	NON-SHRINK GROUT: MASTER BUILDERS "MASTERFLOW 555" OR PRE-APPROVED EQUAL GRADE SHALL CONFORM TO CRD-C221 AND ASTM C1107 GRADE B WHEN TESTED AT A FLUID CONSISTENCY PER CRD. C611.8E FOR 30 MINUTES. GROUT MAY BE PLACED FROM A 25 SECOND FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR FLOW TO A STIFF PACKING CONSISTENCY. FILL OR PACK ENTIRE SPACE UNDER PLATES OR SHAPES. NO GROUTING SHALL BE DONE BELOW 40° F.						

SPECIAL INSPECTION SCHEDULE		
AREAS REQUIRING SPECIAL INSPECTION:	FREQUENCY	COMMENTS
	CONTINUOUS	PERIODIC
FABRICATORS (IBC 1704.2.5)		IF FABRICATOR IS APPROVED, ON-SITE INSPECTION IS NOT REQUIRED BUT A CERTIFICATE OF COMPLETION MUST BE PROVIDED TO THE B.O. (CBC 1704.2.5.1)
SOILS (IBC 1705.6)		
VERIFY ADEQUATE MATERIALS BELOW FOOTINGS		PRIOR TO PLACEMENT OF CONCRETE
EXCAVATION EXTENDS TO PROPER DEPTH AND MATERIALS		PRIOR TO PLACEMENT OF COMPACTED FILL OR CONCRETE
CLASSIFICATION AND TESTING OF FILL MATERIALS		CHECK CLASSIFICATION AND GRADATIONS AT EACH LIFT, BUT NOT LESS THAN ONCE FOR EACH 10,000 FT ² OF SURFACE AREA
VERIFY PROPER FILL MATERIALS, LIFT THICKNESSES, AND IN-PLACE DENSITIES		
VERIFY PROPERLY PREPARED SITE AND SUBGRADE		PRIOR TO PLACEMENT OF CONCRETE
CONCRETE CONSTRUCTION (IBC 1705.3)		
REINFORCING STEEL PLACEMENT	X	VERIFY SIZE, CLEARANCES, SPLICES, AND PROPER TIES
EMBEDDED BOLTS OR PLATES	X	
VERIFY REQUIRED DESIGN MIX	X	VERIFY MIX DESIGN MEETS STRENGTH AND EXPOSURE REQUIREMENTS LISTED ON APPROVED PLANS
CONCRETE PLACEMENT/SAMPLING	X	INCLUDES SAMPLING FOR AIR, SLUMP, STRENGTH, AND TEMPERATURE TECHNIQUES
INSPECT FORMWORK	X	VERIFY SHAPE, LOCATION, AND MEMBER DIMENSIONS
POST-INSTALLED ANCHORS	X	IN ACCORDANCE WITH APPROVED ICC-ES REPORT. PERIODIC INSPECTIONS ALLOWED IF STATED IN ES REPORT
COLD FORMED STEEL CONSTRUCTION (IBC 1705.11.2)		
COMPONENTS OF WIND- AND SEISMIC- FORCE RESISTING SYSTEMS		VERIFY PROPER SCREW ATTACHMENT, BOLTING, AND ANCHORING OF SHEAR WALLS, BRACES, AND HOLDOWNS HAVING A FASTENER SPACING ≤ 4' OC
OTHER THAN STRUCTURAL STEEL (IBC 1705.2, 1705.3.1)		
STEEL ROOF AND FLOOR DECK:		
MATERIAL VERIFICATION OF STEEL DECK		IDENTIFICATION MARKINGS PER APPLICABLE ASTM STANDARD
ROOF AND DECK WELDS		VERIFY THAT WELDS CONFORM TO AWS D1.3
WELDING OF REINFORCING STEEL:		
VERIFICATION OF WELDABILITY (EXCEPT 1706 BAR)		VERIFY MATERIAL IS ABLE TO CONFORM TO AWS D1.4
OPEN WEB STEEL JOISTS AND JOIST GIRDERS:		
END CONNECTIONS		WELDED OR BOLTED
BRIDGING		HORIZONTAL OR DIAGONAL, STANDARD OR APPROVED DIFFERENT
STRUCTURAL STEEL CONSTRUCTION (IBC 1705.2, 1705.11, AND 1705.12)		
PRIOR TO WELDING (TABLE N5.4-1, AISC 360-10):		
VERIFY WELDING PROCEDURES	X	
MATERIAL IDENTIFICATION	X	VERIFY TYPE AND GRADE OF MATERIAL
WELDER IDENTIFICATION	X	VERIFY THERE IS A SYSTEM IN PLACE TO IDENTIFY THE WELDER WHO HAS WELDED A JOINT OR MEMBER
FIT-UP GROOVE WELDS	X	VERIFY JOINT PREPARATION, DIMENSIONS, CLEANLINESS, TACKING, AND BACKING
ACCESS HOLES	X	VERIFY CONFIGURATION AND FINISH
FIT-UP FILLET WELDS	X	VERIFY ALIGNMENT, GAPS AT ROOT, CLEANLINESS OR STEEL SURFACES, TACK WELD QUALITY, AND LOCATION
DURING WELDING (TABLE N5.4-2, AISC 360-10):		
USE OF QUALIFIED INSPECTORS	X	VERIFY THAT WELDERS ARE APPROPRIATELY QUALIFIED
CONTROL AND HANDLING OF WELDING CONSUMABLES	X	VERIFY PACKAGING AND EXPOSURE CONTROL
CRACKED TACK WELDS	X	VERIFY WELDING IS NOT OVER A CRACKED TACK WELD
ENVIRONMENTAL CONDITIONS	X	VERIFY WIND SPEED IS WITHIN LIMITS AS WELL AS PRECIPITATION AND TEMPERATURE
WPS FOLLOWED	X	VERIFY ITEMS SUCH AS WELDING EQUIPMENT SETTINGS, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS TYPE/LOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, AND PROPER POSITION
WELDING TECHNIQUES	X	VERIFY INTERPASS AND FINAL CLEANING; EACH PASS IS WITHIN PROFILE LIMITATIONS, AND QUALITY OF EACH PASS
AFTER WELDING (TABLE N5.4-3, AISC 360-10):		
WELDS CLEANED	X	VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED
SIZE, LENGTH, AND LOCATION OF WELDS	X	
WELDS MEET VISUAL ACCEPTANCE CRITERIA	X	
ARC STRIKES	X	
K-AREA		
BACKING AND WELDING TABS REMOVED	X	
REPAIR ACTIVITIES	X	
DOCUMENT ACCEPTANCE/REJECTION OF WELD	X	
NONDESTRUCTIVE TESTING (SECTION N5.5, AISC 360-10):		
CJP WELDS (RISK CATEGORY II)		ULTRASONIC TESTING SHALL BE PERFORMED ON 10% OF CJP GROOVE WELDS IN BUTT, T- AND CORNER JOINTS SUBJECT TO TRANSVERSELY APPLIED TENSION LOADING IN MATERIALS 5/16" THICK OR GREATER. TESTING RATE MUST BE INCREASED IF >5% OF WELDS HAVE UNACCEPTABLE DEFECTS.
ACCESS HOLES (FLANGE > 2")		
WELDED JOINTS SUBJECT TO FATIGUE		

STATEMENT OF SPECIAL INSPECTIONS

SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17).

THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL.

DUTIES OF THE SPECIAL INSPECTOR:

- THE SPECIAL INSPECTOR SHALL REVIEW ALL WORK LISTED BELOW FOR CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AND THE 2016 CBC.
- THE SPECIAL INSPECTOR SHALL FURNISH SPECIAL INSPECTION REPORTS TO THE EOR, CONTRACTOR, OWNER AND BUILDING OFFICIAL ON A WEEKLY BASIS, OR MORE FREQUENTLY AS REQUIRED BY THE BUILDING OFFICIAL. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED, TO THE EOR AND THE BUILDING OFFICIAL.
- ONCE CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL STATING THAT THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AS WELL AS THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2016 CBC.

DUTIES AND RESPONSIBILITIES OF THE CONTRACTOR:

- THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK, IN ACCORDANCE WITH CBC 1704.4. THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED WITHIN THIS "STATEMENT OF SPECIAL INSPECTIONS".
- THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAY (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.
- ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.

PLEASE SEE THE "SPECIAL INSPECTION SCHEDULE" FOR THE TYPES, EXTENTS AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.

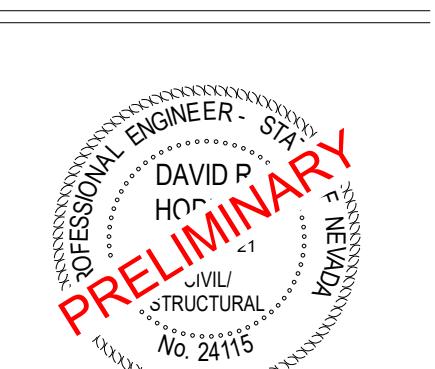
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MERCURY CLEANERS DEMOLITION

217 South Curry St
Carson City, Nevada

LINCHPIN
STRUCTURAL
ENGINEERING

10031 West River Street, Truckee, CA 96161
PO Box 2651, Truckee, CA 96160
info@linchpinSE.com
530.653.6341
www.linchpinSE.com



REVISIONS

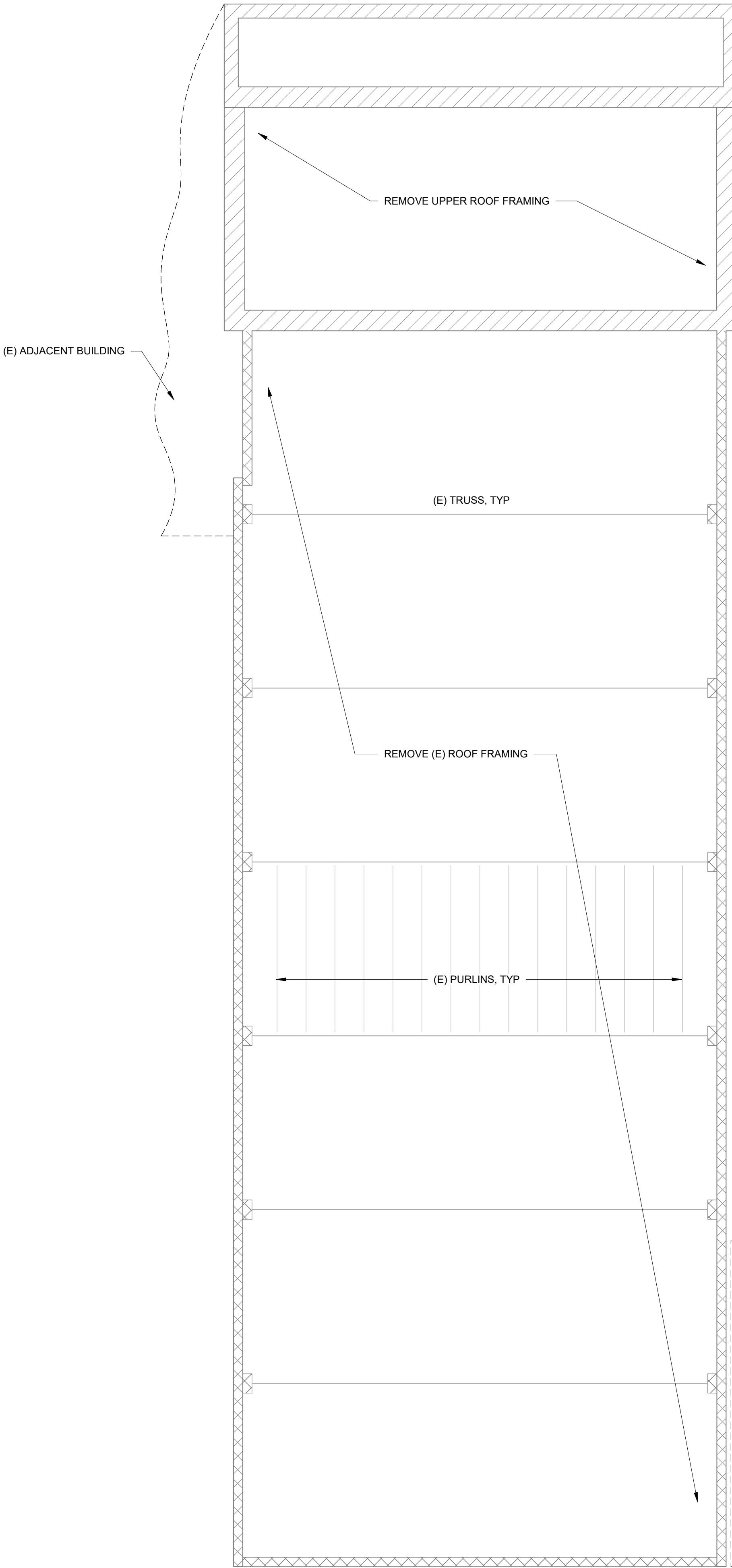
DESIGNED BY DRH
DRAFTED BY DRH
CLIENT INFORMATION
Broadbent Inc
5450 Louie Lane #101
Reno, NV 89511

PROJECT# 20-293
DATE 12/16/20

SCALE 1" = 1'-0"

SPECIAL
INSPECTION

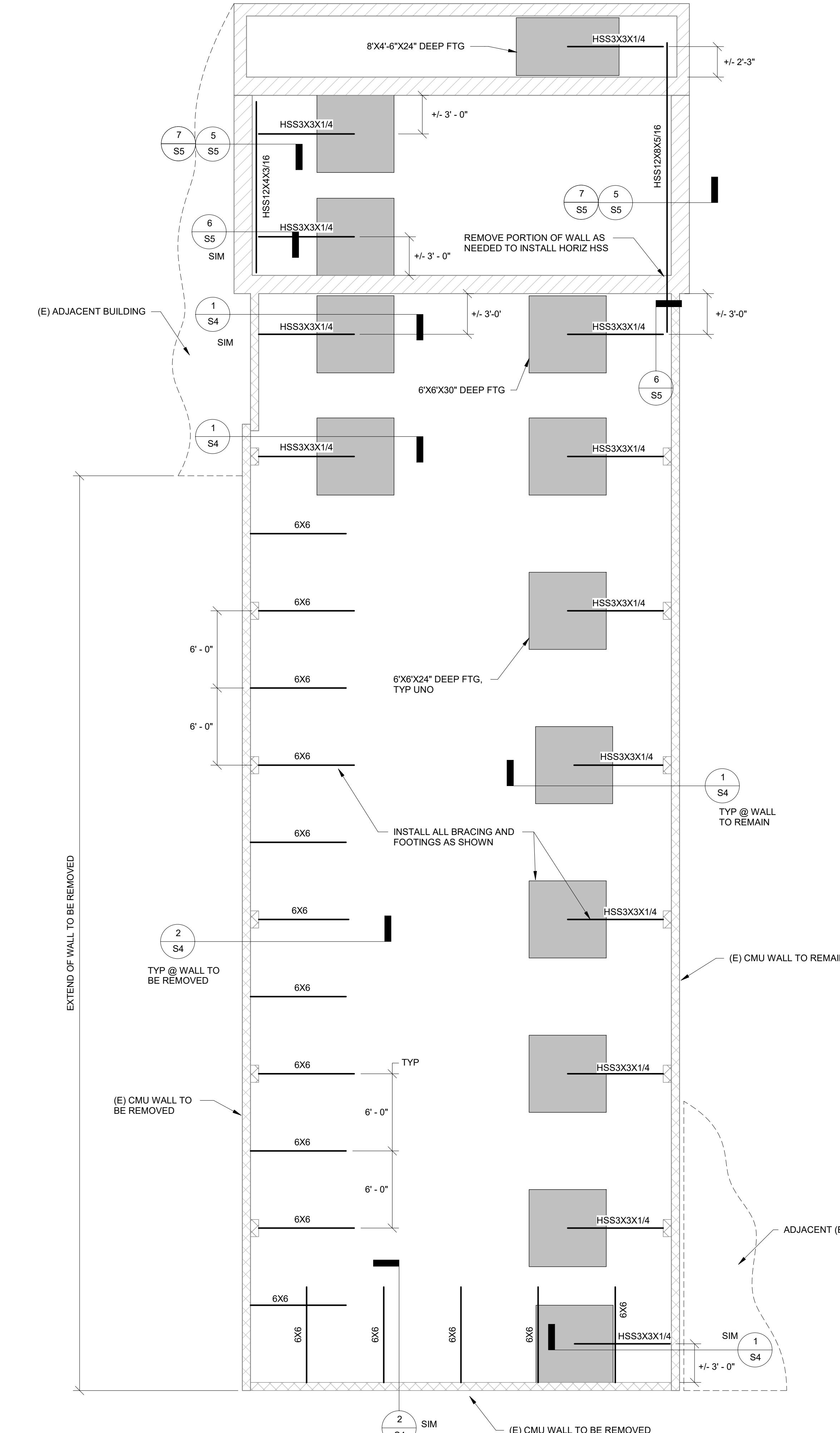
S1



2

DEMO SEQUENCE 2

NORTH



1

1 DEMO SEQUENCE

NORTH

MERCURY CLEANERS DEMOLITION

217 South Curry St
Carson City, Nevada

The logo for Linchpin Structural Engineering is a vertical, bold, sans-serif font. The letters 'L' and 'S' are integrated into the design, with the 'L' on the left and the 'S' on the right, both in a large, dark grey font. To the right of the 'S', the words 'STRUCTURAL' and 'ENGINEERING' are stacked vertically in a smaller, lighter grey font. The entire logo is set against a white background with a dark grey border.

VISIONS

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SIGNED BY _____

REFINED BY DRH

ENT INFORMATION

advent Inc
10 Louie Lane #101
Reno, NV 89511

JECT# 20-293

12/16/20

EMO SEQUENCING ANS

S2



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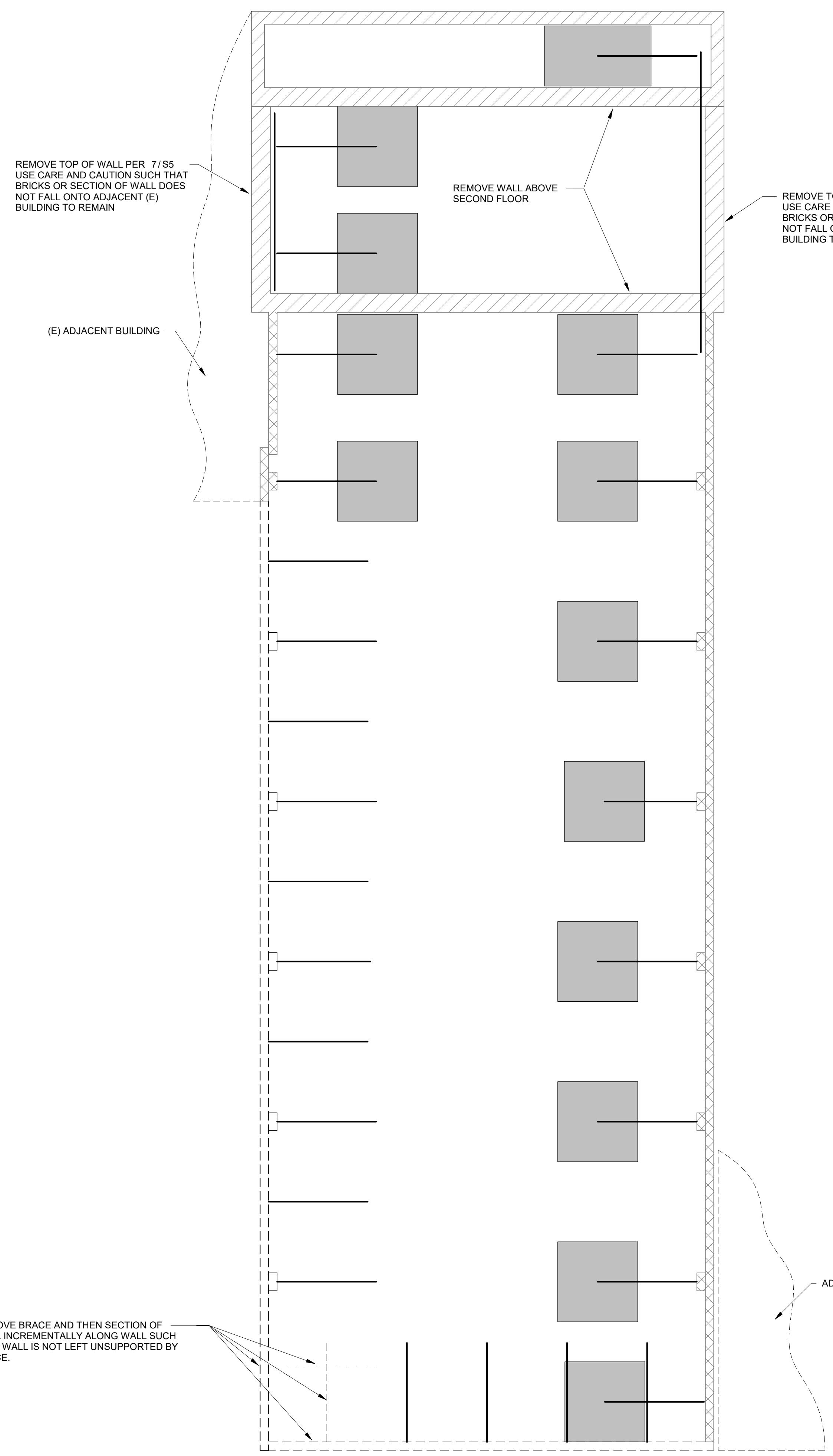
SCALE 3/16" = 1'-0"

DEMO
SEQUENCING
PLANS

S3



2 DEMO SEQUENCE 4
3/16" = 1'-0"



1 DEMO SEQUENCE 3
3/16" = 1'-0"





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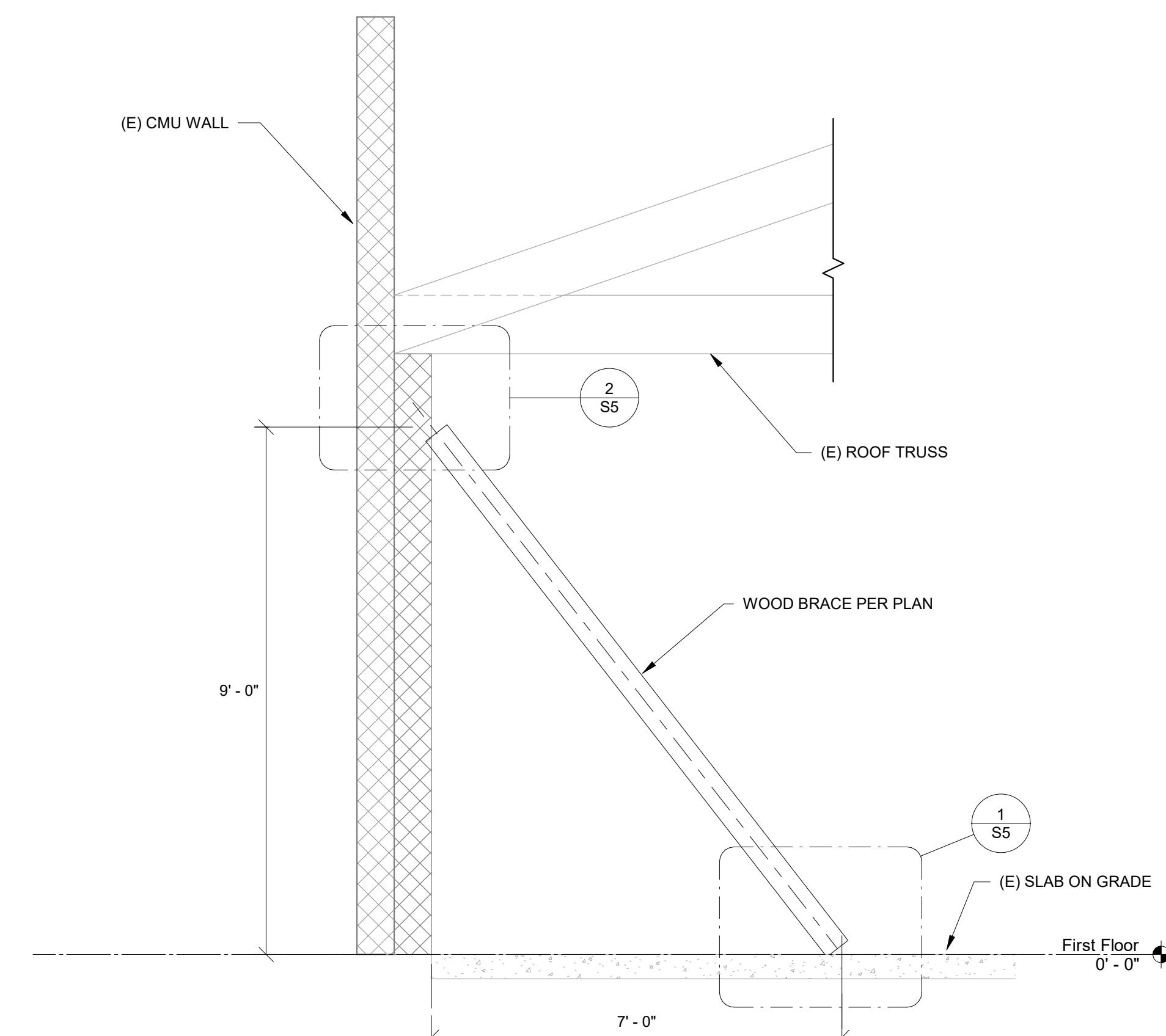
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DATE 12/16/20

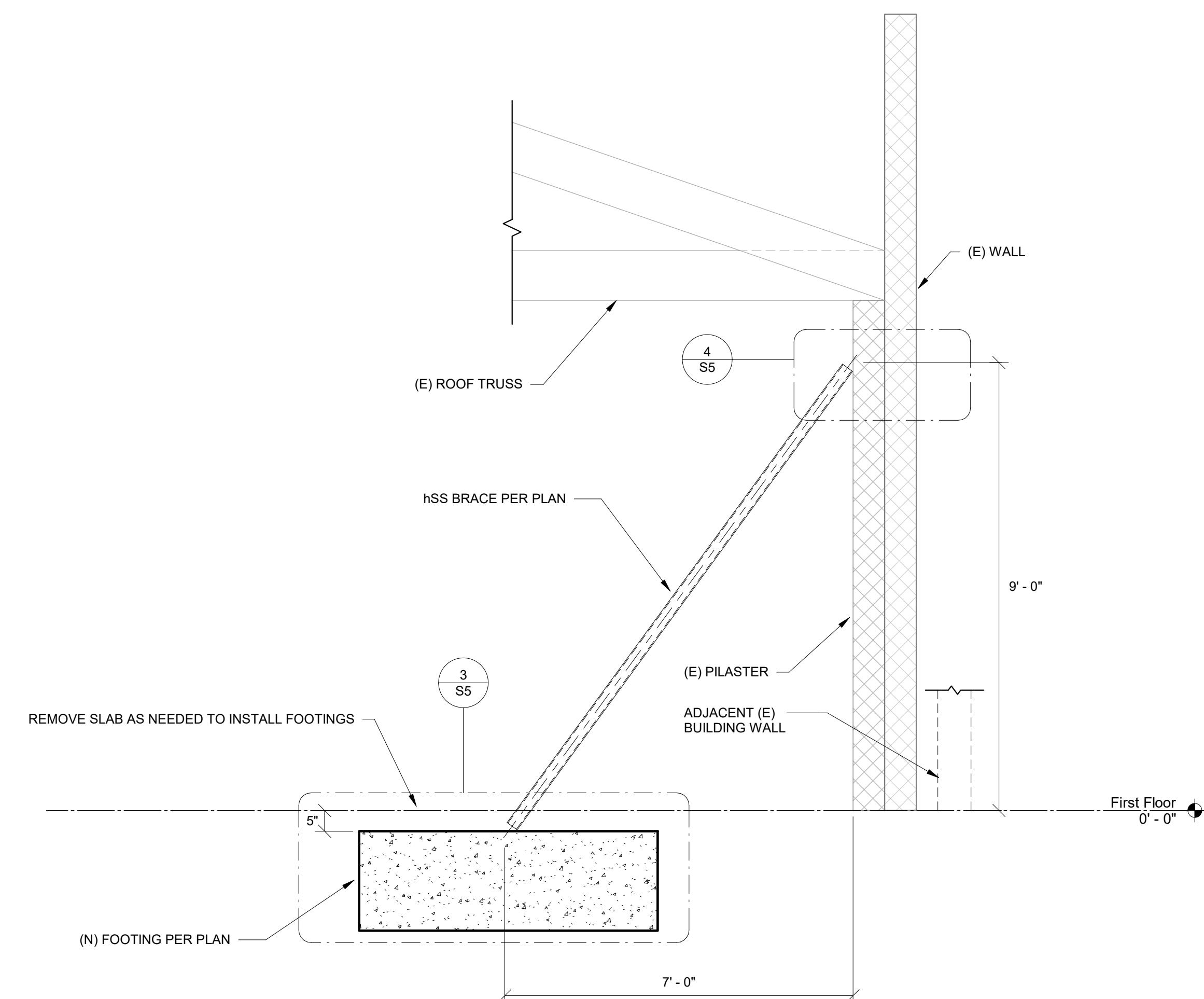
SCALE 1/2" = 1'-0"

BRACE
SECTIONS

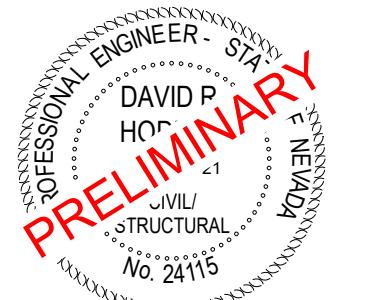
S4



2 WALL BRACING AT WALL TO BE REMOVED
1/2" = 1'-0"



1 WALL BRACING AT WALL TO REMAIN
1/2" = 1'-0"



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CLIENT INFORMATION

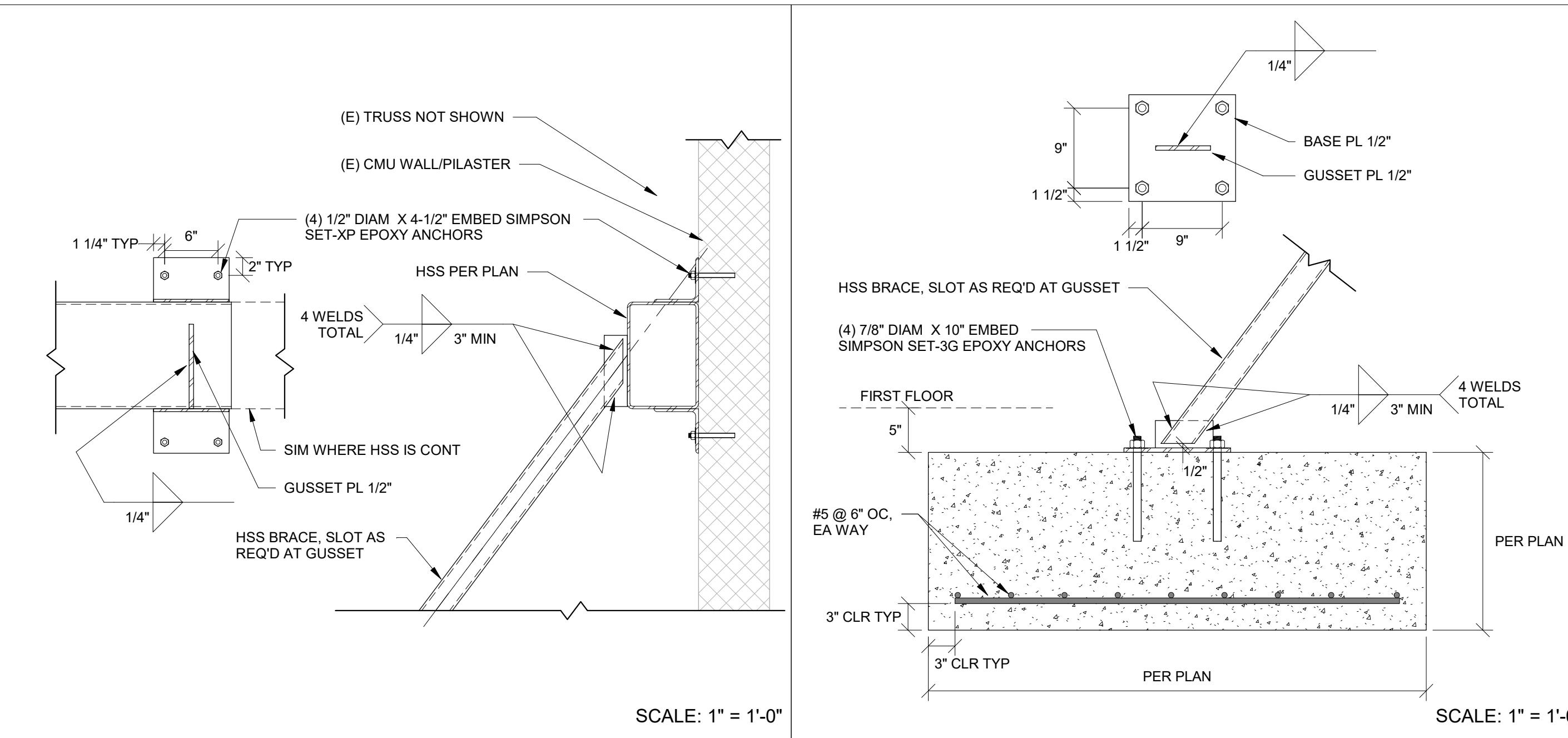
Broadbent Inc
5450 Louie Lane #101

DATE 12/16/20

SCALE 1" = 1'-0"

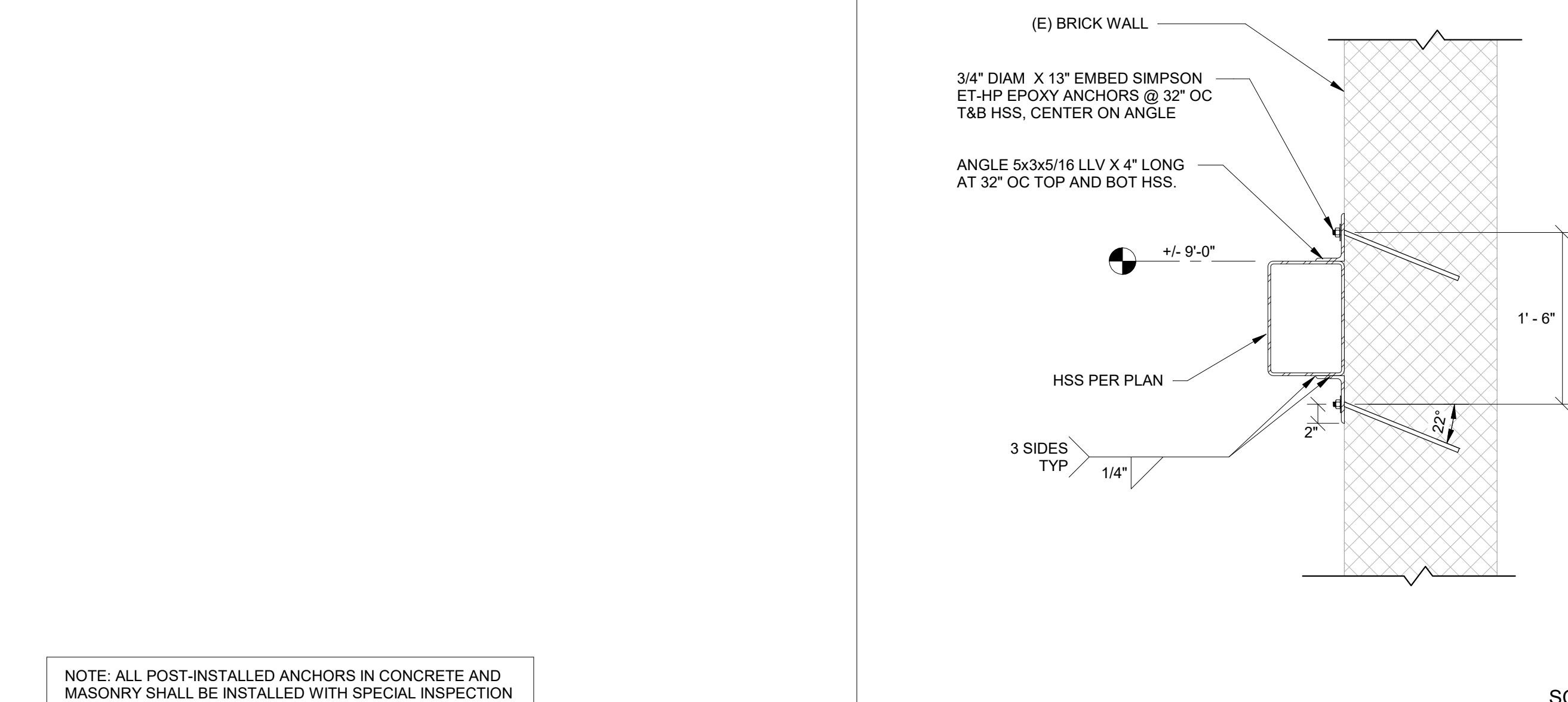
DETAILS

S5



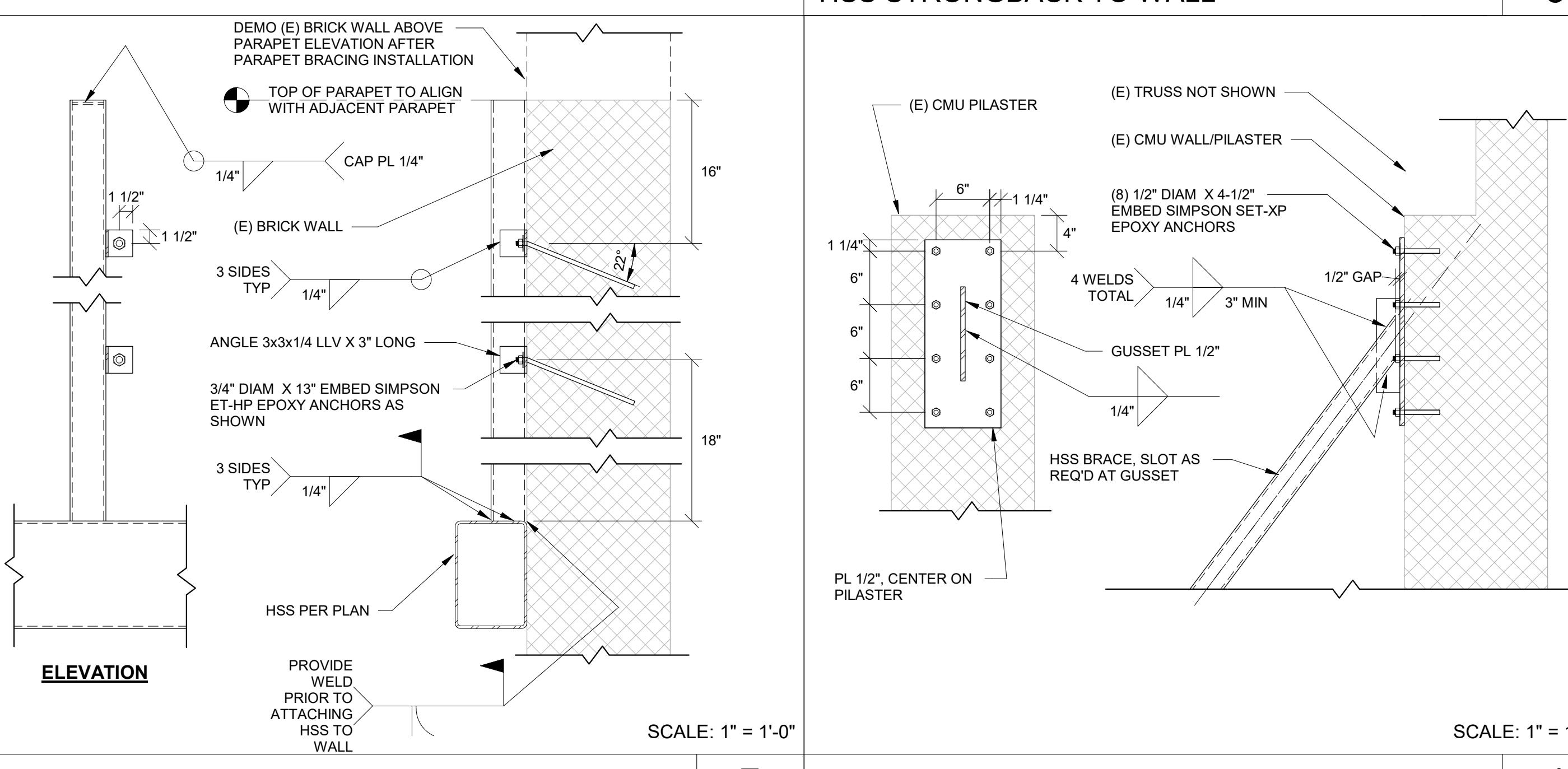
HSS BRACE AT STRONGBACK

6 HSS BRACE TO FOUNDATION CONNECTION



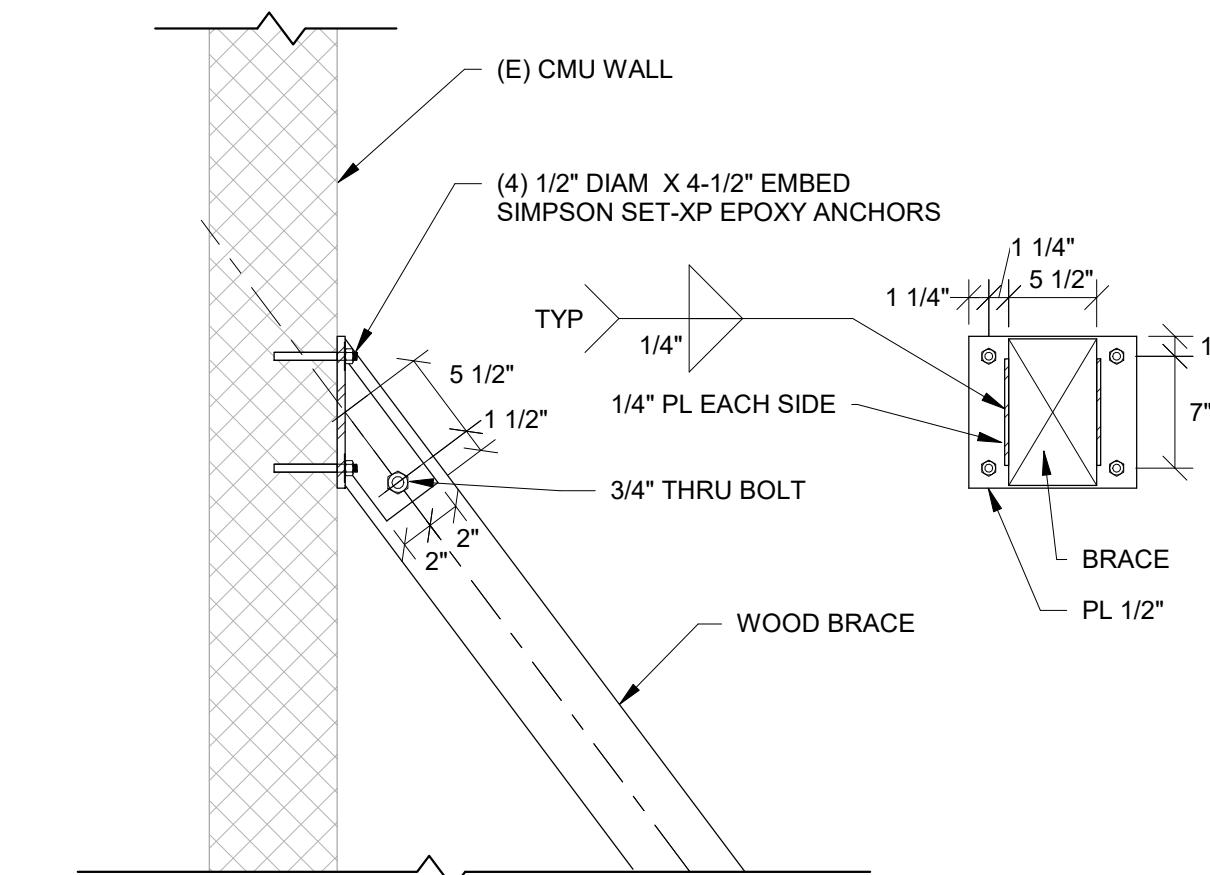
HSS STRONGBACK TO WALL

5 6x6 BRACE TO WALL CONNECTION

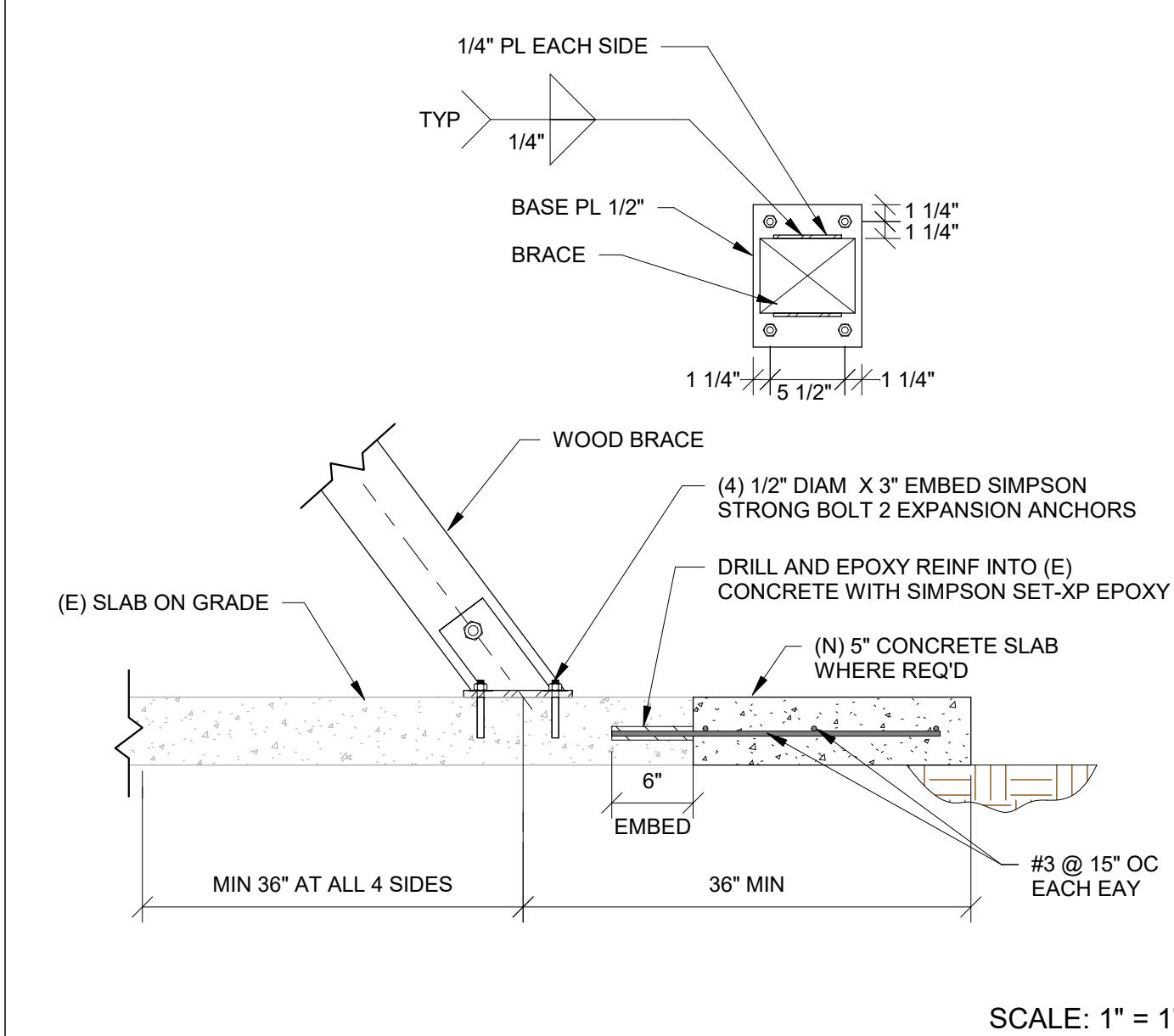


PARAPET SUPPORT

HSS BRACE TO WALL CONNECTION



SCALE: 1" = 1'-0"



4 6x6 BRACE TO SLAB CONNECTION

6x6 BRACE TO SLAB CONNECTION

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?