

STAFF REPORT FOR ADMINISTRATIVE HEARING MEETING OF SEPTEMBER 29, 2021

FILE NO: LU-2021-0320

AGENDA ITEM: 3.A

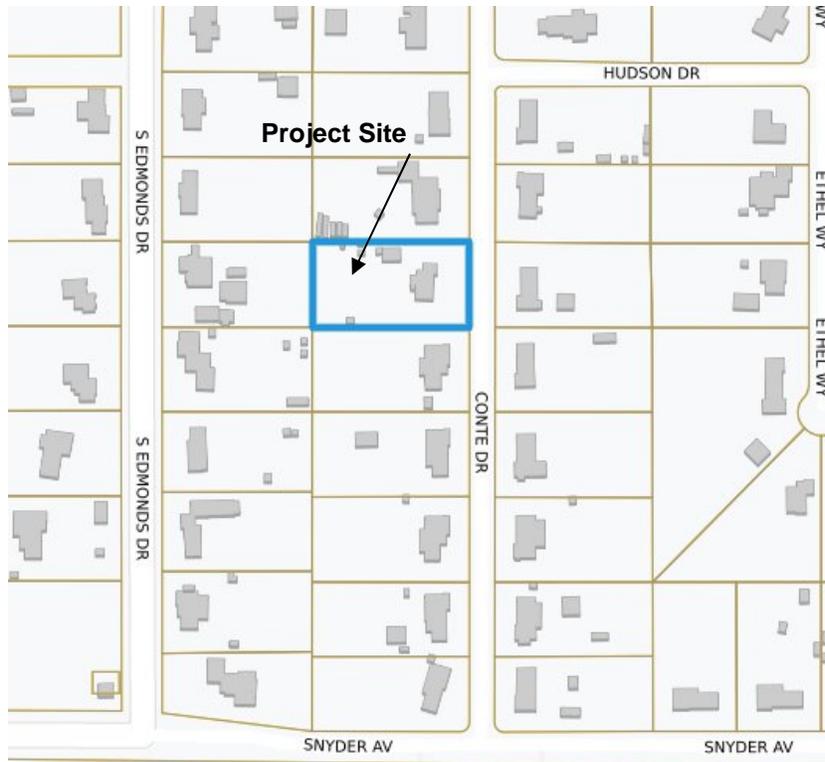
STAFF AUTHOR: Lena Reseck, Assistant Planner

AGENDA TITLE: LU-2021-0320 For Possible Action: Discussion and possible action regarding a request for an Administrative Permit to allow for the construction of an accessory structure with a cumulative square footage totaling 68 percent of the size of the primary structure on property zoned Single Family 1 Acre (SF1A) located at 5624 Conte Drive. (Lena Reseck, lreseck@carson.org)

Summary: The applicant is proposing construction of a 560 square foot guest house. A guest house is a permitted accessory use in the Single Family 1 Acre zoning district; however, Carson City Municipal Code (CCMC) 18.05.055 requires approval of an Administrative Permit if the cumulative square footage of the accessory structures on-site are more than 50 percent, but less than 75 percent of the square footage of the primary structure.

PROPOSED MOTION: "I move to approve the administrative permit based on the findings and subject to conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Administrative Permit Hearing for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of Administrative Permit Hearing approval. A single, one-year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year and no extension granted, the permit shall become null and void.

The following shall be submitted with a Building Permit application:

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with the Building Permit application.
6. Architectural design and materials for a guest building shall be consistent and compatible with the design and materials of the main structure, including but not limited to roof pitch, roof materials, siding materials and color, and other architectural features. The proposed colors shall be submitted to the Planning Division for review and approval during the Building Permit submission.

The following are general requirements applicable through the life of the project:

7. Any other detached accessory structures proposed for the site will require additional review and approval of an Administrative Permit or Special Use Permit prior to construction.

LEGAL REQUIREMENTS: CCMC 18.02.110 (Administrative Permits), 18.04.055.2 (Single Family 1 Acre, Accessory Permitted Uses), 18.04.190 (Residential Districts Intensity and Dimensional Standards), 18.05.055 (Accessory Structures), and Development Standards Division 1.4 (Guest Building Development).

MASTER PLAN DESIGNATION: Low-Density Residential (LDR)

PRESENT ZONING: Single Family 1 Acre

KEY ISSUES: Will the proposed accessory structure have an adverse impact on the adjacent residential neighborhood?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Single Family 1 Acre/Single Family Residence
EAST: Single Family 1 Acre/Single Family Residence
SOUTH: Single Family 1 Acre/Single Family Residence
WEST: Single Family 1 Acre /Single Family Residence

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: Zone X/Zone A
2. EARTHQUAKE FAULT: Moderate Severity beyond 500 feet
3. SLOPE/DRAINAGE: Site is relatively flat.

SITE DEVELOPMENT INFORMATION:

1. LOT SIZE: 1.16 acres
2. PROPOSED STRUCTURE SIZE: 560 square feet
3. SETBACKS:

Required per CCMC 18.04.190

Front: 30 feet; Side: 15 feet; Street Side: 20 feet; Rear: 30 feet

Proposed

Front: 100+ feet; Side: 100+ feet on left side and 15 feet on right side; Rear: 40 feet

DISCUSSION AND BACKGROUND:

The applicant is seeking to construct a detached guest building. A guest building is a permitted accessory use in the Single Family 1 Acre zoning district; however, Carson City Municipal Code (CCMC) 18.05.055 requires approval of an Administrative Permit if the cumulative square footage of the accessory structure on-site is more than 50 percent, but less than 75 percent, of the square footage of the primary structure. The subject property contains a single-family residence with an attached garage, totaling 3,162 square feet. The square footage of the proposed accessory structure and the existing detached garage totals 2,160 square feet.

As proposed, the guest building will meet the requirements of Division 1.4 of the Development Standards. The guest building will be 560 square feet and therefore, is no larger than 50% of the assessed floor area of the main residence (2,480 square feet), excluding garage, basements, and other accessory structures; the setbacks and height limitations of the SF1A zoning district will be met; a minimum of 1 parking space is provided on-site for the guest building; and the guest building will be consistent and compatible with the design and materials of the main residence.

PUBLIC COMMENTS: Pursuant to CCMC 18.02.045, public notices were mailed to 39 adjacent property owners within 600 feet of the subject site on September 14, 2021. As of the writing of this report, no written comments have been received. Any comments that are received after this report is completed will be submitted to the Hearings Examiner prior to or at the meeting on September 29, 2021, depending on the date of submission of the comments to the Planning Department.

AGENCY COMMENTS: The following comments were received from City departments. Comments have been incorporated into the recommended conditions of approval where applicable.

Engineering Division:

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

Local intersections: The closest intersection is Conte Dr and Hudson Dr, both streets are local streets.

Adjacent Streets On-Street Parking: There is no paved on-street parking on the adjacent streets.

C.C.M.C. 18.02.080 (5d) - Public Services

Sanitary Sewer: The existing sewer main is 8-inch PVC to the east of the property.

Water: The existing water main is 6-inch PVC to the east of the property. There is also a 24-inch transmission main to the east of the property that cannot be connected to.

Storm Drain: The site currently drains to the street.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets will meet engineering standards for health and safety if conditions are met.

Earthquake faults:

The nearest fault is over 500 feet away with a slip rate that is less than 0.2 mm/yr.

FEMA flood zones:

The proposed site is in FEMA flood Zone A while the existing home is in Zone X (unshaded). The barn is in a high hazard flood zone with BFE undetermined. Before a building permit is issued, a flood study is required to calculate the BFE and determine flood impacts to neighboring properties. All impacts must be mitigated as a part of the project. The structure must comply with CCMC 12.09.

Site slope:

The site is currently developed so the slope is minimal.

Soils and Groundwater:

The site is currently developed.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

1. Project must comply with the International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.
2. Project is in the identified Wildland Urban Interface area of Carson City and must comply with the International Wildland Urban Interface Code and Northern Nevada Wildland Urban Interface Amendments as adopted by Carson City.
3. House plans as submitted do not comply with the IWUIC and Amendments.
4. Driveway must be at least Type 2 compacted base. Gravel will not be accepted.
5. Driveway length is over 150' from the street. An approved turnaround meeting Appendix D of the IFC must be provided.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.110 (Administrative Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The primary use of the Low-Density Residential master plan designation is neighborhoods which primarily include single-family residences. A guest building is considered an accessory use in the SF1A zoning district and are therefore consistent with the master plan. The project site is a larger, single family lot in a rural setting. Guest buildings and other detached accessory structures are common in such areas.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The proposed guest building will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or general neighborhood. The need for the Administrative Permit is triggered by the cumulative square footage of accessory structures, not the use itself. Detached accessory structures such as guest buildings, garages, shops, and sheds are common on larger single-family lots in rural areas. The guest building will meet all pertinent standards including Division 1.4 of the Development Standards which provides standards for development of guest buildings.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

A guest building is a permitted accessory use in the Single Family 1 Acre zoning district. The construction of the guest building will not result in an increase in vehicular or pedestrian traffic beyond what is assumed for a single-family residential use and will therefore have little or no detrimental effect on vehicular or pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

A guest building is a permitted accessory use in the Single Family 1 Acre zoning district. The construction of the accessory structure will have little impact on existing services and facilities. There is sufficient water and sewer capacity to serve the site.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The application has been reviewed for compliance with the code. The subject parcel is zoned Single Family 1 Acre. The intent of this zoning is to provide for development of low-density, large lot, single family detached residential units. A guest building is a permitted accessory use in this zoning district. Per CCMC 18.05.055, the cumulative square footage of detached accessory structures exceeding 50% but less than 75% of the size of the primary structure requires approval of an Administrative Permit. The proposed 560 square foot structure along with the existing detached garage is 68 percent of the size of the primary residence. The primary residence is 3,162 square feet (including the attached garage). The proposed guest building will be placed in compliance with all required setbacks and height limitations of the Single Family 1 Acre zoning district.

6. Will not be detrimental to the public health, safety, convenience and welfare.

A guest building is a permitted accessory use in the Single Family 1 Acre zoning district. An Administrative Permit is only required because the cumulative square footage of the accessory structures is more than 50 percent, but less than 75 percent of the size of the primary structure. The

square footage of the accessory structure will not be detrimental to the public health, safety, convenience, and welfare. Prior to construction beginning, the applicant will be required to obtain a building permit for the accessory structure which will ensure the structure will be built to current standards.

7. Will not result in material damage or prejudice to other property in the vicinity.

The subject parcel is zoned Single Family 1 Acre. The intent of this zoning is to provide for development of low-density, large lot, single family detached residential units. Accessory structures, such as guest buildings, are permitted accessory uses in this zoning district. Per CCMC 18.05.055, if the cumulative square footage of detached accessory structures exceeds 50% but less than 75% of the size of the primary structure an Administrative Permit is required. The proposed 560 square foot accessory structure along with an existing detached garage is 68 percent of the size of the primary residence and will be constructed in compliance with all required setbacks and height limitations of the Single Family 1 Acre zoning district as well as Division 1.4 of the Development Standards.

Attachments

- Application (LU-2021-0320)
- Public Comment

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.110

ADMINISTRATIVE PERMIT

FEE*: \$750.00 + noticing fee
+ \$60/hr over 10 hours
*Due after application is deemed complete by staff

- SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies)
 - Application Form
 - Site Plan
 - Written Project Description
 - Administrative Permit Findings
 - Applicant's Acknowledgment Statement
 - Master Plan Policy Checklist
 - Documentation of Taxes Paid-to-Date
- CD or USB DRIVE with complete application in PDF

Application Reviewed and Received By: _____

Submittal Deadline: Anytime during business hours.

Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

FILE

APPLICANT PHONE #
Jared Franco 7757209020

MAILING ADDRESS, CITY, STATE, ZIP
5624 Conte Dr. Carson City, NV 89701

EMAIL ADDRESS
Jared.franco1@gmail.com

PROPERTY OWNER PHONE #
Jared Franco 7757209020

MAILING ADDRESS, CITY, STATE, ZIP
5624 Conte Dr. Carson City, NV 89701

EMAIL ADDRESS
Jared.franco1@gmail.com

APPLICANT AGENT/REPRESENTATIVE PHONE #

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

Project's Assessor Parcel Number(s): Street Address

Project's Current Master Plan Designation Project's Current Zoning Nearest Major Cross Street(s)

Please provide a brief description of your proposed project below. Provide additional pages to describe your request in more detail.
Asking to get a permit to be able to put a Pre-Fabricated Barn on the back of my Property.
Site Plan/Barn Plans Attached

PROPERTY OWNER'S AFFIDAVIT

I, Jared Franco, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

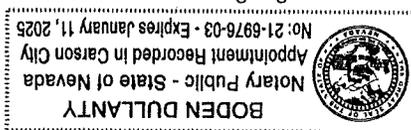
Signature: [Signature] Address: 5624 Conte Dr. Carson City, NV 89701 Date: 07/09/2021

Use additional page(s) if necessary for other names.

STATE OF NEVADA }
COUNTY Carson City }

On July 13th, 2021, Jared Franco, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public: [Signature]



*NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Hearings Examiner, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the staff report and/or Hearings Examiner. I am aware that this permit becomes null and void if the use is not initiated within one year of the date of the Planning Director's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

Jared Franco
Applicant's Signature

Jared Franco
Print Name

8/26/21
Date

Description;

The Prefabricated Barn I am placing on my property is 14' by 40' 560 Sq. Ft. and will be a Mother-in-law quarters.

Administrative Permit Findings:

1. Yes it is consistent with the Master Plan Elements
2. This new Structure will not be detrimental to any of my surrounding neighbors or properties and in fact will enhance the character and value, it will sit on the back of my property, so it won't affect any public roadways. It will eliminate dust by creating more gravel and less dirt area. There will be no adverse impacts Noise, Vibrations, fumes, odors, glare, or Physical activity.
3. Will not affect Pedestrians or Vehicular traffic
4. Will not overburden existing public services or facilities
5. Will ensure it meets all codes and regulations
6. Will ensure it meets all codes and regulations
7. Will not affect any other property in the vicinity other than adds to its value.

Driveway: The Driveway/Vehicle Access will be accessible through the North East side of the property and the dimensions are 16' by 146' and will consist of Gravel. Shown on plans

Plans: These are the only plans the Manufacturer has and is universal with the Barns they sell. These plans are NV stamped and Engineered. The Dimensions on my barn is 14' wide x 40' long. Shown on Plans

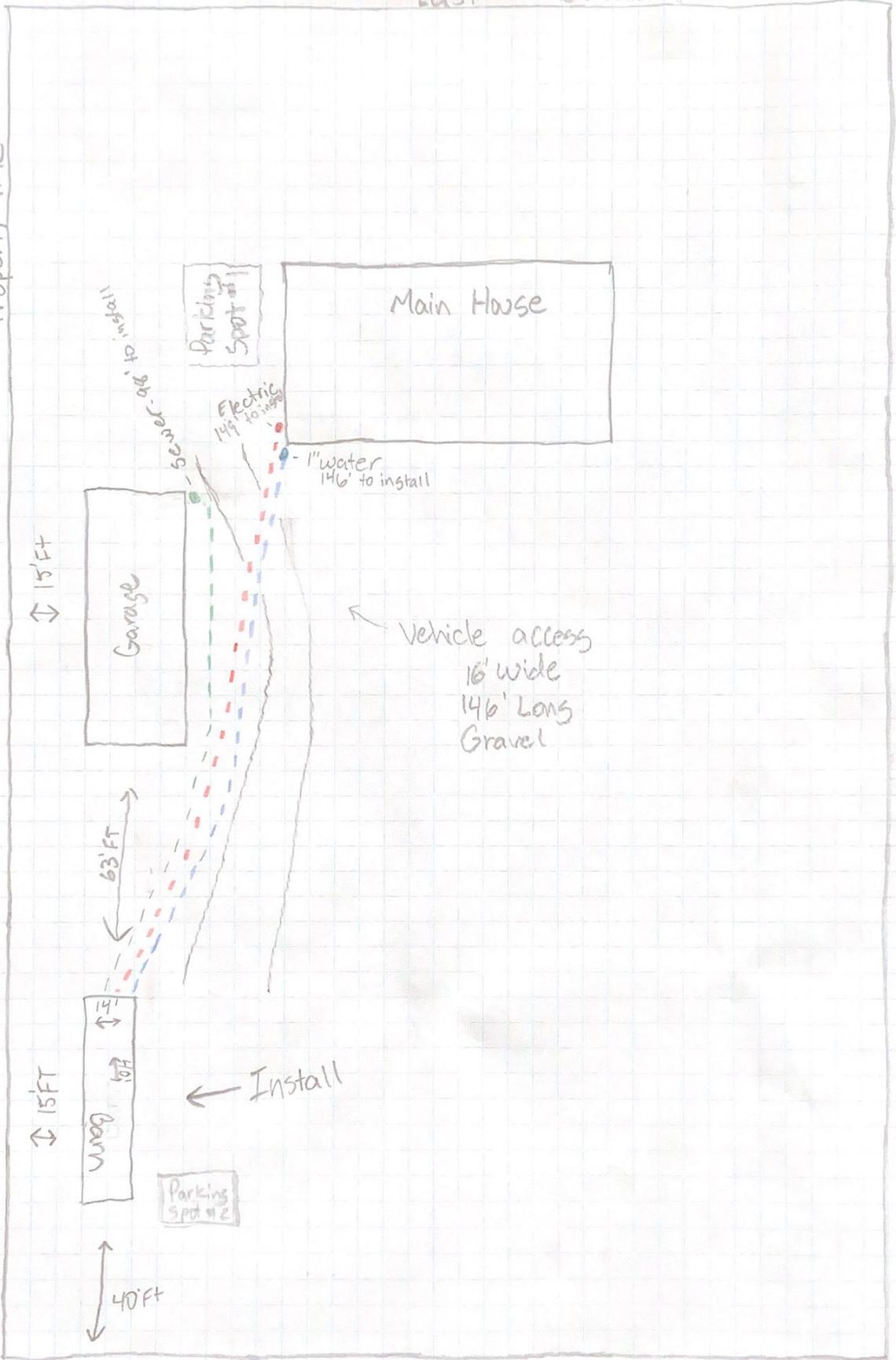
Height of Building: The height of the structure is 12'5" Shown on Plans

East Conte Dr.

Property line

North

South



West

GENERAL NOTES

DIVISION 01- SECTION 01 00 00 GENERAL REQUIREMENTS

- BUILDING OWNER IS TO ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS
- STRUCTURE IS DESIGNED AS A MINOR STORAGE FACILITY AND IS NOT DESIGNED FOR HABITATION.
- THESE DRAWINGS ARE NON SITE SPECIFIC. IF SITE SPECIFIC DRAWINGS ARE REQ'D CONTACT MCELHANEY STRUCTURAL.
- THE INSTALLER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- DO NOT SCALE THE DRAWINGS FOR WORKING DIMENSIONS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. TYPICAL DETAILS SHALL APPLY TO THE PROJECT DRAWINGS EXCEPT WHEN SPECIFIC DETAILS ARE SHOWN WHICH SHALL TAKE PRECEDENCE.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING CODE: THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK, AND THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS.
- INSTALLER SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC.
- ADHESIVE ANCHORS SHALL BE SIMPSON SET-XP EPOXY PER ICC ESR-2508 WITH ASTM A-36 THREADED ROD OR APPROVED EQUAL U.N.O.. EXPANSION ANCHORS SHALL BE SIMPSON STRONG-BOLT CARBON STEEL PER ICC ESR-1771 U.N.O.. ADHESIVE OR EXPANSION ANCHORS SHALL NOT BE INSTALLED UNTIL MASONRY GROUT OR CONCRETE HAS CURED TO DESIGN STRENGTH.
- DESIGN LOADS:
 - ROOF DEAD LOAD: 12 psf
 - ROOF LIVE LOAD: 20 psf
 - FLOOR DEAD LOAD: 8 psf
 - FLOOR LIVE LOAD: 40 psf
 - GROUND SNOW LOAD: 44 psf
 - ROOF SNOW LOAD DATA:
 - ROOF SNOW LOAD: 30 psf
 - $C_E = 0.9$
 - $I_S = 0.80$
 - $C_T = 1.2$
 - WIND DESIGN DATA:
 - ULTIMATE DESIGN WIND SPEED = 130 MPH (3-SECOND GUST)
 - RISK CATEGORY I
 - WIND EXPOSURE C
 - INTERNAL PRESSURE COEFFICIENT = 0.18
 - EARTHQUAKE DESIGN DATA:
 - RISK CATEGORY I
 - $I_E = 1.00$
 - $S_S = 1.5g$, $S_1 = 0.6g$
 - SITE CLASS: D
 - $S_{ps} = 1g$, $S_{D1} = 0.6g$
 - SEISMIC DESIGN CATEGORY: D
 - BASIC SEISMIC-FORCE-RESISTING SYSTEM(S):
= LIGHT-FRAMED WALL SHEATHED WITH STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
 - RESPONSE MODIFICATION COEFFICIENT(S), $R = 6.5$
 - SEISMIC DESIGN NOT REQ'D PER SECTION 1613.1 OF IBC 2012

DIVISION 01 FOUNDATION PERFORMANCE REQUIREMENTS

- FOUNDATION DESIGN BASED ON 2018 IBC TABLE 1806.2, SOIL CLASS 5. FOOTINGS ARE DESIGNED BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 psf DEAD PLUS LIVE LOADS AND 1995 psf. TOTAL LOADS (INCLUDING WIND OR SEISMIC).
- THE CONTRACTOR SHALL PROVIDE FOR PROPER DE-WATERING OF EXCAVATIONS FROM SURFACE WATER, GROUND WATER, SEEPAGE, ETC.
- THE CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING AND SHORING REQUIRED TO SAFELY AND ADEQUATELY RETAIN THE EARTH BANKS.
- EXCAVATIONS FOR FOOTINGS SHALL BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING THE CONCRETE AND REINFORCING. THE CONTRACTOR SHALL NOTIFY SOILS ENGINEER WHEN INSPECTION OF EXCAVATION IS READY. THE SOILS ENGINEER SHALL SUBMIT LETTER OF COMPLIANCE TO THE OWNER.
- ALL EXCAVATIONS SHALL BE PROPERLY BACKFILLED. DO NOT PLACE BACKFILL BEHIND RETAINING WALLS BEFORE CONCRETE HAS ATTAINED FULL DESIGN STRENGTH. THE CONTRACTOR SHALL BRACE OR PROTECT ALL BUILDING AND PIT WALLS BELOW GRADE FROM LATERAL LOADS UNTIL ATTACHING FLOORS ARE COMPLETELY IN PLACE AND HAVE ATTAINED FULL STRENGTH. THE CONTRACTOR SHALL PROVIDE FOR DESIGN, PERMITS AND INSTALLATION OF SUCH BRACING.
- FOOTINGS SHALL BE PLACED AND ESTIMATED ACCORDING TO DEPTHS SHOWN ON DRAWINGS. SHOULD SOIL ENCOUNTERED AT THESE DEPTHS NOT BE APPROVED BY THE SOILS ENGINEER, FOOTING ELEVATIONS OR FOOTING DESIGN WILL BE ALTERED BY CHANGE ORDER.
- FOOTING BACKFILL AND UTILITY TRENCH BACKFILL WITHIN BUILDING AREA SHALL BE MECHANICALLY COMPACTED IN LAYERS, TO THE APPROVAL OF THE SOILS ENGINEER. FLOODING WILL NOT BE PERMITTED.
- ALL ABANDONED FOOTINGS, UTILITIES, ETC., THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



MCELHANEY STRUCTURAL
ENGINEERS, LLC
290 BRINKBY AVE. SUITE #205
RENO, NEVADA 89509
www.mcelhaneystructural.com

DRAWING
DESCRIPTION

GENERAL NOTES

DRAWN WKR	
CHECKED BAM	
DATE 04/17/20	
SCALE AS NOTED	
JOB NO. 14430-20	

SHEET

S001

GENERAL NOTES

DIVISION 03 CONCRETE - PART 1

- ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' AMERICAN CONCRETE INSTITUTE 318 (ACI 318) AND THE 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS' (ACI 301) LATEST APPROVED EDITIONS, WITH MODIFICATIONS AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
- REINFORCED CONCRETE DESIGN IS BY THE 'ULTIMATE STRENGTH DESIGN METHOD'.
- CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE STRUCTURAL ENGINEER. CALCIUM CHLORIDE SHALL NOT BE USED.
 - PROPOSED MIX DESIGNS SHALL BE NO MORE THAN 1 (ONE) YEAR OLD, AND HAVE AFFIXED ON EACH SUBMITTED COPY THE ORIGINAL SEAL OF THE REVIEWING ENGINEER. THE REVIEWING ENGINEER SHALL BE REGISTERED IN THE STATE OF NEVADA.
 - EACH MIX DESIGN SHALL INDICATE THE PROJECT NAME AND ADDRESS. CONTRACTOR SHALL DESIGNATE LOCATION OF USE FOR EACH PROPOSED MIX DESIGN.
 - EACH MIX DESIGN SHALL INCLUDE THE SLUMP, BEFORE AND AFTER ADDING PLASTIZER, AIR ENTRAINMENT, TYPE OF AGGREGATE, TYPE OF CEMENT, AND ADMIXTURES TO BE USED.
- SCHEDULE OF STRUCTURAL CONCRETE 28-DAY STRENGTHS:

LOCATION IN STRUCTURE	STRENGTH (psi)	TYPE
1) FOOTINGS (DESIGN BASED ON 2500)	3000*	NORM WT. 145 ±5 pcf
2) SLABS	4000*	NORM WT. 145 ±5 PCF
3) GRADE BEAM	3000*	NORM WT. 145 ±5 PCF
4) OTHER	3000*	NORM WT. 145 ±5 PCF

PROVIDE 6% ±1% AIR ENTRAINMENT IN EXTERIOR CONCRETE AND ANY CONCRETE EXPOSED TO FREEZING U.N.O.
* SEE NOTE 5. BELOW FOR CONCRETE IN CONTACT W/ SOIL.

- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II. VERIFY W/ SOILS ENGINEER; USE TYPE V CEMENT W/ MAX. WATER-CEMENT RATIO 0.45 AND F'C = 4500 psi FOR CONC. IN CONTACT W/SOIL IF DIRECTED BY SOILS ENGINEER.
 - PANELS: MIN. 5.5 SACK CEMENT CONTENT, PLACED AT 3" MAX. SLUMP.
 - SLAB ON GRADE: MIN. 5.5 SACK CEMENT CONTENT PLACED AT 3" MAX. SLUMP.
 - FOOTING: MIN. 5.25 SACK PER CUBIC YARD CEMENT CONTENT, 4" MAX. SLUMP
- MAXIMUM WATER-CEMENT RATIO SHALL BE AS FOLLOWS U.N.O.:
 - EXTERIOR SLABS AND ALL EXTERIOR CONCRETE: 0.45.
 - INTERIOR SLABS: 0.54.
- AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS. EXCEPTIONS MAY BE USED ONLY WITH PERMISSION OF THE STRUCTURAL ENGINEER. MAXIMUM AGGREGATE SIZE SHALL CONFORM WITH THE FOLLOWING: 1/5 DISTANCE BETWEEN FORMS, 3/4 DISTANCE BETWEEN REINFORCING BARS, 1/3 THICKNESS OF SLAB.
- CONCRETE MIXING OPERATIONS, ETC., SHALL CONFORM TO ASTM C-94.
- PLACEMENT OF CONCRETE SHALL CONFORM TO ACI-318 REQUIREMENTS AND PROJECT SPECIFICATIONS. SANDBLAST ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.
- IF COLUMNS AND WALLS ARE PLACED WITH FLOOR, TWO HOURS MUST ELAPSE BETWEEN END OF COLUMN OR WALL POUR AND BEGINNING OF FLOOR POUR.
- CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS FOLLOWS:

(A) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
(B) CONCRETE EXPOSED TO WEATHER: No. 6 THROUGH No. 18 BARS	2"
No. 5 BAR, W31 OD D31 WIRE, AND SMALLER	1½"
(C) CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: No. 14 AND No. 18 BARS	1½"
No. 11 BARS AND SMALLER	¾"

DIVISION 03 CONCRETE - PART 2

- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
- CONDUIT SHALL NOT BE RUN IN SLABS, PLACE IN BASE MATERIAL CONCENTRATIONS OF CONDUITS OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.
- PROJECTING CORNERS OF BEAMS, WALLS, COLUMNS, ETC., SHALL BE FORMED WITH A 1/2 INCH CHAMFER, UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.
- CURING COMPOUNDS USED ON CONCRETE THAT IS TO RECEIVE A RESILIENT TILE FINISH SHALL BE APPROVED BY THE TILE MANUFACTURER BEFORE USE.
- SHRINKAGE OF CONCRETE, WHEN TESTED IN ACCORDANCE WITH ASTM C-157, SHALL NOT EXCEED 0.00065 INCHES/INCH FOR HARD ROCK CONCRETE AND .00055 INCHES/INCH FOR LIGHT WEIGHT CONCRETE.
- PLACE AND PROTECT CONCRETE IN COMPLIANCE WITH ACI 305 AND 306, RESPECTIVELY, DURING HOT AND COLD EXPOSURE CONDITIONS.

DIVISION 03 REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE DETAILED AND PLACED IN CONFORMANCE WITH THE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI 318 LATEST APPROVED EDITION), AND THE 'MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION' (LATEST EDITION) BY THE C.R.S.I. AND THE W.C.R.S.I., AS MODIFIED BY THE PROJECT DRAWINGS AND SPECIFICATIONS.
- DEFORMED REINFORCING BARS SHALL BE ASTM A-615 GRADE 60 EXCEPT TIES, STIRRUPS, SLAB DOWELS AND REINFORCING BARS IN NON STRUCTURAL CONCRETE SUCH AS SLABS ON GRADE, WHICH MAY BE GRADE 40, UNLESS NOTED OTHERWISE. USE A706 REINFORCING BARS THAT ARE REQUIRED FOR WELDING.
- DEFORMED REINFORCING BARS FOR MOMENT FRAMES SHALL CONFORM TO THE 2012 INTERNATIONAL BUILDING CODE (IBC) CHAPTER 19.
- WELDING OF REINFORCING SHALL BE WITH LOW HYDROGEN ELECTRODES IN CONFORMANCE WITH 'RECOMMENDED PRACTICES FOR WELDING REINFORCING STEEL, ETC.', AMERICAN WELDING SOCIETY, AWS-D1.4. SEE SPECIFICATIONS.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- MINIMUM LAP OF WELDED WIRE FABRIC SHALL BE 6 INCHES OR ONE FULL MESH AND ONE HALF, WHICH EVER IS GREATER.
- REINFORCING SPLICES SHALL BE MADE ONLY WHERE INDICATED ON THE DRAWINGS.
- DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE AND SPACING OR NUMBER AS THE VERTICAL REINFORCING, RESPECTIVELY.
- ALL BARS SHALL BE MARKED SO THEIR IDENTIFICATION CAN BE MADE WHEN THE FINAL IN-PLACE INSPECTION IS MADE.
- THE CONTRACTOR SHALL PROVIDE FOR AN ALLOWANCE OF 2 TONS OF REINFORCING BARS TO BE FURNISHED, FABRICATED AND PLACED DURING PROGRESS OF WORK AS MAY BE DIRECTED BY THE STRUCTURAL ENGINEER, IN ADDITION TO ALL STEEL INDICATED ON THE DRAWINGS.
- SEE TYPICAL DETAILS FOR REINFORCEMENT SPLICES IN CONCRETE. SPLICE ALL REINFORCING BARS 2'-6" MINIMUM UNO.
- ALL REINFORCING BARS TO BE TIED IN PLACE BEFORE POURING CONCRETE OR GROUT.
- DO NOT SPLICE REINFORCING STEEL IN MIDDLE THIRD OF WALLS.

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



04/17/20



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14430-20

SHEET

S002

GENERAL NOTES

DIVISION 06 - SECTION 06 16 36 WOOD PANEL PRODUCT SHEATHING

HORIZONTAL PLYWOOD SHEATHING

SEE PLAN FOR PLYWOOD AND NAILING DATA. UNLESS OTHERWISE NOTED ON THE PLAN, USE THE FOLLOWING:

1. PLYWOOD:
 - A. ROOFS: 1/2" APA RATED C-D EXTERIOR, PANEL INDEX 24/0.
 - B. FLOORS: 5/8" T&G APA RATED C-D, PANEL INDEX 32/16.
 - C. STAGGER SHEETS.
 - D. RUN FACE GRAIN OF PLYWOOD PERPENDICULAR TO SUPPORTS.
 - E. MINIMUM SHEET SIZE SHALL BE 2'-0" x 4'-0".
2. NAILING:
 - A. USE COMMON NAILS. EQUIVALENT SPECIAL PLYWOOD NAILS MAY BE USED WITH THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 - B. MINIMUM EDGE DISTANCE SHALL BE 3/8", AND NAILS SHALL NOT BE OVERDRIVEN THRU OUTER PLY. STAGGER NAILS AT ADJACENT PLYWOOD SHEETS.
 - C. ROOFS:

BOUNDARIES	8d @ 6" O.C.
EDGES	8d @ 6" O.C.
FIELD	8d @ 12" O.C.
 - D. FLOORS:

BOUNDARIES	10d @ 6" O.C. (ALTERNATE #10x2 1/2" SCREWS OK)
EDGES	10d @ 6" O.C.
FIELD	10d @ 10" O.C.

PLYWOOD WALL SHEATHING

SEE PLAN FOR PLYWOOD AND NAILING DATA. UNLESS OTHERWISE NOTED ON PLAN, USE THE FOLLOWING:

1. PLYWOOD:
 - A. 1/2" APA RATED C-D EXTERIOR, PANEL INDEX 24/0.
 - B. STAGGER SHEETS.
 - C. FACE GRAIN MAY RUN EITHER DIRECTION.
 - D. SHEATHING PANELS ARE TO BE AS LARGE AS POSSIBLE.
 - E. APPLY SHEATHING DIRECTLY TO FRAMING.
 - F. WHERE SHEATHING OCCURS BOTH SIDES OF WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
2. NAILING:
 - A. USE COMMON NAILS. EQUIVALENT SPECIAL PLYWOOD NAILS MAY BE USED WITH THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 - B. MINIMUM EDGE DISTANCE SHALL BE 3/8", AND NAILS SHALL NOT BE OVERDRIVEN THRU OUTER PLY. STAGGER NAILS AT ADJACENT PLYWOOD SHEETS.
 - C. BLOCKING IS REQUIRED AT ALL PANEL EDGES.
 - D. SEE SHEAR WALL SCHEDULE FOR NAIL SPACING.

DIVISION 06 - SECTION 06 00 00 WOOD

1. FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER, WITH MOISTURE CONTENT < 19% UNLESS OTHERWISE NOTED. LOAD BEARING STUDS SHALL BE DOUGLAS FIR NO. 2 GRADE OR BETTER, UNLESS OTHERWISE NOTED. POSTS AND BEAMS 6x AND LARGER SHALL BE DOUGLAS FIR NO. 1 GRADE, UNLESS OTHERWISE NOTED.
2. ALL PLYWOOD SHALL BE CC OR CD CONFORMING TO PRODUCT STANDARD PS 1-95. USE COMMON WIRE NAILS.
3. ALL BOLTS SHALL CONFORM TO ASTM A307 Gr. A, UNLESS NOTED OTHERWISE ON PLANS. BOLT HOLES SHALL BE 1/16" MAXIMUM LARGER THAN THE BOLT SIZE. RETIGHTEN ALL NUTS PRIOR TO CLOSING IN. ALL BOLTS SHALL HAVE A MINIMUM OF (3) THREADS PROJECTING BEYOND THE NUT, ROLLED THREADS (UPSET) ARE NOT PERMITTED. USE ASTM A563 NUTS AND ASTM F436 WASHERS U.N.O.
4. ALL SILLS OR SKIDS RESTING ON CONCRETE, MASONRY, OR SOIL SHALL BE PRESSURE TREATED DOUGLAS FIR.
5. DO NOT NOTCH JOISTS, RAFTERS OR BEAMS, EXCEPT WHERE SHOWN IN DETAILS. OBTAIN ENGINEERS' APPROVAL FOR ANY HOLES OR NOTCHES NOT DETAILED. HOLES THROUGH SILLS, PLATES, STUDS AND DOUBLE PLATES IN INTERIOR, BEARING AND SHEAR WALLS SHALL NOT EXCEED 1/3 THE PLATE WIDTH. USE BORED HOLES LOCATED IN THE CENTER OF THE STUD OR PLATE.
6. NAILED CONNECTIONS SHALL CONFORM TO THE MINIMUM NAILING SCHEDULE OF TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE, EXCEPT AS OTHERWISE NOTED. ALL NAILS SHALL BE COMMON WIRE NAILS. WHERE DRIVING OF NAILS CAUSES SPLITTING, HOLES FOR THE NAILS SHALL BE PRE-DRILLED.
7. UNLESS NOTED OTHERWISE, PRE-MANUFACTURED FRAMING CONNECTORS CALLED FOR ON THE DRAWINGS SHALL BE SIMPSON STRONG-TIE CONNECTORS, OR APPROVED EQUAL.
8. ALL LAMINATED VENEER LUMBER (LVL), PARALLEL STRAND LUMBER (PSL), AND LAMINATED STRAND LUMBER (LSL) SPECIFIED SHALL HAVE THE FOLLOWING MINIMUM DESIGN STRENGTHS:

LVL:	F _b =2600 psi,	F _v =285 psi,	E=1.9x10 ⁶ psi
PSL:	F _b =2600 psi,	F _v =285 psi,	E=2.0x10 ⁶ psi (2.0E BEAMS)
LSL:	F _b =1700 psi,	F _v =425 psi,	E=1.3x10 ⁶ psi (1 1/4" THICKNESS)
12. ALL FLOOR OPENINGS SHALL BE BETWEEN JOISTS, (U.N.O.)
13. DO NOT NOTCH BEAMS, JOISTS, AND STUDS, (U.N.O.)
14. NAIL ALL MULTIPLE PLY FRAMING w/ (2) 16d @ 12" O.C. EACH PLY U.N.O.

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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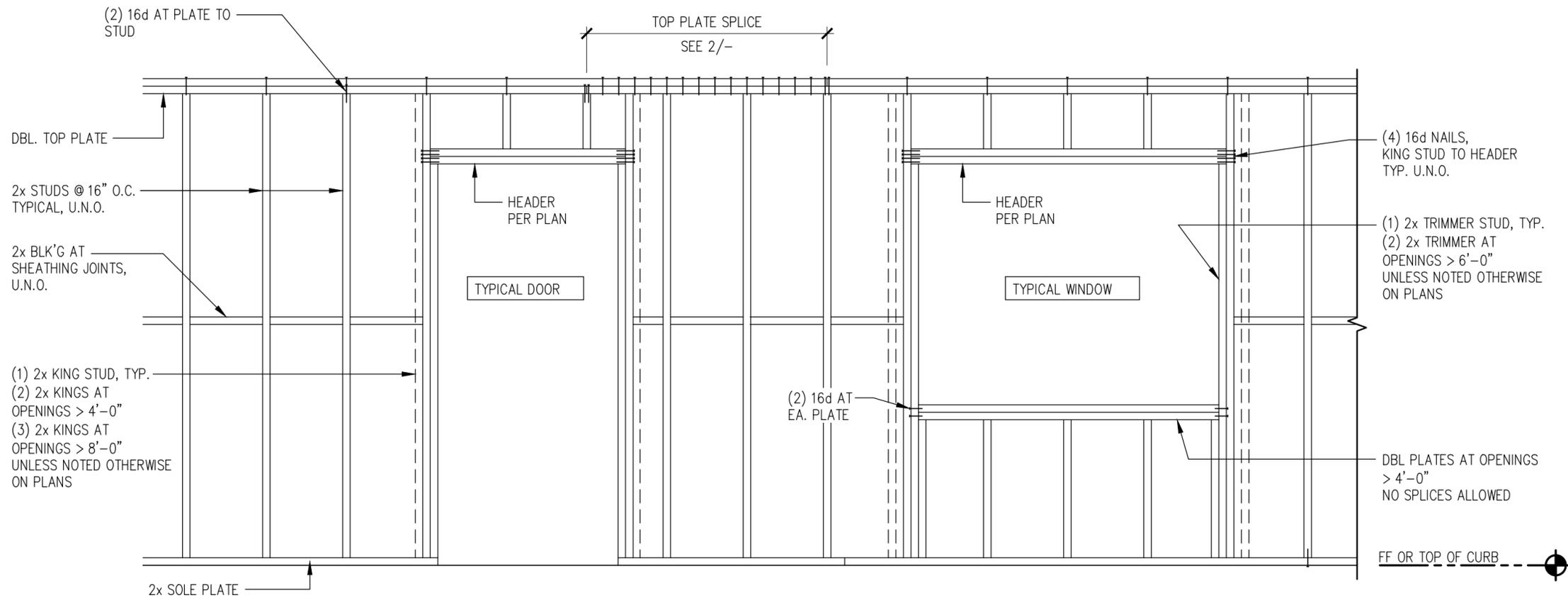
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GENERAL NOTES

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SCALE AS NOTED
JOB NO. 14430-20

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S003



1 TYPICAL STUD WALL FRAMING

SCALE: NTS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
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FALLON, NV 89406



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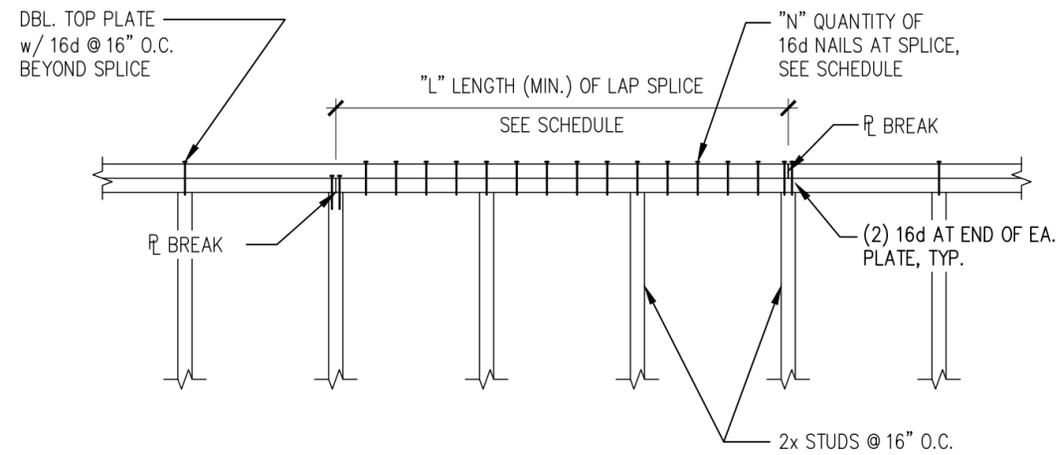
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DRAWN WKR
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DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

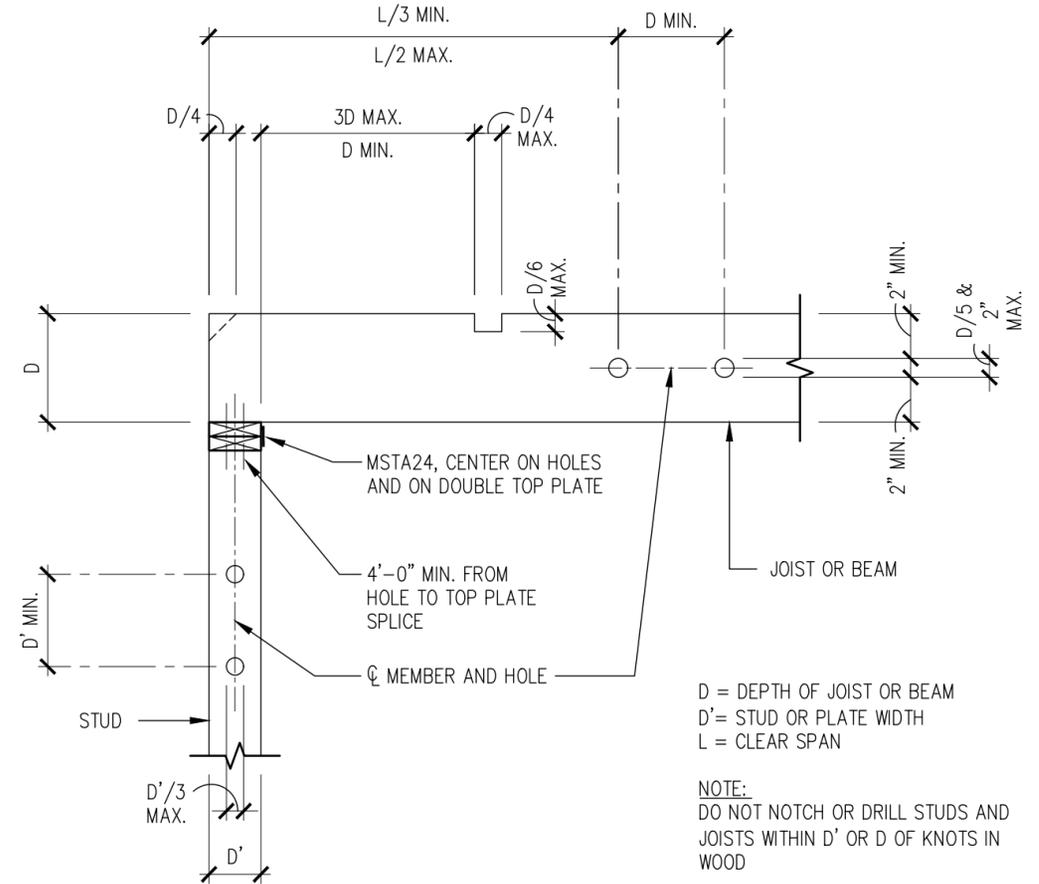
SHEET

S004

"L" LENGTH OF SPLICE (FT.)	"N" NUMBER OF NAILS AT SPLICE	REMARKS
4'-0"	14	-----



2 TOP PLATE SPLICE
SCALE: 3/4" = 1'-0"



3 HOLES AND NOTCHES IN WOOD STUDS, JOISTS, BEAMS AND PLATES
SCALE: 3/4" = 1'-0"

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
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FALLON, NV 89406



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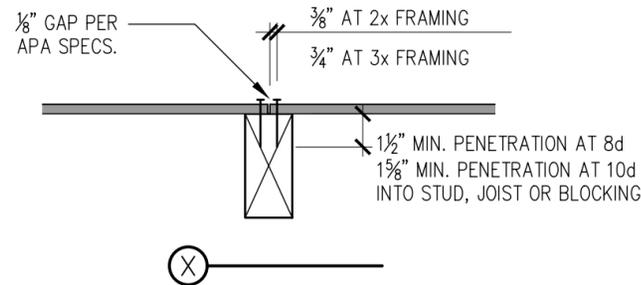
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TYPICAL WALL FRAMING DETAIL

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DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

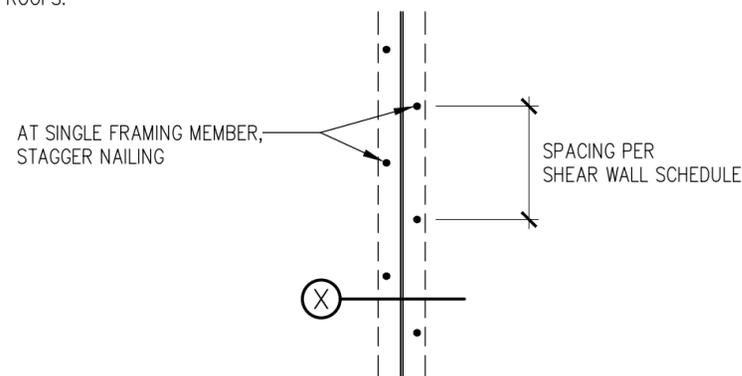
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S005



NOTES:

1. SHEATHING PANELS ARE TO BE AS LARGE AS POSSIBLE.
2. STAGGER PANEL EDGES.
3. JOINTS SHALL BE CENTERED OVER SUPPORTS/BEARING.
4. EDGE NAIL PER PLAN.
5. FIELD NAIL @ 12" O.C. TYP, U.N.O.
6. NAIL HEADS SHALL BE DRIVEN FLUSH WITH SHEATHING.
7. MIN. PANEL SIZE IS 2'-0"x4'-0" AT WALLS, 2'-0"x4'-0" AT FLOORS AND ROOFS.



4 SHEATHING NAILING

SCALE: 1-1/2" = 1'-0"

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
 7450 RENO HWY
 FALLON, NV 89406



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DRAWING DESCRIPTION

 TYPICAL WALL FRAMING DETAIL

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SCALE AS NOTED
JOB NO. 14430-20

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S006

FASTENING SCHEDULE (REF: IBC TABLE 2304.9.1)					
CONNECTION	FASTENING	LOCATION	CONNECTION	FASTENING	LOCATION
JOIST TO SILL OR GIRDER	(3) 8d	TOENAIL	RAFTER TO PLATE	(3) 8d	TOENAIL
BRIDGING TO JOIST	(2) 8d	TOENAIL EA. END	1" DIAGONAL BRACE TO EA. STUD & PLATE	(2) 8d	FACE NAIL
1"x6" SUBFLOOR OR LESS TO EA. JOIST	(2) 8d	FACE NAIL	1"x8" SHEATHING TO EACH BEARING	(3) 8d	FACE NAIL
WIDER THAN 1"x6" SUBFLOOR TO EA. JOIST	(3) 8d	FACE NAIL	WIDER THAN 1"x8" SHEATHING TO EACH BEARING	(3) 8d	FACE NAIL
2" SUBFLOOR TO JOIST OR GIRDER	(2) 16d	BLIND AND FACE NAIL	BUILT-UP CORNER STUDS	16d	@ 24" O.C.
SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" O.C.	FACE NAIL	BUILT-UP GIRDER AND BEAMS	20d @ 32" O.C. (2) 20d	FACE NAIL TOP & BOTTOM STAGGERED ON OPPOSITE SIDE FACE NAIL AT ENDS AND AT EACH SPLICE
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	(3) 16d @ 16" O.C.	BRACED WALL PANELS	2" PLANKS	16d	AT EACH BEARING
TOP PLATE TO STUD	(2) 16d	END NAIL	COLLAR TIE TO RAFTER	(3) 10d	FACE NAIL
STUD TO SOLE PLATE	(2) 16d OR (4) 8d	END NAIL TOENAIL	JACK RAFTER TO HIP	(3) 10d	TOENAIL
DOUBLE STUDS	16d @ 24" O.C.	FACE NAIL	ROOF RAFTER TO 2x RIDGE BEAM	(2) 16d	TOENAIL
DOUBLE TOP PLATES	16d @ 16" O.C.	FACE NAIL	JOIST TO BAND JOIST	(3) 16d	FACE NAIL
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) 8d	TOENAIL	LEDGER STRIP	(3) 16d	FACE NAIL AT EACH JOIST
RIM JOIST TO TOP PLATE	8d @ 6" O.C.	TOENAIL			
TOP PLATES, LAPS AND INTERSECTIONS	(2) 16d	FACE NAIL			
CONTINUOUS HEADER, TWO PIECES	16d	16" O.C. - ALONG EDGE			
CEILING JOIST TO PLATE	(3) 8d	TOENAIL			
CONTINUOUS HEADER TO STUD	(4) 8d	TOENAIL			
CEILING JOISTS, LAPS OVER PARTITIONS	(3) 16d	FACE NAIL			
CEILING JOISTS TO PARALLEL RAFTERS	(3) 16d	FACE NAIL			

5 FASTENING SCHEDULE

SCALE: N.T.S.

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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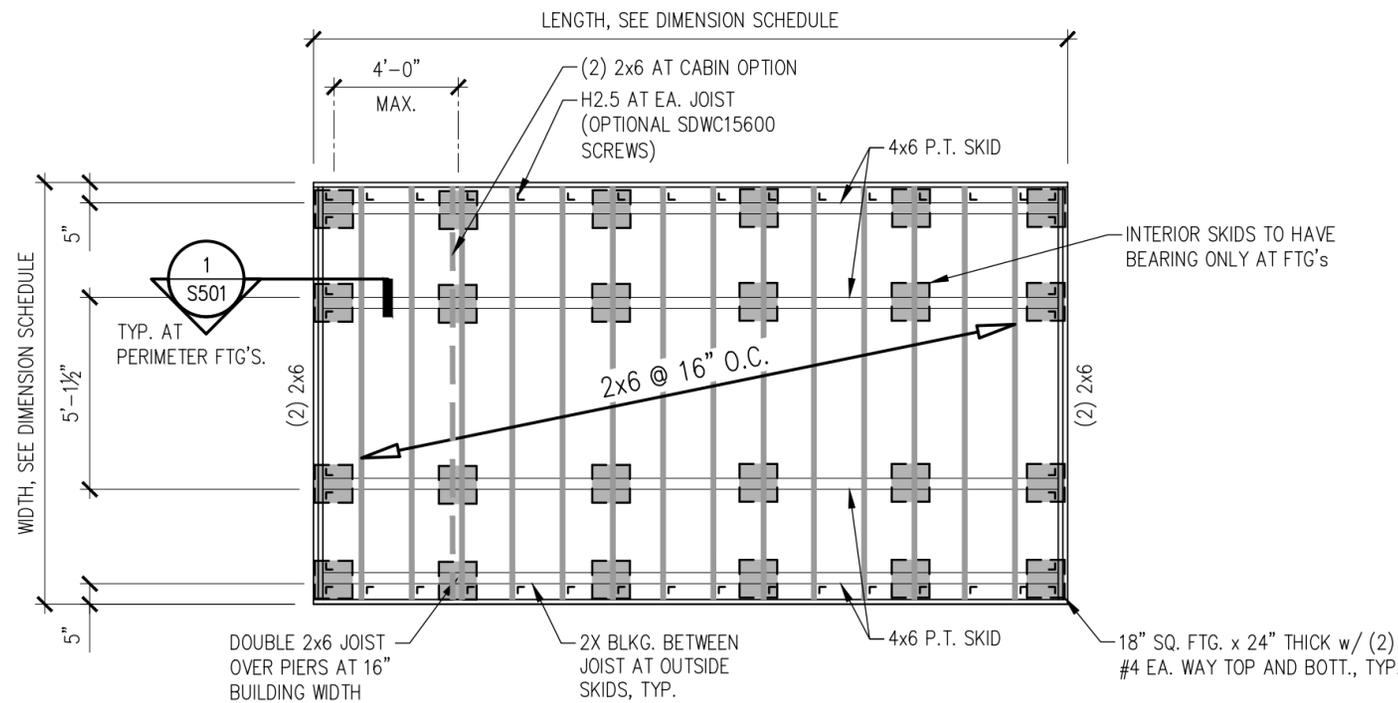
FASTENING SCHEDULE

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SCALE AS NOTED
JOB NO. 14430-20

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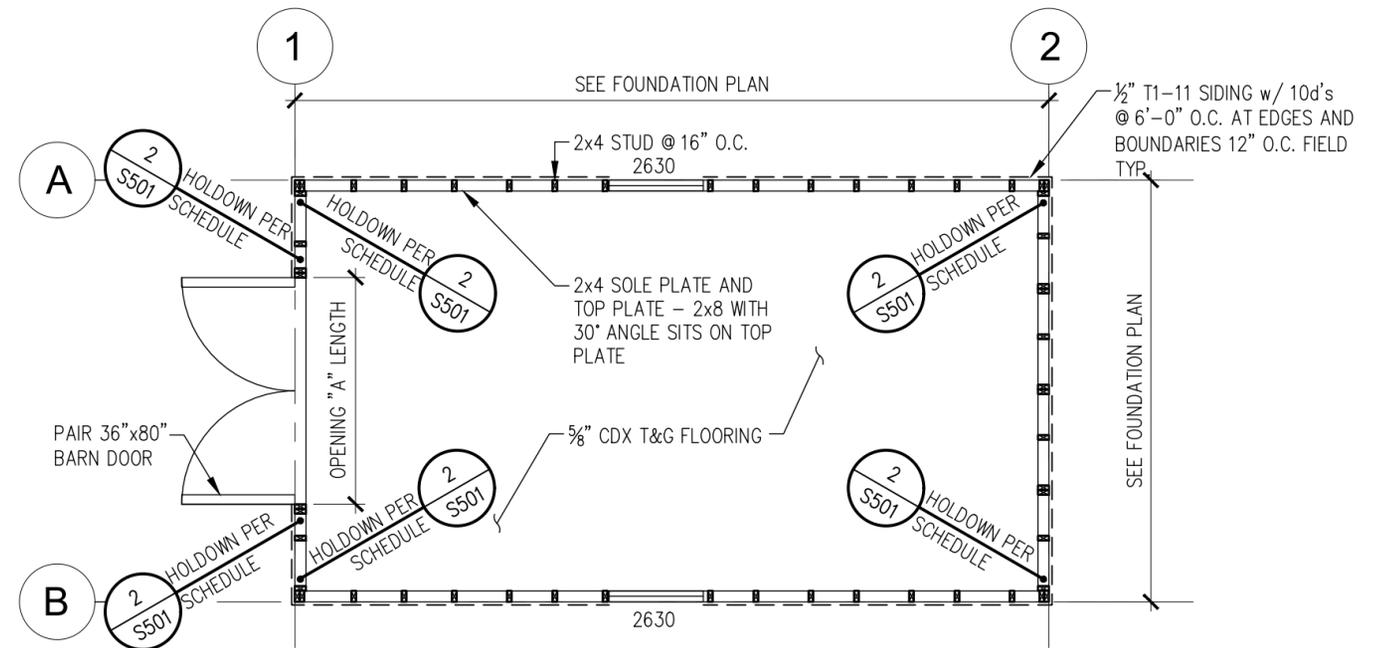
S007

DIMENSION SCHEDULE	
BUILDING WIDTH	MAX. BUILDING LENGTH
8'-8' 6"	24'
10'-10' 6"	30'
11' 2"-12' 6"	36'
13' 2"-14' 6"	44'
15' 2"-16' 6"	44'



NOTE:
ONLY (2) INNER SKIDS REQ'd FOR 8'-10' WIDTH

1 FOUNDATION / FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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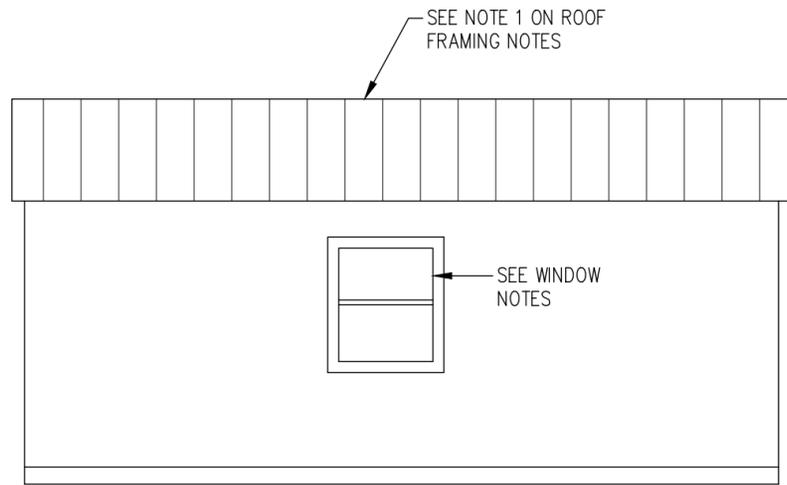
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FOUNDATION / FLOOR FRAMING PLAN

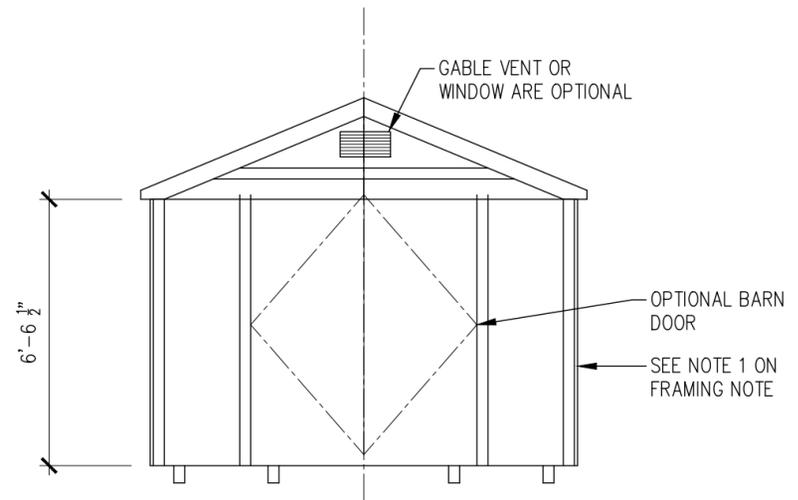
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SCALE AS NOTED
JOB NO. 14430-20

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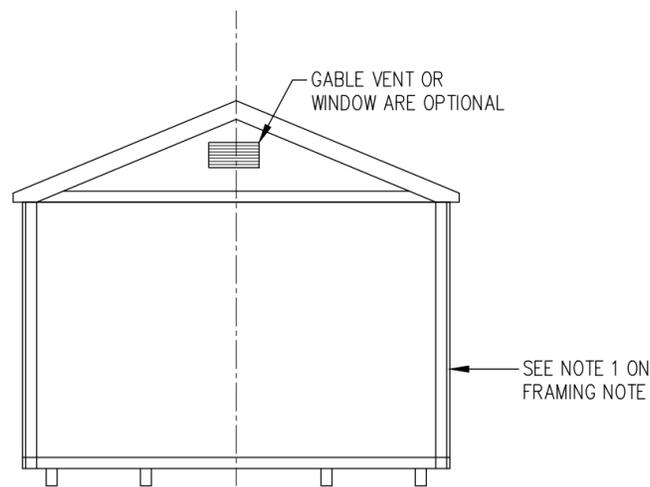
S101



1 SIDE ELEVATION / SHED
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION / SHED
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION / SHED
SCALE: 1/4" = 1'-0"

WINDOW NOTE:
1. WINDOWS MAY BE PLACED PER CUSTOMERS REQUEST.
2. PLACE MIN. 24" FROM CORNER ON SIDES OF SHED

ROOF FRAMING NOTE:
1. ROOF TYPE SHALL BE 29 GA. 20 YEAR METAL ROOF (OPTIONAL 40 YEAR) OR 20 YEAR COMPOSITION ASPHALT SHINGLES
2. 1/2" CDX PLYWOOD OR OSB EQUIV. WITH (32/16) SPAN RATING w/ 8d's @ 6" O.C. AT BOUNDARIES WITH 12" O.C. FIELD NAILING

FRAMING NOTE:
1. WALL SHEATHING SHALL BE T1-11 w/ CEDAR TRIM OR SMART SIDE w/ SMART TRIM, OR LP FLAME BLOCK OSB SHEATHING PER CUSTOMERS REQUEST.
2. WALL SHEATHING SHALL BE 1/2" T1-11 SIDING w/ 10d OR 3/8" SMART SIDE w/ 8d OR 1/2" LP FLAME BLOCK OSB w/ 10d @ 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD TYP.
3. TYPICAL HEADER SHALL BE 4x6. D.F. #2
4. USE SINGLE TRIMMER STUDS AT ALL OPENINGS, U.N.O. ALSO SEE DETAIL 1/S003
5. USE SIMPSON STRONG-TIE BRAND OR APPROVED EQUAL
6. USE 2x BLOCKING BELOW STRAPS AND B.N. SHEATHING.

SHED SCHEDULE			
BLDG WIDTH	MAX OPENING "A" LENGTH	HOLDOWN ANCHOR (GRID LINE)	
		1	2
8' - 8'-6"	4' - 0"	(4) SDWD15600	(2) SDWD15600
10' - 10'-6"	6' - 0"	(4) SDWD15600	(2) SDWD15600
11'-2" - 12'-2"	6' - 0"	(4) SDWD15600	(1) SDWD15600
13'-2" - 14'-6"	6' - 0"	(3) SDWD15600	(1) SDWD15600
15'-2" - 16'-6"	6' - 0"	(3) SDWD15600	NOT REQ'D

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



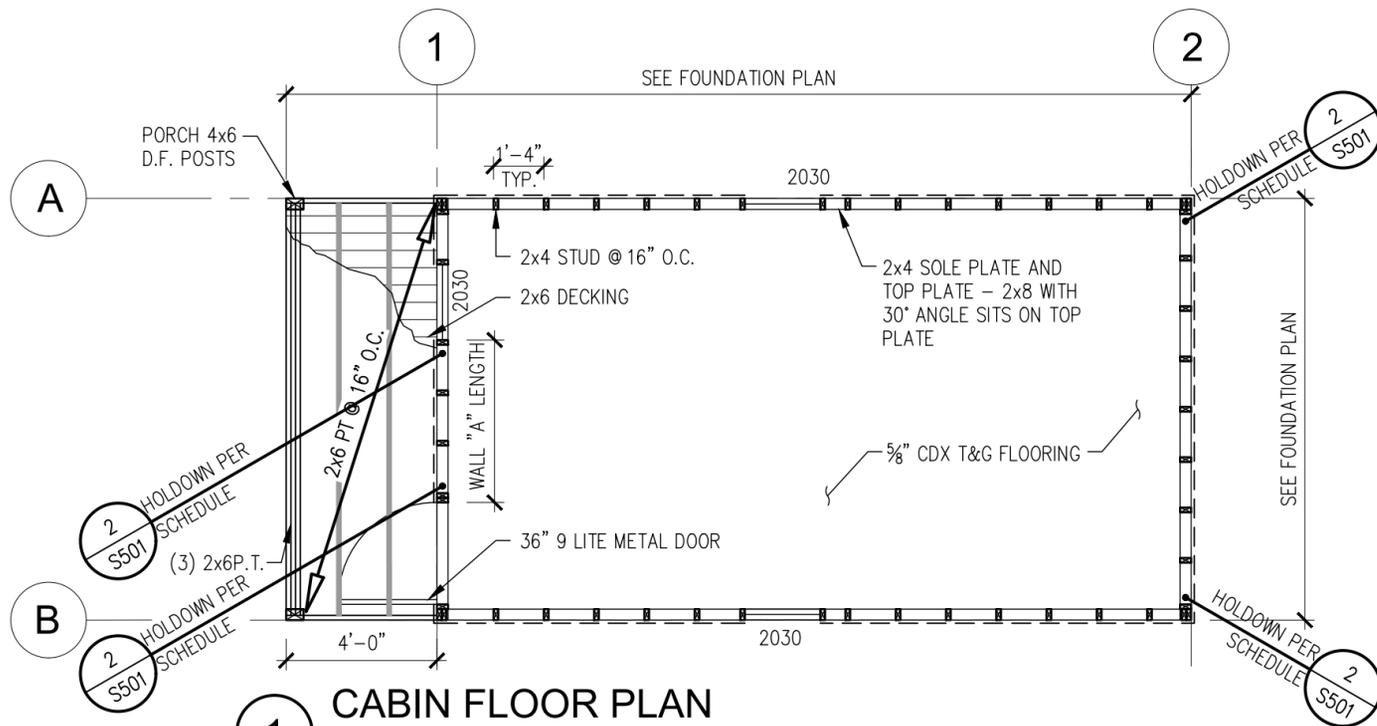
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FOUNDATION / FLOOR FRAMING PLAN

DRAWN WKR
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SCALE AS NOTED
JOB NO. 14430-20

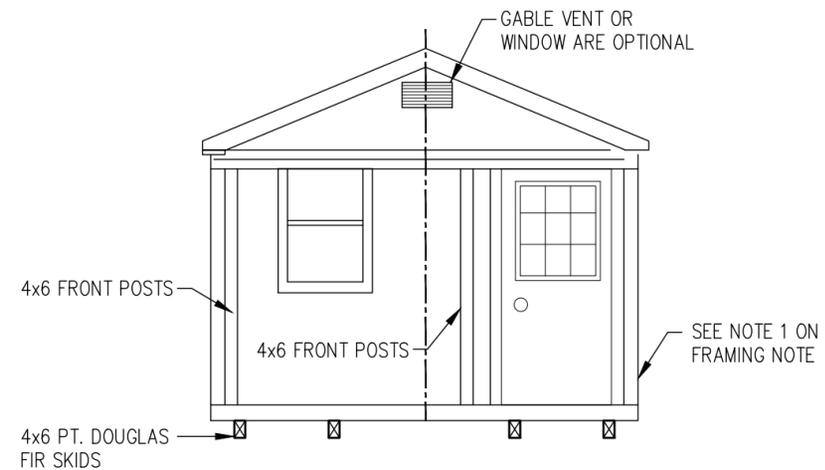
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S102



1 CABIN FLOOR PLAN

SCALE: 1/4" = 1'-0"



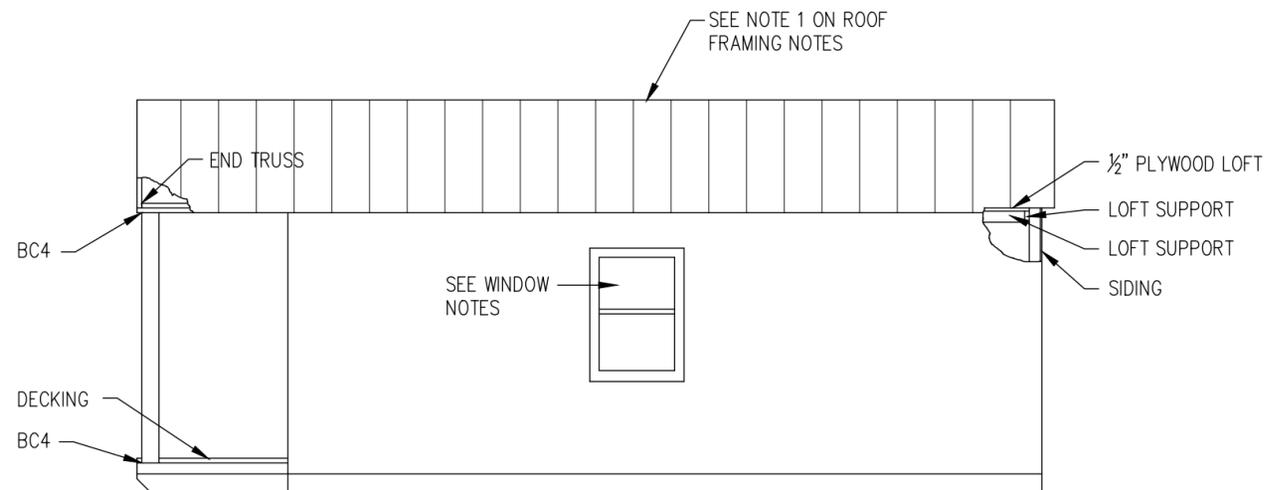
2 FRONT ELEVATION/CABIN

SCALE: 1/4" = 1'-0"

- FRAMING NOTE:**
1. WALL SHEATHING SHALL BE T1-11 w/ CEDAR TRIM OR SMART SIDE w/ SMART TRIM, OR LP FLAME BLOCK OSB SHEATHING PER CUSTOMERS REQUEST.
 2. WALL SHEATHING SHALL BE 1/2" T1-11 SIDING w/ 10d OR 3/8" SMART SIDE w/ 8d OR 1/2" LP FLAME BLOCK OSB w/ 10d @ 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD TYP.
 3. TYPICAL HEADER SHALL BE 4x6. D.F. #2
 4. USE SINGLE TRIMMER STUDS AT ALL OPENINGS, U.N.O. ALSO SEE DETAIL 1/S003
 5. USE SIMPSON STRONG-TIE BRAND OR APPROVED EQUAL
 6. USE 2x BLOCKING BELOW STRAPS AND B.N. SHEATHING.

- WINDOW NOTE:**
1. WINDOWS MAY BE PLACED PER CUSTOMERS REQUEST.
 2. PLACE MIN. 24" FROM CORNER ON SIDES OF SHED

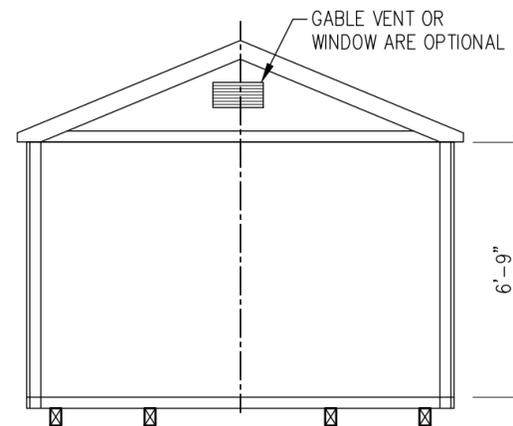
- ROOF FRAMING NOTE:**
1. ROOF TYPE SHALL BE 29 GA. 20 YEAR METAL ROOF (OPTIONAL 40 YEAR) OR 20 YEAR COMPOSITION ASPHALT SHINGLES
 2. 1/2" CDX PLYWOOD OR OSB EQUIV. WITH (32/16) SPAN RATING w/ 8d's @ 6" O.C. AT BOUNDARIES WITH 12" O.C. FIELD NAILING



3 SIDE ELEVATION/CABIN

SCALE: 1/4" = 1'-0"

- NOTE:**
1. WINDOWS MAY BE PLACED PER CUSTOMERS REQUEST.
 2. PLACE MIN. 24" FROM CORNER



4 REAR ELEVATION/CABIN

SCALE: 1/4" = 1'-0"

CABIN SCHEDULE			
BLDG WIDTH	MIN WALL "A" LENGTH	HOLDOWN ANCHOR (GRID LINE)	
		1	2
8' - 8'-6"	3' - 0"	(4) SDWD15600	(2) SDWD15600
10' - 10'-6"	4' - 0"	(4) SDWD15600	(2) SDWD15600
11'-2" - 12'-2"	4' - 0"	(4) SDWD15600	(1) SDWD15600
13'-2" - 14'-6"	5' - 0"	(4) SDWD15600	(1) SDWD15600
15'-2" - 16'-6"	5' - 0"	(4) SDWD15600	NOT REQ'D

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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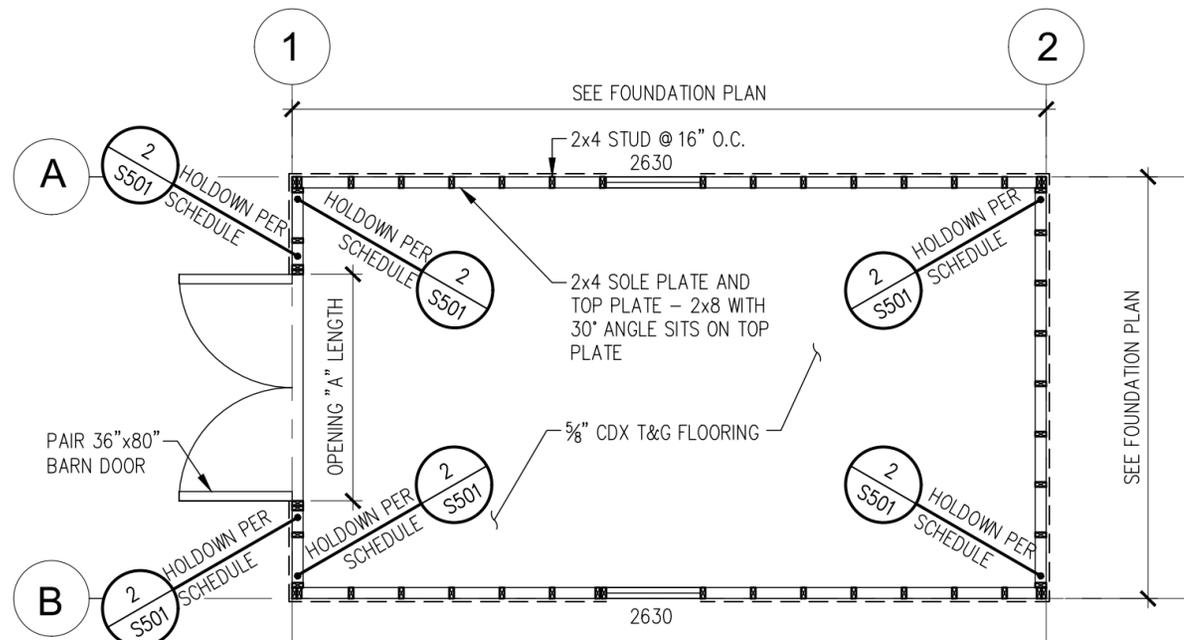
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DRAWING DESCRIPTION
FLOOR PLAN & EXTERIOR ELEVATIONS

DRAWN WKR
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SCALE AS NOTED
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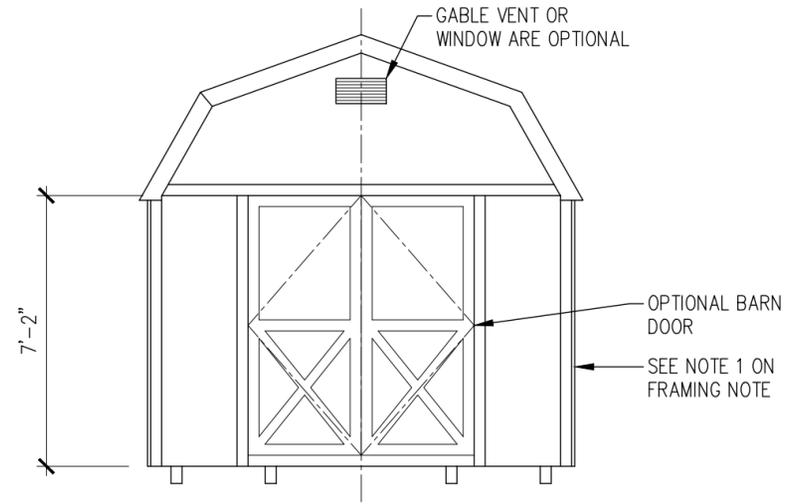
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S103



1 FLOOR PLAN

SCALE: 1/4" = 1'-0"



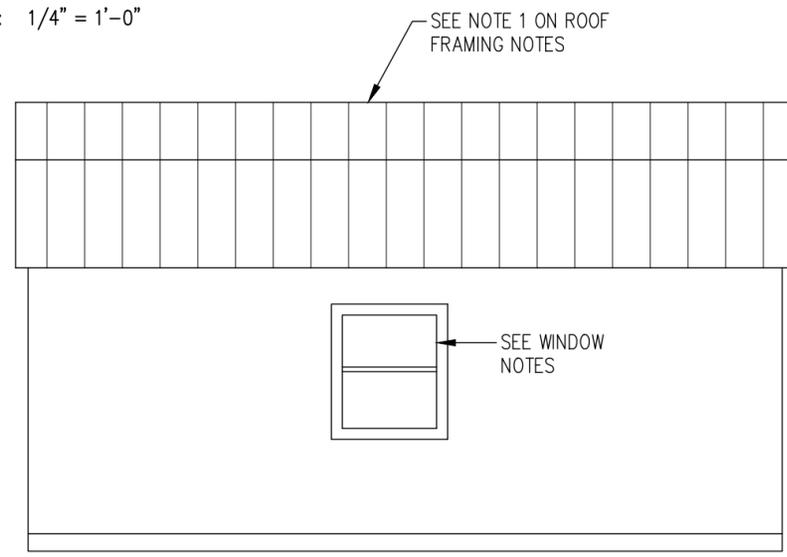
2 FRONT ELEVATION / LOFTED BARN

SCALE: 1/4" = 1'-0"

- FRAMING NOTE:**
1. WALL SHEATHING SHALL BE T1-11 w/ CEDAR TRIM OR SMART SIDE w/ SMART TRIM, OR LP FLAME BLOCK OSB SHEATHING PER CUSTOMERS REQUEST.
 2. WALL SHEATHING SHALL BE 1/2" T1-11 SIDING w/ 10d OR 3/8" SMART SIDE w/ 8d OR 1/2" LP FLAME BLOCK OSB w/ 10d @ 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD TYP.
 3. TYPICAL HEADER SHALL BE 4x6. D.F. #2
 4. USE SINGLE TRIMMER STUDS AT ALL OPENINGS, U.N.O. ALSO SEE DETAIL 1/S003
 5. USE SIMPSON STRONG-TIE BRAND OR APPROVED EQUAL
 6. USE 2x BLOCKING BELOW STRAPS AND B.N. SHEATHING.

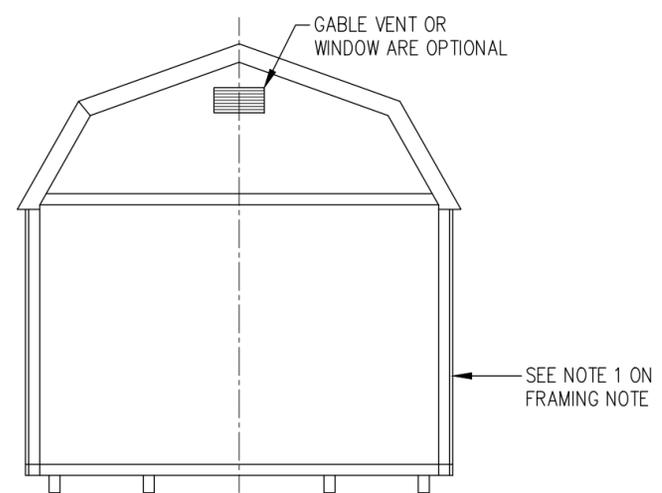
- WINDOW NOTE:**
1. WINDOWS MAY BE PLACED PER CUSTOMERS REQUEST.
 2. PLACE MIN. 24" FROM CORNER ON SIDES OF SHED

- ROOF FRAMING NOTE:**
1. ROOF TYPE SHALL BE 29 GA. 20 YEAR METAL ROOF (OPTIONAL 40 YEAR) OR 20 YEAR COMPOSITION ASPHALT SHINGLES
 2. 1/2" CDX PLYWOOD OR OSB EQUIV. WITH (32/16) SPAN RATING w/ 8d's @ 6" O.C. AT BOUNDARIES WITH 12" O.C. FIELD NAILING



3 SIDE ELEVATION / LOFTED BARN

SCALE: 1/4" = 1'-0"



4 REAR ELEVATION / LOFTED BARN

SCALE: 1/4" = 1'-0"

BLDG WIDTH	MAX OPENING "A" LENGTH	HOLDOWN ANCHOR (GRID LINE)	
		1	2
8' - 8'-6"	4' - 0"	(4) SDWD15600	(2) SDWD15600
10' - 10'-6"	6' - 0"	(4) SDWD15600	(2) SDWD15600
11'-2" - 12'-2"	6' - 0"	(4) SDWD15600	(1) SDWD15600
13'-2" - 14'-6"	6' - 0"	(3) SDWD15600	(1) SDWD15600
15'-2" - 16'-6"	6' - 0"	(3) SDWD15600	NOT REQ'D

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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RENO, NEVADA 89509
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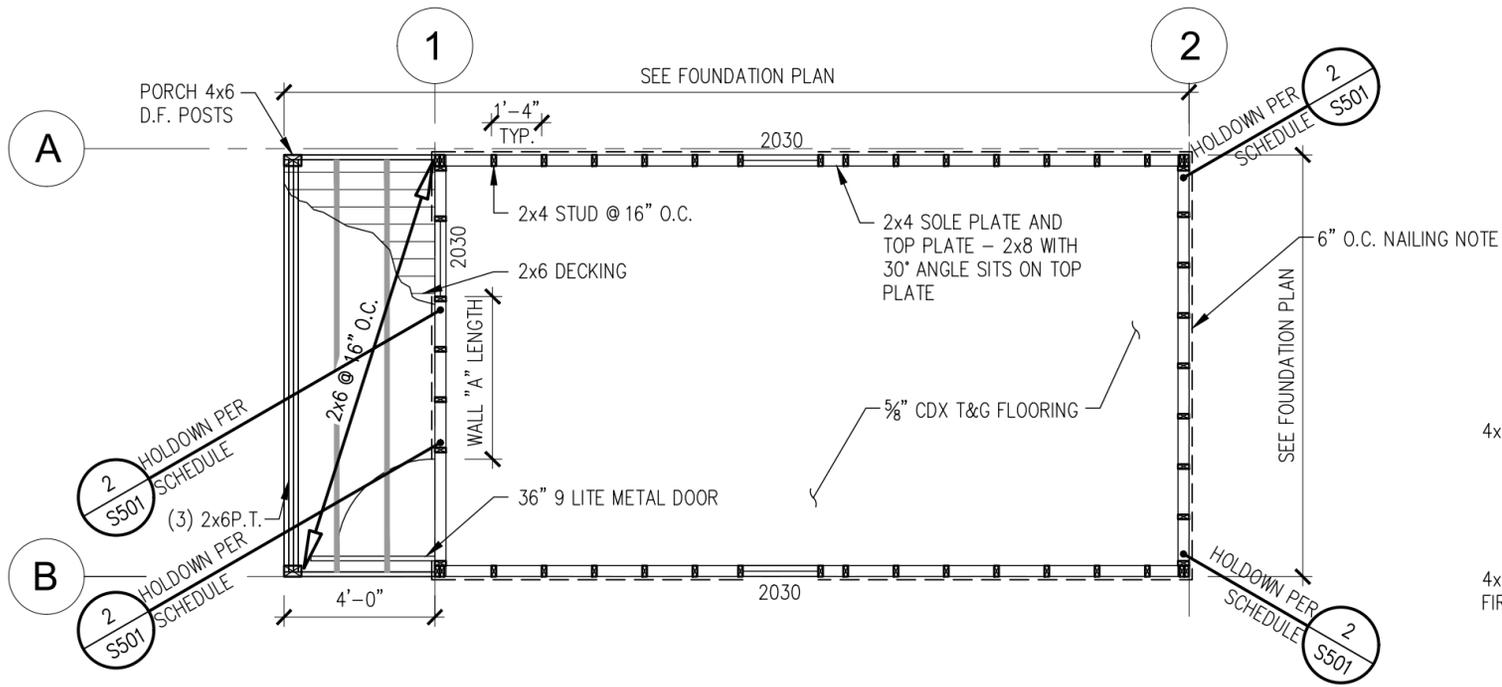
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FLOOR PLAN & EXTERIOR ELEVATIONS

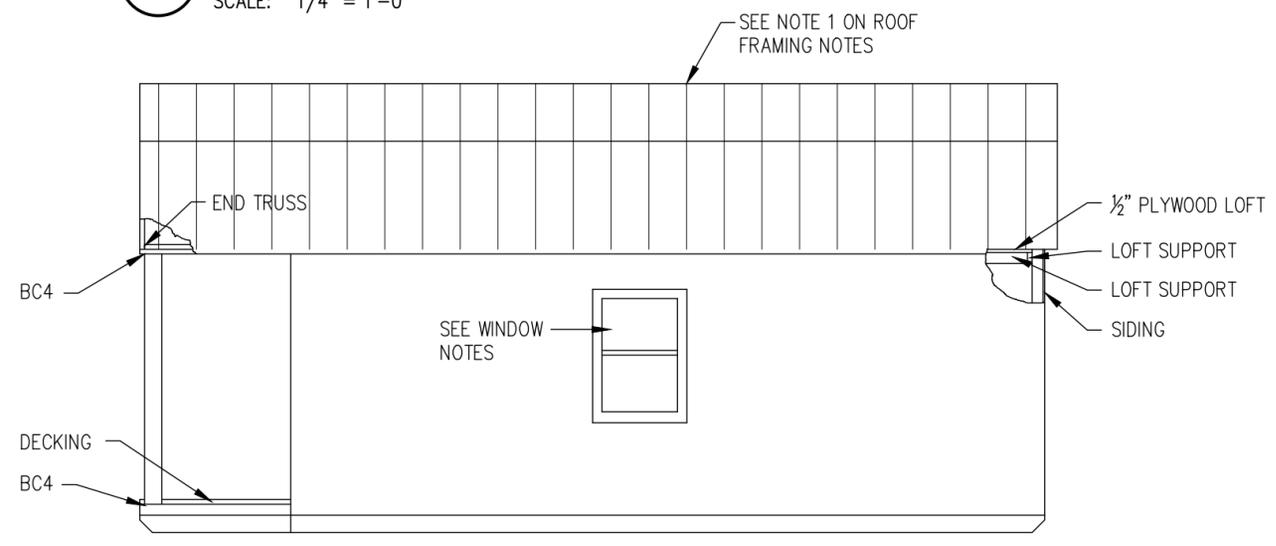
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CHECKED BAM
DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET

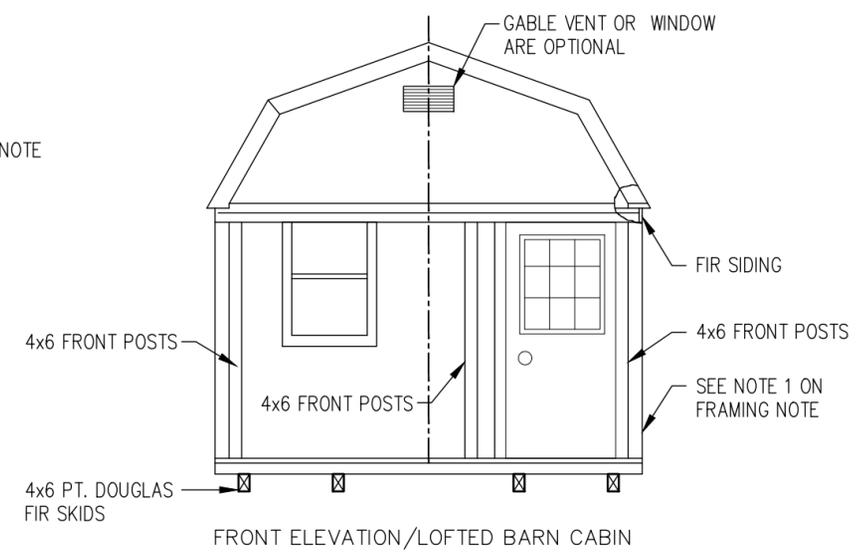
S104



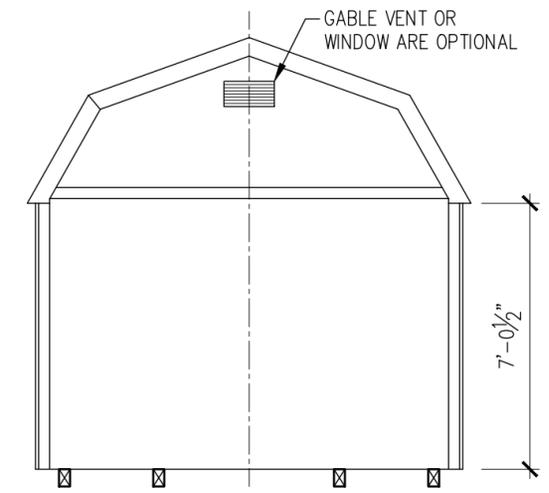
1 LOFTED BARN CABIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION/LOFTED BARN CABIN
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION/LOFTED BARN CABIN
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION/LOFTED BARN CABIN
SCALE: 1/4" = 1'-0"

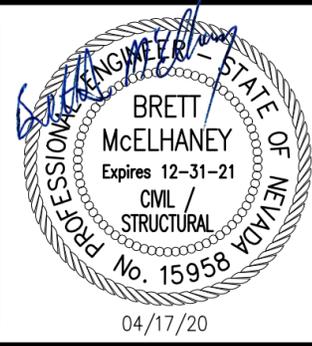
- FRAMING NOTE:**
1. WALL SHEATHING SHALL BE T1-11 w/ CEDAR TRIM OR SMART SIDE w/ SMART TRIM, OR LP FLAME BLOCK OSB SHEATHING PER CUSTOMERS REQUEST.
 2. WALL SHEATHING SHALL BE 3/4" T1-11 SIDING w/ 10d OR 8" SMART SIDE w/ 8d OR 1/2" LP FLAME BLOCK OSB w/ 10d @ 6" O.C. AT EDGES AND BOUNDARIES, 12" O.C. FIELD TYP.
 3. TYPICAL HEADER SHALL BE 4x6. D.F. #2
 4. USE SINGLE TRIMMER STUDS AT ALL OPENINGS, U.N.O. ALSO SEE DETAIL 1/S003
 5. USE SIMPSON STRONG-TIE BRAND OR APPROVED EQUAL
 6. USE 2x BLOCKING BELOW STRAPS AND B.N. SHEATHING.

- WINDOW NOTE:**
1. WINDOWS MAY BE PLACED PER CUSTOMERS REQUEST.
 2. PLACE MIN. 24" FROM CORNER ON SIDES OF SHED

- ROOF FRAMING NOTE:**
1. ROOF TYPE SHALL BE 29 GA. 20 YEAR METAL ROOF (OPTIONAL 40 YEAR) OR 20 YEAR COMPOSITION ASPHALT SHINGLES
 2. 1/2" CDX PLYWOOD OR OSB EQUIV. WITH (32/16) SPAN RATING w/ 8d's @ 6" O.C. AT BOUNDARIES WITH 12" O.C. FIELD NAILING

LOFTED BARN CABIN SCHEDULE			
BLDG WIDTH	MIN WALL "A" LENGTH	HOLDOWN ANCHOR (GRID LINE)	
		1	2
8' - 8'-6"	3' - 0"	(4) SDWD15600	(2) SDWD15600
10' - 10'-6"	4' - 0"	(4) SDWD15600	(2) SDWD15600
11'-2" - 12'-2"	4' - 0"	(4) SDWD15600	(1) SDWD15600
13'-2" - 14'-6"	5' - 0"	(4) SDWD15600	(1) SDWD15600
15'-2" - 16'-6"	5' - 0"	(4) SDWD15600	NOT REQ'D

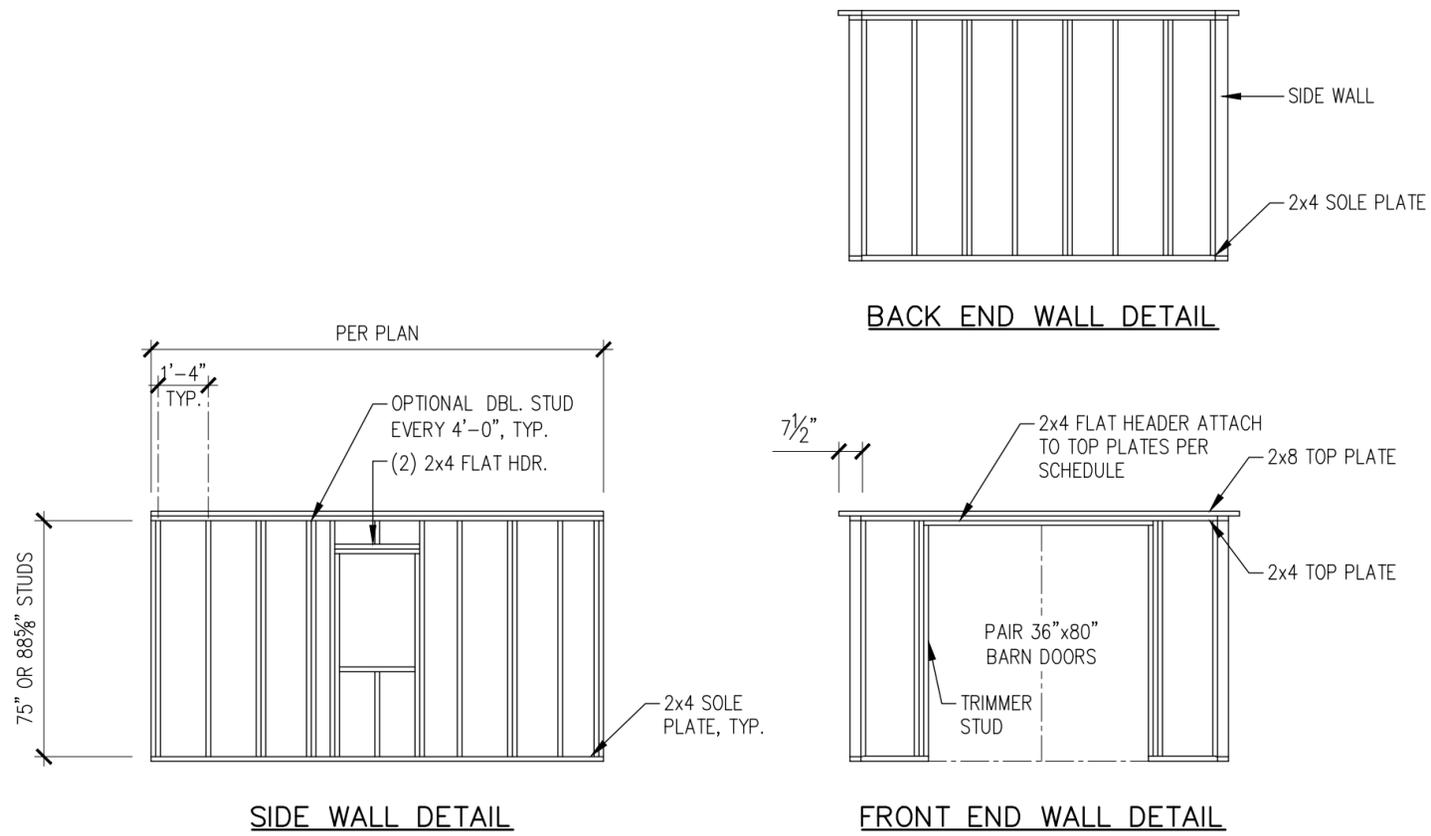
OUT WEST BUILDINGS
30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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RENO, NEVADA 89509
www.mcelhaneyststructural.com

DRAWING DESCRIPTION
FLOOR PLAN & EXTERIOR ELEVATIONS

DRAWN WKR	S105
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DATE 04/17/20	
SCALE AS NOTED	
JOB NO. 14430-20	



1 FRAMING ELEVATION
SCALE: 1/4" = 1'-0"

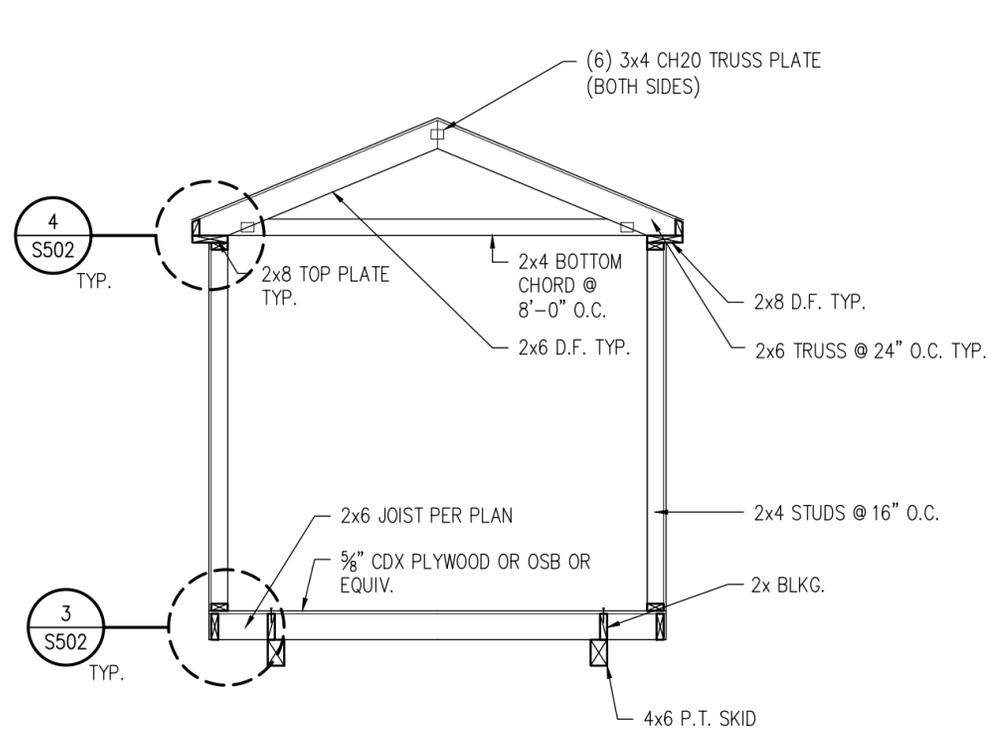
OUT WEST BUILDINGS
30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



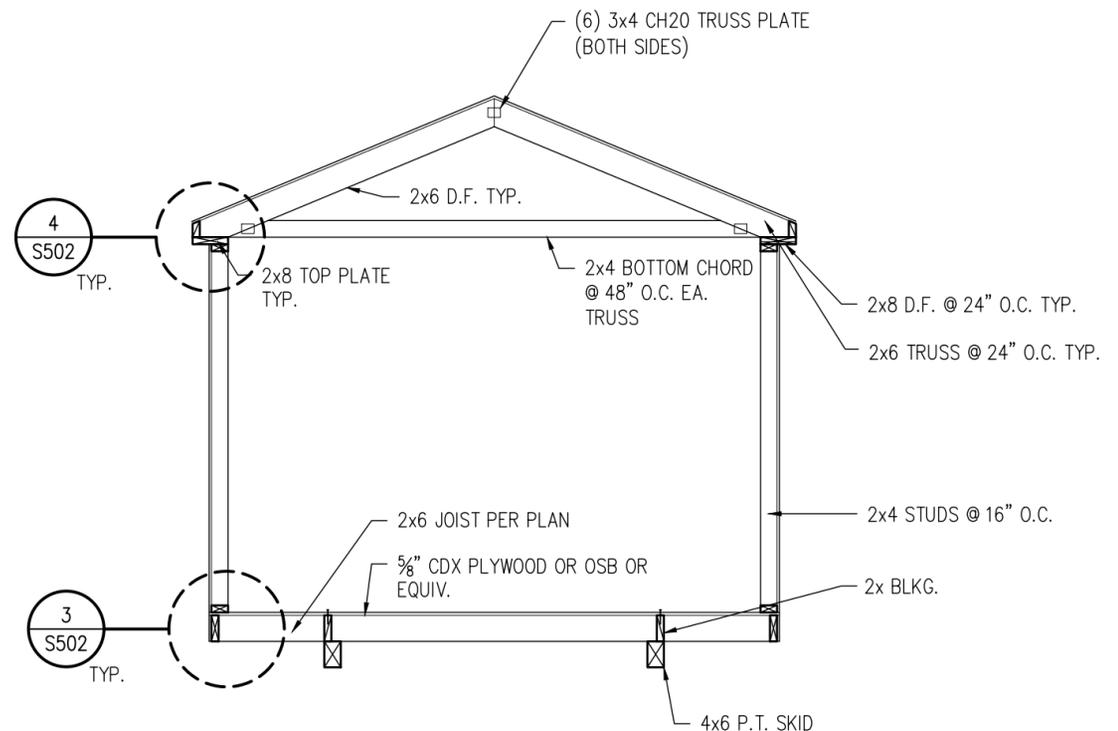
DRAWING DESCRIPTION
FRAMING ELEVATION

DRAWN WKR	
CHECKED BAM	
DATE	04/17/20
SCALE	AS NOTED
JOB NO.	14430-20

SHEET
S106



1 8'-0" WIDTH SHED BUILDING SECTION
 SCALE: 3/8" = 1'-0" 30 psf ROOF SNOW LOADS



2 10'-0" WIDTH SHED BUILDING SECTION
 SCALE: 3/8" = 1'-0" 30 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
 7450 RENO HWY
 FALLON, NV 89406



04/17/20



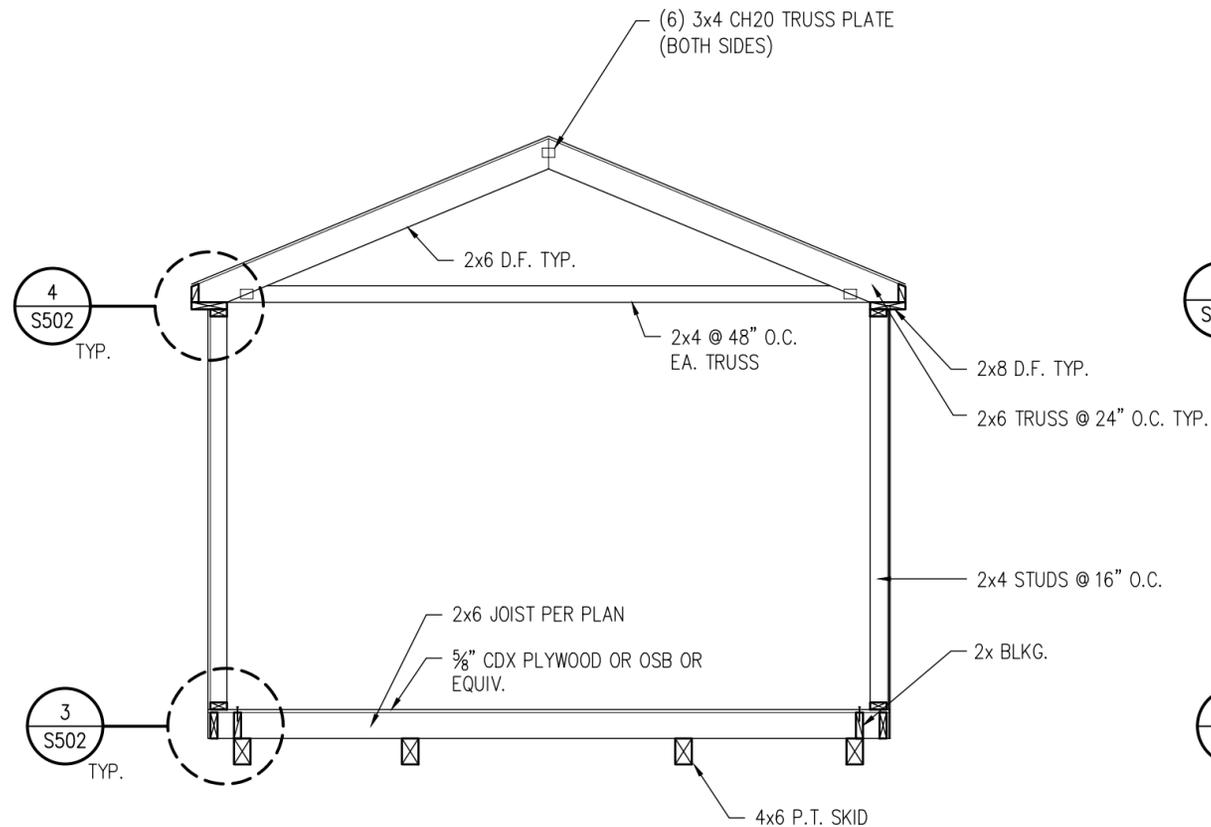
MCELHANEY STRUCTURAL ENGINEERS, LLC
 290 BRINKBY AVE. SUITE #205
 RENO, NEVADA 89509
 www.mcelhaneystructural.com

DRAWING DESCRIPTION
 SHED BUILDING SECTIONS

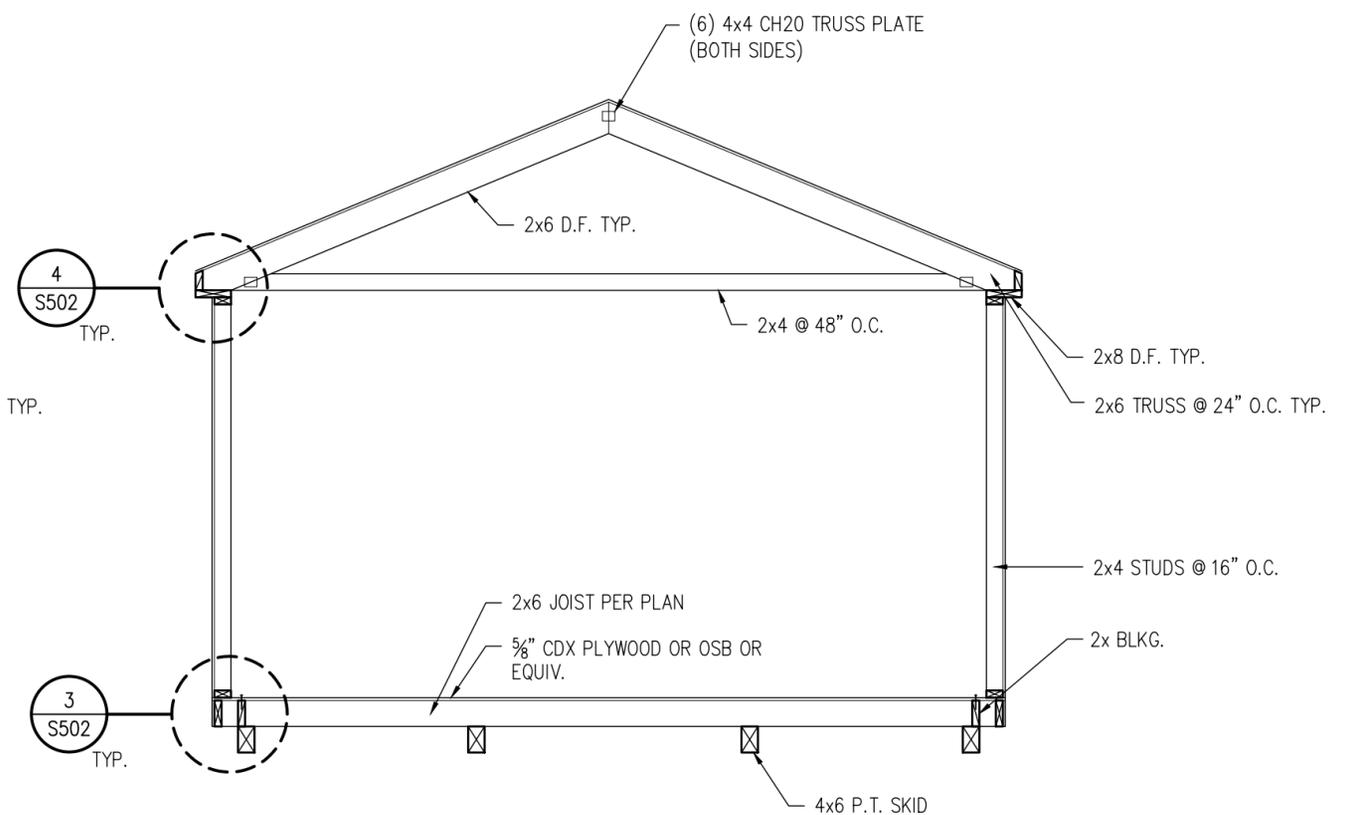
DRAWN WKR
CHECKED BAM
DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET

S201



1 12'-0" WIDTH SHED BUILDING SECTION
 SCALE: 3/8" = 1'-0"
 30 psf ROOF SNOW LOADS



2 14'-0" WIDTH SHED BUILDING SECTION
 SCALE: 3/8" = 1'-0"
 30 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
 7450 RENO HWY
 FALLON, NV 89406



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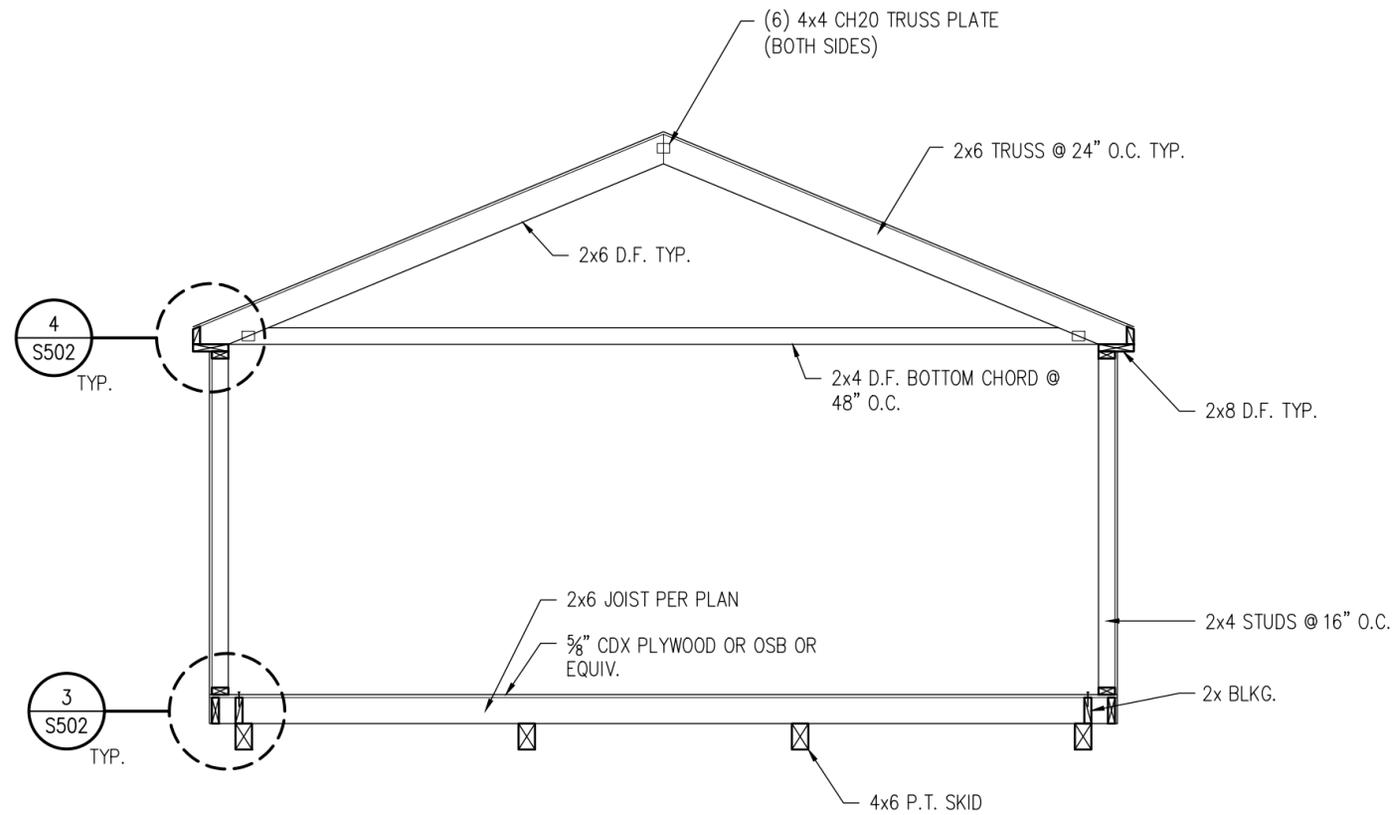
DRAWING DESCRIPTION

SHED BUILDING SECTIONS

DRAWN WKR
 CHECKED BAM
 DATE 04/17/20
 SCALE AS NOTED
 JOB NO. 14430-20

SHEET

S202



1 16'-0" WIDTH SHED BUILDING SECTION
 SCALE: 3/8" = 1'-0" 30 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
 7450 RENO HWY
 FALLON, NV 89406



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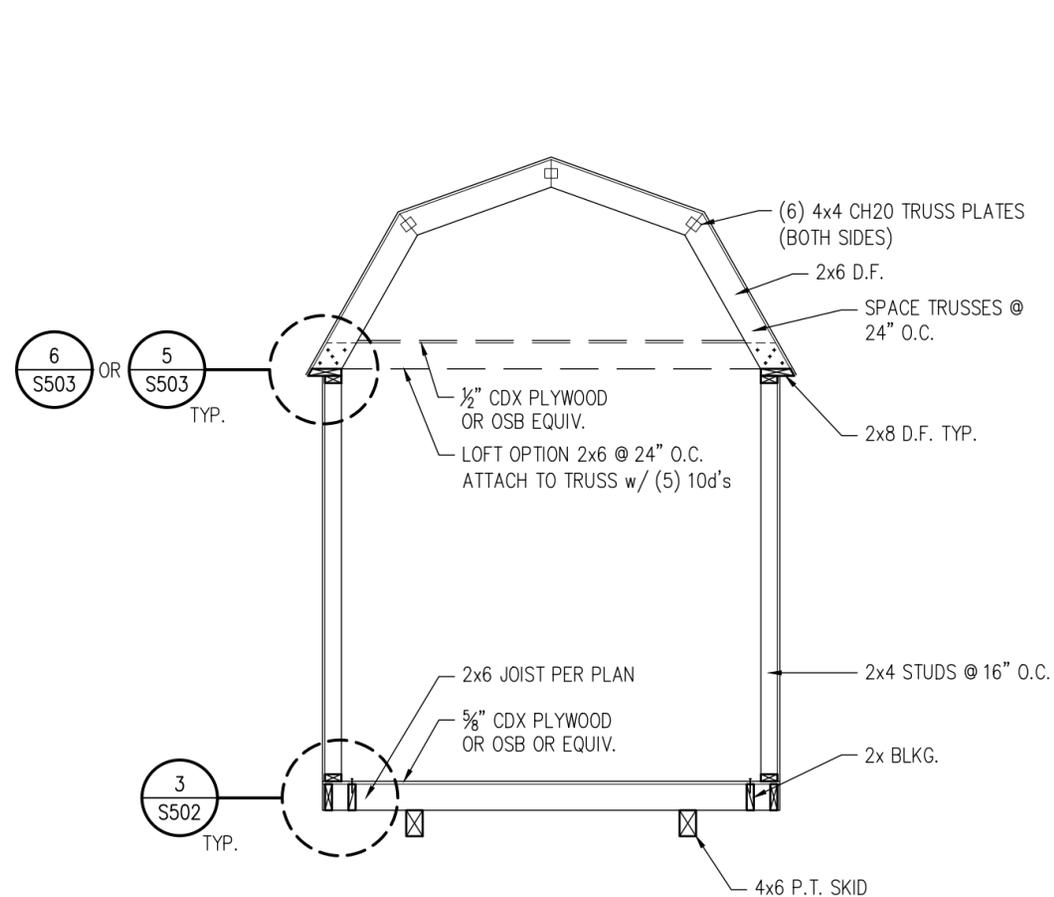
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SHED BUILDING SECTIONS

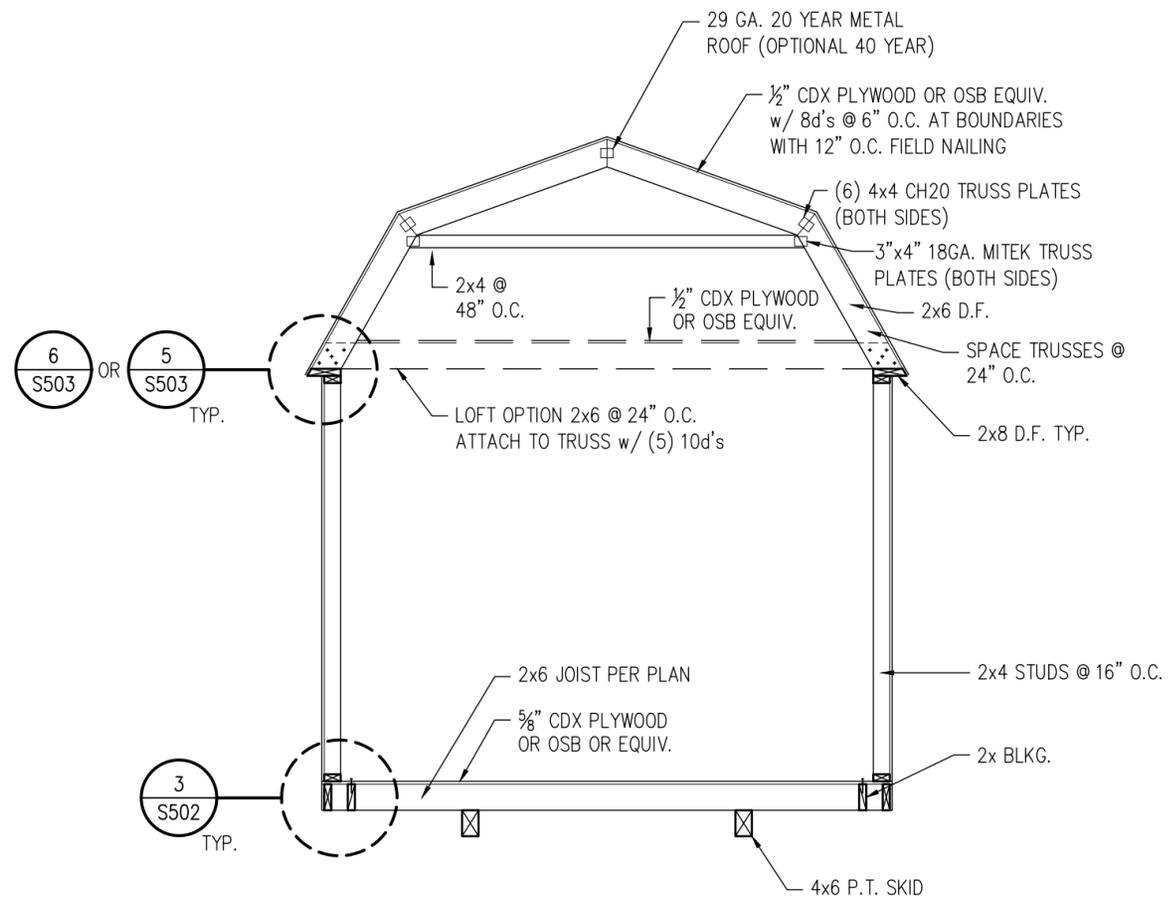
DRAWN WKR
 CHECKED BAM
 DATE 04/17/20
 SCALE AS NOTED
 JOB NO. 14430-20

SHEET

S203



1 8'-0" WIDTH GAMBREL BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 30 psf ROOF SNOW LOADS



2 10'-0" WIDTH GAMBREL BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 30 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
 7450 RENO HWY
 FALLON, NV 89406



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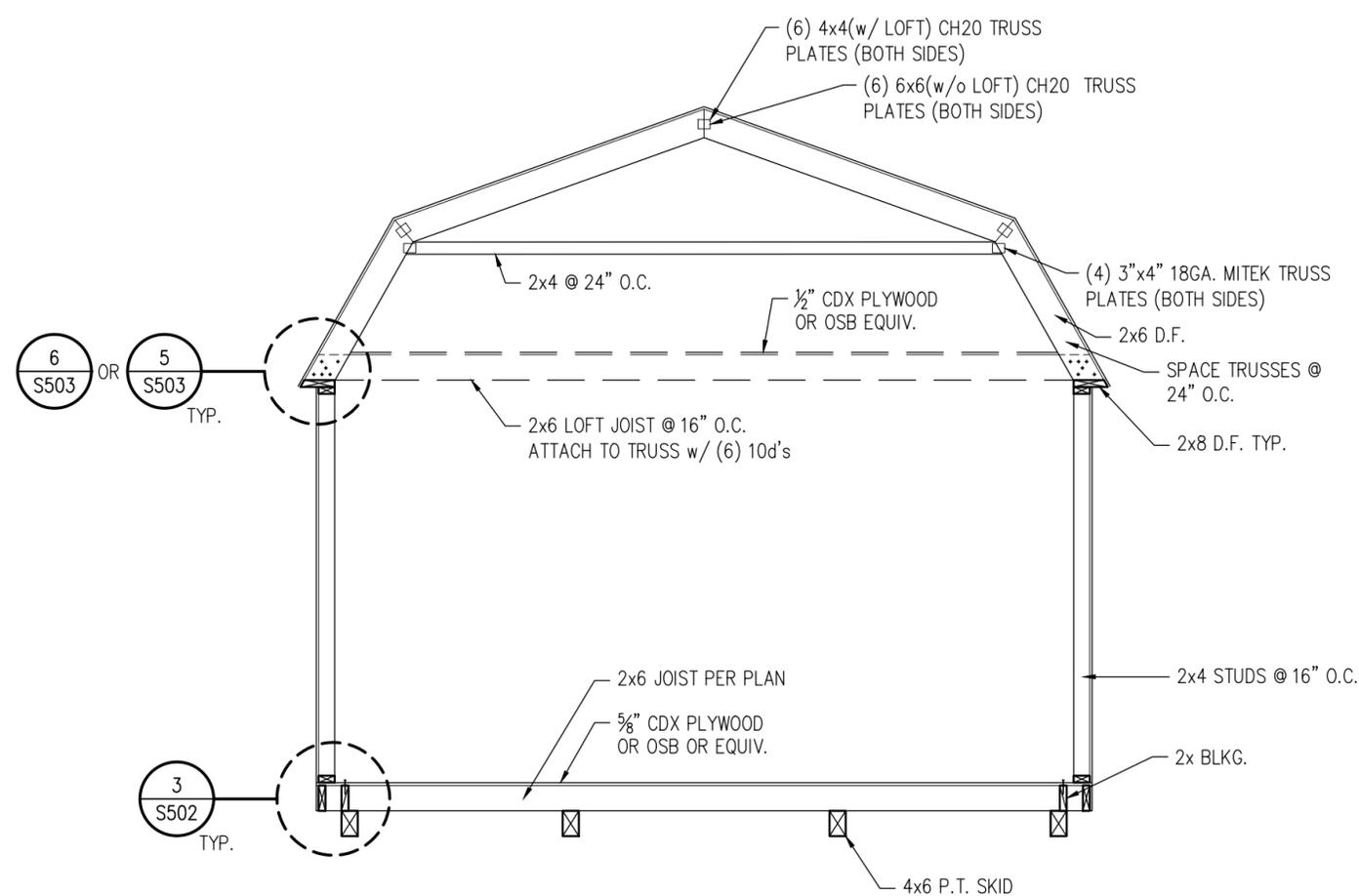
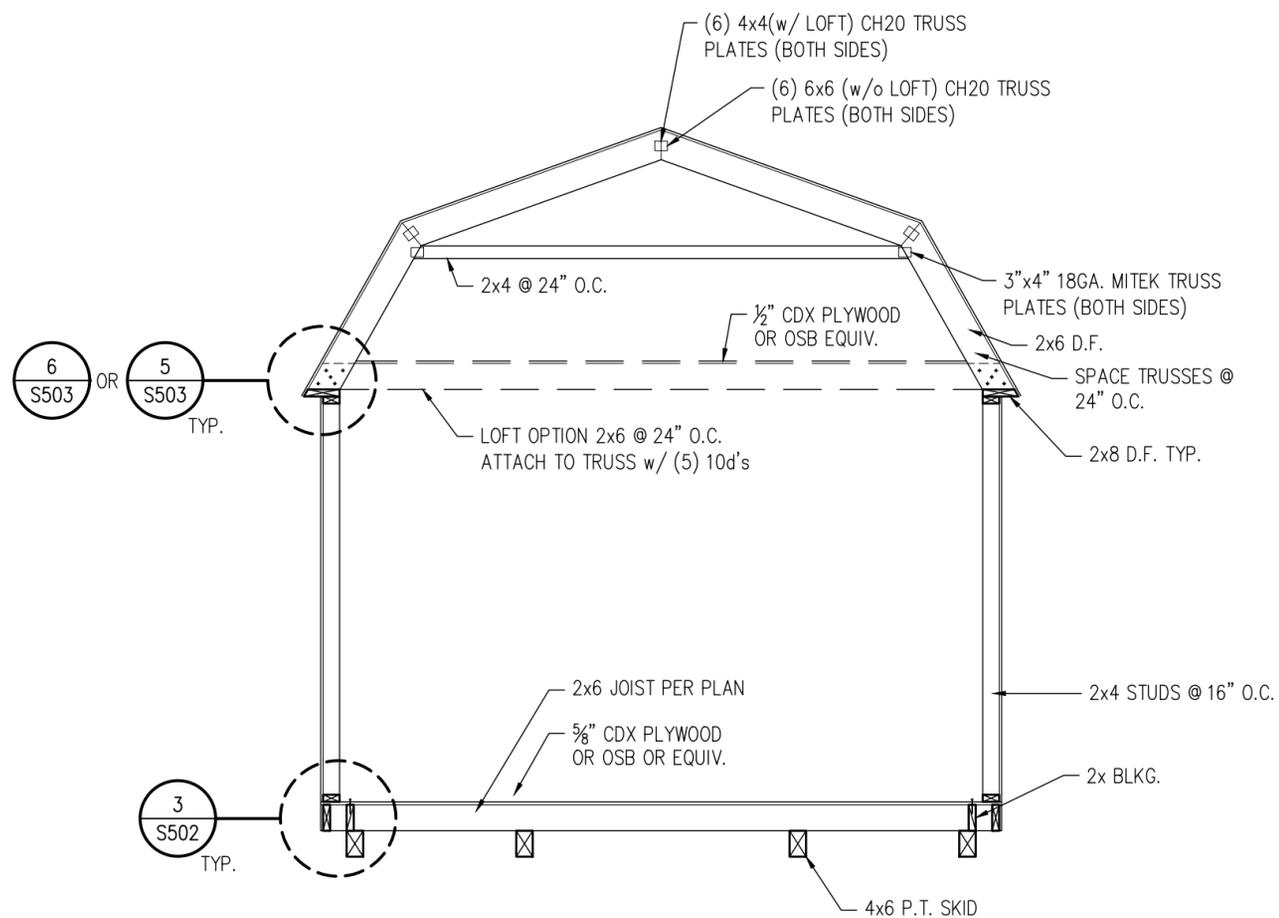
DRAWING DESCRIPTION

GAMBREL BUILDING SECTIONS

DRAWN WKR
 CHECKED BAM
 DATE 04/17/20
 SCALE AS NOTED
 JOB NO. 14430-20

SHEET

S204



1 12'-0" WIDTH GAMBREL BUILDING SECTION
SCALE: 3/8" = 1'-0" 30 psf ROOF SNOW LOADS

2 14'-0" WIDTH GAMBREL BUILDING SECTION
SCALE: 3/8" = 1'-0" 30 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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RENO, NEVADA 89509
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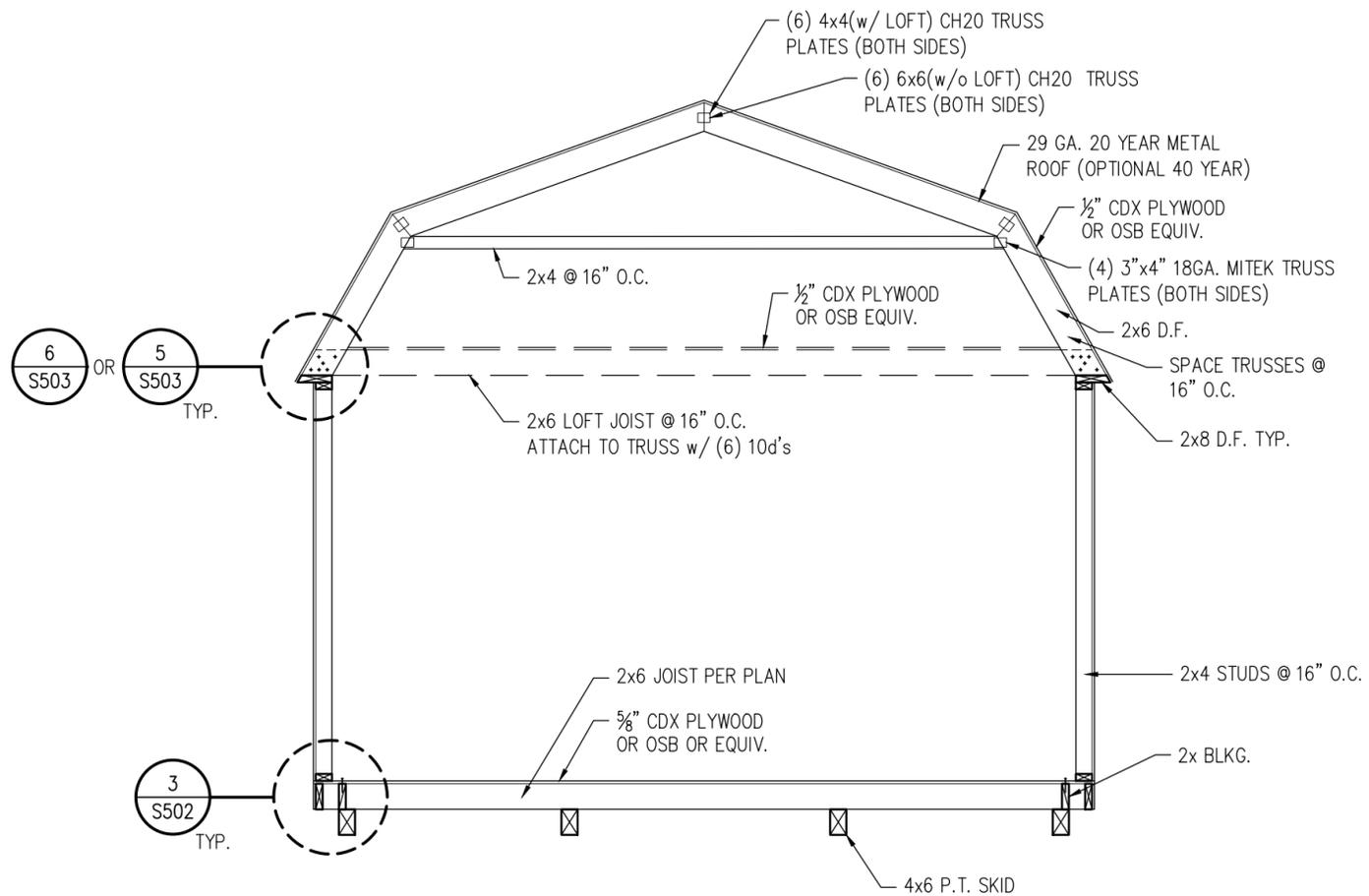
DRAWING DESCRIPTION

GAMBREL BUILDING SECTIONS

DRAWN WKR
CHECKED BAM
DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET

S205



NOTE:
SEE 1/S505 FOR LOFT ACCESS

1 16'-0" WIDTH GAMBREL BUILDING SECTION

SCALE: 1/4" = 1'-0"

65 psf ROOF SNOW LOADS

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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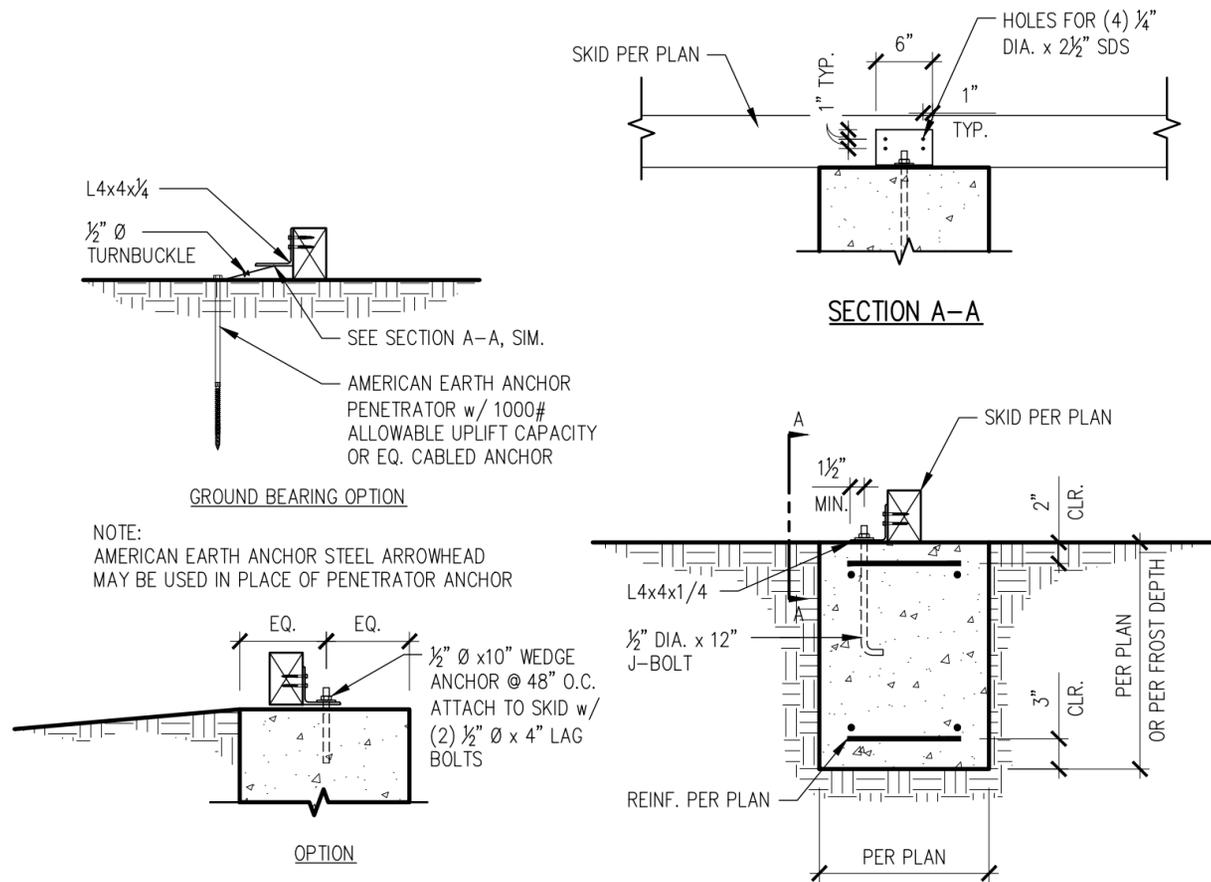
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GAMBREL BUILDING SECTIONS

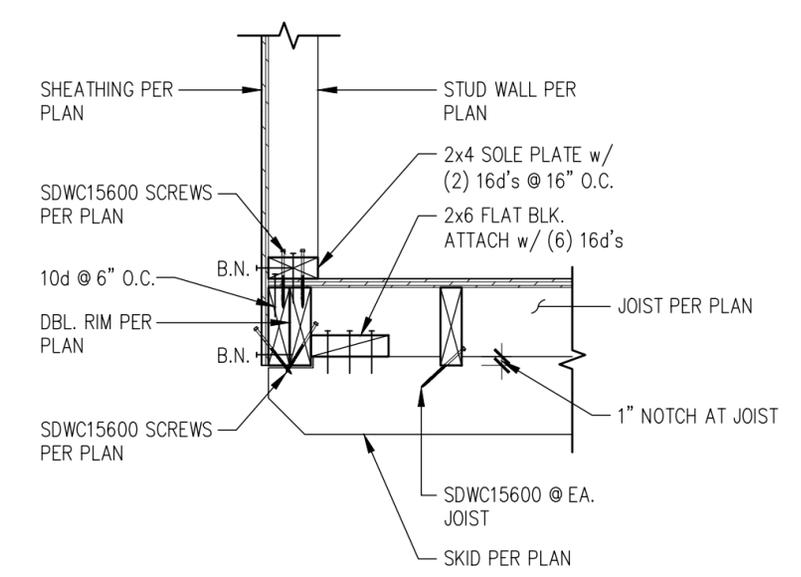
DRAWN WKR
CHECKED BAM
DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET

S206



1 FOOTING CONNECTION
SCALE: 3/4" = 1'-0"



2 HOLDOWN FRAMING
SCALE: 3/4" = 1'-0"

FTG. NOT SHOWN FOR CLARITY

OUT WEST BUILDINGS
30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406

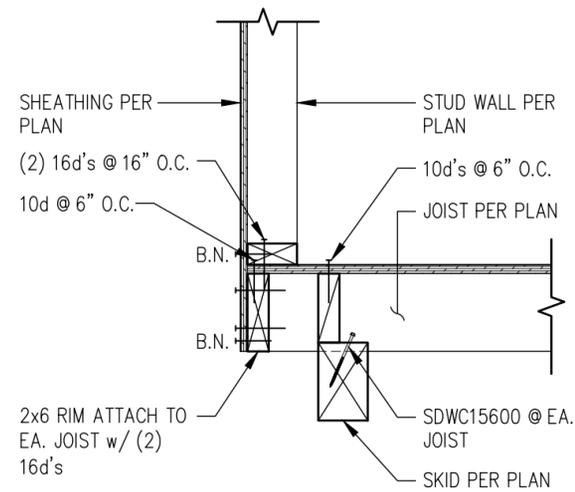


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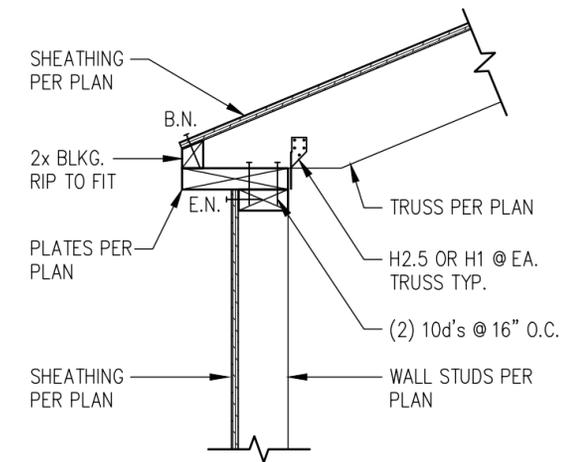
DRAWING DESCRIPTION
DETAILS

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CHECKED BAM
DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET
S501



3 JOIST CONNECTION
SCALE: 3/4" = 1'-0"



4 TRUSS CONNECTION
SCALE: 3/4" = 1'-0"

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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RENO, NEVADA 89509
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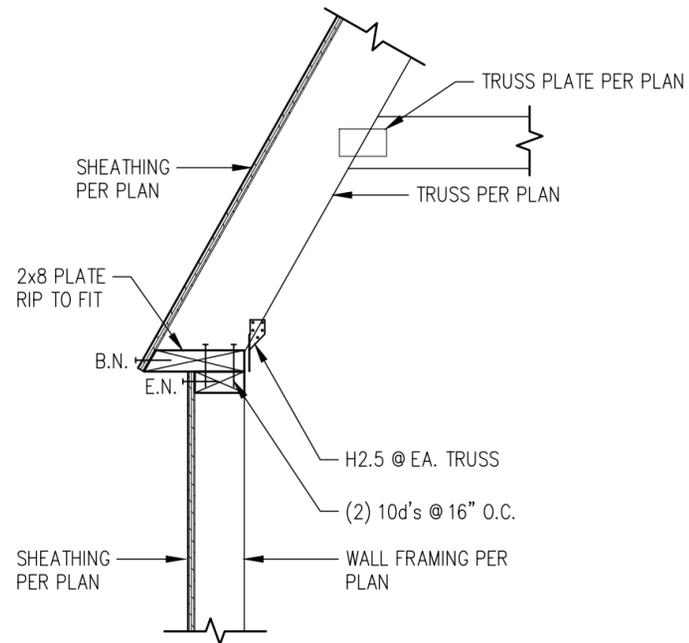
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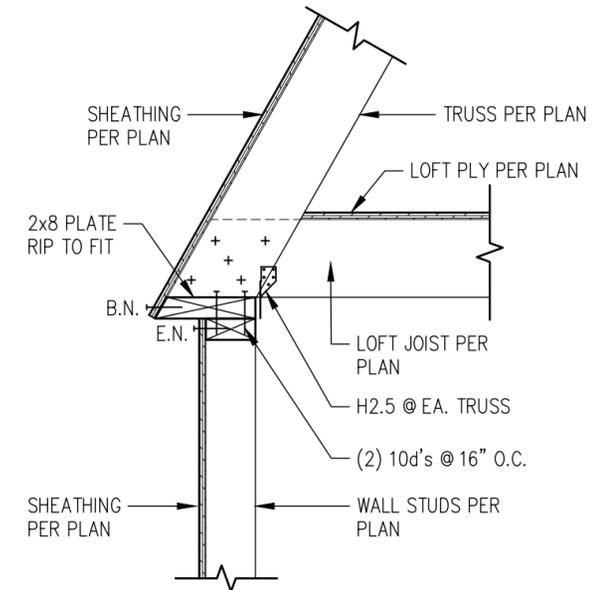
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DATE 04/17/20
SCALE AS NOTED
JOB NO. 14430-20

SHEET

S502



5 TRUSS CONNECTION
SCALE: 3/4" = 1'-0"



6 TYP. GAMBREL LOFT
SCALE: 3/4" = 1'-0"

OUT WEST BUILDINGS

30 psf ROOF SNOW LOADS
7450 RENO HWY
FALLON, NV 89406



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S503

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS

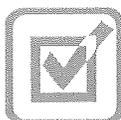


The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

From: [Jeanette Jordan](#)
To: [Planning Department](#)
Subject: LU-2021-0320
Date: Thursday, September 16, 2021 6:32:59 PM

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

We have absolutely no issue with the request to the proposed construction of a 560 square foot guest house at 5624 Conte Drive.

I believe that Carson City has an ordinance concerning short term or daily rental in residential areas (such as AirBNB). We would have an issue if this is the purpose of this building.

However, if this is for a mother-in-law quarters or place for family and friends to visit the owners of 5624 Conti Drive we whole heartedly endorse the approval.

Thanks for your attention.

Morgan Harrison
Harrison Trust
5429 Conte Drive
775.233.5397
lewandjj@gmail.com