

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF MARCH 30, 2022

FILE NO: LU-2022-0062

AGENDA ITEM: 6.A

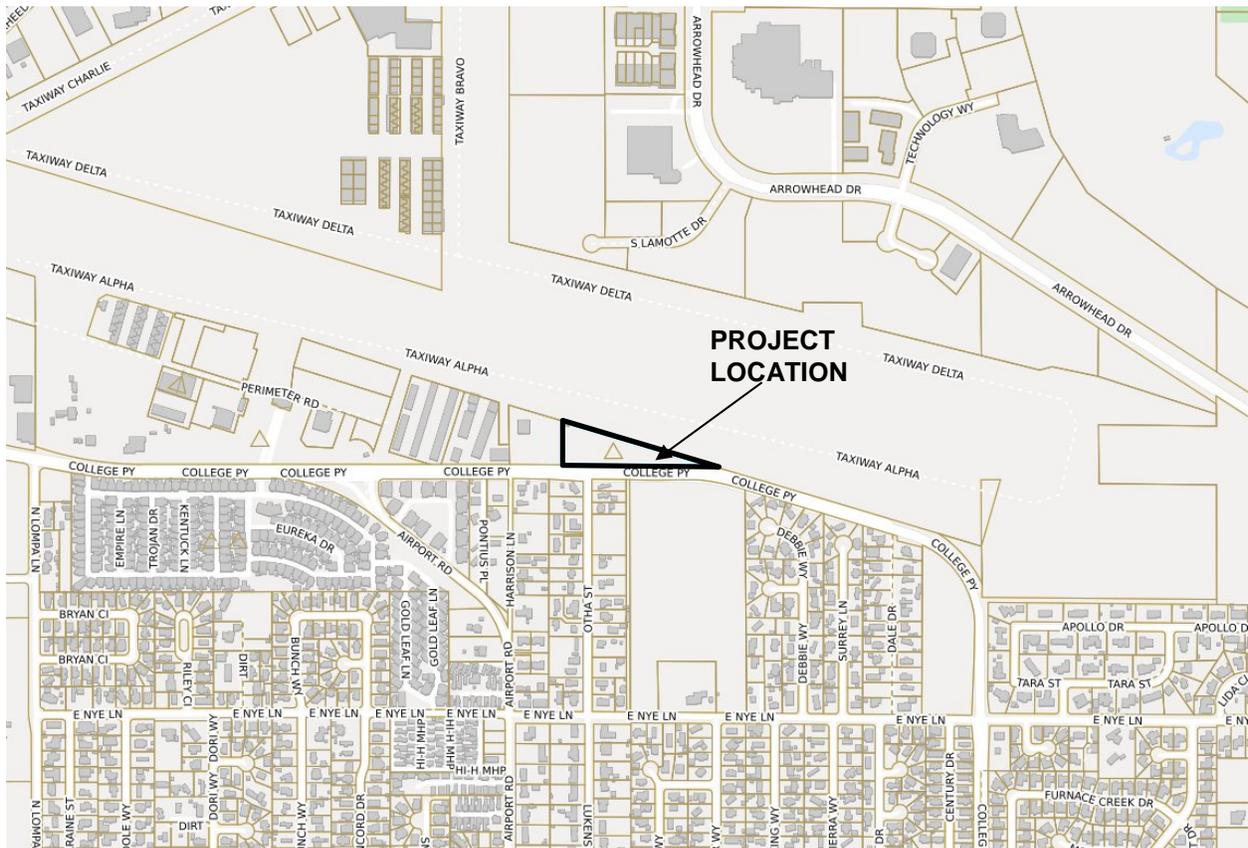
STAFF AUTHOR: Heather Ferris, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for a special use permit to allow for the relocation and upgrade of the existing automated weather observation system equipment and tower at the Carson City Airport, on property zoned Public Regional (“PR”), located at 3420 College Parkway, APN 005-011-05. (Heather Ferris, hferris@carson.org)

Summary: The Carson City Airport is proposing the relocation and upgrade of the existing automated weather observation system (“AWOS”) equipment and tower from the western portion of the subject parcel to the eastern portion of the parcel. Per Carson City Municipal Code (“CCMC”) 18.04.185, a use may only be established in the PR zoning district subject to a special use permit. The Planning Commission is authorized to approve an amendment to a special use permit.

RECOMMENDED MOTION: “I move to approve LU-2022-0062 based on the ability to make the required findings and subject to the conditions of approval included in the staff report.”

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the approved plans, except as otherwise modified by the conditions of approval.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.185 (Public Regional)

MASTER PLAN DESIGNATION: Public / Quasi-Public & Parks & Recreation

ZONING DISTRICT: Public Regional ("PR")

KEY ISSUES: Will the use be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Public Regional / airport

EAST: Public Regional / airport

WEST: Public / hangar

SOUTH: Mobile home 12,000 / residences and vacant land (approved subdivision)

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X (area of minimal risk)

EARTHQUAKE FAULT: Zone II (Moderate) beyond 500 feet

SLOPE/DRAINAGE: Site is generally flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 4.76 acres

STRUCTURE SIZE: 30-foot-tall tower with ground mounted equipment

VARIANCES REQUESTED: None

DISCUSSION:

The subject property is approximately 4.76 acres in size and is located on the north side of College Parkway and south of Taxiway Alpha on the Carson City Airport property. The Carson City Airport is proposing the relocation and upgrade of the existing AWOS equipment and tower from the western portion of the subject parcel to the eastern portion of the parcel. The tower will be a lattice type tower, 30 feet in height. While many of the components of the tower and ground mounted facilities will include new, upgraded equipment, the appearance will be in keeping with the existing tower and equipment.

Per CCMC 18.04.185, a use may only be established in the PR zoning district subject to a special use permit. The Planning Commission is authorized to approve an amendment to a special use permit.

PUBLIC COMMENTS:

Public notices were mailed to 34 property owners within 600 feet of the subject site on March 15, 2022. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on March 30, 2022, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

Development Engineering:

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The project has a negligible impact on vehicle and pedestrian traffic.

CCMC 18.02.080(5)(d) - Public Services

The project has no impact to City water, sewer, or storm drain systems.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

Earthquake faults: There are no earthquake fault lines shown on the USGS fault maps near the site.

FEMA flood zones: The FEMA flood zone designation is X, and there are no special flood damage prevention requirements.

Site slope: The site is level.

Soils and Groundwater: The site is developed.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

Project must comply with the International Fire Code and northern Nevada Fire Code amendments as adopted by Carson City.

FINDINGS:

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the objectives of the Master Plan elements.*

The subject property is in the Public/Quasi-Public (PQP) master plan designation. The PQP designation is intended for schools, government offices, community centers, fire stations, airports, libraries, hospitals, and other similar uses. The proposed project is consistent with the intent of the PQP master plan designation as it is located on the Carson City Airport property and involves the relocation and upgrade of an existing AWOS tower and ground mounted equipment.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.*

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood. The project involves the relocation of the existing AWOS tower and ground mounted equipment 600 feet east of the current location, on the same property. The tower will be a lattice type tower, 30 feet in height. While many of the components of the tower and ground mounted facilities will include new, upgraded equipment, the appearance will be in keeping with the existing tower and equipment.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The relocation/upgrade of the existing tower will not create a detrimental effect on vehicular or pedestrian traffic. There will be no change to traffic patterns. The tower will be located 600 feet west of its current location, on the same property.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.*

The relocation/upgrade of the existing tower and equipment will not overburden or create a demand on public services or facilities. It will provide for an AWOS tower and equipment with full functionality that meets FAA siting criteria and does not interfere with future development of the airport.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.*

The primary purpose of the Public Regional zoning (CCMC 18.04.185) is to accommodate federal, state, and city facilities and uses whose main purpose is to sustain wide regional needs. The relocation and upgrade of the existing AWOS tower and equipment is consistent with the purpose

this purpose as it is serving the Carson City Airport. Per CCMC 18.04.185 the use may only be established or modified subject to a special use permit. In the PR zoning district, setbacks and heights are determined as part of the special use permit. As conditioned, the project will meet the definition and specific standards set forth in Title 18.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

The relocation and upgrade of the existing AWOS tower and equipment will not be detrimental to the public health, safety, convenience and welfare. The tower and equipment will be relocated 600 feet east of its current location, on the same parcel.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The project is proposed at the Carson City Airport and includes the relocation/upgrade of the existing AWOS tower and ground-mounted equipment. The tower and equipment will be relocated 600 feet to the east of its current location, on the same property. The relocation/upgrade of the tower and equipment will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Application LU-2022-0062

Carson City Planning Division
 108 E. Proctor Street • Carson City NV 89701
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: \$2,450.00 MAJOR
 \$2,200.00 MINOR (Residential zoning districts)

+ noticing fee

*Due after application is deemed complete by staff

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By: _____

Submission Deadline: Planning Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

FILE

APPLICANT _____ PHONE # _____

MAILING ADDRESS, CITY, STATE, ZIP _____

EMAIL ADDRESS _____

PROPERTY OWNER _____ PHONE # _____

MAILING ADDRESS, CITY, STATE, ZIP _____

EMAIL ADDRESS _____

APPLICANT AGENT/REPRESENTATIVE _____ PHONE # _____

MAILING ADDRESS, CITY STATE, ZIP _____

EMAIL ADDRESS _____

Project's Assessor Parcel Number(s): _____ Street Address _____

Project's Master Plan Designation _____ Project's Current Zoning _____ Nearest Major Cross Street(s) _____

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

PROPERTY OWNER'S AFFIDAVIT

I, _____, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature Cory J _____ Address _____ Date _____

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA)
 COUNTY)

On _____, 2_____, _____, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public _____

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:
 - a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
 - b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:



- c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
 - d. Title block in lower right-hand corner including:
 - i. Applicant's name, mailing address, and daytime phone number (including area code).
 - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
 - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - v. Project title and permit request. (Example: Variance, Special Use Permit).
8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
 - a. Distances from property lines indicated by dimensions.
 - b. Distances between buildings shall be indicated on the site plan.
 - c. Clearly label existing and proposed structures and uses, and show dimensions.
 - d. Square footage of all existing and proposed structures.
 - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - f. Elevations of any proposed structures/additions.
 - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
11. Project access:
 - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - b. Show adjoining street names.
 - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.

13. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
15. If specific landscape areas are required or provided, show with dimensions.
16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

SPECIAL USE PERMIT APPLICATION FINDINGS

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

- Explanation:
- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
 - B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
 - C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
 - D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

- Explanation:
- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?
 - B. How will your project affect police and fire protection?
 - C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Corey Jenkins

Print Name

02/22/2022

Date

DETAILED WRITTEN PROJECT DESCRIPTION

Carson City Airport Automated Weather Observation System Relocation and Upgrade

Currently, the Airport has an All Weather brand automated weather observation system (AWOS) that does not meet current FAA requirements and is no longer a certified source of weather data. This project involves the relocation of the existing AWOS to a location that meets the FAA siting criteria and does not conflict with future development at the airport. In addition to relocating the AWOS, system components will be upgraded as necessary to restore functionality and reliability.

The existing AWOS is an AWOS IIIPT. The equipment and sensors associated with the AWOS are of variable generations and some of the sensors are obsolete, therefore no longer supported. During the design of this project, the existing system has been evaluated to determine which specific sensors require replacement. As this system is certified as a whole, it is very likely that the procurement for this project will necessarily be a sole-source procurement.

General work associated with this project includes construction of new tower and sensor foundations, relocation of the existing sensor stands, relocation of existing sensors/equipment identified for reuse, installation of new sensors to replace aged/obsolete sensors, extending power and communication to the new location, and general clearing and grubbing within the area immediately around the system.

SPECIAL USE PERMIT APPLICATION FINDINGS

1. Will be consistent with the objectives of the Master Plan elements.

- This project is consistent with the objectives of the Master Plan.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

- This project will not be detrimental to the use, peaceful enjoyment, economic value or development of the surrounding properties or the general neighborhood. This project does not impact the character and integrity of adjacent development and neighborhoods, does not include modifications to public right-of-way and will not create any adverse impacts (noise, vibrations, fumes, odors, dust, glare, etc.) to surrounding properties.
- A. The land use and zoning designations surrounding the property include:
 - North: General industrial
 - East: Public regional
 - South: Residential
 - West: Public regional
- B. This project involves relocation and installation of existing equipment on airport property. The automated weather observation system equipment will be moving 600 feet east of its current location and will remain in the same parcel within airport property boundaries. The project does not require new construction other than the subsurface/surface foundation needed for the equipment. The new location of the equipment is more than 350 feet in a straight line from any residential property line and 680 feet from the nearest building on the same parcel, which is the electrical building that will power this equipment.
- C. This project will not be detrimental to the use, peaceful enjoyment, economic value or development of the surrounding properties or the general neighborhood because it does not involve new construction and will not physically affect any surrounding residential property.
- D. The lighting installed with the tower is a dual, LED obstruction light housed in a weather/corrosion-resistant lamp assembly. This lighting is a permanent installation and must be installed with the tower at the time of completion. This tower lighting is not intrusive to adjoining properties and will not be shielded from adjoining properties.
- E. Landscaping is not proposed as part of this project.
- F. Approval of this project will allow for the installation of the AWOS in a more appropriate location per the FAA, and allow for the upgrade to current and proper equipment for weather reporting. Once the AWOS is moved, the airport will be able to build its snow removal equipment storage building. The building shall

provide shelter for the equipment and its operator and increase the longevity of the equipment. Having the equipment and storage for the equipment will better enable the airport to keep runways, taxiways and all airport roadways clear of snow and ice, thus providing frequently maintained airport facilities for public use.

- 3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**
 - This project does not intersect any public roads. Pedestrian and vehicular traffic will not be affected by the equipment relocation because it will remain on airport property, which has controlled access to the public.
- 4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**
 - A. This project will not affect the school district, add to the student population, or provide a service to the student population.
 - B. This project will not affect police and fire protection.
 - C. A water supply is not needed for this project.
 - D. This project will not result in covering any land area with paving or compacted surface.
 - E. Sewer lines will not be affected.
 - F. There are no road improvements needed to accommodate the project.
 - G. Private engineer.
- 5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**
 - The airport property falls under the Public Regional (PR) zoning district, which includes “Federal, state and city facilities and uses whose main purpose is to sustain wide regional needs.” The airport services the region’s general aviation purposes and needs. Per 18.04.195, the site development standards are “N/A” and building height, building setbacks, minimum area, minimum lot width and maximum lot depth are to be determined by the special use permit. In this case, there is no building so the equipment’s particular size and structure must be reviewed.
- 6. Will not be detrimental to the public health, safety, convenience and welfare.**
 - This project will not be detrimental to the public health, safety, convenience, and welfare of the surrounding community. The proposed equipment relocation will positively contribute to the airport's operations.
- 7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**
 - This project will not result in material damage or prejudice to other property in the vicinity.

PROJECT IMPACT

This project does not impact ground or air traffic on and in the vicinity of airport property throughout the duration of construction. There will be no changes to drainage in the area, and any water, sewer, or other utility services to the airport and surrounding community will not be affected throughout the duration of the equipment relocation.

CARSON CITY AIRPORT

CARSON CITY, NEVADA

CONSTRUCTION DRAWINGS

AIP No. 3-32-0004-034-2020

PWP No. CC-2020-255

ACI No. 216734

PREPARED BY:

ARMSTRONG CONSULTANTS, INC.
APRIL 2021

REVIEWED BY AND PREPARED UNDER MY DIRECT SUPERVISION:

DESIGNED BY:

DATE

REGISTERED PROFESSIONAL ENGINEER

DATE

INDEX TO SHEETS

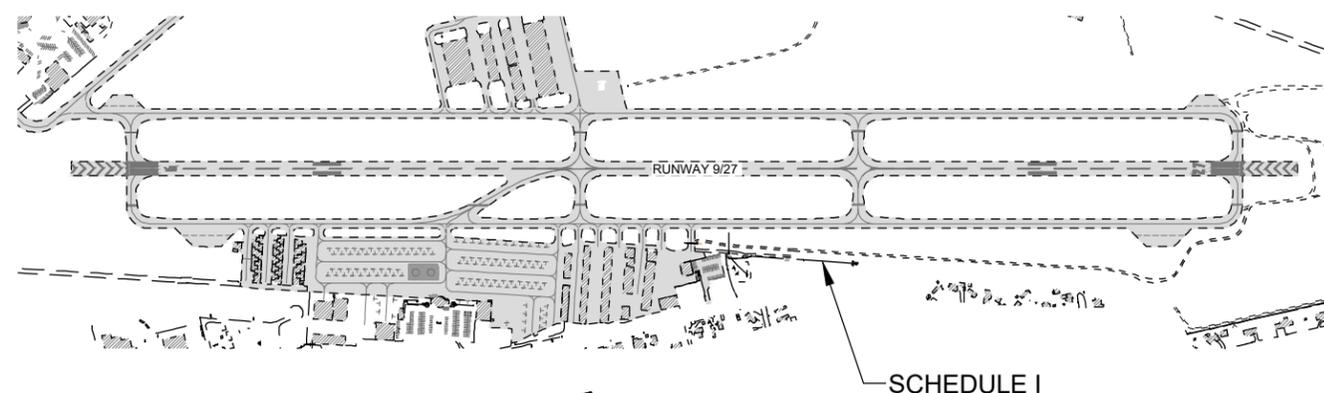
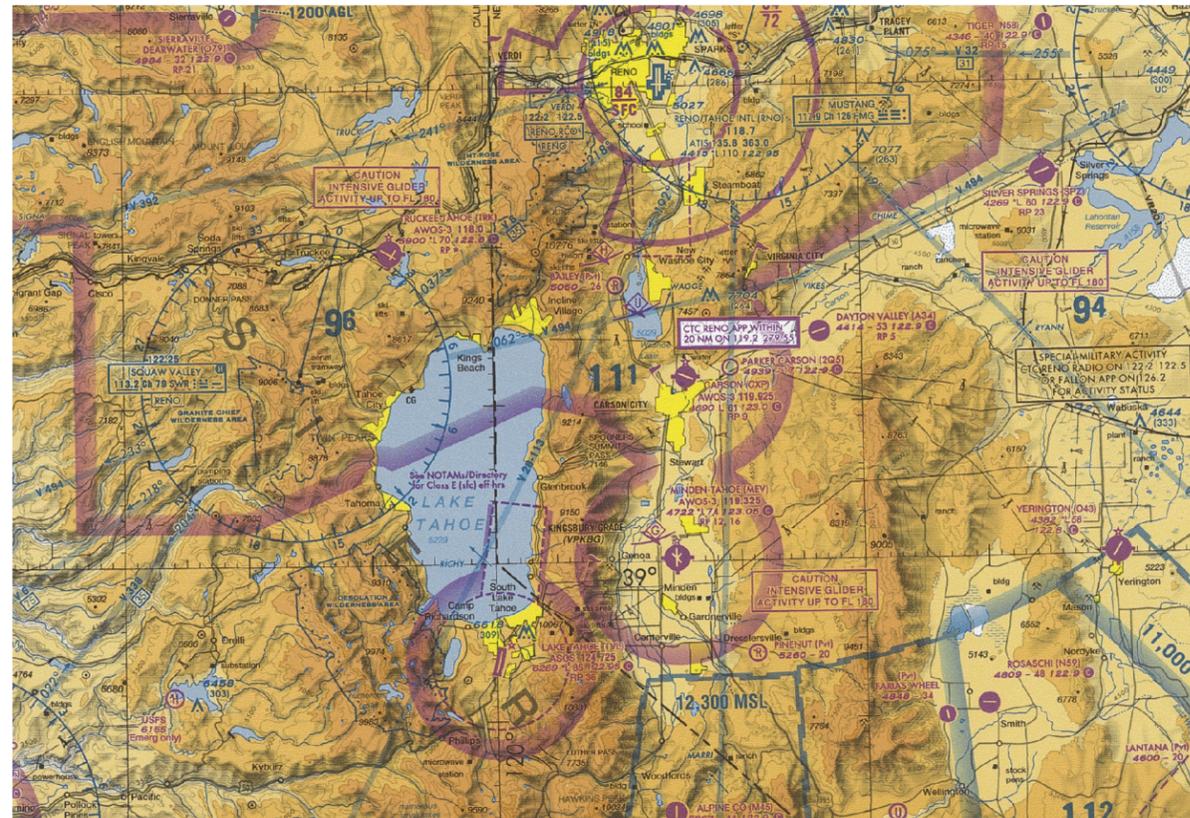
COVER SHEET	1.1
GENERAL NOTES, LEGEND & SURVEY CONTROL	1.2
DEMOLITION PLAN	2.1
AWOS LAYOUT PLAN	2.2
AWOS DETAILS	3.1 - 3.3
CONSTRUCTION SAFETY & PHASING PLAN	ATTACHED

SCHEDULE I

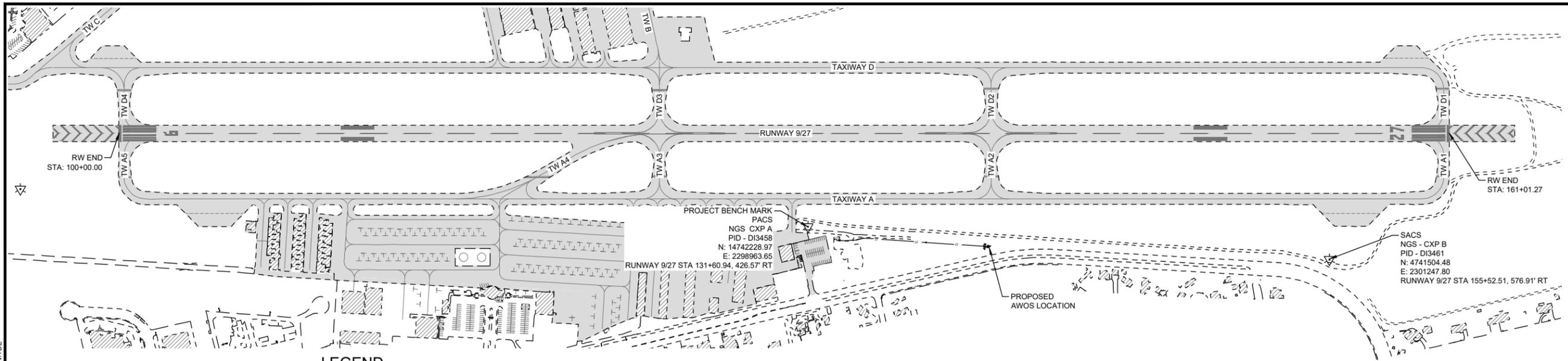
RELOCATE AND UPGRADE
 AWOS IIIPT - SITE WORK

Carson City Airport Authority
 2600 College Parkway
 775-841-2255
 APN: 00501101
 SPECIAL USE PERMIT SITE PLAN

SHEET 1.1



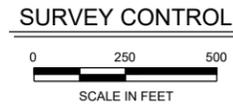
S:_Nevada\Carson City\Project_Files\Active_Projects\216734 CARSON - RELOCATE AWOS\CAD\dwg\Special Use Permit\216734101_SUP.dwg 11/1/2021 10:41:13 AM MMONROE



LEGEND

<ul style="list-style-type: none"> EXISTING SPOT ELEVATION EXISTING GROUND CONTOUR (5' INTERVAL) EXISTING RUNWAY EDGE LIGHT EXISTING TAXIWAY EDGE LIGHT EXISTING RETROREFLECTIVE MARKER EXISTING SPLICE BASE EXISTING AIRFIELD SIGN EXISTING BEACON EXISTING WIND CONE EXISTING SEGMENTED CIRCLE EXISTING PAPI / VASI EXISTING REIL EXISTING AWOS/ASOS/UNICOM EXISTING TIEDOWN ANCHOR EXISTING UTILITY POLE EXISTING AREA LIGHT EXISTING GUY EXISTING PAD MOUNTED TRANSFORMER EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING AREA INLET EXISTING MANHOLE / CLEAN-OUT EXISTING TELEPHONE RISER EXISTING TREE EXISTING ROAD SIGN(S) EXISTING SECTION CORNER EXISTING SURVEY CONTROL MONUMENT EXISTING PROPERTY CORNER PIN/CAP EXISTING AIRFIELD POWER CABLE(S) EXISTING DUCT EXISTING CULVERT EXISTING SWALE DIRECTION EXISTING BARB WIRE FENCE EXISTING CHAIN LINK FENCE EXISTING WILDLIFE FENCE EXISTING SANITARY SEWER LINE EXISTING STORM DRAIN LINE EXISTING WATER LINE EXISTING GAS LINE EXISTING UNDERGROUND POWER OR TELE. LINE EXISTING OVERHEAD POWER CABLE EXISTING UNDERGROUND COMMUNICATION LINE EXISTING FIBER OPTIC CABLE EXISTING UNDERDRAIN W/ CLEAN-OUT EXISTING ASPHALT PAVEMENT EDGE EXISTING CONCRETE PAVEMENT EDGE EXISTING GRAVEL EDGE EXISTING CONCRETE PAVEMENT EXISTING ASPHALT PAVEMENT EXISTING GRAVEL EXISTING BUILDING EXISTING WETLANDS 	<ul style="list-style-type: none"> PROPOSED FINISHED GRADE ELEVATION PROPOSED GROUND CONTOUR (1' INTERVAL) PROPOSED RUNWAY EDGE LIGHT PROPOSED TAXIWAY EDGE LIGHT PROPOSED TAXIWAY RETROREFLECTIVE MARKER PROPOSED SPLICE BASE / PULL BOX PROPOSED AIRFIELD SIGN PROPOSED BEACON AND TOWER PROPOSED LIGHTED WIND CONE PROPOSED SEGMENTED CIRCLE PROPOSED PAPI PROPOSED REIL PROPOSED AWOS PROPOSED TIEDOWN ANCHOR PROPOSED UTILITY POLE PROPOSED SUPPLEMENTAL WIND CONE PROPOSED AREA LIGHT (S) PROPOSED ELECTRIC TRANSFORMER PROPOSED FIRE HYDRANT PROPOSED WATER VALVE PROPOSED STORM DRAIN INLET PROPOSED SANITARY SEWER CLEAN-OUT PROPOSED MANHOLE PROPOSED SURVEY MONUMENT PROPOSED AIRFIELD POWER CABLE(S) PROPOSED COUNTERPOISE CABLE PROPOSED CONCRETE ENCASED DUCT BANK PROPOSED CULVERT w/END SECTIONS PROPOSED SWALE DIRECTION PROPOSED BARBED WIRE FENCE PROPOSED CHAIN LINK FENCE PROPOSED WILDLIFE FENCE PROPOSED SANITARY SEWER LINE PROPOSED STORM DRAIN LINE PROPOSED WATERLINE PROPOSED GAS LINE PROPOSED UNDERGROUND POWER/TELE PROPOSED PERFORATED UNDERDRAIN W/ CLEAN-OUT PROPOSED NON-PERFORATED UNDERDRAIN PROPOSED SEDIMENT LOG PROPOSED SILT FENCE PROPOSED CONCRETE PAVEMENT PROPOSED ASPHALT PAVEMENT PROPOSED ASPHALT PAVEMENT OVERLAY PROPOSED MARKING REMOVAL PROPOSED GRAVEL PROPOSED ROCK RIPRAP PROPOSED BUILDING PROPOSED SEEDING AREA PROPOSED GRADING AREA
---	--

NOTE: LEGEND APPLIES TO ALL SHEETS IN THIS PLAN SET, IS GENERIC, AND NOT ALL SYMBOLS MAY BE IN PLAN SHEETS.



GENERAL NOTES

- ESTIMATED QUANTITIES ARE CONSIDERED APPROXIMATE ONLY EXCEPT WHERE PLAN QUANTITIES ARE SPECIFIED FOR PAYMENT. ACTUAL QUANTITIES SHALL BE DETERMINED BY FIELD MEASUREMENT OR SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE MATERIAL SUBMITTALS FOR THE ENGINEER'S APPROVAL PRIOR TO ORDERING.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION PERMITS AS NECESSARY FOR THE PROJECT.
- THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A WORK SCHEDULE AND PROPOSED CONSTRUCTION METHODS AT THE PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM AIRPORT MANAGEMENT AND THE ENGINEER PRIOR TO ESTABLISHING CONSTRUCTION ACCESS OR HAUL ROADS. EXISTING PAVEMENT SURFACES OTHER THAN AIRFIELD PAVEMENTS SHALL BE USED TO THE MAXIMUM EXTENT POSSIBLE.
- THE CONTRACTOR SHALL MINIMIZE DISTURBANCE INCLUDING RUTS PRODUCED BY VEHICLES AND EQUIPMENT IN NON-PAVEMENT AREAS WITHIN ALL CONSTRUCTION AREAS. ALL DISTURBED AREAS IN THESE LOCATIONS SHALL BE RECLAIMED AT NO ADDITIONAL COST TO THE SPONSOR. DAMAGE CAUSED TO EXISTING AIRFIELD PAVEMENT OR FACILITIES DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE SPONSOR.
- CONTRACTOR SHALL COORDINATE ALL ON-SITE WASTE MATERIAL DISPOSAL WITH ENGINEER AND AIRPORT.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS IN THE FIELD. THE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEVADA 811 AT LEAST 48 HOURS BEFORE ANY EXCAVATION / EMBANKMENT TO REQUEST FIELD LOCATION OF UTILITIES.



CARSON CITY AIRPORT
CARSON CITY, NEVADA

RELOCATE AWOS
AIP No. 3-32-0004-034-2020

Carson City Airport Authority
2600 College Parkway
775-841-2255
APN: 00501101
SPECIAL USE PERMIT SITE PLAN

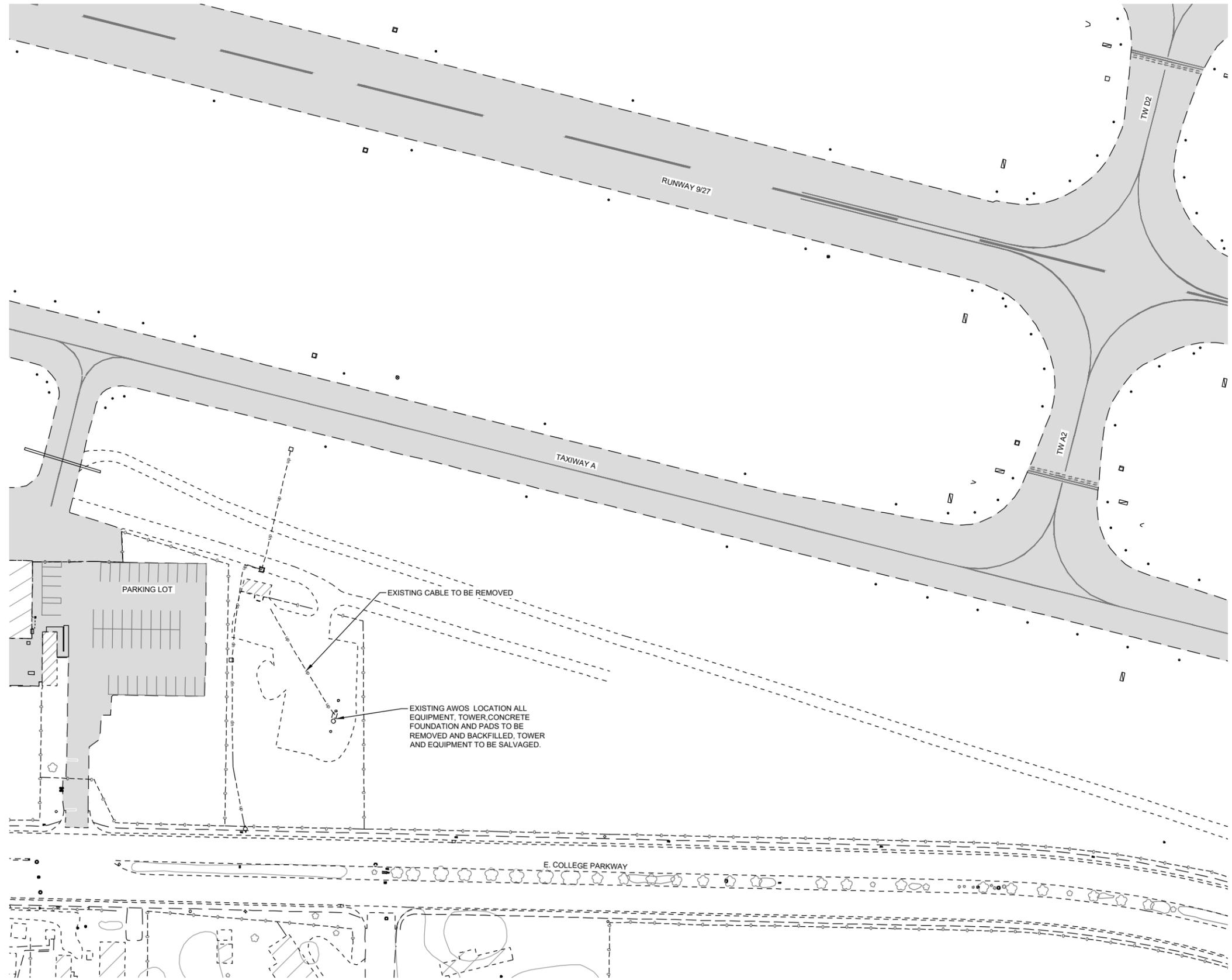
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Date: 3/2021
File Name: 216734101 SU

Drawn: JOS
Checked: NEC
Approved: CSN

GENERAL
NOTES, LEGEND
& SURVEY
CONTROL

Sheet: 1.2

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DEMOLITION PLAN
0 50 100
SCALE IN FEET



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CARSON CITY, NEVADA
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AIP No. 3-32-0004-034-2020

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ACI No. 216734
Date: 3/2021
File Name: 216734102.SUP

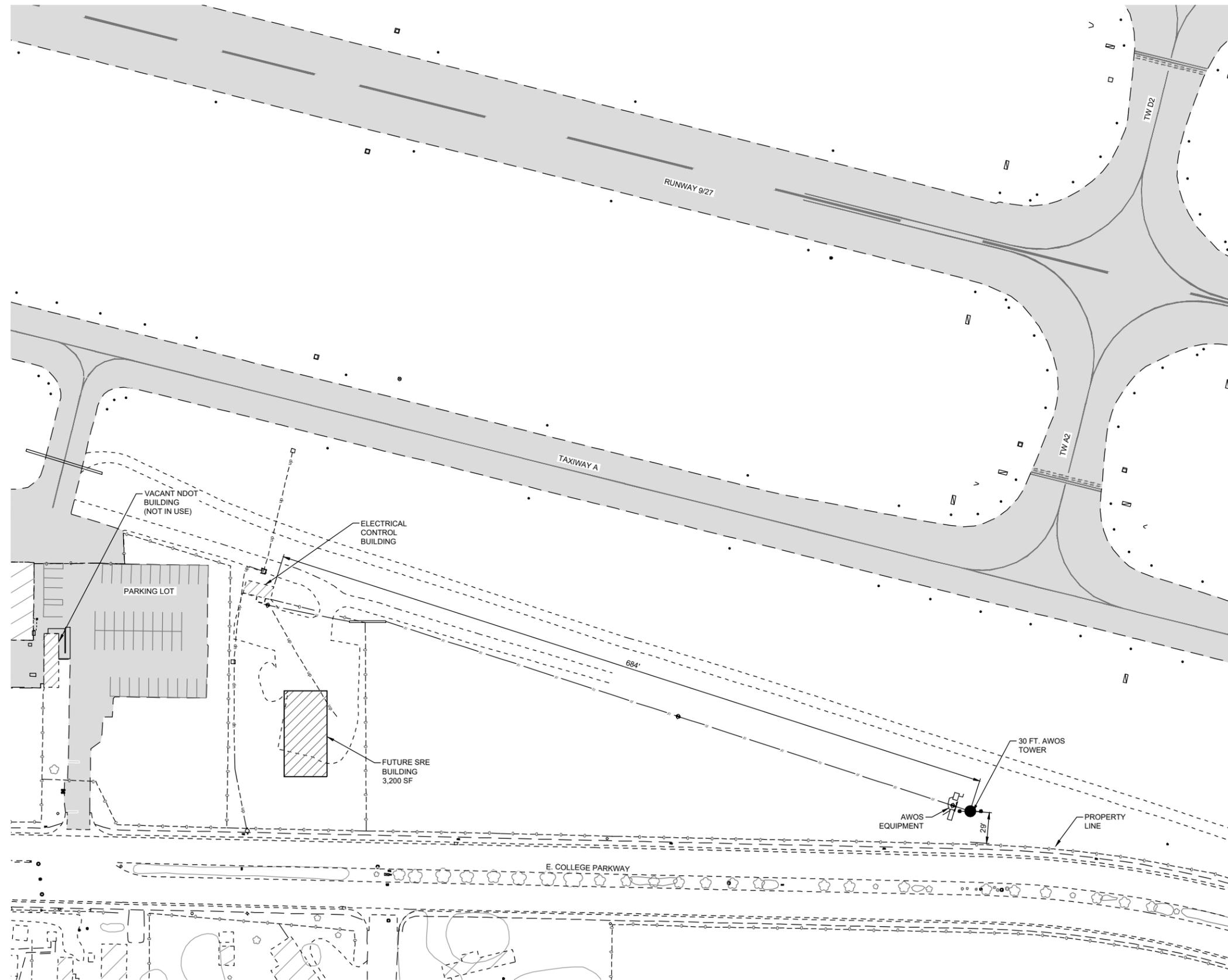
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DEMOLITION PLAN

Sheet: 2.1



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AWOS LAYOUT PLAN



CARSON CITY AIRPORT
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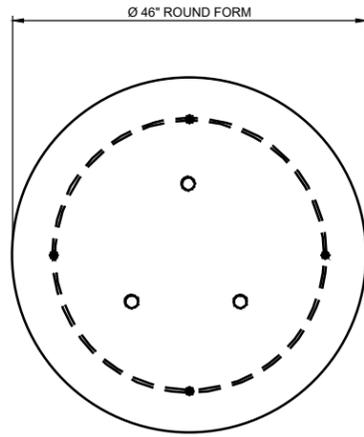
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Checked: NEC
Approved: CSN

AWOS
LAYOUT
PLAN

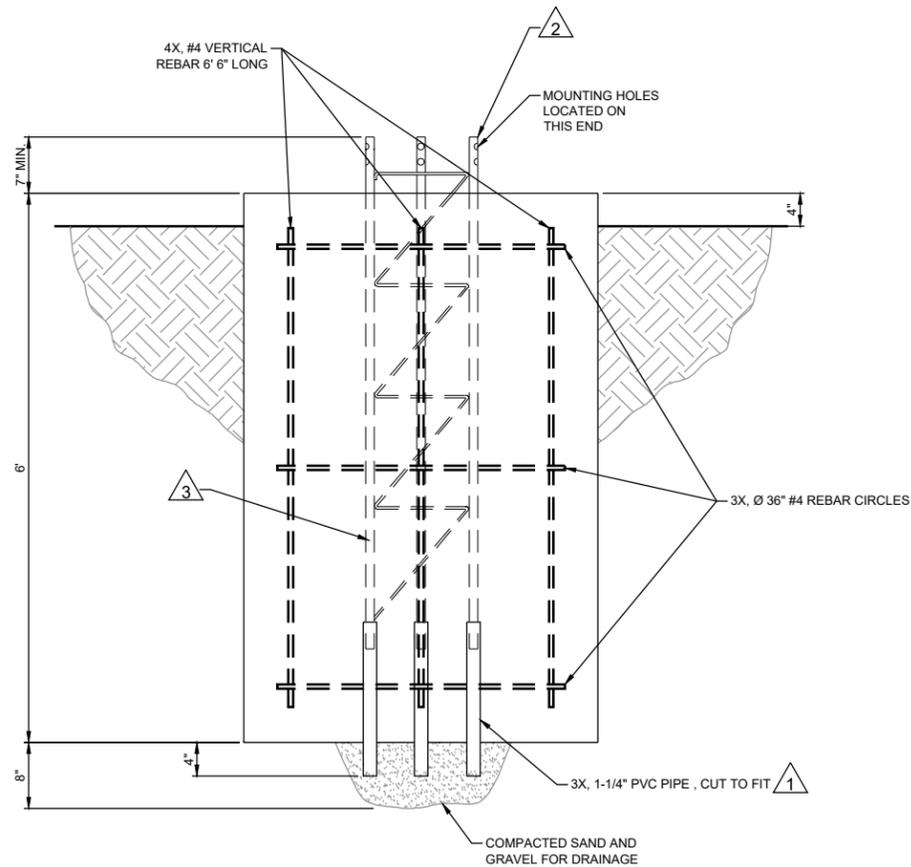
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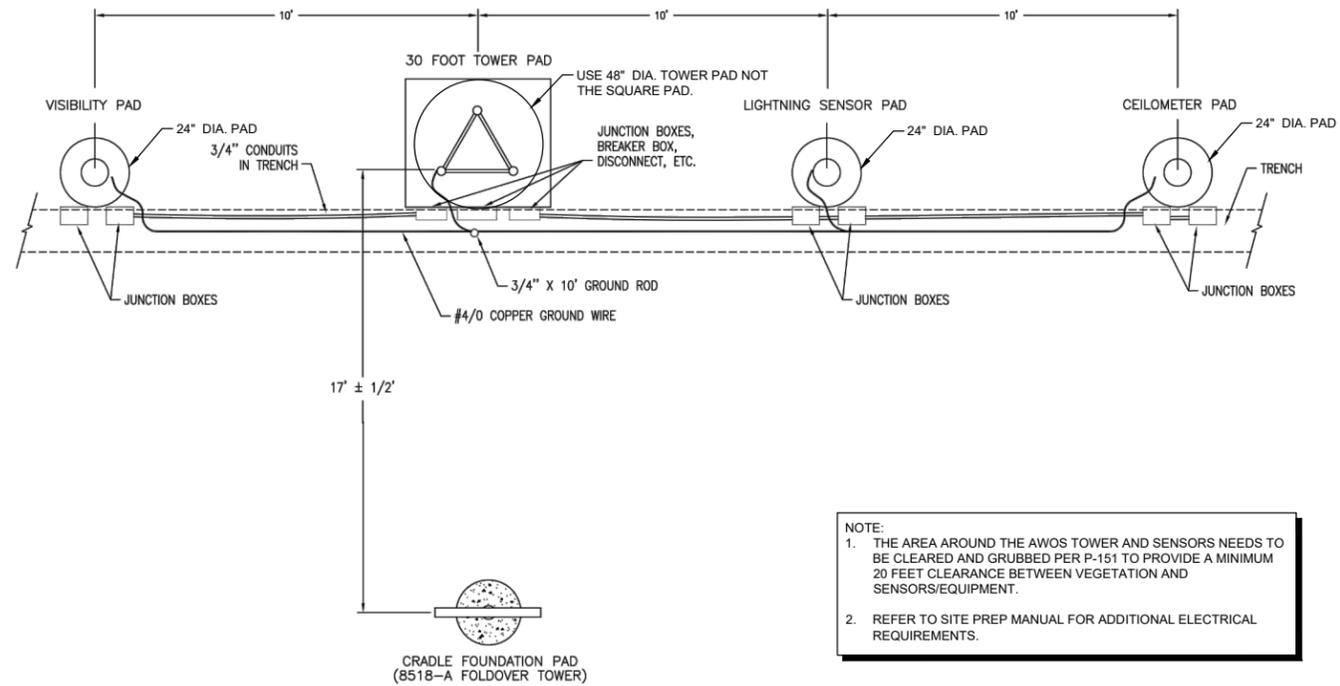


NOTES:

- 1. FOR THE CYLINDRICAL FOUNDATION ONLY:
INSTALL PVC PIPE TO THE BOTTOM OF THE THREE TOWER LEGS EXTENDING THEM BELOW THE CONCRETE INTO THE COMPACTED SAND AND GRAVEL TO ALLOW FOR DRAINAGE.
TOLERANCE FOR LEVEL/PLUMB IS ± 2".
- 2. NEW TOWER BASE, NEW TOWER, AND OBSTRUCTION LIGHT KIT TO BE PROVIDED BY OWNER.
- 3. CONTRACTOR SHALL REFERENCE ALL WEATHER PREP MANUAL FOR DETAILS REGARDING STACKED TOWER ERECTION AND OBSERVATION LIGHT INSTALLATION.



1
3.1 TOWER FOUNDATION FOR 8509 STACKED TOWER
NOT TO SCALE



2
3.1 AWOS POWER
NOT TO SCALE

NOTE:
1. THE AREA AROUND THE AWOS TOWER AND SENSORS NEEDS TO BE CLEARED AND GRUBBED PER P-151 TO PROVIDE A MINIMUM 20 FEET CLEARANCE BETWEEN VEGETATION AND SENSORS/EQUIPMENT.
2. REFER TO SITE PREP MANUAL FOR ADDITIONAL ELECTRICAL REQUIREMENTS.



CAUTION - NOTICE TO CONTRACTOR

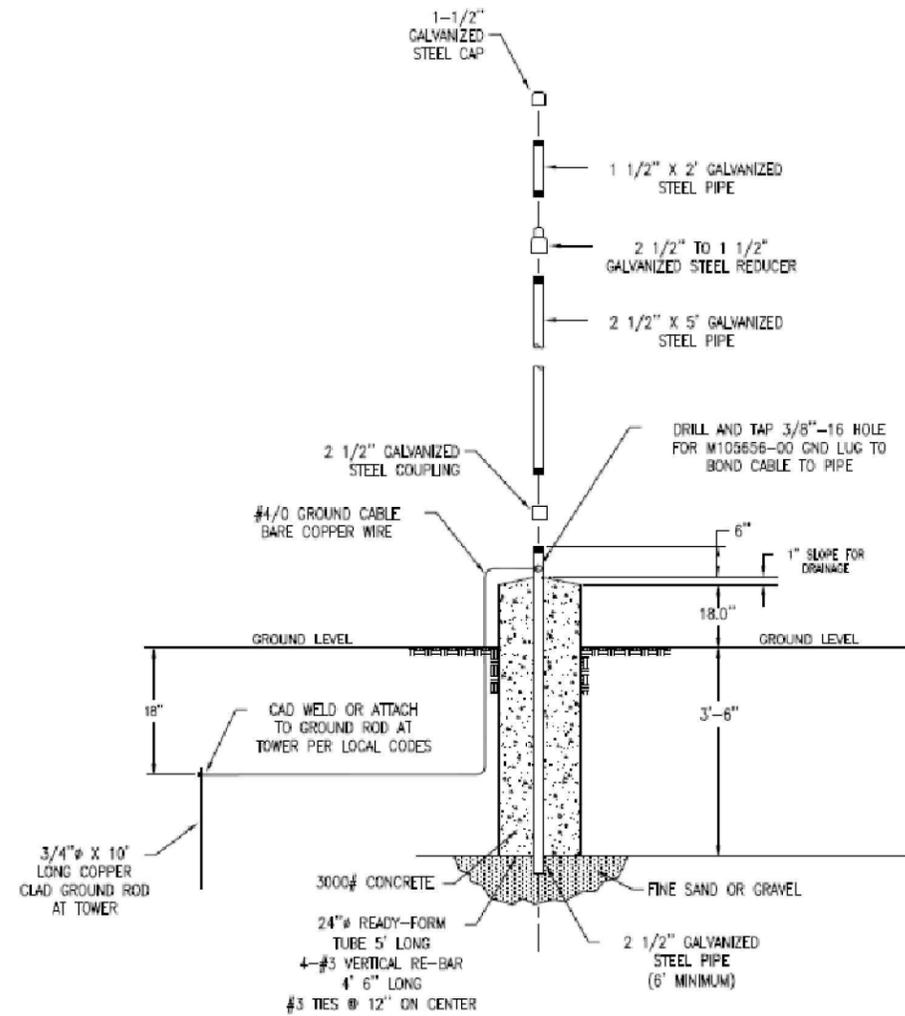
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS IN THE FIELD. THE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEVADA 811 (1-800-227-2600) AT LEAST 48 HOURS BEFORE ANY EXCAVATION / EMBANKMENT TO REQUEST FIELD LOCATION OF UTILITIES.

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1 PRESENT WEATHER AND VISIBILITY SENSOR FOUNDATION
3.2 NOT TO SCALE



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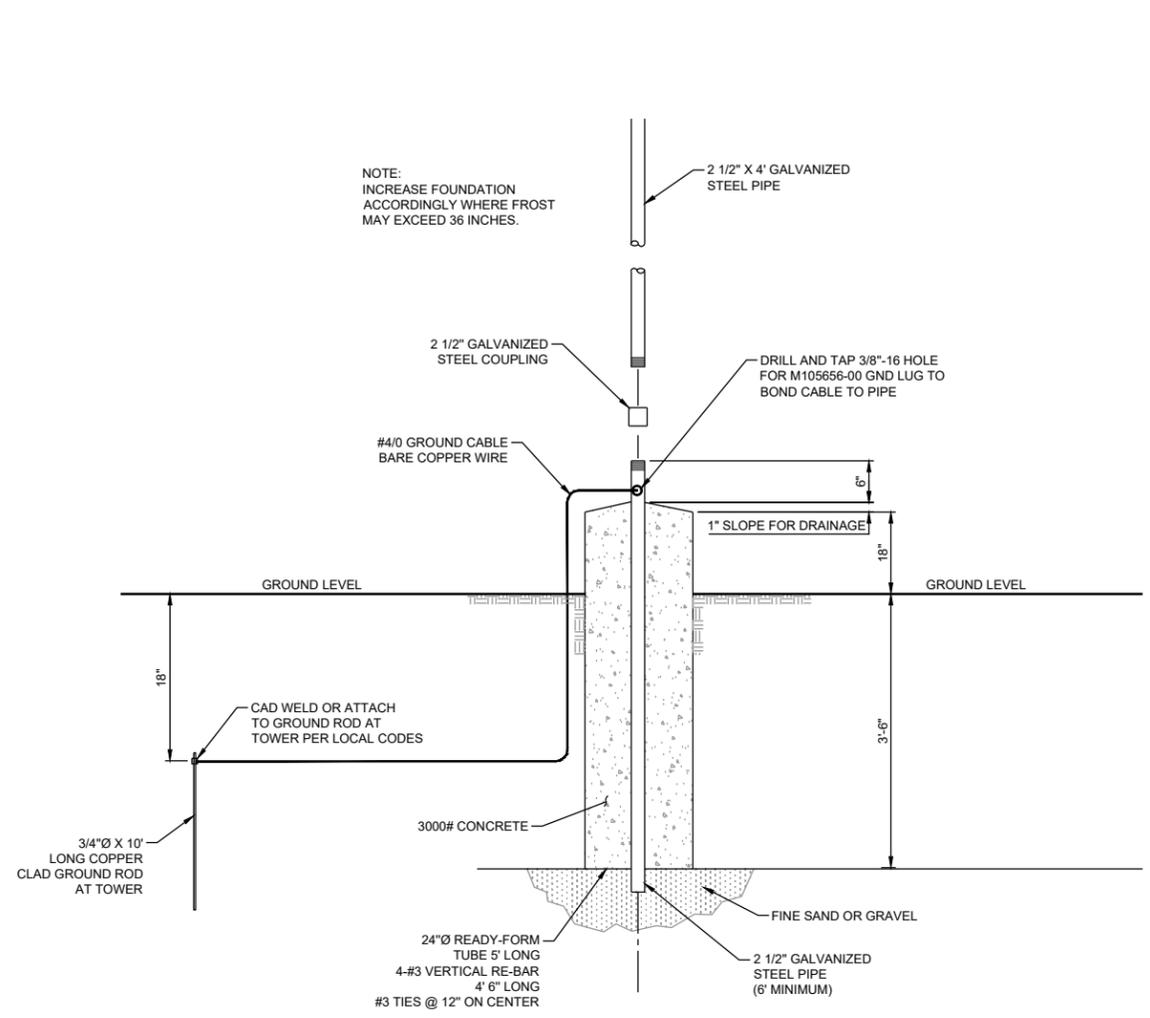
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Date: 3/2021
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Checked: NEC
Approved: CSN

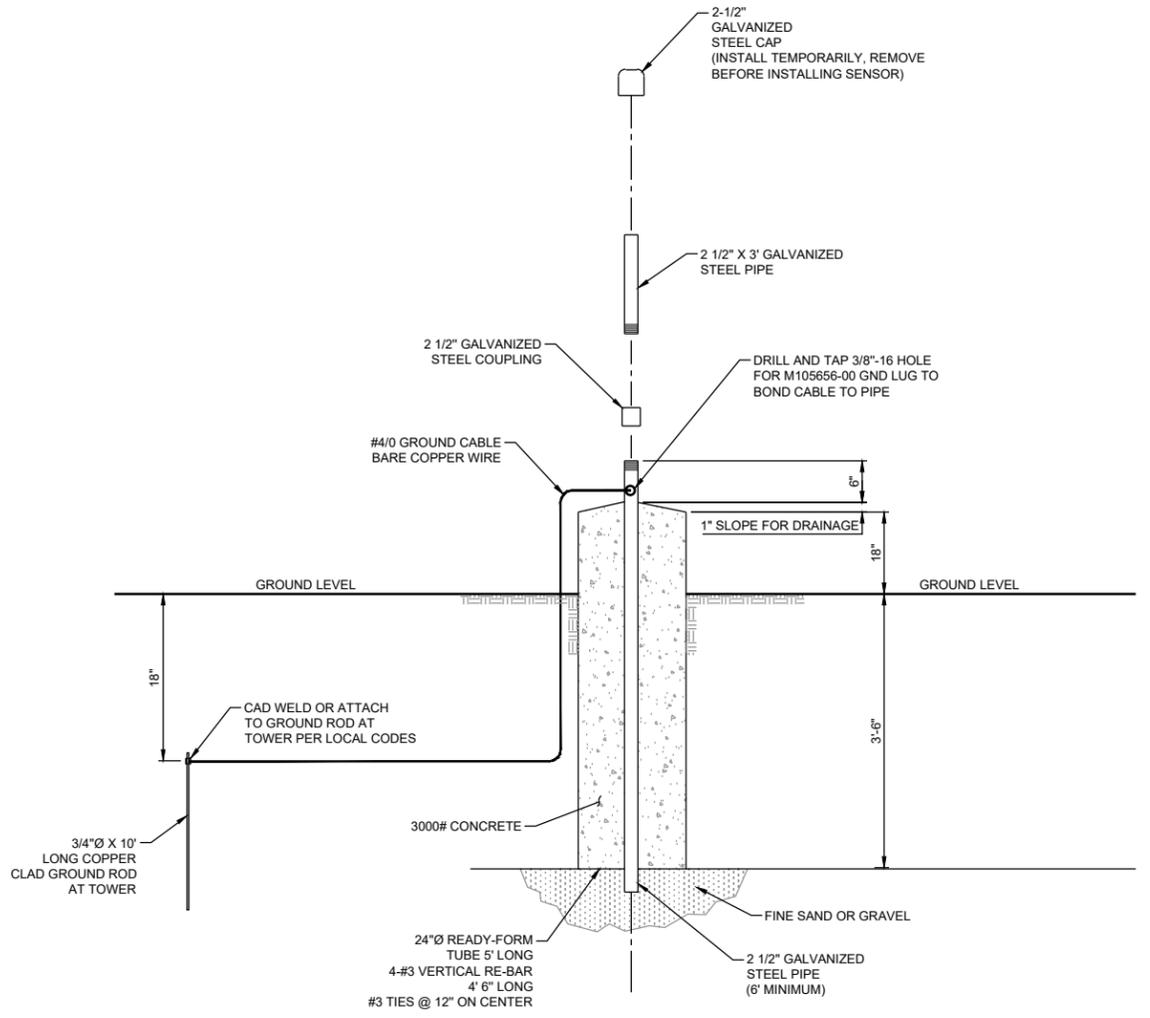
AWOS
DETAILS

Sheet: 3.2

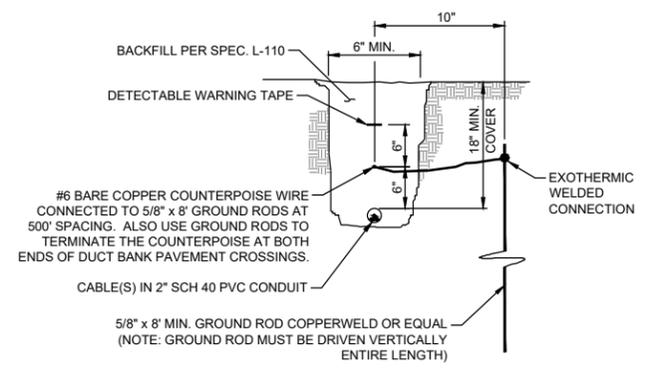
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1 CEILOMETER FOUNDATION
3.3 NOT TO SCALE



2 LIGHTNING SENSOR FOUNDATION
3.3 NOT TO SCALE

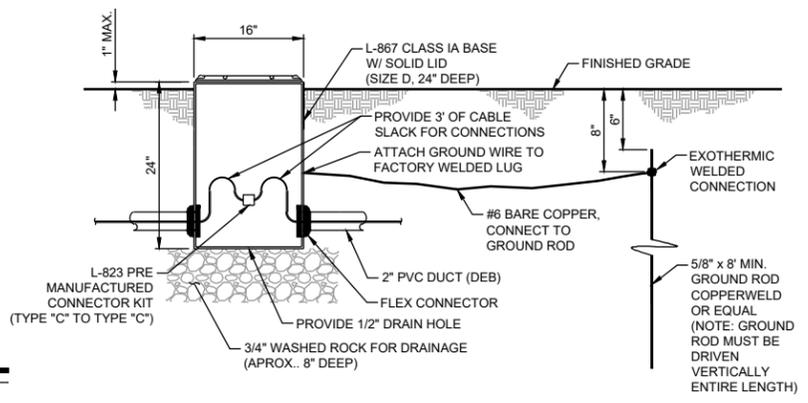


3 TRENCH & CABLE PLACEMENT
3.3 NOT TO SCALE



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4 SPLICE BASE DETAIL
3.3 NOT TO SCALE



CARSON CITY AIRPORT
CARSON CITY, NEVADA

RELOCATE AWOS
AIP No. 3-32-0004-034-2020

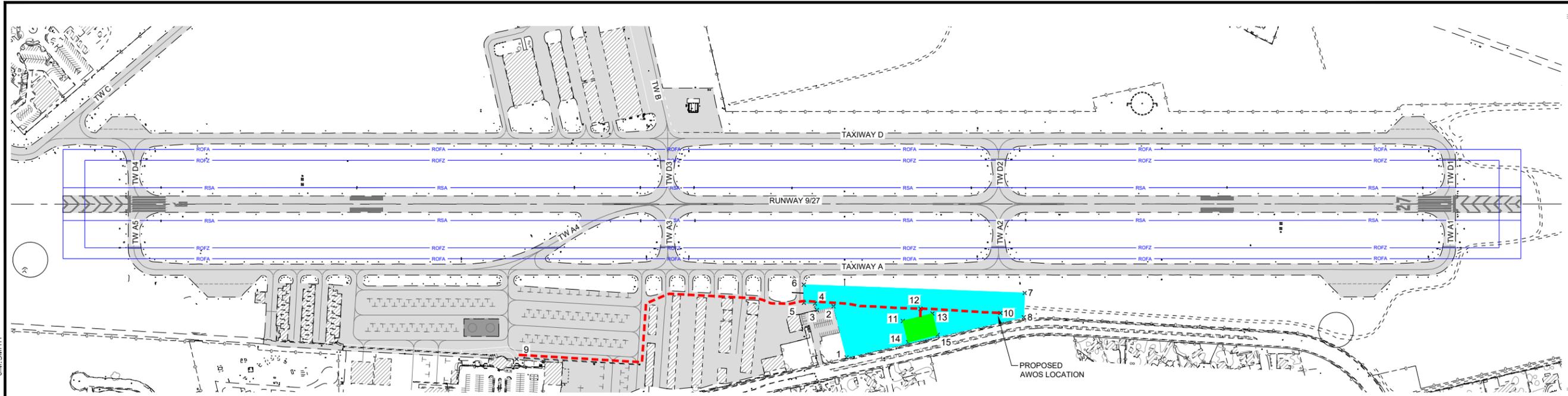
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AWOS
DETAILS

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RELOCATE AND UPGRADE AWOS IIPT - SITE WORK



WORK AREA COORDINATES			
POINT #	ELEVATION	LATITUDE	LONGITUDE
1	4695'	N039°11'24.97"	W119°43'56.20"
2	4697'	N039°11'27.36"	W119°43'56.26"
3	4698'	N039°11'27.36"	W119°43'57.25"
4	4698'	N039°11'27.68"	W119°43'57.27"
5	4699'	N039°11'27.82"	W119°43'57.89"
6	4699'	N039°11'28.62"	W119°43'57.65"
7	4697'	N039°11'25.95"	W119°43'45.22"
8	4696'	N039°11'24.89"	W119°43'45.59"
9	4699'	N039°11'28.33"	W119°44'14.97"
10	4696'	N039°11'25.32"	W119°43'46.86"
11	4696'	N039°11'25.99"	W119°43'52.51"
12	4696'	N039°11'26.34"	W119°43'51.35"
13	4696'	N039°11'26.01"	W119°43'50.73"
14	4696'	N039°11'25.00"	W119°43'52.49"
15	4696'	N039°11'25.02"	W119°43'50.72"

LEGEND

- WORK AREA 1
- CONTRACTOR STAGING AREA
- LOW PROFILE BARRIER
- CONTRACTOR HAUL ROUTE
- DETAIL #
- SHEET #
- ROFA = RUNWAY OBJECT FREE AREA
- ROFZ = RUNWAY OBSTACLE FREE ZONE
- RSA = RUNWAY SAFETY AREA

NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO HAUL ROUTES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SPONSOR.



CARSON CITY AIRPORT
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 RELOCATE AWOS
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CONSTRUCTION
 SAFETY &
 PHASING
 PLAN

Sheet: 1



weather inc
#339 height sensor

DANGER

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