

## STAFF REPORT FOR PLANNING COMMISSION MEETING OF JUNE 29, 2022

FILE NO: LU-2022-0065

AGENDA ITEM: 14.B

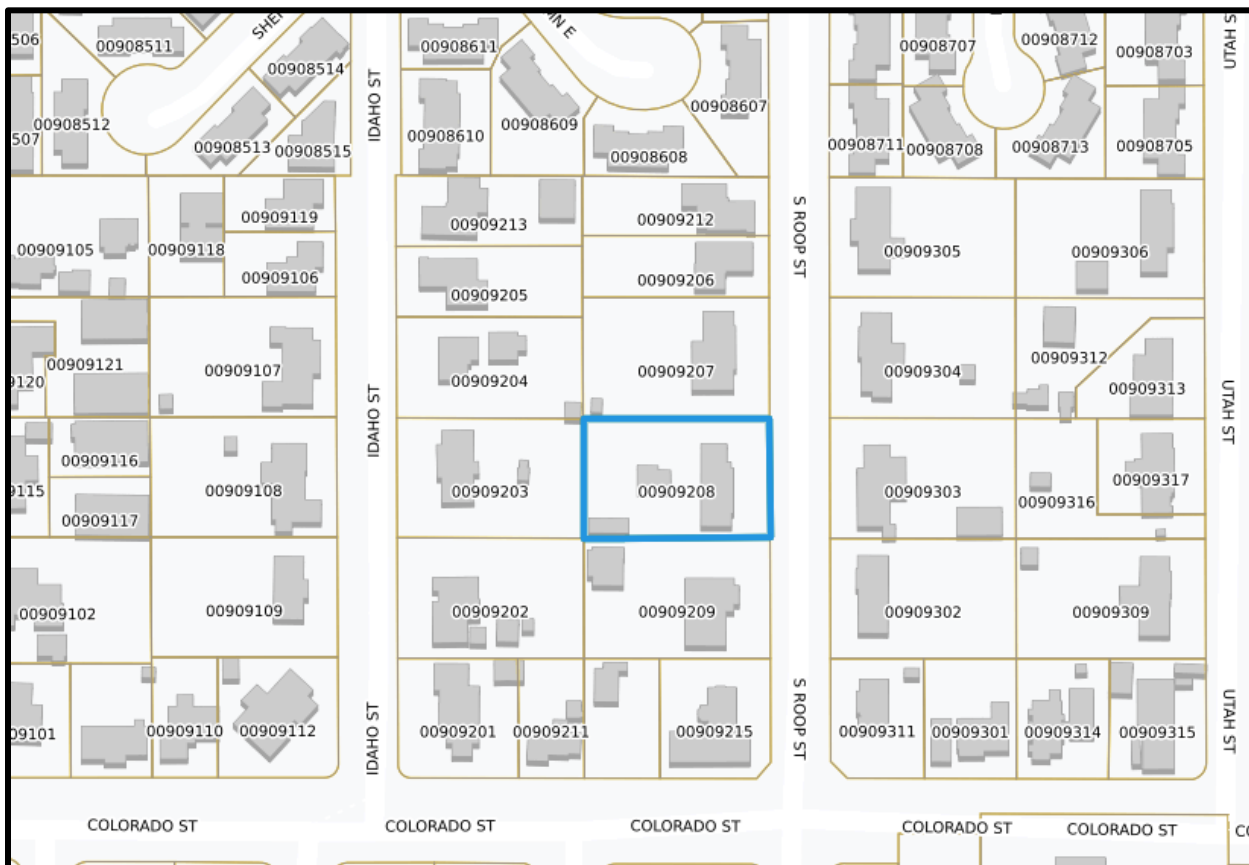
STAFF CONTACT: Heather Manzo, Associate Planner

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request from Rikki & Lynn Castro ("Applicant") for a special use permit for a guest building greater than 700 square feet in size and an accessory structure greater than 75% of the primary structure square footage and greater than 5% of the parcel size for a property zoned Single Family Residential – 6,000 Square Feet ("SF6") located at 2118 Roop Street, Assessor's Parcel Number ("APN") 009-092-08. (Heather Manzo [hmanzo@carson.org](mailto:hmanzo@carson.org))

**STAFF SUMMARY:** The Applicant is proposing a ±3,029 square foot accessory structure which consists of an 875 square foot guest building, 1,582 square foot garage and 572 square foot home gym space. A special use permit is required. The Planning Commission is authorized to approve the special use permit.

**PROPOSED MOTION:** "I move to approve special use permit LU-2022-0065, based on the ability to make all findings and subject to the conditions of approval contained in the staff report."

### VICINITY MAP:



**RECOMMENDED CONDITIONS OF APPROVAL:**

1. The Applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The Applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning Division of the Carson City Community Development Department ("Planning Division") at least 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year, and no extension granted, the permit shall become null and void.
5. The Applicant shall submit a copy of the Notice of Decision, conditions of approval, and explanation of how the request addresses each condition with the building permit application.
6. Prior to the issuance of a building permit, the Applicant shall have plans approved demonstrating compliance with all requirements, including the installation of a Knox switch on the exterior side of the gates if gates have automatic openers for Fire Department access, a minimum 12 foot wide all weather surface driveway, and a modified hammerhead turnaround with a minimum 28 foot inside turn radii or other approved emergency turnaround that complies with Appendix D of the International Fire Code. The emergency access and emergency turnaround shall remain clear at all times and shall not be used for vehicle parking or storage.
7. Prior to the issuance of any permit associated with this request, the Applicant shall have plans approved for the demolition/removal of all existing accessory buildings on the site, except for the 100 square foot pergola located within the rear yard between the primary residence and the guest building.
8. Prior to the issuance of any permit associated with this request, the applicant shall demonstrate that the Carson City Development Standards for Guest Buildings (CCDS 1.4) have been met. This shall include the recordation of a deed restriction against the property stating the guest building will be occupied by family member(s) of the primary residence, as defined by CCMC, and their non-paying guests. Guest buildings shall not be rented.
9. Prior to the issuance of any permit associated with this request, the Applicant shall have plans approved demonstrating that the guest building square footage shall not exceed 875 square feet, and that the remaining accessory structure square footage is consistent with the approved plan. Any future accessory structure additions or new detached accessory structure(s) shall require the review and approval of a Special Use Permit unless a subsequent municipal code has been adopted removing this requirement.

**LEGAL REQUIREMENTS:** Carson City Municipal Code ("CCMC") 18.02.050 (Review); 18.02.080 (Special Use Permits) 18.04.075 (Single Family 6,000 ("SF6")); 18.04.190 (Residential Districts Intensity and Dimensional Standards); 18.05.055 (Accessory Structures); and Carson City Development

Standards ("CCDS") Division 1, Section 1.4 (Guest Building Development).

**MASTER PLAN DESIGNATION:** Medium Density Residential

**ZONING:** Single Family – 6,000

**KEY ISSUES:** Will the proposed accessory structure have an adverse impact on the adjacent residential neighborhood?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: SF6 – Single Family Residence  
EAST: SF6 – Single Family Residence  
SOUTH: SF6 – Single Family Residence  
WEST: SF6 – Single Family Residence

**ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: X Shaded (areas of minimal flooding)  
SLOPE/DRAINAGE: project area is flat  
SEISMIC ZONE: The closest fault is over 500 feet away

**SITE DEVELOPMENT INFORMATION:**

PARCEL AREA: ±22,198 square feet  
EXISTING PRIMARY USE: Single family residence  
PROPOSED STRUCTURE SIZE: 3,029  
REQUIRED SETBACKS: Front = 20 feet, Side = 5 feet, Rear = 10 feet  
VARIANCES REQUESTED: None

**BACKGROUND:** The primary residence was built in 1964 and most recently in 2021, an attached garage was constructed, exterior siding, and associated fencing and flat work including driveways were completed. While located within the SF6 zone, the property is one half-acre in size. The Applicant has noted this proposal is compatible with surrounding properties noting similar accessory structures within the neighborhood.

**DISCUSSION:** Per CCMC 18.04.075.3 a guest building is a conditional use and therefore, requires approval of a special use permit. Moreover, per CCDS 1.4.4 the maximum gross floor area of the living space of a guest building is 50 percent of the assessed floor area of the main residence or 700 square feet, whichever is less, unless otherwise approved by a special use permit. Additionally, per CCMC 18.05.055(7) and (8) when the cumulative area of a detached accessory building(s) exceeds 75 percent of the size of the primary structure or exceeds 5 percent of the total lot area, a special use permit is required.

The subject parcel is approximately 0.51 acres in size, zoned Single Family 6,000, and is currently developed with a single-family residence and several accessory structures. The Applicant is seeking to demolish or remove all accessory structures with the exception of a pergola in the usable backyard area and to construct a single 3,029 square foot detached accessory building that consists of a ±1,582 square foot garage, a ±875 square foot guest building, and ±572 square feet home gym and storage space located upstairs, above the guest building and garage area. The primary structure is a single-family home with an attached garage that is approximately 2,656 square feet in size.

Per CCMC 18.02.080, the Planning Commission has the authority to approve a special use permit upon making each of the seven required findings in the affirmative.

**PUBLIC COMMENTS:** Public notices were mailed to 32 property owners within 300 feet of the subject site on June 16, 2022. As of the date of writing of this report, staff has not received any inquiries regarding this application. Additional comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 29, 2022 depending on the date of submission of the comments to the Planning Division.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:**

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

**Carson City Public Works Department, Engineering Division (“Development Engineering”):**

Development Engineering has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all Carson City Development Standards and Standard Details including but not limited to the following:
  - Driveway aprons must be upgraded to meet current ADA standards.
  - The site must be designed to drain appropriately.
  - The driveway must be paved to the proposed garage doors.

The above listed items are code requirements that the Applicant will need to demonstrate are being met at the time of building permit.

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

- Local intersections: The closest intersection is South Roop Street and Colorado Street. Both streets are minor collector.
- Parking and internal circulation: There is onsite parking offered via a driveway and garage.
- Adjacent Streets On-Street Parking: There is no on-street parking offered on South Roop Street.
- Proposed and/or necessary improvements: Driveway aprons need to be upgraded per City Development Standards.

CCMC 18.02.080(5)(d) - Public Services

- Sanitary Sewer: The existing sewer main is 8-inch PVC on the east side of the property (South Roop Street). The request will have a negligible impact on City sewer.
- Water: The existing water main is 8-inch Asbestos Concrete on the east side of the property (South Roop Street). The project is proposing to utilize the existing connection to the City water system, and will have a negligible impact on City water.
- Storm Drain: The existing storm drain is 24-inch reinforced concrete on the east site of the property (South Roop Street). The impact to City storm drainage is negligible.



CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project will meet engineering standards for health and safety if conditions are met.

- Earthquake faults: The closest fault is over 500 ft away with a slip rate of 0.2 mm/yr.
- FEMA flood zones: The current FEMA flood zone is Zone X (unshaded) so no special flood mitigation is required.
- Site slope: The site is level.
- Soils and Groundwater: The site is currently developed.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

**Fire Department:**

The Carson City Fire Department offers the following, all of which will need to be addressed at the time of building permit:

- The project must comply with the International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.
- If the existing gate is automatic, the Applicant shall install a Knox switch for emergency entry. If the gate is opened manually, a Knox entry at the gate is not required.
- Dead-end fire apparatus access greater than 150 feet in length shall include a turnaround which based on the design would require a "modified hammerhead" with a minimum 28 foot inside turn radii in accordance with Appendix D of the International Fire Code. The access shall be left open at all times, parking vehicles or storage within the access and turnaround will be prohibited.
- Fire apparatus access roads shall be all-weather surface.
- Fire apparatus access roads shall be a minimum 12' wide with a vertical clearance of 13' 6".
- The guest building shall have its own discreet address.

**Environmental Control:**

From the drawings provided it does not appear that any permanent structures will be demolished for this project. However, if the project does include demolition of permanent structures, the following will apply:

1. An asbestos assessment is required on all applicable materials being demolished, per CCMC 12.12.065.
2. After receiving results back from the asbestos assessment, complete Carson City's Acknowledgement of Asbestos Assessment Form. Submit a copy of this form along with a copy of the asbestos assessment at the Building Division of the Carson City Community Development Department ("Building Division"), per CCMC 12.12.065.
3. Please note: if any asbestos containing material is to be taken to the Carson City Landfill for disposal, an Industrial Waste Manifest must first be obtained from the ECA Department before this material will be allowed to enter the landfill, per CCMC 12.12.050. If any asbestos containing

material is to be taken to the Lockwood Landfill for disposal, Carson City's Environmental Control Authority ("ECA") will require a copy of the receipt issued from Lockwood to be submitted to the Building Division.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. Will be consistent with the master plan elements.**

The subject property is designated as Medium Density Residential, and the primary uses within this Master Plan land use designation include single family residences. The proposed accessory structure is intended to be utilized by the resident and will not change the use of the land.

**2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare, or physical activity.**

The existing accessory structures located along the west side of the property do not conform with the required setback requirements for the zoning district. These structures will be removed or demolished at the time the proposed structure is to be constructed. The new detached accessory structure will conform to CCMC and will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or neighborhood. The accessory building will allow for vehicles and other personal items to be stored inside a structure and the guest building will be used to house a family member.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

The land use will continue to be single-family residential with the trips associated with a single-family residence. The project is located on South Roop Street where pedestrian facilities currently exist. The potential impact of the guest building on the existing transportation is negligible.

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The proposed accessory building does not constitute a change of use. The land use will continue to be single-family residential. The project will connect to sewer and water infrastructure and does not require modifications to the existing storm drain infrastructure. The project will not result in increased impacts on schools, police or fire protection.

**5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

Since there is no change of use and the detached accessory building with guest building is allowed accessory to the primary single-family residence, the primary consideration is related to the size of the proposed structure. The Applicant has proposed removal of the existing nonconforming accessory structures (**Condition No. 7**). The accessory building and guest building will be limited to the square footage proposed in this request (**Condition No. 8**) and will comply with all other standards and is allowed with the approval of a special use permit.

**6. Will not be detrimental to the public health, safety, convenience, and welfare.**

The request for an accessory structure of this size is consistent with the neighborhood and will not be detrimental to public health, safety, convenience, and welfare. The structures are consistent with the zoning code and development standards.

**7. Will not result in material damage or prejudice to other property in the vicinity.**

The primary use of the subject site is a single-family residential use, and the proposed accessory structure/guest building will not change the land use. The accessory structure is proposed to be located: on the southwest portion of the property and will comply with the setbacks for a primary residence within the SF6 zone. Proposed setbacks are 10 feet from the west property line, 5 feet from the south property line, 75 feet from the north property line, and over 46 feet from the house. The proposal complies with all required setbacks, height limits, and will be accessed from an improved driveway from Roop Street. The proposed cumulative square footage of the accessory structure will not result in material damage or prejudice to other property in the vicinity. The structures comply with the required setbacks, height limitations, and all other applicable standards.

Attachments:

Application LU-2022-0065

3 S. ROOP ST.

CARSON CITY

## Building with a

### Special Use

### Special Use



on parcs la



## CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.

### EXISTING CONDITIONS

The subject property is located in the SF6 zoning district and contains a single-family residence with an attached two-car garage, of which the assessed square footage (excluding garage) is 2,040 square feet. The property previously contained an accessory structure that is still shown on the 2019 aerial photo included in the Carson City GIS mapping system. This structure was removed in 2021 when the attached garage was constructed. The property is surrounded by single-family residential uses on all sides, with an average lot size of approximately 0.5 acres.

During the initial submittal process for this Special Use Permit, it was brought to the applicant's attention that several issues related to the commercial business existed on the property. These included the following:

- Commercial use on property not in conformance with @F6 zoning district where a guest building would be allowed
- Non-family member business employee(s) working on-site not in conformance with home occupation regulations
- Commercial vehicle storage on-site not in conformance with home occupation regulations

Upon learning of these requirements, the applicant took steps to bring the property into compliance for a single-family residential use only, including relocation of commercial business operations, staff, and commercial vehicles off site. The applicant has also recently obtained a change in use through the Assessor's Office from commercial to residential. Figure 2 (below) is a recent aerial photo of the subject property taken in May of 2022 which shows the removal of the previous accessory structure. The remaining commercial vehicles shown in this photo have since been removed as well.



**Figure 2 – Existing Site Conditions with Previous Accessory Structure Removed**

## CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.

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### PROJECT DESCRIPTION

The applicant is proposing a guest building including an 875 square foot residence and 1,582 square foot two-car garage on the main floor, and a 572 square foot home gym in the attic space. The purpose of this guest building is to provide housing for the applicant's aging mother-in-law, provide additional garage parking for the property, and provide a private home gym space for the applicant. The house has been designed to be architecturally compatible with the primary residence on the parcel and complies with the required setbacks for the SF6 zoning district. Figure 3 (Page 4) shows the proposed guest building site plan. Figures 4 and 5 (Pages 4 and 5) show the building's floor plan. Figure 6 (Page 5) shows the proposed guest building elevations. A complete set of 11x17 drawings including the site plan, floor plan and elevations is included in this application.

A Special Use Permit is required for the proposed guest building for three reasons. The first is because a guest building in the SF6 zoning district is required to be 700 square feet or less. The proposed guest residence portion of the accessory building is 875 square feet, which is 175 square feet more than the maximum allowed without a Special Use Permit. The reason for the proposed size is to ensure that the applicant's mother-in-law has all the residential amenities she requires while providing wheelchair accessibility in each space. It is also important to note that while the parcel is in a SF6 zoning district, it is actually much larger at 22,198 square feet. This parcel size is more appropriately associated with the Single Family 21,000 (SF21) zoning district, which allows a maximum guest building size of 1,000 square feet.

The second reason for a Special Use Permit is because the accessory structure size exceeds 5% of the total parcel area. The parcel area is 22,198 square feet and the accessory structure size is 3,029 square feet, or 7.3% of the total parcel size. This percentage is only slightly over the maximum allowed for a parcel of this size and is not out of character for the area given the higher density allowed with the SF6 zoning district.

Finally, the third reason for a Special Use Permit is because the accessory structure square footage is in excess of 75% of the square footage of the primary structure. The primary structure is 2,730 square feet and the accessory structure is 3,029 square feet. Given the size of the parcel in comparison with the size of the primary structure, there is more than adequate space to accommodate a larger accessory structure. Also, because the property is located in the SF6 zoning district, it could technically accommodate a completely separate second parcel where a residence could easily been similar in size to what's being proposed for the guest building. This approach didn't seem necessary for the applicant, however, because the guest building is for a relative rather than for sale or rent to another party.

# CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.

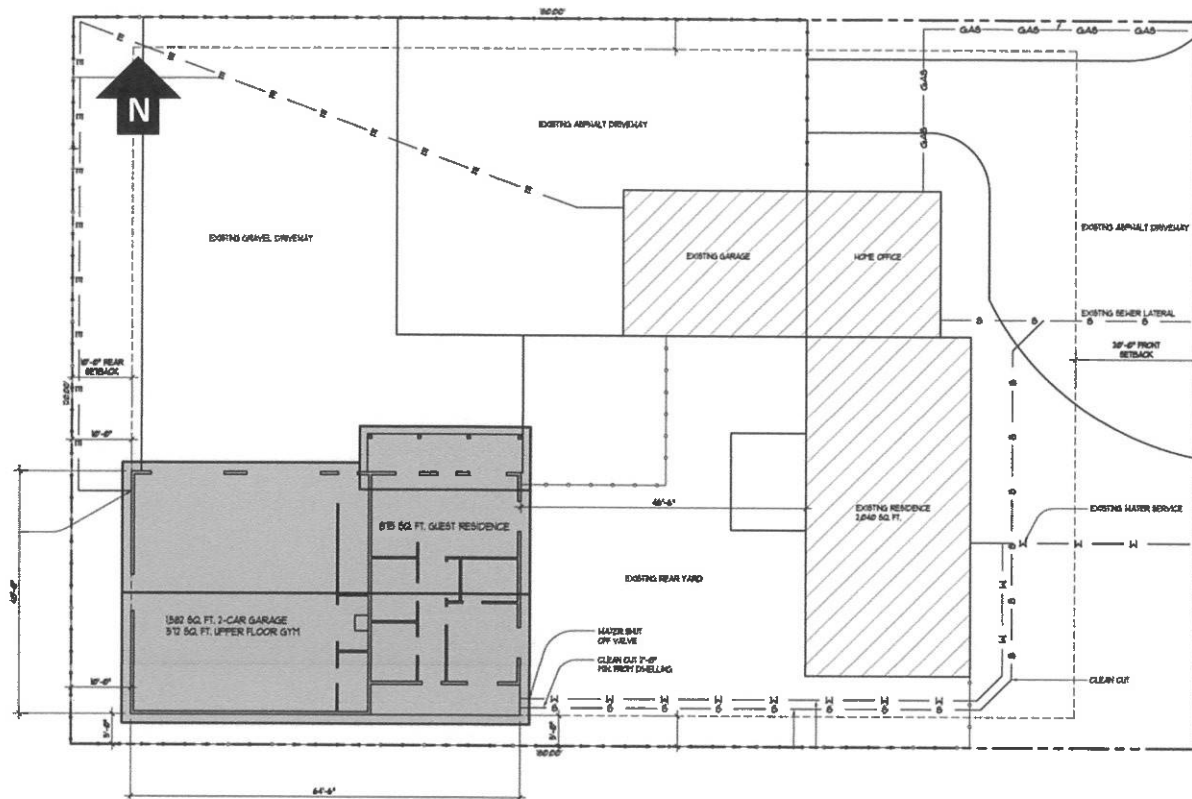


Figure 3 – Guest Building Site Plan

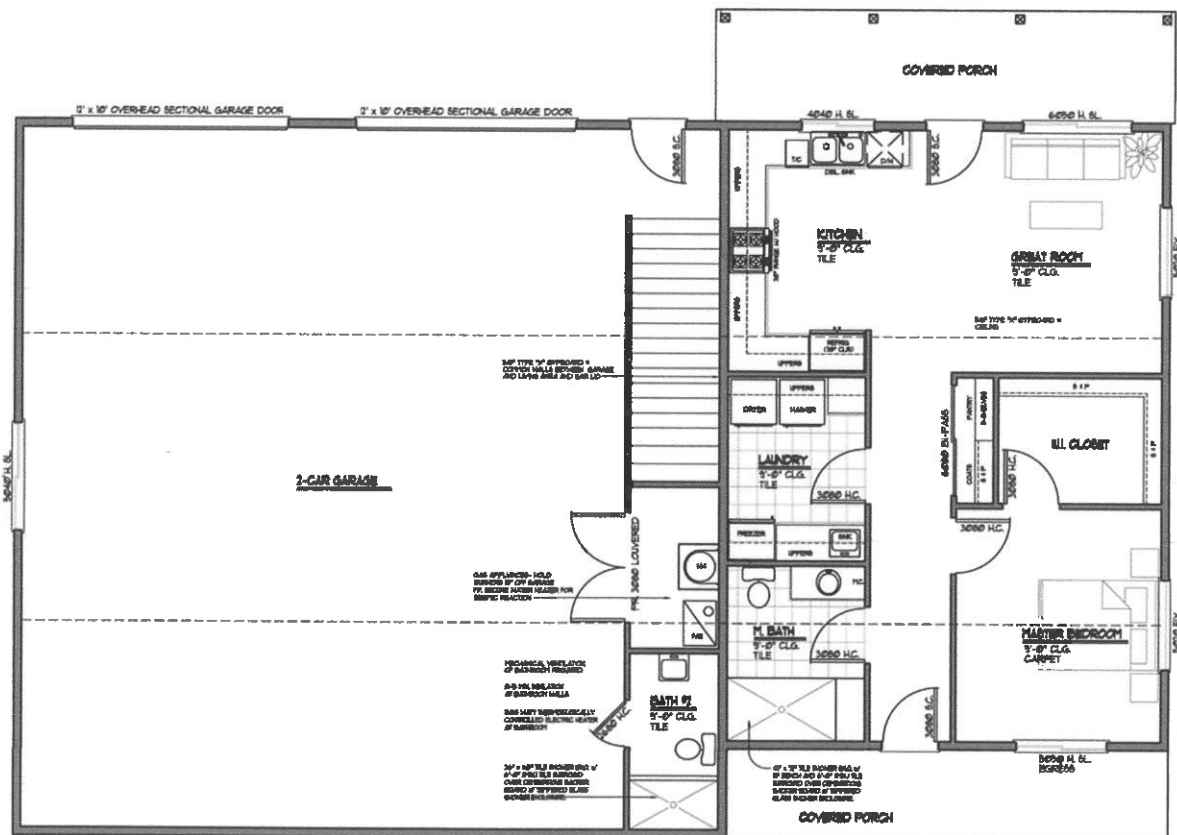
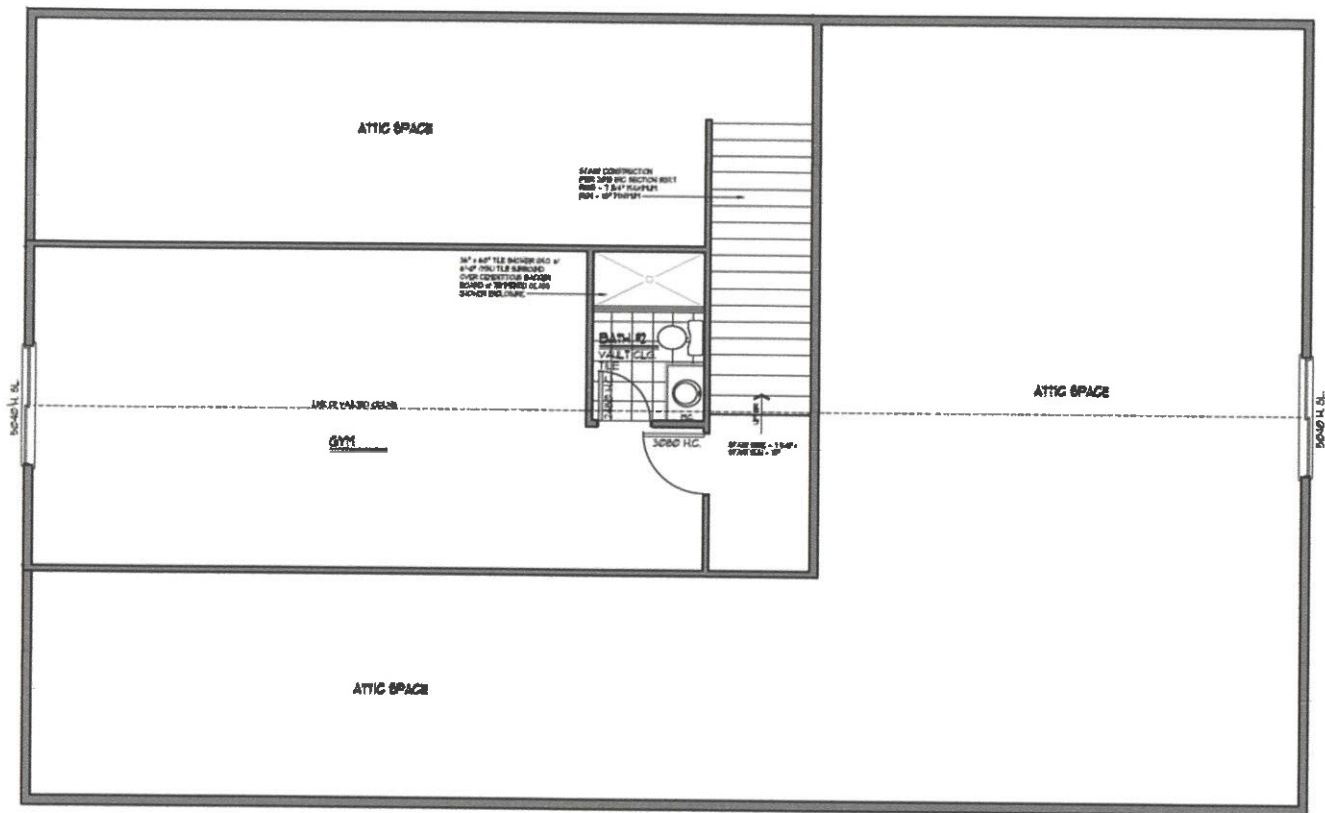
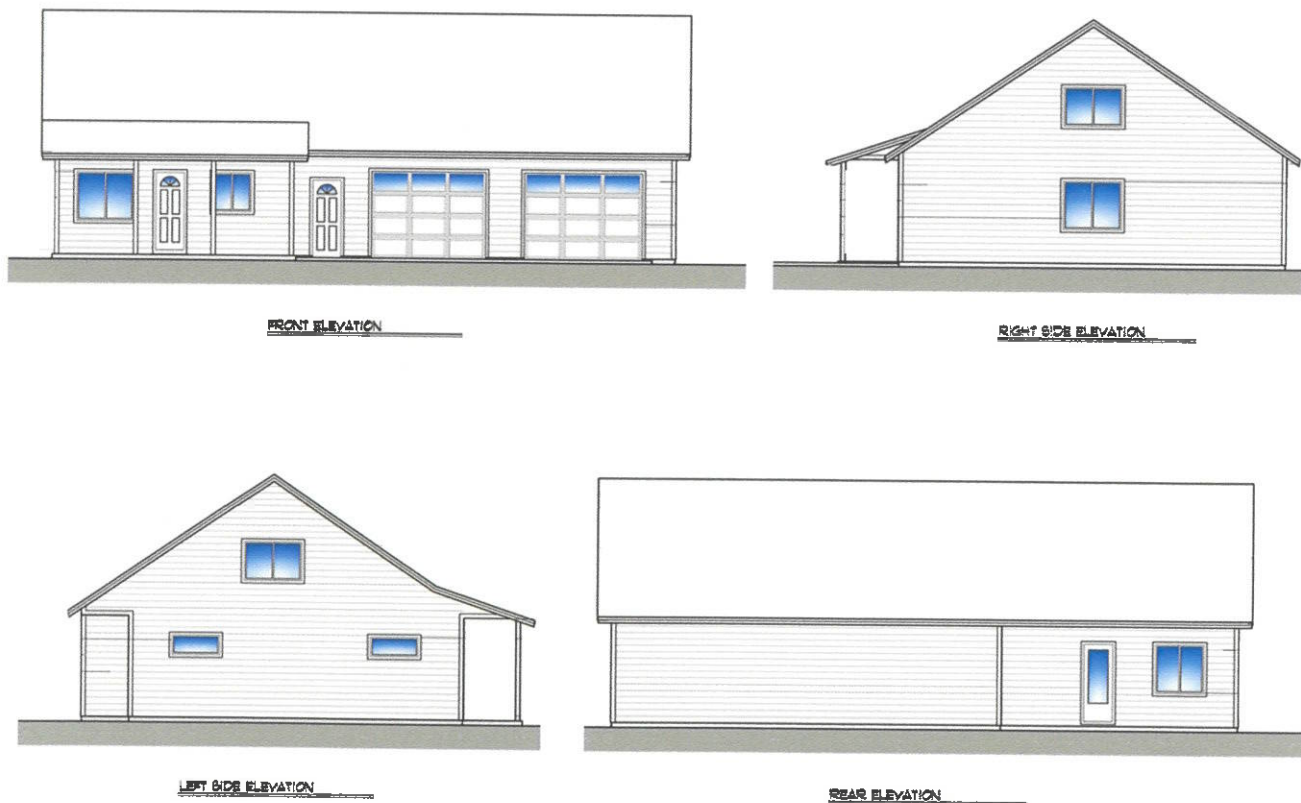


Figure 4 – Guest Building Main Floor Plan

CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.



**Figure 5 – Guest Building Attic Floor Plan**



### Figure 6 – Guest Building Elevations



# CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.

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## REQUIRED FINDINGS

The following findings as identified in Carson City Municipal Code are addressed in support of the Special Use Permit for the proposed guest building. Each finding is listed in *italic type* below and is addressed in **bold type** immediately following each finding.

### Special Use Permit Findings (CCMC 18.02.080):

1. *Will be consistent with the objectives of the Master Plan elements;*

**The proposed guest building is consistent with the objectives of the Master Plan elements. It is a residential accessory use located in the Medium Density Residential (MDR) master plan land use area, which has a density range of 3-8 units per acre. It also meets Goal 2.2c of the Carson City Comprehensive Master Plan regarding accessory dwelling units and provides affordable housing for the applicant's mother-in-law while increasing citywide housing diversity. While the guest building is larger than what is allowed in the SF6 zoning district it is not larger than what is allowed in the SF21 zoning district, which is what the subject property and surrounding parcel sizes are more aligned with.**

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity;*

**The proposed guest building will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties and is compatible with the surrounding neighborhood. The subject property is located in the SF6 zoning district but the majority of the parcels in the vicinity are more than 21,000 square feet in size. If one were to utilize the SF6 zoning district for standard development, most of the parcels could be split to create additional single family primary residences and densities much higher than what exists today. The addition of guest buildings to any of these properties would result in densities similar to that of the underlying SF6 zoning district. Additionally, there are several properties in the vicinity that have guest buildings, large non-residential accessory structures, or multi-family dwellings. The applicant has provided a slide deck as a part of this application package showing examples of these uses. The addition of a guest building that is slightly larger in size than what is allowed in the SF6 district, and also larger than what is allowed for lot coverage and size compared to the primary structure will not impact the surrounding properties and neighborhood in a negative way. Finally, adverse impacts are not anticipated as a result of the guest building, garage or home gym uses proposed.**

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic;*

## CASTRO GUEST BUILDING SPECIAL USE PERMIT – 2118 S. ROOP ST.

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The addition of a single guest building at the rear of the subject property will have no detrimental effect on vehicular or pedestrian traffic in the vicinity. There will be one person living in the guest building, which will result in minimal added vehicle or foot traffic.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements;*

The addition of a single guest building will add one accessory dwelling to the vicinity and will not overburden existing public services of any kind. All existing public utilities and roadways will be utilized to service the proposed building.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district;*

The proposed guest building meets the definitions of an accessory structure and a guest building as outlined in CCMC Section 10.03.010, meets the development standards required for accessory structures per CCMC Section 15.05.055 and guest buildings per Carson City Development Standards Section 1.4 except where specifically requested to deviate through this Special Use Permit. The guest building also meets the purpose statement of the SF6 district by providing single family detached dwellings in a suburban setting.

6. *Will not be detrimental to the public health, safety, convenience and welfare; and*

The addition of a guest building on the subject property will not be detrimental to the public health, safety, convenience and welfare. The additional density created with the proposed building is consistent with the underlying SF6 zoning district and on a large enough property that it will not create public concerns.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

Proposed mitigation measures for a guest building include utilizing the underlying zoning district setbacks for building placement and requiring additional setbacks for two story elements of a building. These measures are appropriate for a residential setting and will not result in material damage or prejudice to the subject property or any other property in the vicinity.

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# Special Use Permit Request

2118 South Roop St.  
Parcel ID 009-092-08

Owners: Rikki and Lynn Castro



Before Picture of  
2118 South Roop Street





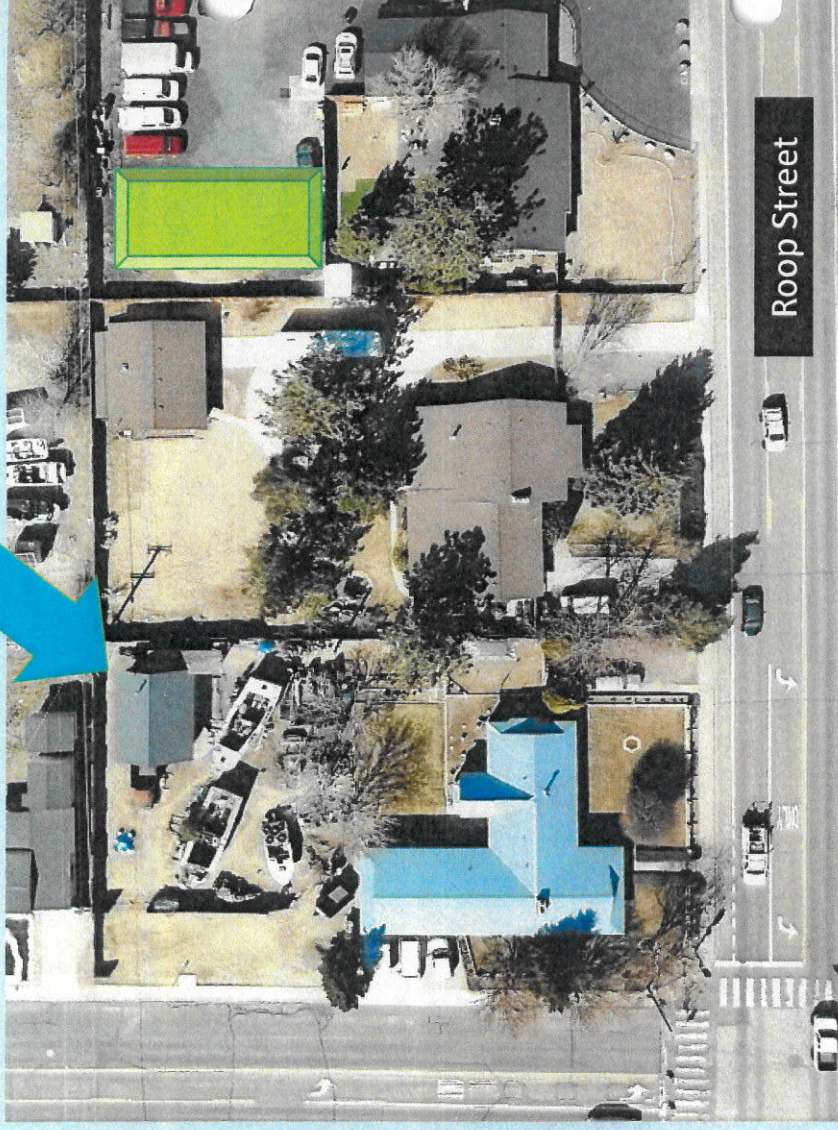
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**Current Picture of  
2118 South Roop Street**





**2 houses down home has  
two story accessory  
dwelling**





Directly across the street  
2117 S. Roop  
our neighbors  
have a 3-car garage  
with office





**1 Block from our Home  
80 Industrial Park Dr  
two story accessory  
dwelling / not attached**





**4 Houses North  
Corner of Roop and  
Industrial Parkway  
495**

**Multi-Family Apt.**





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**5 Houses North  
it become Industrial and  
Commercial Use**



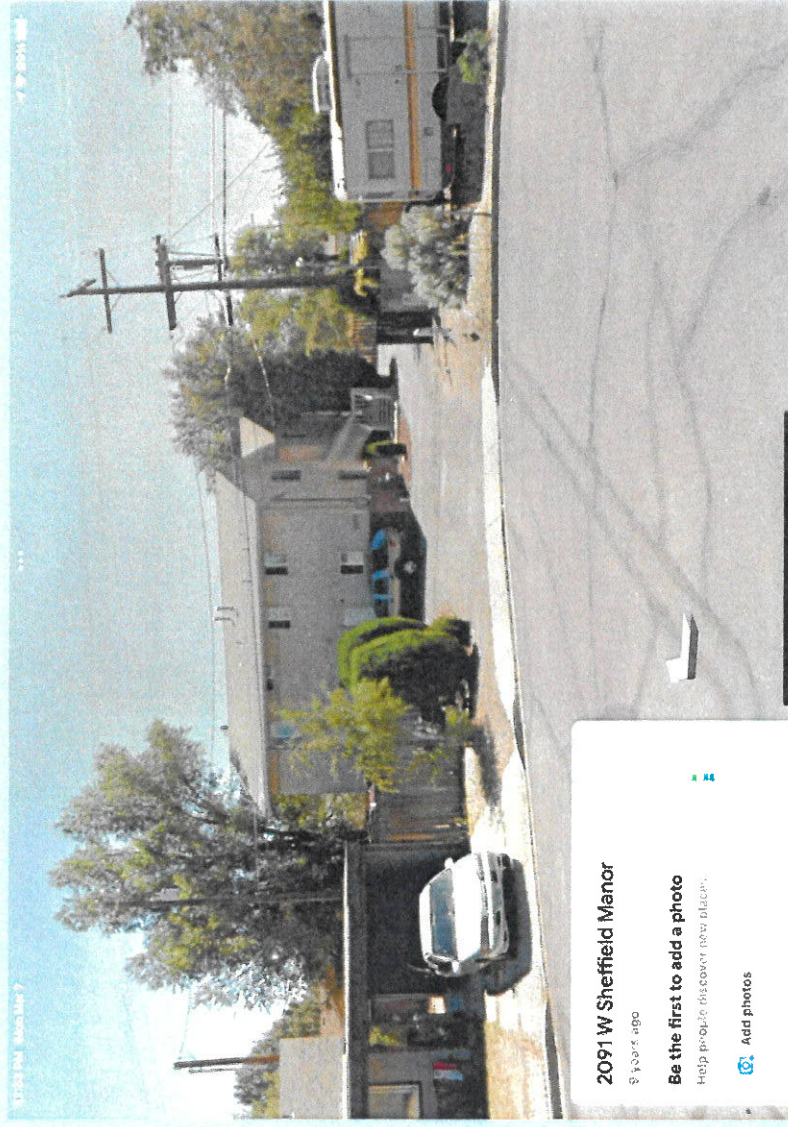


**One Street East  
is a two story  
accessory dwelling  
behind 2114 Utah St.**





**1 Block from our Home**  
**2091 W. Sheffield Manor**  
**2 Units of Apartments**  
**two story**

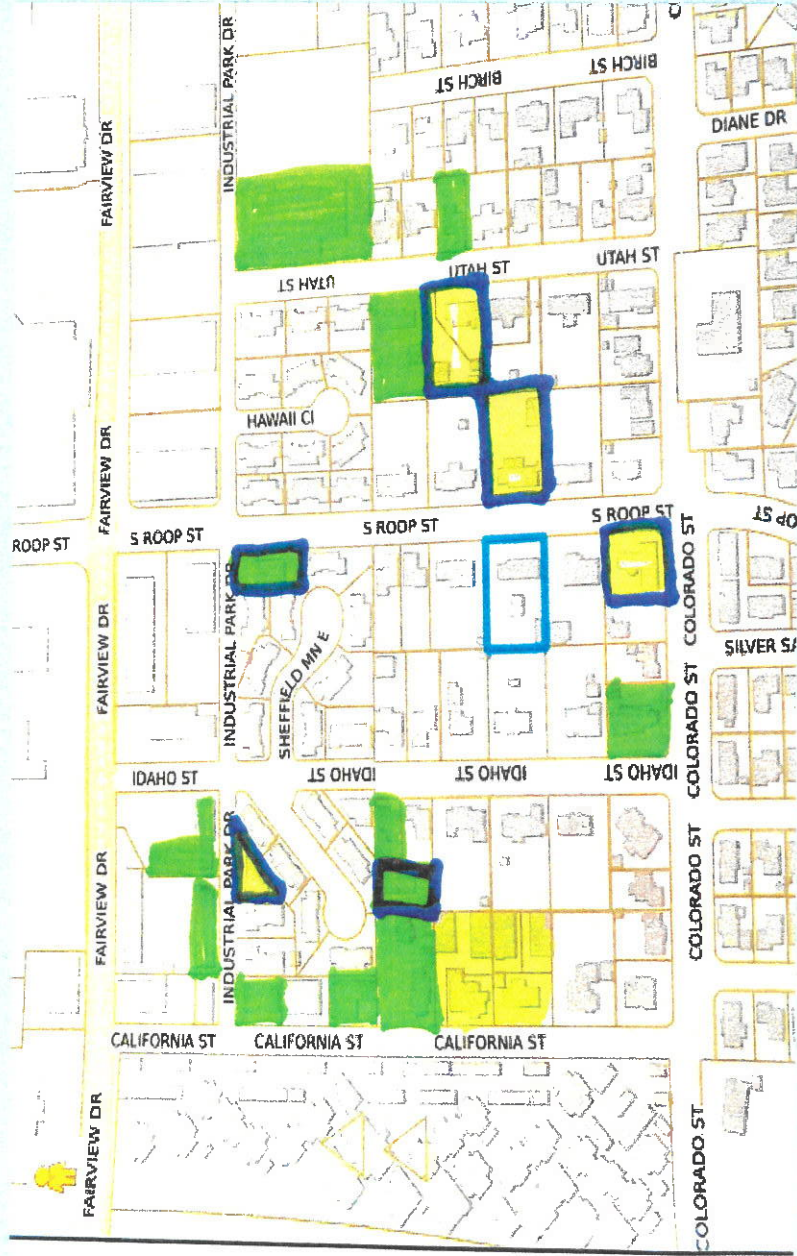




**2 streets away  
2109/2117 California St.  
each with 4 units  
in back of lot**









# **In Summary for your Consideration**

- Will increase surrounding property values.
- Will allow me to take care of my mother-in-law.
- Increase tax revenue for Carson City.
- Removed 2 Conex Containers for a proper garage and consolidate storage.
- Will not be visible from the street or an eye sore for our neighbors or encroach on their privacy – Shared this information with all of our immediate neighbors.
- There are similar buildings/structures in our neighborhood.



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# QUESTIONS FROM THE COMMITTEE



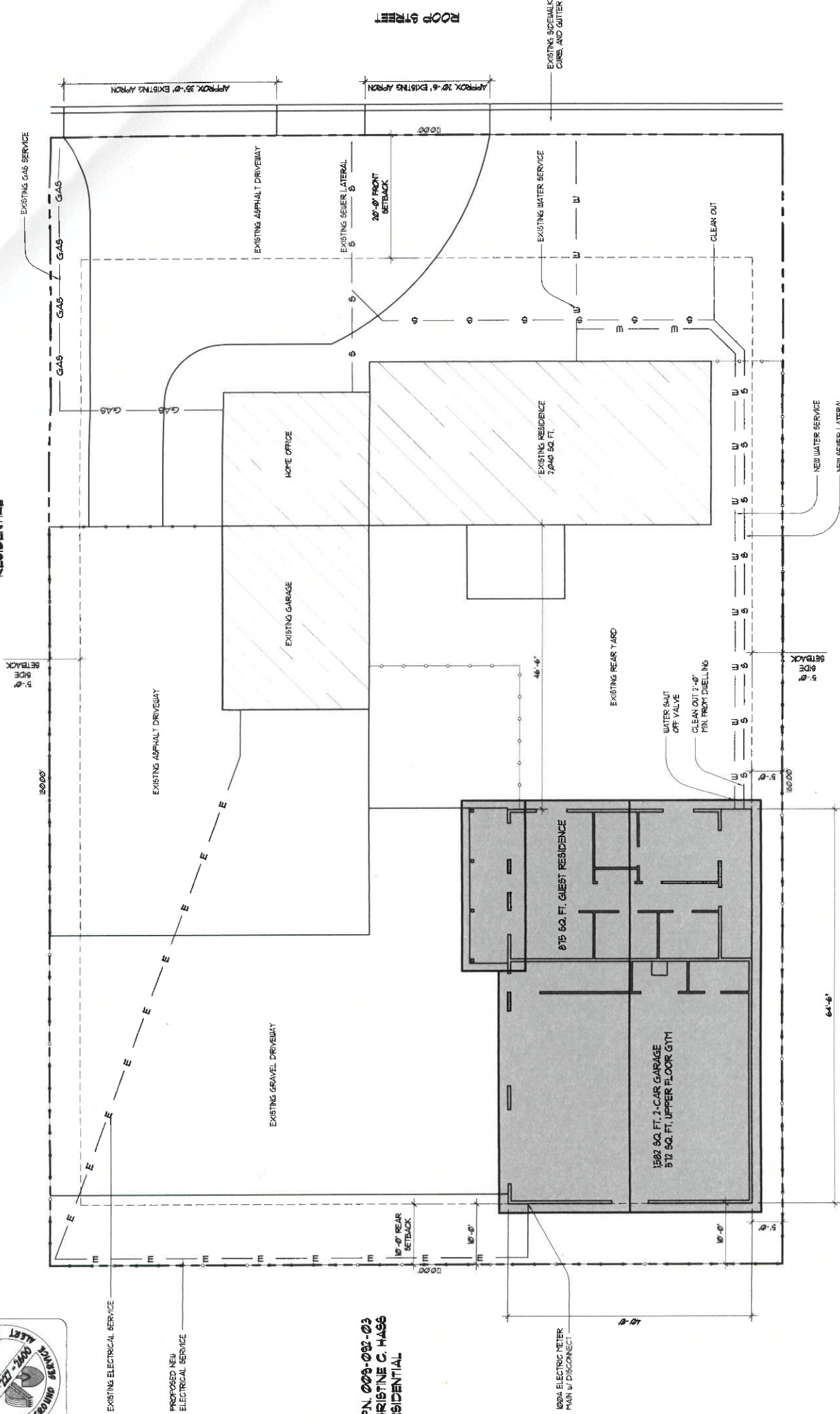






APN 009-092-01  
JUAN ALCANTARA  
RESIDENTIAL

ASSIGNED UTILITY LOCATION  
CONTRACTOR TO FIELD  
VERIFY PRIOR TO CONSTRUCTION



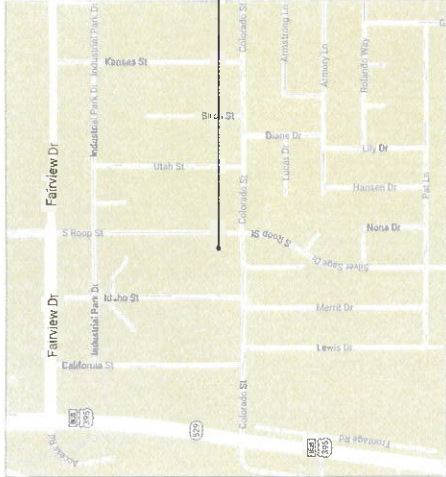
APN 009-092-03  
CHRISTINE C. HASS  
RESIDENTIAL

100A ELECTRIC METER  
MAN w/ DISCONNECT

APN 009-092-09  
PION LIVING TRUST  
RESIDENTIAL

SITE PLAN NOTES

- THE OWNER / CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS.
- GRAVING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- THE OWNER / CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, PRESSIONS, COVERING CONDITIONS AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES PRIOR TO START OF CONSTRUCTION.
- THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- OWNER / CONTRACTOR SHALL REMOVE ALL SITE DEBRIS PRIOR TO COMPLETION OF CONSTRUCTION.
- COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS AT A MOISTURE CONTENT WITHIN TWO PERCENT (2%) OPTIMUM SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN BUILDING AREAS.
- MAINTAIN SLOPE TO BE 3:1 UNLESS SLOPE STABILIZATION IS USED.
- PROVIDE TEMPORARY EROSION CONTROL, FENCING WHERE NECESSARY OR REQUIRED.
- CONTRACTOR TO SUPPLY SITE CONSTRUCTION FENCING AT LIMITS OF DISTURBANCE WHERE NECESSARY OR REQUIRED.



VICINITY MAP  
SCALE: 1" = N.T.S.

SITE PLAN

APN 009-092-08

ACREAGE: 0.5096 ACRES

LOT:

ZONING: 986

FLOOD ZONE: X-SHADED

SETBACKS:

FRONT - 20'  
SIDES - 5'  
REAR - 10'

PHYSICAL ADDRESS:

2118 ROOF STREET  
CARSON CITY, NV 89701

PROPOSED 875 SQ. FT. 1-BEDROOM, 1-BATH,  
ACCESSORY RESIDENCE w/ 1582 SQ. FT. 2-CAR GARAGE  
572 SQ. FT. UPPER FLOOR GYM

THIS IS NOT A SURVEY. THIS SITE PLAN WAS  
PREPARED BASED UPON TOPOGRAPHIC / MAP  
INFORMATION PROVIDED BY OTHERS. THE  
CONTRACTOR OF RECORD SHALL VERIFY EXISTING  
SITE CONDITIONS PRIOR TO COMMENCEMENT OF  
ANY WORK

SPECIAL USE PERMIT  
PROJECT INFORMATION

PROJECT SUMMARY

1582 SQ. FT. SHOP  
875 SQ. FT. GUEST RESIDENCE  
572 UPPER FLOOR GYM

BUILDING DATA

BUILDING SQUARE FOOTAGE: 3,029 SQ. FT.  
CONSTRUCTION TYPE: "V"  
NUMBER OF STORIES: 2

ZONING DATA

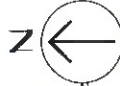
APN - 009-092-08  
LAND USE: RESIDENCE  
BUILDING USE: RESIDENCE

OWNER:

RICKI & LYNN CASTRO  
2118 ROOF STREET  
CARSON CITY, NV 89701

PARKING:

2 COVERED - GARAGE  
2 UNCOVERED - DRIVEWAY



SITE PLAN  
SCALE: 1" = 10'-0"

REVISIONS

Residential Design Studio LLC  
875 Fairview St. #228  
Carson City, NV 89701  
(775) 680-2862  
WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:  
RICKI & LYNN CASTRO  
2118 ROOF STREET  
CARSON CITY, NV 89701

PROJECT:  
CASTRO GUEST RESIDENCE  
2118 ROOF STREET  
CARSON CITY, NV 89701  
APN 009-092-08

DATE: 12/2/2021  
JOB NO.: 0062-21  
FILE: 0100SP  
SCALE: 1" = 10'-0"  
SHEET

1-C

REVISIONS

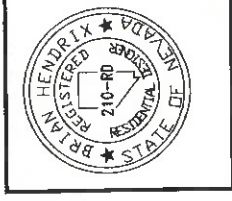
Element

Residential Design Studio LLC

675 Fairview St., #228  
Carson City, NV 89701  
(775) 690-3982  
WWW.ELEMENTNEVADA.COM

E

675 Fairview St., #228  
Carson City, NV 89701  
(775) 690-3982  
WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:  
RIKKI & LYNN CASTRO  
2118 ROOP STREET  
CARSON CITY, NV 89701

PROJECT:  
CASTRO GUEST RESIDENCE  
2118 ROOP STREET  
CARSON CITY, NV 89701  
A.P.N. 009-092-08

DATE	12/27/2021
JOB NO.	062-21
FILE	062TEL
SCALE	1/4" = 1'-0"
SHEET	A-1

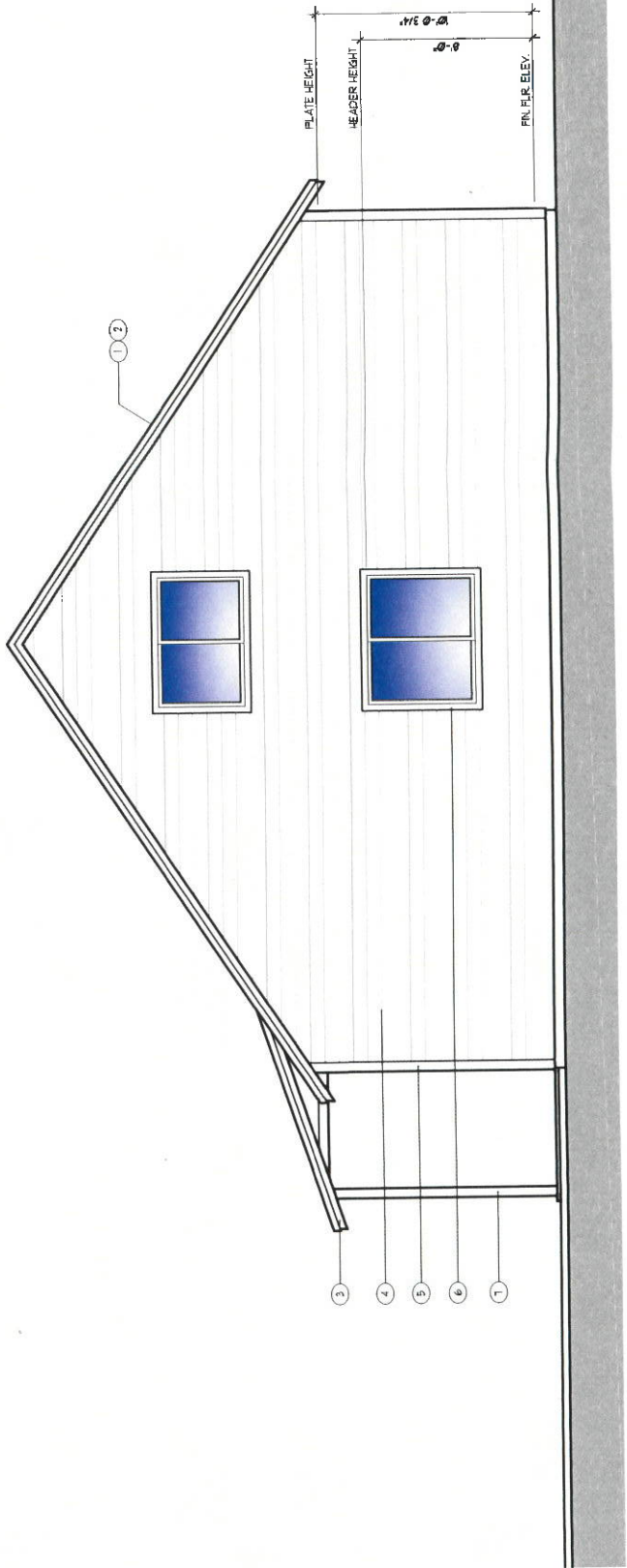


FRONT ELEVATION

SCALE 1/4" = 1'-0"

1. COMPOSITION SHINGLES INSTALLED PER MFG'S SPECS. AND TO CONFORM TO 2018 IRC SECTION 905 (TO MATCH RESIDENCE)
2. ALL METALS AND FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT SURFACES
3. 5/16x8 LP SHARPSIDE OR EQUAL PAINTED FASCIA (TO MATCH RESIDENCE)
4. 1/2" x SHINGLE FOLD (TO MATCH RESIDENCE)
5. 4x8x6 LP SHARPSIDE OR EQUAL SHEATHING (TO MATCH RESIDENCE)
6. 4x4x6 LP SHARPSIDE OR EQUAL TRIM AROUND DOORS AND WINDOWS (OR TO MATCH RESIDENCE)
7. 6x6 POST PER PLANS

DRAINAGE  
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 1% SLOPE FOR 12" WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN THE FIRST 10' DRAINS OR SHALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



REVISIONS

REVISIONS	

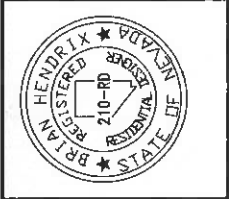
675 Fairview St. #228  
Carson City, NV 89701  
(775) 690-3862  
WWW.ELEMENTNEVADA.COM

E

Residential Design Studio LLC

Element

Residential Design Studio LLC

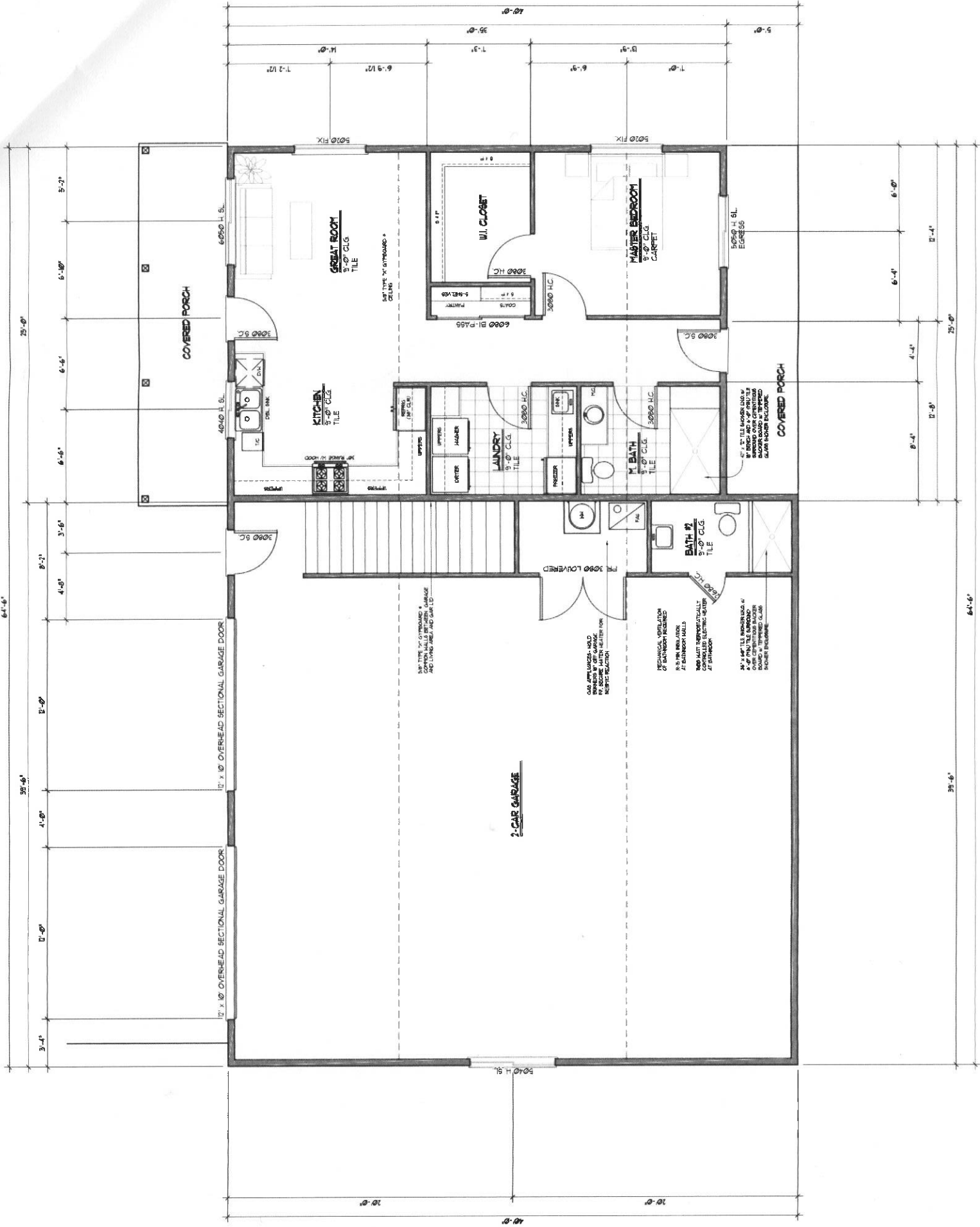


OWNER / CONTRACTOR  
RICKI & LYNN CASTRO  
2118 ROOF STREET  
CARSON CITY, NV 89701

PROJECT:  
CASTRO GUEST RESIDENCE  
2118 ROOF STREET  
CARSON CITY, NV 89701  
A.P.N. 009-092-08

DATE	12/2/2021
DRAWN	06/2/21
FILE	06/2/21
SCALE	1/4" = 1'-0"
SHEET	
A-3	

GENERAL NOTES:  
1. ALL GLAZES MUST BE USED IN ALL GLAZINGS AREAS PER 2018 IRC SECTION R-208.  
2. PROVIDE AT LEAST 1 EMERGENCY EGRESS WINDOW IN ROOMS USED FOR SLEEPING WHICH MEET THE FOLLOWING DIMENSIONS:  
MIN. CLEAR OPENING HEIGHT OF 20"  
MIN. CLEAR OPENING WIDTH OF 20"  
MAX. GLZ. OPENING HEIGHT FROM FF. 44" PER 2018 IRC SECTION R-201  
3. PROVIDE LANDINGS PER 2018 IRC SECTION 310.  
4. PROVIDE LIGHT AND VENTILATION PER 2018 IRC SECTION 309.  
5. ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS OTHERWISE NOTED.  
6. MEASUREMENTS ARE TO STUD FACE UNLESS OTHERWISE NOTED.  
7. ALL WORK / MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2018 IRC AND ALL LOCAL GOVERNING CODES, REGULATIONS, AND ORDINANCES.  
8. WHERE CERAMIC TILE IS INSTALLED IN TUB AND SHOWER SPACES, PROVIDE A NON-SLIP SURFACE TO THE TUB AND SHOWER SPACES. PROVIDE CERAMIC TILE BACKER BOARD, NON-ABRASIVE FIBER CEMENT BACKER BOARD, AND NON-ABRASIVE FIBER MAT REINFORCED CERAMIC TILE BACKER UNITS SHALL BE USED PER 2018 IRC R-107.4.  
9. TUB AND SHOWER SPACES WITH BACKER HEADS SHALL HAVE WALLS FINISHED WITH A NON-ABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 6'-0" (7') ABOVE THE FLOOR PER 2018 IRC R-107.1.  
10. ALL BATHROOM WINDOWS SHALL BE SAFETY GLAZED PER 2018 IRC R-208.4.5.  
11. ALL GARAGE SLABS WITH STENHALL FOUNDATION SHALL SLOPE TOWARDS THE GARAGE DOOR AT A 2% SLOPE MINIMUM.  
12. MAINTAIN A 1" MINIMUM AIR SPACE BETWEEN FIBERGLASS BATT INSULATION AND ROOF SHEATHING AS REQUIRED PER 2018 IRC R-806.3.  
13. WHERE 1/2" AND 5/8" JOINTING BOARD IS USED, IT SHALL BE INSTALLED PERPENDICULAR TO PANELS. PANELS SHALL BE INSTALLED PERPENDICULAR TO FRAMING TO MINIMIZE SAGGING PER 2018 IRC TABLE R-623.5.  
14. WATER HEATERS SHALL BE SEISMICALLY BRACED PER 2018 IRC M-201.2.  
15. ACCESS HATCHES AND DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE SHALL BE STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2018 IECC SEC. 402.2.3.  
16. BUILDING ENVELOPE AIR TIGHTNESS SHALL COMPLY WITH AIR LEAKAGE REQUIREMENTS FOR BLOWER TEST AND SEC. 402.2.2 VISUAL INSPECTION.  
17. ALL THERMOSTATS TO BE PROGRAMMABLE TYPE PER 2018 IECC SEC. 403.1.1.  
18. ALL HVAC SUPPLY DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-6 MIN. AND RETURN AIR DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-4 MIN. PER 2018 IECC SEC. 403.2.  
19. ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. ALL HVAC CONDENSERS IN UNCONDITIONED SPACE SHALL BE TESTED FOR TIGHTNESS PER 2018 IECC SEC. 403.2.2.  
20. DISHWASHER (24" x 24") VERIFY DIMENSIONS w/ YES.  
21. 3/8" CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB 1 BUT-OFF FOR ICE MAKER).  
22. HATCHER SPACE PROVIDE RECESSED WATER AND DRAIN PIPING. PROVIDE 1/2" DIA. (1/4" DIA. MAX.) GARAGE FIREWALL. IT MUST BE METAL A WATER TIGHT PAN OF CORROSION RESISTANCE MATERIAL WITH DRAIN TO AN APPROVED LOCATION IS RECOMMENDED OVER HOOD FLOORS.  
23. DRYER SPACE PROVIDE RECESSED BOX w/ SMOOTH METAL DRYER VENT DUCT TO OUTSIDE w/ BACKDRAFT DAMPER (4" DIA. / 1/4" DIA. MAX.) 2 ELBOWS MAX.  
24. A/C CONDENSER PROVIDE CONCRETE PAD. VERIFY LOCATION PROVIDE 200% WEATHERPROOF DISCONNECT AND WITHIN 25' A NEW WEATHERPROOF OUTLET.  
25. PROVIDE ADEQUATE BLOCKING (2x6 FLAT) IN WALLS AT ALL TONEL, DAMS, GRAB BARS, CABINETS ETC.



FLOOR PLAN  
GUEST RESIDENCE, 675 FAIRVIEW ST.  
2-CAR GARAGE, 12' X 10' SECTIONAL DOOR  
UPPER FLOOR, 675 FAIRVIEW ST. 572 SQ. FT.  
SCALE: 1/4" = 1'-0"



REVISIONS

**Element**  
Residential Design Studio LLC  
675 Fairview St. #228  
Carson, NY 10988  
(772) 690-9822  
www.elementny.com



**OWNER / CONTRACTOR:**  
R/K & LYNN CASTRO  
218 ROOF STREET  
CARBON CITY, NY 89701

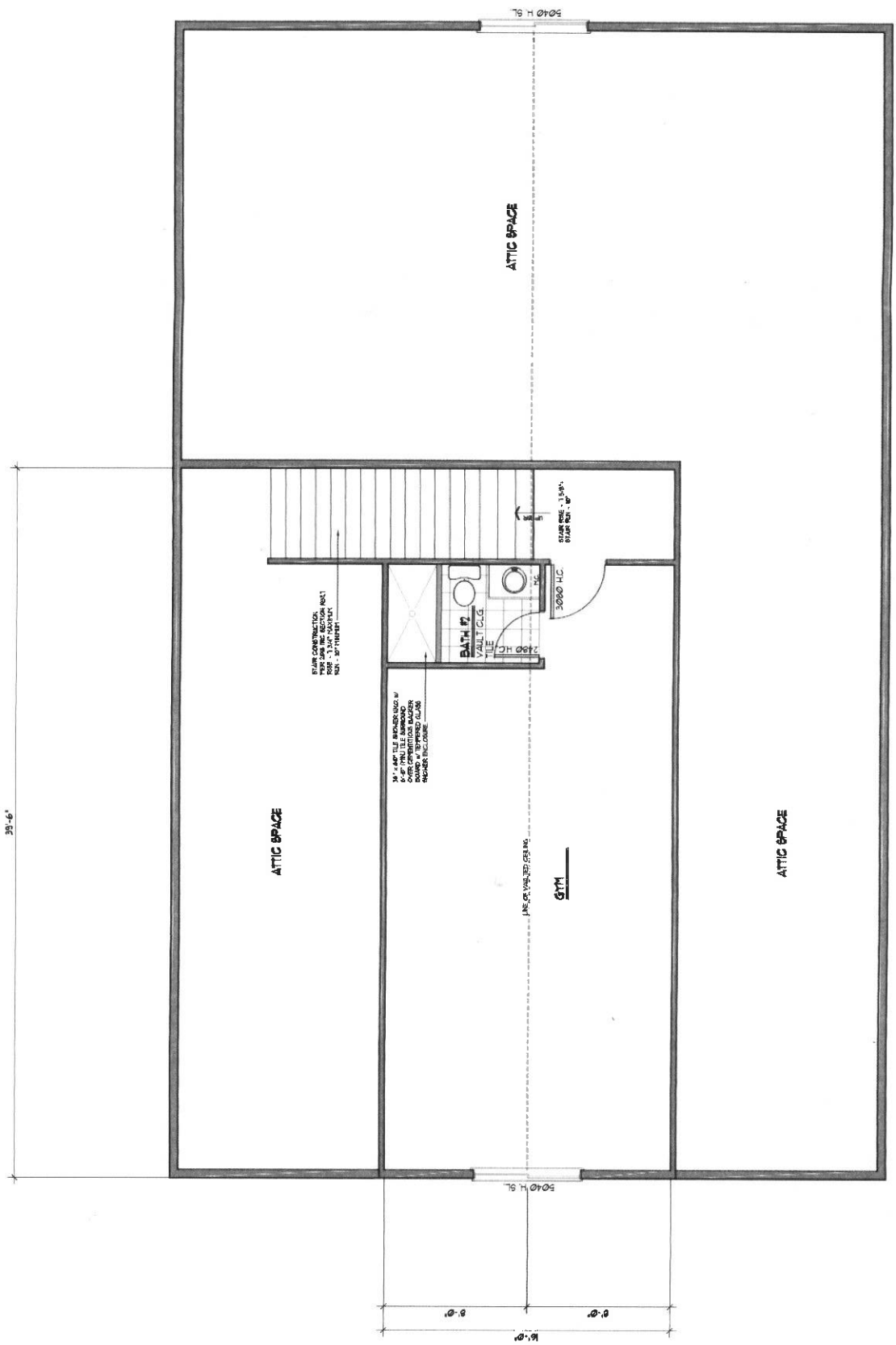
**PROJECT:**  
CASTRO GUEST RESIDENCE  
218 ROOF STREET  
CARBON CITY, NY 89701  
A.P.N. 009-092-08

DATE	12/1/2021
DWG. NO.	0062-21
TITLE	0062FF2
SCALE	1/4" = 1'-0"
SHEET	

**A-4**

**UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
GUEST RESIDENCE: 875 SQ. FT.  
2-CAR GARAGE: 1800 SQ. FT.  
UPPER FLOOR GYM: 572 SQ. FT.

**GENERAL NOTES:**  
SAFETY GLASSING MUST BE USED IN ALL HAZARDOUS AREAS PER 2008 IRC SECTION R-308.  
PROVIDE AT LEAST 1 EMERGENCY EGRESS WINDOW IN ROOMS USED FOR SLEEPING, WHICH MEETS THE FOLLOWING CONDITIONS:  
MIN. 5 1/2 SQ. FT. OF TOTAL AREA  
MIN. CLEAR OPENING HEIGHT OF 24"  
MIN. CLEAR OPENING WIDTH OF 20"  
MAX. CLEAR OPENING HEIGHT FROM FIN. F.F.: 44" PER 2008 IRC SECTION R301  
PROVIDE LANDINGS PER 2008 IRC SECTION 313  
PROVIDE LIGHT AND VENTILATION PER 2008 IRC SECTION 303  
ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS OTHERWISE NOTED  
MEASUREMENTS ARE TO STUD FACE UNLESS OTHERWISE NOTED  
ALL WORK / MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2008 IRC AND ALL LOCAL GOVERNING CODES, REGULATIONS, AND ORDINANCES.  
WHERE CERAMIC TILE IS INSTALLED IN TUB AND SHOWER AREAS, IT SHALL BE SET OVER A BACKING PANEL, RIB-REINFORCED GYPSUM BOARD, AND NON-ASBESTOS FIBER CEMENT BACKER BOARD, AND NON-ASBESTOS FIBER MAT REINFORCED CERAMIC TILE BACKER UNITS SHALL BE USED PER 2008 IRC R-802.4.  
TUB AND SHOWER SPACES WITH SHOWER HEADS SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 10" ABOVE FIN. F.F. AND 8'-0" (11'-7" ABOVE THE FLOOR PER 2008 IRC 307.1).  
ALL BATHROOM WINDOWS SHALL BE SAFETY GLAZED PER 2008 IRC 308.4.5.  
ALL GARAGE SLABS WITH STEM WALL FOUNDATION SHALL SLOPE TOWARDS THE GARAGE DOOR AT A 2% SLOPE MINIMUM.  
MAINTAIN A 1" MINIMUM AIR SPACE BETWEEN FIBERGLASS BATT INSULATION AND ROOF SHEATHING AS REQUIRED PER 2008 IRC R806.3.  
WHERE 1/2" AND 5/8" GYPSUM BOARD IS APPLIED TO CEILINGS WITH FRAMING SPACED AT 24" O.C., PANELS SHALL BE INSTALLED PERPENDICULAR TO FRAMING TO MINIMIZE SAGGING PER 2008 IRC TABLE R102.3.5.  
WATER HEATERS SHALL BE SEISMICALLY BRACED PER 2008 IRC 1807.2.  
ACCESS LADDERS AND ROOMS FROM UNCONDITIONED SPACE TO UNCONDITIONED SPACE SHALL BE INSTALLED, STIFFED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2008 IECC SEC. 409.2.3.  
BUILDING ENVELOPE AIR TIGHTNESS SHALL COMPLY WITH 2008 IECC SEC. 409.2.1 DOOR SLOTTED TEST AND SEC. 409.2.2 VISUAL INSPECTION.  
ALL THERMOSTATS TO BE PROGRAMMABLE TYPE PER 2008 IECC SEC. 409.1.1.  
ALL HVAC SUPPLY DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-8 MIN. AND RETURN AIR DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-6 MIN. PER 2008 IECC SEC. 409.2.1.  
ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND OUTDOOR AIR INTAKES AS DUCTS SHALL BE SEALED. DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE TESTED FOR TIGHTNESS PER POST CONSTRUCTION TEST OR ROUGH-IN TEST PER 2008 IECC SEC. 409.2.2.



ROOF PLAN

SCALE: 1/4" = 1'-0"

A-5

SHEET

FILE

DATE

12/17/2021

JOB NO.

062-21

FILE

062/NSP

SCALE

1/4" = 1'-0"

PROJECT:

CASTRO GUEST RESIDENCE  
2118 ROOF STREET  
CARBON CITY, NV 89701  
A.P.N. 009-092-08

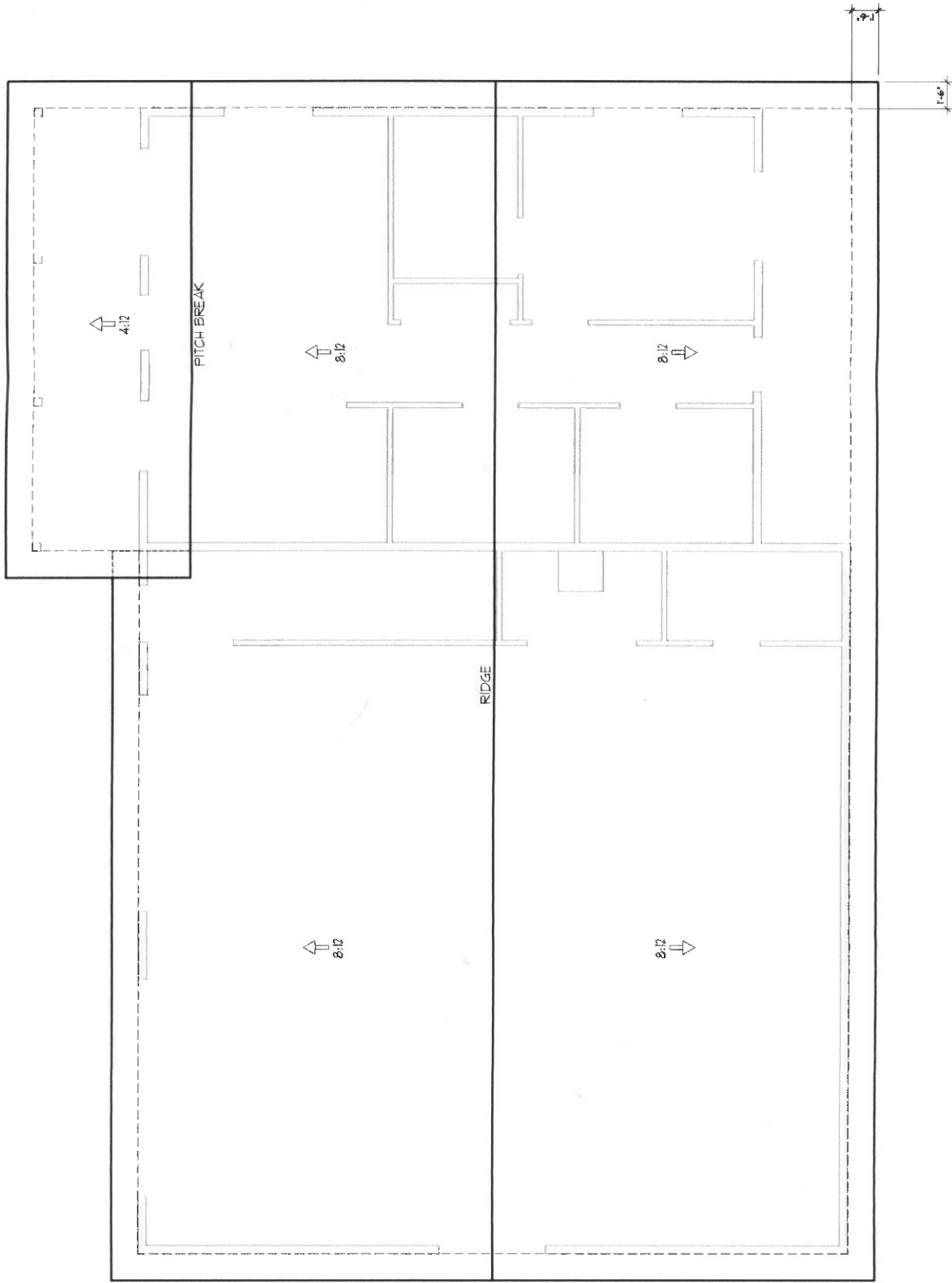
OWNER / CONTRACTOR:

RIKKI & LYNN CASTRO  
2118 ROOF STREET  
CARBON CITY, NV 89701



Element  
Residential Design Studio LLC  
675 Fairview St., #228  
Carbon City, NV 89701  
(775) 890-3862  
WWW.ELEMENTNEVADA.COM

REVISIONS



ATTIC VENTILATION CALCULATIONS:  
2118 SQ. FT. : 180 SQ. FT. OF REQUIRED VENTILATION  
180  
PROVIDE 91 SQ. FT. OF VENTILATION AT OR NEAR RIDGE  
PROVIDE 91 SQ. FT. OF VENTILATION AT EAVE LINE  
ATTIC VENTILATION PER 2018 IRC CH. 8 SECTION 806



**ALL HOME OCCUPATIONS SHALL BE SUBJECT TO AND MUST COMPLY WITH SECTION 18.03.010 AND ALL THE FOLLOWING PROVISIONS OF THIS SECTION:**

1. Business license requirements. All home occupations must obtain a Carson City business license and meet the requirements of this Section.

**We are not running our business out of our home.**

2. Sale of merchandise. Sale of goods, samples, materials, equipment or other objects on the premises is not permitted. Home occupations shall not conduct business in person with clients at the home address, with the exception of federally licensed gun dealers, required by federal regulations to conduct firearm sales at their home location.

N/A

3. Size limits. No more than 20% of the total ground floor area of the dwelling and accessory structure may be used for home occupation.

N/A

4. Employees. No on-site office staff or business personnel shall be permitted in any home occupation unless the employees are members of the resident family and reside on the premises.

**Our office is located off site at a commercial location and employees.**

5. Character. The characteristics of the structure shall not be altered, nor shall the occupation within the dwellings be conducted in a manner which would cause the premises to differ from its residential character either by the use of colors, materials, construction, lighting or by signs, or the emission of sounds, noises, dust, odors, fumes, smoke, electrical disturbance or vibrations, or disturbs the peace and general welfare of the area.

N/A

6. Traffic. Pedestrian and vehicular traffic shall be limited to that normally associated with residential districts. Deliveries from commercial suppliers may not be made more than once each week and the deliveries shall not restrict traffic circulation.

N/A

7. Storage. There shall be no outdoor storage of materials or equipment; no storage of toxic or hazardous materials, including ammunition and gunpowder; nor shall merchandise be visible from outside the dwelling.

N/A

8. Location. The home occupation shall be confined within the main building and/or accessory structure as a secondary use of the residential use. When conducted in a garage, the home occupation shall not permanently eliminate the use of the garage as a parking space for a car, nor shall the bay door be open while the home occupation is conducted within the garage

**We are not running our business out of our home.**

9. Use of facilities and utilities. The use of utilities and community facilities shall be limited to that normally associated with the use of the property for residential purposes.

N/A

10. Advertising. There must not be any public advertising which calls attention to the fact that the dwelling is being used for business purposes. Telephone listings, business cards, or any other advertising of the business, shall not include the dwelling address. The name, telephone, and purpose of the home occupation may be advertised on not more than one vehicle which is operated by the resident or residents of the dwelling in conjunction with the business. The home address may appear on letterhead and invoices when the home address is also the business address.

N/A

11. Electromagnetic interference. Electrical or mechanical equipment which creates video or audio interference in customary residential electrical appliances or causes fluctuations in line voltage outside the dwelling unit is prohibited.

N/A

12. Fire safety. Activities conducted and equipment or material used or stored shall not adversely change the fire safety of the premises.

N/A

13. Parking. No parking or placement of commercial vehicles such as trucks, trailers, equipment or materials except one panel van or pickup truck, when used for personal transportation.

**We only store our personal vehicles at our home all commercial vehicles have been moved off site.**

**We do not conduct our business from our home.**

I will not be conducting business at our home address located 2118 South Roop I have read the above information.

**No license should required.**



Carson City Planning Division  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: [planning@carson.org](mailto:planning@carson.org)

FOR OFFICE USE ONLY:

CCMC 18.02.080

## SPECIAL USE PERMIT

FEE\*: \$2,450.00 MAJOR  
\$2,200.00 MINOR (Residential  
zoning districts)

+ noticing fee

\*Due after application is deemed complete by  
staff

— SUBMITTAL PACKET – 4 Complete Packets (1 Unbound  
Original and 3 Copies) including:

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

— CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By: \_\_\_\_\_

Submittal Deadline: Planning Commission application  
submittal schedule.

Note: Submittals must be of sufficient clarity and detail for  
all departments to adequately review the request. Additional  
information may be required.

### FILE #

APPLICANT PHONE #

Rikki & Lynn Castro

MAILING ADDRESS, CITY, STATE, ZIP

2118 Roop St., Carson City, NV 89701

EMAIL ADDRESS

67lynn@gmail.com

PROPERTY OWNER PHONE #

Rikki & Lynn Castro

MAILING ADDRESS, CITY, STATE, ZIP

2118 Roop St., Carson City, NV 89701

EMAIL ADDRESS

67lynn@gmail.com

APPLICANT AGENT/REPRESENTATIVE PHONE #

N/A

MAILING ADDRESS, CITY STATE, ZIP

EMAIL ADDRESS

Project's Assessor Parcel Number(s):

009-092-08

Street Address

2118 Roop Street, Carson City, NV 89701

Project's Master Plan Designation

Project's Current Zoning

SF6

Nearest Major Cross Street(s)

Colorado Street

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.  
937 sq. ft. accessory dwelling unit to be used for care of elderly family member.

### PROPERTY OWNER'S AFFIDAVIT

I, RIKKI & LYNN CASTRO

being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have  
knowledge of, and I agree to, the filing of this application.

Signature

Address

PO BOX 1914  
CC, NV 89701

Date

1/25/22  
1/25/22

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA  
COUNTY Carson city

On January 26, 2022, Rikki and Lynn Castro, personally appeared before me, a notary public,  
personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she  
executed the foregoing document.

Stephanie L.  
Notary Public



STEPHANIE MARISCAL LOZANO

Notary Public - State of Nevada

Appointment Recorded in Lyon County

No. 19-1616-12 - Expires Feb. 25, 2023

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the  
Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

## SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:
  - a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
  - b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:

A horizontal bar scale with markings at 0, 10, 20, and 40 feet. The word "Feet" is written at the end of the scale.
  - c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
  - d. Title block in lower right-hand corner including:
    - i. Applicant's name, mailing address, and daytime phone number (including area code).
    - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
    - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
    - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
    - v. Project title and permit request. (Example: Variance, Special Use Permit).
8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
  - a. Distances from property lines indicated by dimensions.
  - b. Distances between buildings shall be indicated on the site plan.
  - c. Clearly label existing and proposed structures and uses, and show dimensions.
  - d. Square footage of all existing and proposed structures.
  - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
  - f. Elevations of any proposed structures/additions.
  - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation:
11. Project access:
  - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
  - b. Show adjoining street names.
  - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.



- the parking lot, and (3) how much of the off-site parking area is required for business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
  15. If specific landscape areas are required or provided, show with dimensions.
  16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

## **SPECIAL USE PERMIT APPLICATION FINDINGS**

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

**THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.**

**CCMC 18.02.080(5) FINDINGS.** Findings from a preponderance of evidence must indicate that the proposed use:

- 1. Will be consistent with the objectives of the Master Plan elements.**

**Explanation:** Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at [www.carson.org/planning](http://www.carson.org/planning) or you may contact the Planning Division to review the document in our office or request a copy.

- 2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

- Explanation:**
- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
  - B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
  - C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
  - D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

E. Describe the proposed landscaping, including screening and potential landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.

F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**

Explanation: A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?

B. How will your project affect police and fire protection?

C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

**5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at [www.carson.org/planning](http://www.carson.org/planning).

**6. Will not be detrimental to the public health, safety, convenience and welfare.**

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.



# Master Plan Policy Checklist

## Special Use Permits & Major Project Reviews & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Date of Review: \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

#### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

#### Is or does the proposed development:

- ☐ Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- ☐ Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- ☐ Located in a priority infill development area (1.2a)?
- ☐ Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- ☐ Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- ☐ At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- ☐ In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- ☐ Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- ☐ Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- ☐ Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- ☐ Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- ☐ If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

#### CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

##### Is or does the proposed development:

- ☐ Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- ☐ Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

#### CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

##### Is or does the proposed development:



- ☐ Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- ☐ Encourage the development of regional retail centers (5.2a)
- ☐ Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- ☐ Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- ☐ Promote revitalization of the Downtown core (5.6a)?
- ☐ Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

### Is or does the proposed development:

- ☐ Use durable, long-lasting building materials (6.1 a)?
- ☐ Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- ☐ Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1 c)?
- ☐ Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- ☐ If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1 a, b)?
- ☐ If located Downtown:
  - ☐ Integrate an appropriate mix and density of uses (8.1 a, e)?
  - ☐ Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - ☐ Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- ☐ Incorporate a mix of housing models and densities appropriate for the project location and size (9.1 a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

**Is or does the proposed development:**

- ☐ Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- ☐ Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- ☐ Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?




If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.


### ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

  
Applicant's Signature

RIKKI CASTRO  
Print Name

1/24/22  
Date

  
SIGNATURE

LYNN CASTRO  
PRINT NAME

1/24/22  
DATE

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.



CARSON CIT., NV  
PERMIT CENTER  
108 E. Proctor Street  
Carson City, NV 89701

012270-0005 Mariah D. 02/16/2022 10:55AM

ENERGOV INVOICE

CASTRO, RIKKI & LYNN

LU-2022-0065

2022 Item: INV-00023492

Special Use Permit -

Minor (conditional

uses or he

2,200.00

Noticing Fee

22.75

-----  
2,222.75

Subtotal

2,222.75

Total

2,222.75

CHECK

2,222.75

Check Number 03714

Change due

-----  
0.00

Paid by: CASTRO, RIKKI & LYNN

Thank you for your payment.

CUSTOMER COPY

## Successful Payment Receipt

Please print this receipt for your records

Remittance ID: 1594153

Received: February 21, 2022 03:38PM PST

Customer Email: [67lynn@gmail.com](mailto:67lynn@gmail.com)

Customer Phone Number: 17754500647

Number of Parcels: 1

Amount: \$706.16

Service Fee: \$17.30

Service Fee Type: Dual Transaction

Total Amount: \$723.46

Transaction Type: Authorization and Capture

Approval Code: 009767

Card Information: Visa

Rikki C Castellano

\*\*\*\*\*4979

Billing information: Address Line 1: PO Box 1914

Country: United States

State: NV

City: Carson City

ZIP Code: 89701

Source	Year	Property Key	Tax	Penalty	Total	Installment
RE	2021	00909208	706.16	0.00	706.16	4

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