

**STAFF REPORT FOR PLANNING COMMISSION MEETING OF JUNE 29, 2022**

**FILE NO:** LU-2022-0258

**AGENDA ITEM:** 14.C

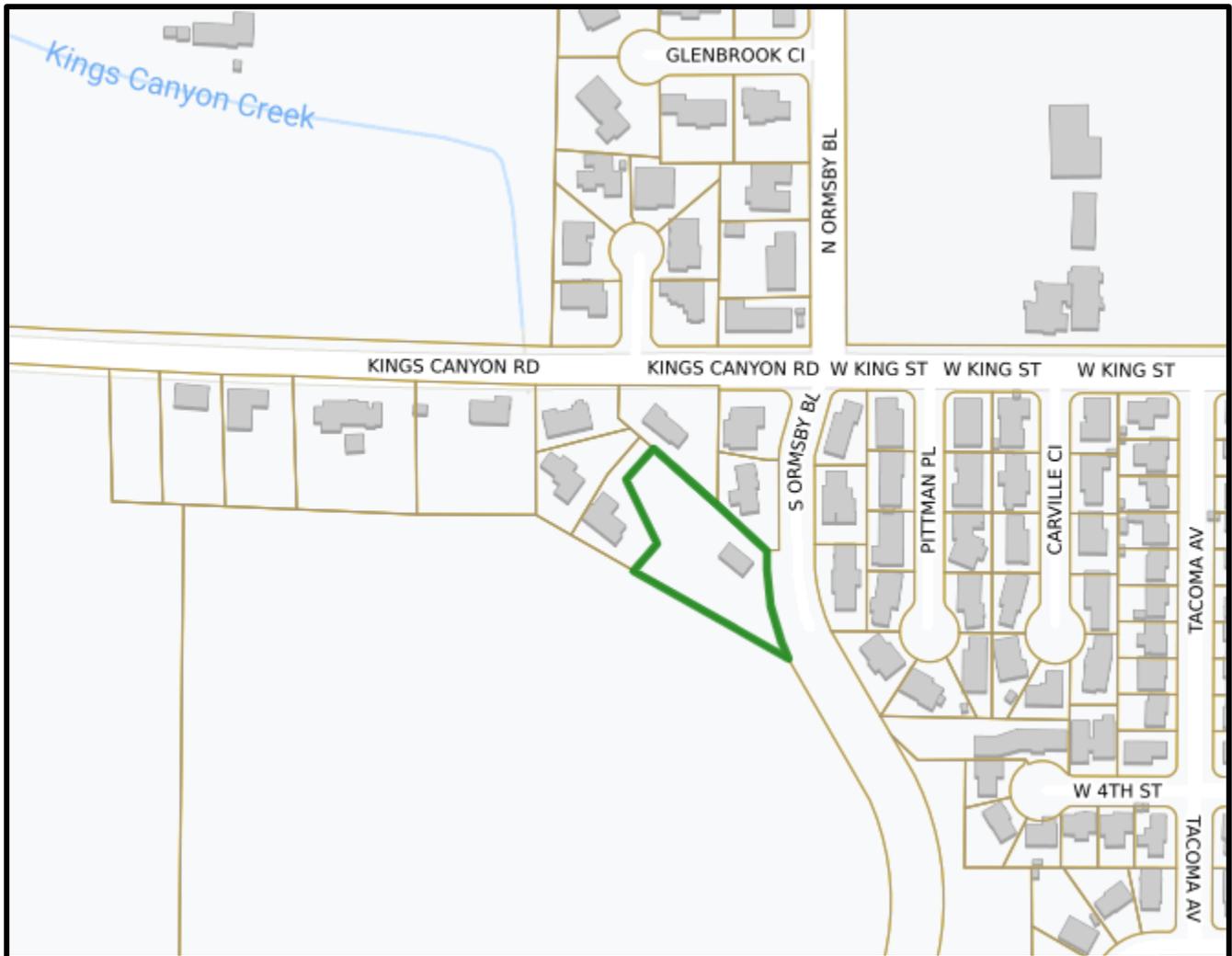
**STAFF CONTACT:** Heather Manzo, Associate Planner

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request from David A. Johnson (“Applicant”) for a special use permit to allow for a guest building greater than 700 square feet in size on a property zoned Single Family Residential – 6,000 Square Feet (“SF6”) located at 1555 Kings Canyon Road, Assessor’s Parcel Number (“APN”) 009-014-18. (Heather Manzo [hmanzo@carson.org](mailto:hmanzo@carson.org))

**STAFF SUMMARY:** The structure was constructed in the 1950’s and is currently ±1,152 square feet. The Applicant is seeking a special use permit in order to allow for an expansion to the structure to create a 2nd floor and to establish a guest building totaling approximately 1,371 square feet with a ±284 square foot attached garage. A special use permit is required. The Planning Commission is authorized to approve the special use permit.

**PROPOSED MOTION:** “I move to approve special use permit LU-2022-0258, based on the ability to make all findings and subject to the conditions of approval contained in the staff report.”

**VICINITY MAP:**



**RECOMMENDED CONDITIONS OF APPROVAL:**

1. The Applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The Applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning Division of the Carson City Community Development Department (“Planning Division”) at least 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year, and no extension granted, the permit shall become null and void.
5. The Applicant shall submit a copy of the Notice of Decision, conditions of approval, and explanation of how the request addresses each condition with the building permit application.
6. Prior to the issuance of any permit associated with this request, the Applicant shall demonstrate that the Carson City Development Standards (“CCDS”) for Guest Buildings (CCDS 1.4) have been met. This shall include the recordation of a deed restriction against the property stating the guest building will be occupied by family member(s) of the primary residence, as defined by the Carson City Municipal Code (“CCMC”), and their non-paying guests. Guest buildings shall not be rented.
7. Prior to the issuance of any permit associated with this request, the Applicant shall have plans approved demonstrating that the guest building square footage shall not exceed 1,371 square feet in size. Exterior finishes shall be consistent with the primary residence.

**LEGAL REQUIREMENTS:** CCMC 18.02.050 (Review); 18.02.080 (Special Use Permits) 18.04.075 (Single Family 6,000 (“SF6”)); 18.04.190 (Residential Districts Intensity and Dimensional Standards); and CCDS Division 1, Section 1.4 (Guest Building Development).

**MASTER PLAN DESIGNATION:** Medium Density Residential

**ZONING:** Single Family – 6,000 (“SF6”)

**KEY ISSUES:** Will the proposed accessory structure have an adverse impact on the adjacent residential neighborhood?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: SF6 – Single Family Residence  
EAST: SF6 – Single Family Residence  
SOUTH: PC – Undeveloped Land Owned by Carson City  
WEST: SF6 – Single Family Residence

**ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: X Shaded (areas of minimal flooding)

**SLOPE/DRAINAGE:** parcel contains hillside areas, however the building pad is level and developed  
**SEISMIC ZONE:** The closest fault is over 500 feet away

**SITE DEVELOPMENT INFORMATION:**

**PARCEL AREA:** ±1.01 acres

**EXISTING PRIMARY USE:** Single family residence

**PROPOSED GUEST BUILDING SIZE:** 1,371 square feet

**REQUIRED SETBACKS:** Front = 20 feet, Side = 5 feet, Street Side = 10 feet, and Rear = 10 feet

**VARIANCES REQUESTED:** None

**BACKGROUND:** While located within the SF6 zone, the subject property is one acre in size. The primary residence was built in 1950 and based on available records, the subject structure was constructed around the same time as the residence. The Applicant has requested a conversion of the existing building and an addition which will add square footage to be used as a guest building.

**DISCUSSION:** Per CCMC 18.04.075.3 a guest building is a conditional use and therefore, requires approval of a special use permit. Moreover, per CCDS 1.4.4 the maximum gross floor area of the living space of a guest building is 50 percent of the assessed floor area of the main residence or 700 square feet, whichever is less, unless otherwise approved by a special use permit. A special use permit to allow for a guest building that exceeds the maximum 700 square foot size limitation has been requested.

The subject parcel is approximately 1.01 acres in size located at the western terminus of South Ormsby Boulevard to the south of its intersection with Kings Canyon Road. The subject site is zoned SF6, and is currently developed with a 2,088 square foot single-family residence. There are two accessory structures on the property which include a detached garage near the primary residence and the subject building proposed to be approve as a guest house. The existing subject building is single story with a 1,152 square foot building footprint. A building permit for the proposed addition to the structure was issued in 2019 in error as the permit was issued without prior approval of a special use permit. The approved structure was partially constructed but not completed and the permit has expired. The proposed roofline and dormers exist so the mass and scale of this proposal can be viewed from the public right of way and complies with CCMC. This request is to allow for a new building permit to be issued to convert the existing structure and 507 square foot second floor to a ±1,371 square foot guest building with a ±284 square foot attached garage.

Per CCMC 18.02.080, the Planning Commission has the authority to approve a special use permit upon making each of the seven required findings in the affirmative.

**PUBLIC COMMENTS:** Public notices were mailed to 66 property owners within 600 feet of the subject site on June 16, 2022. As of the date of writing of this report, staff has not received any inquiries regarding this application. Additional comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 29, 2022 depending on the date of submission of the comments to the Planning Division.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:**

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

**Carson City Public Works Department, Engineering Division (“Development Engineering”):**

Development Engineering has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all Carson City Development Standards and Standard Details.

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The project has a negligible impact on vehicular and pedestrian traffic.

CCMC 18.02.080(5)(d) - Public Services

The project has a negligible impact to City sewer, water and storm drain infrastructure.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project meets will meet engineering standards for health and safety if conditions are met.

Earthquake faults: None within 500 feet.

FEMA flood zones: X-shaded flood zone, no special construction requirements.

Site slope: Lot contains hillside areas but the building pad is level.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

**Fire Department:**

The Carson City Fire Department offers the following, all of which will need to be addressed at the time of building permit:

- The project must comply with the International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.
- The guest building shall have its own discreet address.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. Will be consistent with the master plan elements.**

The subject property is designated as Medium Density Residential, and the primary uses within this Master Plan land use designation include single family residences. The proposed accessory structure is intended to be utilized by the resident and will not change the use of the land.

**2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare, or physical activity.**

The structure proposed to be converted to a guest building is located on the south side of the property and conforms with the setback requirements for the SF6 zoning district. The proposal consists of a conversion of an existing building, with a partially constructed addition on a lot that can support both a primary residence and a guest building. The proposal will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or neighborhood. The accessory building will allow for vehicles and other personal items to be stored inside a structure and the guest building will be used in accordance with CCDS 1.4 (Guest Building Development).

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

The land use will continue to be single-family residential with the trips associated with a single-family residence. The impact to traffic will be negligible. Pedestrian facilities are located to the east across Ormsby Boulevard and to the north adjacent to the project parcel. No new facilities are recommended as part of this request.

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The proposed accessory building does not constitute a change of use. The land use will continue to be single-family residential. The project will connect to sewer and water infrastructure and does not require modifications to the existing storm drain infrastructure. The project will not result in increased impacts on schools, police or fire protection.

**5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

Since there is no change of use and the guest building is allowed accessory to the primary single-family residence, the primary consideration is related to the size of the proposed structure. The guest building will be limited to the square footage proposed in this request and will comply with all other standards and is allowed with the approval of a special use permit.

**6. Will not be detrimental to the public health, safety, convenience, and welfare.**

The structure has a single family appearance and is consistent with the zoning code and development standards. The request for a guest building of this size is consistent with other structures within the neighborhood and will not be detrimental to public health, safety, convenience, and welfare.

**7. Will not result in material damage or prejudice to other property in the vicinity.**

The primary use of the subject site is a single-family residential use, and the proposed guest building will

not change the land use. The guest building will comply with the setbacks for a guest building within the SF6 zone. Proposed setbacks are 42 feet from the north property line, 96 feet from the east property line, 138 feet from the south property line and approximately 80 feet from the detached garage which is located closer to the proposed use than the primary residence. The proposal complies with all required setbacks, height limits, and will be accessed from an existing private driveway from South Ormsby Boulevard. The proposed guest building will not result in material damage or prejudice to other property in the vicinity. The structures comply with the required setbacks, height limitations, and all other applicable standards.

Attachments: Application LU-2022-0258

LU 2022-0258

RECEIVED  
MAY 04 2022  
CITY PLANNING DIVISION

Carson City Planning Division  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: [planning@carson.org](mailto:planning@carson.org)

FOR OFFICE USE ONLY:  
CCMC 18.02.080

FILE # 2022-0441

**SPECIAL USE PERMIT**  
FEE\*: \$2,450.00 MAJOR  
\$2,200.00 MINOR (Residential zoning districts)  
+ noticing fee  
\*Due after application is deemed complete by staff

APPLICANT PHONE #  
DAVID A. JOHNSON 775-351-4852

MAILING ADDRESS, CITY, STATE, ZIP  
1555 KINGS CANYON RD. CC, NV 89703

EMAIL ADDRESS  
david.johnson.pt@gmail.com

PROPERTY OWNER PHONE #  
Same

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE PHONE #  
N/A

MAILING ADDRESS, CITY STATE, ZIP

EMAIL ADDRESS

- SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:
  - Application Form
  - Detailed Written Project Description
  - Site Plan
  - Building Elevation Drawings and Floor Plans
  - Special Use Permit Findings
  - Master Plan Policy Checklist
  - Applicant's Acknowledgment Statement
  - Documentation of Taxes Paid-to-Date
  - Project Impact Reports (Engineering) –
- CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:  
  
Submittal Deadline: Planning Commission application submittal schedule.  
  
Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

|                                                   |                                                      |                                                |
|---------------------------------------------------|------------------------------------------------------|------------------------------------------------|
| Project's Assessor Parcel Number(s):<br>2022-0441 | Street Address<br>1555 KINGS CANYON RD. CC, NV 89703 |                                                |
| Project's Master Plan Designation                 | Project's Current Zoning                             | Nearest Major Cross Street(s)<br>King + Ormsby |

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail  
The property had two existing homes, I am remodeling one of the existing homes. I am re-submitting a permit application because the original permit expired.

PROPERTY OWNER'S AFFIDAVIT  
I, DAVID A. JOHNSON, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.  
Signature:  Address: 1555 KINGS CANYON RD CC NV 89703 Date: 4/29/2022

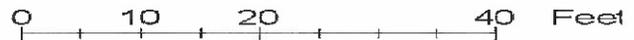
Use additional page(s) if necessary for additional owners.  
STATE OF NEVADA )  
COUNTY )  
On \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.  
Notary Public \_\_\_\_\_

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

## SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:
  - a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
  - b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:



- c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
    - d. Title block in lower right-hand corner including:
      - i. Applicant's name, mailing address, and daytime phone number (including area code).
      - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, different from applicant.
      - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, different from applicant.
      - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
      - v. Project title and permit request. (Example: Variance, Special Use Permit).
8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
  - a. Distances from property lines indicated by dimensions.
  - b. Distances between buildings shall be indicated on the site plan.
  - c. Clearly label existing and proposed structures and uses, and show dimensions.
  - d. Square footage of all existing and proposed structures.
  - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
  - f. Elevations of any proposed structures/additions.
  - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
11. Project access:
  - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
  - b. Show adjoining street names.
  - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.

13. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
15. If specific landscape areas are required or provided, show with dimensions.
16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

## **← SPECIAL USE PERMIT APPLICATION FINDINGS**

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

**THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.**

**CCMC 18.02.080(5) FINDINGS.** Findings from a preponderance of evidence must indicate that the proposed use:

**1. Will be consistent with the objectives of the Master Plan elements.**

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at [www.carson.org/planning](http://www.carson.org/planning) or you may contact the Planning Division to review the document in our office or request a copy.

**2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.**

Explanation:

- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.**

- Explanation:
- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?
  - B. How will your project affect police and fire protection?
  - C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
  - D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
  - E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
  - F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
  - G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

**5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.**

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at [www.carson.org/planning](http://www.carson.org/planning).

**6. Will not be detrimental to the public health, safety, convenience and welfare.**

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

**7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

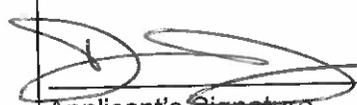
If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

**ACKNOWLEDGMENT OF APPLICANT**

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

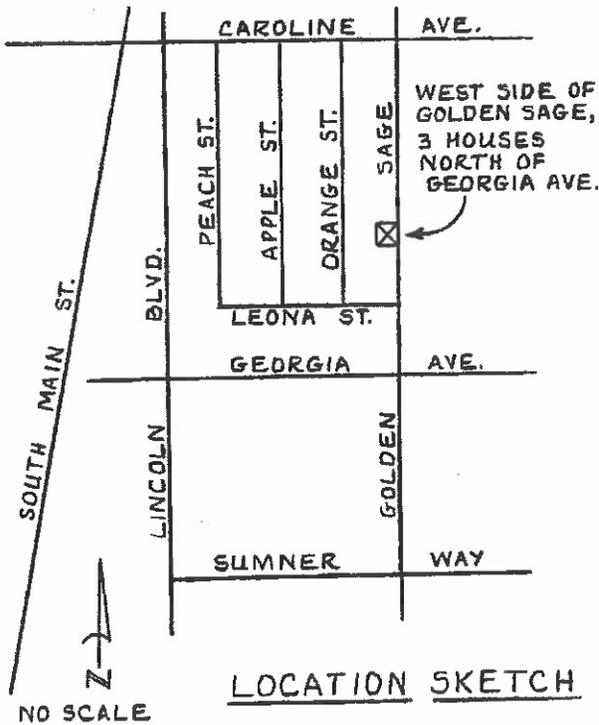
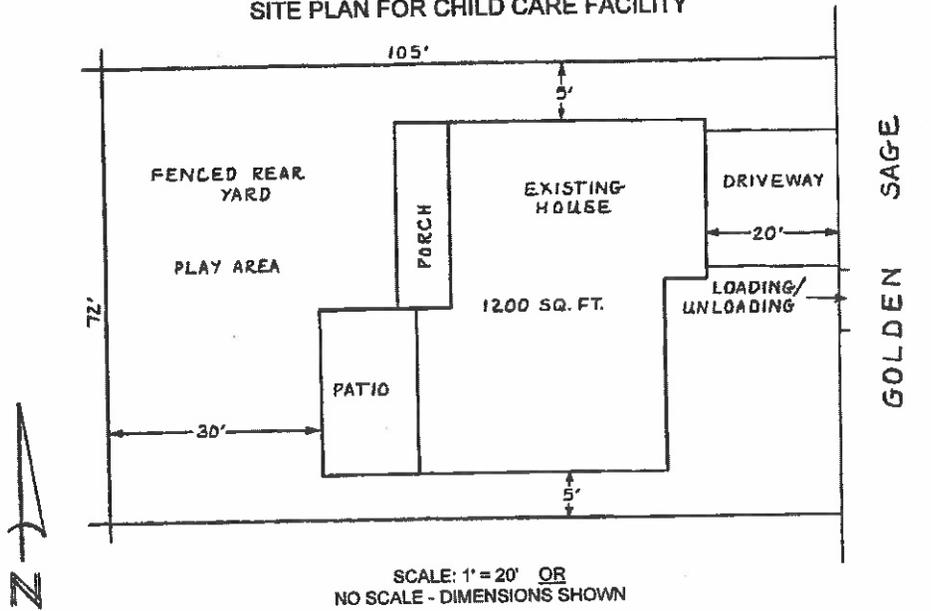
  
Applicant's Signature

David Johnson  
Print Name

5/3/22  
Date

# EXAMPLE SITE PLAN

## SITE PLAN FOR CHILD CARE FACILITY



OWNER: John Doe  
123 Anyplace  
Carson City NV 89701  
(775) 333-3333

APPLICANT: SAME

REQUEST: To allow a childcare facility

LOCATION: 123 Golden Sage Drive

ZONING: Single Family 6,000 (SF6)

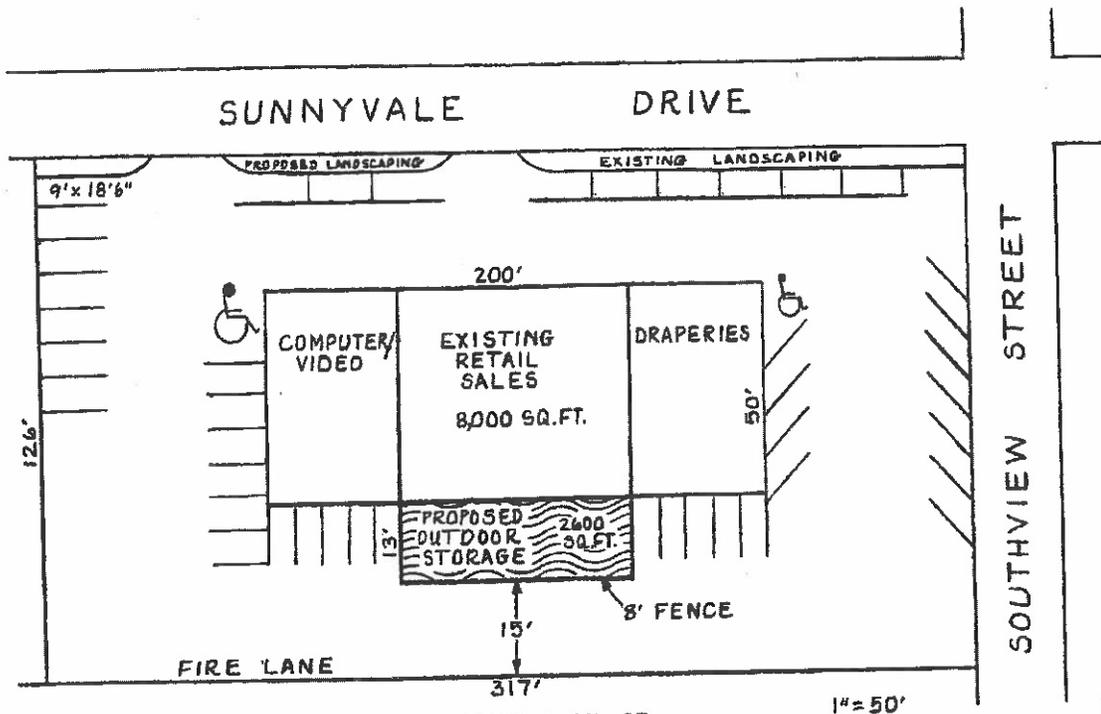
MASTER PLAN LAND USE DESIGNATION: Low Density Residential

APN: 005-215-25

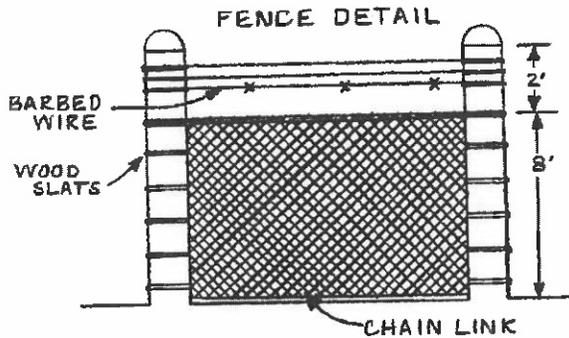
Site Plan Prepared By John Doe

**EXAMPLE  
SITE PLAN**

**SITE PLAN FOR COMMERCIAL OUTDOOR STORAGE**



SCALE: 1" = 20' OR  
NO SCALE - DIMENSIONS SHOWN



OWNER: John Doe  
123 Anyplace  
Carson City NV 89701  
(775) 111-1111

APPLICANT: Jane Smith  
345 Someplace  
Carson City NV 89701  
(775) 222-2222

REQUEST: To allow outdoor storage in Retail Commercial (RC) zone

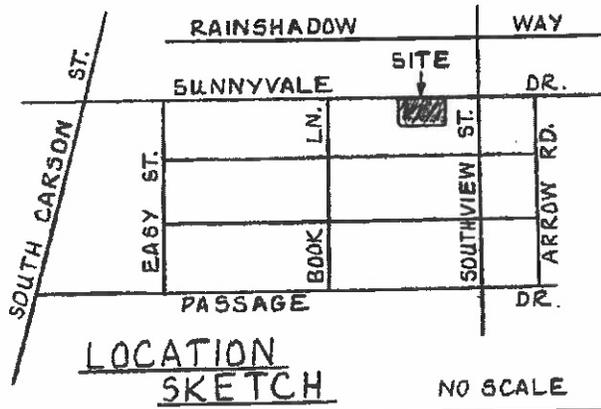
LOCATION: 123 Anyplace

ZONING: Retail Commercial (RC)

MASTER PLAN LAND USE DESIGNATION: Commercial

APN: 005-215-25

Site Plan Prepared By Jane Smith



# Master Plan Policy Checklist

## Special Use Permits & Major Project Reviews & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Date of Review: \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

#### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

#### Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

#### CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

##### Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

#### CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

##### Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

### Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
  - Integrate an appropriate mix and density of uses (8.1a, e)?
  - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

**Is or does the proposed development:**

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

**This has to be 2018 line codes**

- 2018 NORTHERN NEVADA AMENDMENTS (Including the International Energy Conservation Code)
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL PLUMBING, MECHANICAL, AND ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ELECTRICAL CODE
- 2009 ICC/ANSI A17.1

**GENERAL REQUIREMENTS**

1. All work shall be in accordance with the approved drawings and specifications.

2. All work shall be completed within the time frame specified in the contract.

3. The contractor shall be responsible for obtaining all necessary permits and fees.

4. All work shall be done in accordance with the applicable codes and standards.

5. The contractor shall maintain access to all adjacent properties at all times.

6. All work shall be done in a safe and sound manner.

7. The contractor shall be responsible for the protection of all existing utilities.

8. All work shall be done in accordance with the approved schedule.

9. The contractor shall be responsible for the disposal of all waste materials.

10. All work shall be done in accordance with the approved quality control program.

**ELECTRICAL NOTES**

1. All electrical work shall be in accordance with the 2018 International Electrical Code (IEC).

2. All electrical work shall be done in accordance with the approved drawings and specifications.

3. All electrical work shall be done in a safe and sound manner.

4. All electrical work shall be done in accordance with the approved schedule.

5. The contractor shall be responsible for the protection of all existing utilities.

6. All electrical work shall be done in accordance with the approved quality control program.

7. All electrical work shall be done in accordance with the approved safety program.

8. All electrical work shall be done in accordance with the approved environmental protection program.

9. All electrical work shall be done in accordance with the approved health and safety program.

10. All electrical work shall be done in accordance with the approved fire and life safety program.

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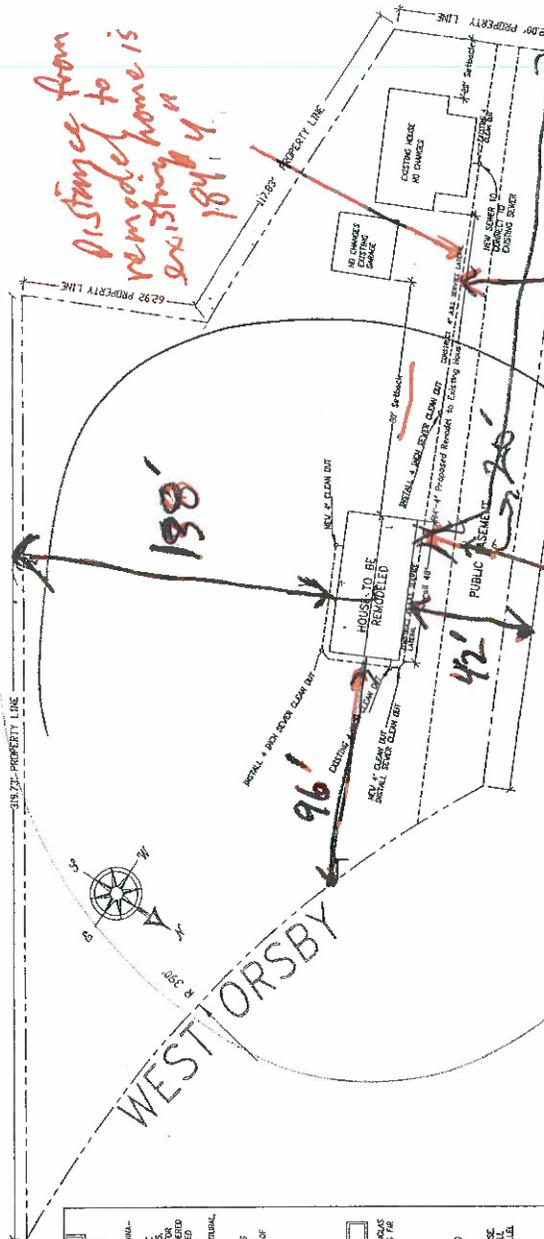
10. All work shall be done in accordance with the approved quality control program.

**PURPOSE OF PROJECT IS TO UPGRADE AND REMODEL EXISTING HOUSE**

**SHEET INDEX**

| SHEET | TITLE                                                        |
|-------|--------------------------------------------------------------|
| S-0   | PLOT PLAN AND GENERAL NOTES                                  |
| S-1   | EXISTING FOUNDATION & EXISTING FLOOR PLAN EXISTING ROOF PLAN |
| S-2   | EXISTING ELEVATIONS                                          |
| S-3   | PROPOSED FOUNDATION, FLOOR, JST. ROOF                        |
| S-4   | PROPOSED FLOOR PLAN                                          |
| S-5   | PROPOSED ELEVATIONS                                          |
| S-6   | PROPOSED EXTERIOR ELEV. SHEAR WALLS                          |
| S-7   | PROPOSED STRUCTURAL DETAILS                                  |
| S-8   | PROPOSED CROSS SECTIONS                                      |
| S-9   | PROPOSED STRUCTURAL DETAILS                                  |

ALL WORK SHALL BE IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ALL WORK SHALL BE DONE IN A SAFE AND SOUND MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED QUALITY CONTROL PROGRAM.



*Distance from remodel home is existing home is 184' 4"*

*EXISTING WATER LINE SCALE 1" = 20'-0" 15' 38" FROM SE CORNER OF REMODEL AND 3' IN FRONT OF E. FOUNDATION*

CARSON CITY BUILDING DIVISION  
"REVIEWED FOR CODE COMPLIANCE"  
08/15/2018 by [signature]

*combination of concrete 450" x 35" in front of garage. is paved*

Plan are Drawn by Home Owner and is Responsible for the Design and Preparation of Plans (MTC 624)  
E-Mail: davidjohnson@photos.com

- PLUMBING**
1. ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE (IPC).
  2. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED DRAWINGS AND SPECIFICATIONS.
  3. ALL PLUMBING SHALL BE DONE IN A SAFE AND SOUND MANNER.
  4. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SCHEDULE.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
  6. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED QUALITY CONTROL PROGRAM.
  7. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED SAFETY PROGRAM.
  8. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED ENVIRONMENTAL PROTECTION PROGRAM.
  9. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED HEALTH AND SAFETY PROGRAM.
  10. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED FIRE AND LIFE SAFETY PROGRAM.

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PROJECT ADDRESS: 1555 KINGS CANYON RD

OWNER: DAVID JOHNSON

PHONE: 775-351-4852

PARCEL #: 009-04-18

DATE: LOT 44,203 SQ.FT.

DRAWN BY: DAVID JOHNSON

SCALE: AS SHOWN

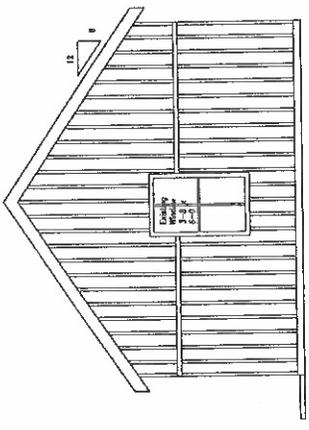
EXISTING ELEVATIONS



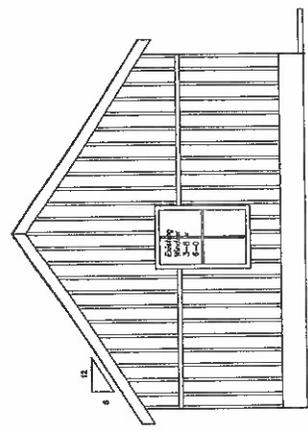
CARSON CITY BUILDING DIVISION  
"REVIEWED FOR CODE COMPLIANCE"  
08/22/2018 *ds/mtg*

NOTE: NAILS TO BE REMOVED TO ALLOW FOR EXTERIOR SHEKAWALL NAILING PER NAILING SCHEDULE.

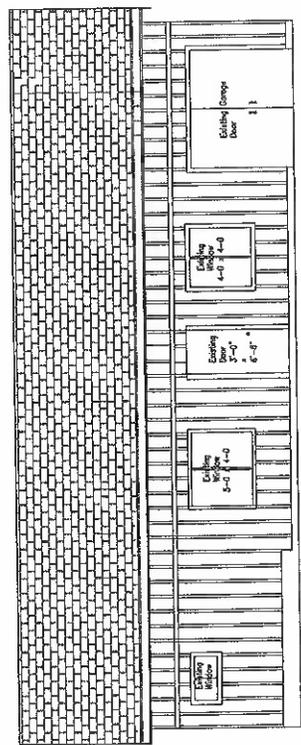
This is to certify that I am a Professional Engineer, and I have prepared the above drawings. I am not responsible for any errors or omissions in the drawings, specifications, or any other engineering or design work prepared by the firm.



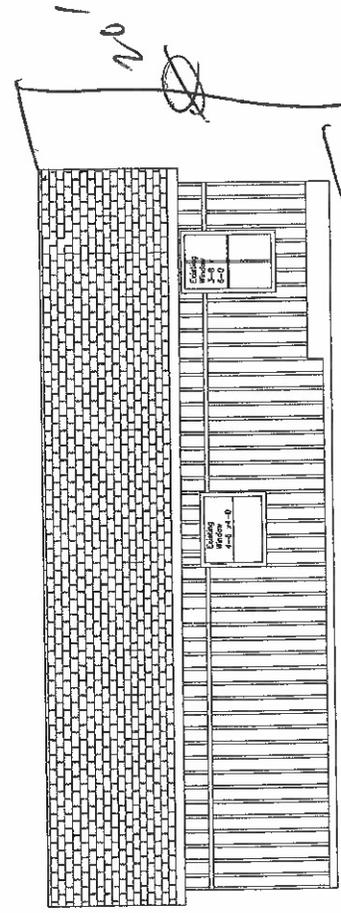
EXISTING WEST ELEVATION (RIGHT)  
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION (LEFT)  
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION (REAR)  
SCALE: 1/4" = 1'-0"



## Special Use Permit Application Findings

- 1) Will be consistent with the objectives of the Master Plan elements.  
- Chapter 3 - A balanced land use pattern  
This is not a development, but a re-model of an existing home - two dormers were added resulting in additional square feet. It is a two story home in a neighborhood of two story homes.
- 2) The home will not be detrimental to the neighborhood - as it was. Prior to the remodel, the home was abandoned and used for storage. Once done it will be consistent with the neighborhood. The home will increase the value in the community.
- 3) There will be no change on vehicular or pedestrian traffic. It will be a single family home on a dead end street.
- 4) Existing public services & facilities will not be stressed. The home will have the appropriate defensible space, the water pressure to the home is 90 psi, and, since the local sewer does not extend to the home, the sewage will be pumped via a lateral connecting to any other existing home. This home is already connected to the disposal trunk line.

5) Meets the definition...

The remodel is of an existing home on a property that is 1201 acres in size, that was allowed to have two homes on it.

6) Will not be detrimental...

The home will no longer be an eyesore at the end of Ormsby Street, where people ~~often~~ park to hike the "C-hill".

7) Will not result in material damage...

It will raise property values in the neighborhood.

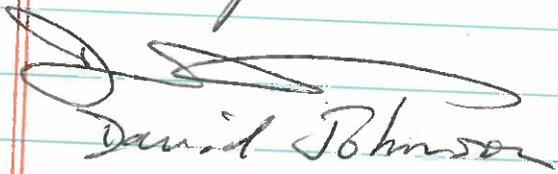
### Additional information:

Basically, I had previously had an approved permit for this project a few months prior to Covid. Things were moving along on it as the framing, sheathing, foundation, and roofing inspections have all been passed by the building department. During Covid 19 - it was hard to find plumbers and electricians within my budget. I, myself, got covid. Since I work as a physical therapist, work volume increased because of the influx of Covid 19 patients. Following this - there were the supply

chain issues which further slowed the project.

I would just like the original permit approved again so that I can get the remodel done. Apparently, the reason for the special use permit is the  $\approx 500$  square feet of upstairs that seems to have been missed during the previous permitting process. I would like to get this project completed before the end of the year.

Thank you,

  
David Johnson