

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF JUNE 29, 2022

FILE NO: LU-2022-0259

AGENDA ITEM: 14.D

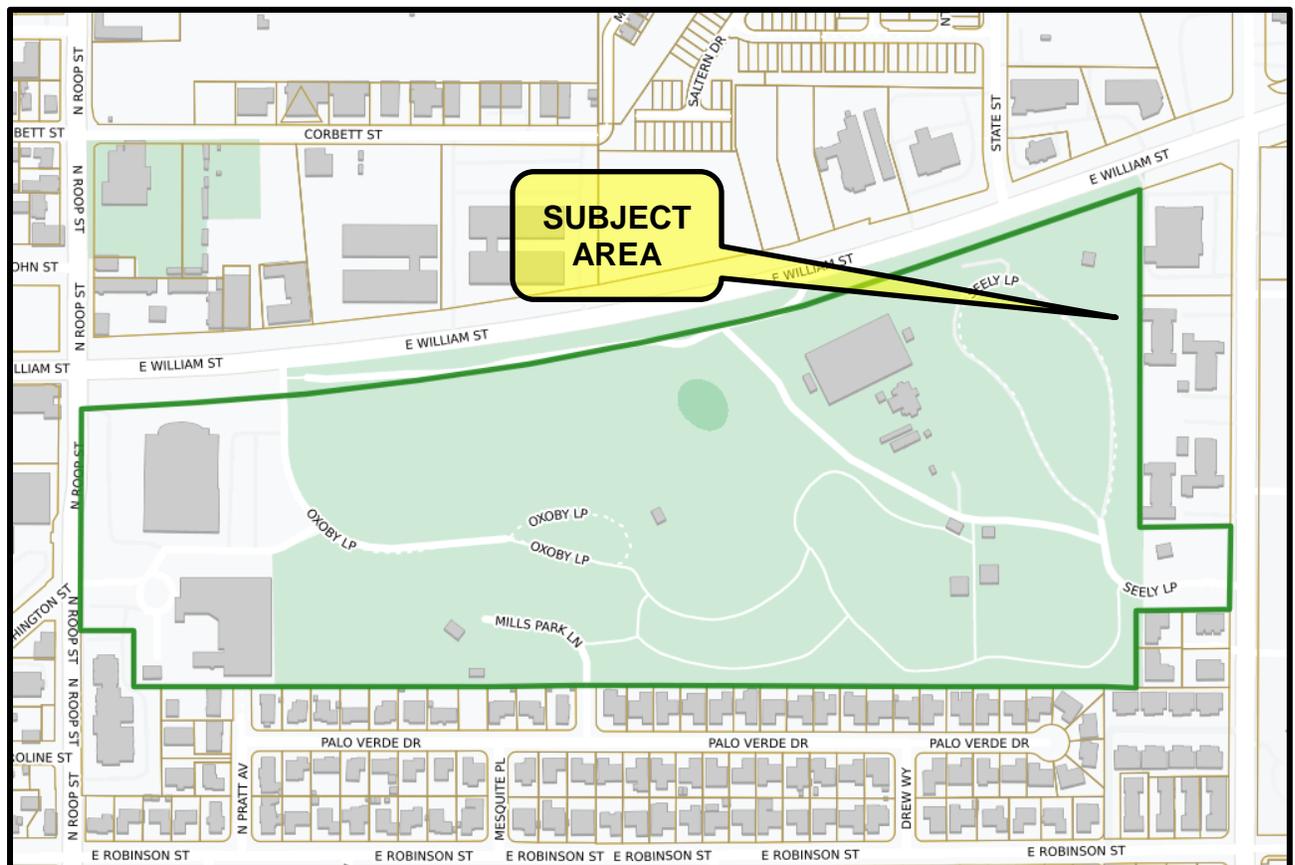
STAFF AUTHOR: Heather Manzo, Associate Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request from the Carson City Parks, Recreation & Open Space Department (“Applicant”) for a special use permit for the construction of a maintenance building and associated maintenance yard at a property zoned Public Regional (“PR”) located at 851 East William Street, Assessor’s Parcel Number (“APN”) 002-181-01. (Heather Manzo hmanzo@carson.org)

STAFF SUMMARY: The Applicant is proposing to construct a ±1,590 square foot maintenance building within a new ±9,500 square foot fenced maintenance yard within Mills Park. A special use permit is required. The Planning Commission is authorized to approve the special use permit.

RECOMMENDED MOTION: “I move to approve LU-2022-0259 based on the ability to make the required findings and subject to the conditions of approval included in the staff report.”

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the approved plans, except as otherwise modified by the conditions of approval.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning Division of the Carson City Community Development Department ("Planning Division") thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. Building materials shall be consistent with the approved plans. All exposed metal surfaces shall be painted in flat, non-glossy paint or an earth tone or muted color to minimize reflectivity and glare. Paint colors shall be provided to the Planning Division for review and approval with the building permit application.
6. Any exterior lighting associated with this project must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent spillover of light or glare onto adjacent properties.

LEGAL REQUIREMENTS: Carson City Municipal Code ("CCMC") 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.185 (Public Regional)

MASTER PLAN DESIGNATION: Parks & Recreation

ZONING DISTRICT: Public Regional ("PR")

KEY ISSUES: Will the use be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: General Commercial / commercial businesses & vacant

EAST: General Commercial & Multi-family Apartment / commercial & apartments

WEST: Public Regional & Retail Commercial / library & offices

SOUTH: Single-family 6,000 / single family residences

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X shaded (annual flood risk between 1 % and 0.2 %)

EARTHQUAKE FAULT: Zone III (Moderate) within 500 feet

SLOPE/DRAINAGE: Site is generally flat

SITE DEVELOPMENT INFORMATION:

SITE SIZE: ±9,500 square feet of an overall 52.9 acre site

STRUCTURE SIZE: ±1,590 square feet

VARIANCES REQUESTED: None

PREVIOUS REVIEWS:

LU-2021-0092 & SUP-13-022 (Carson City sign),
H-00/01-2 (Wungenema House),
U-99/00-23 (chain link fence),
U-96/97-13 (community center sign),
U-94/95-47 (skateboard facility),
U-94/95-5 (Carson City sign),
H-91/92-2 (stone bldg. at park),
U-90/91-40 (events center, parking at high school),
U-87/88-16 (C-scape),
U-87-5(a) (roof structure over pool, waterslide),
U-87-5 (aquatic facility, Edmonds Park concession stands, Fuji horse barn, restrooms, exhibit hall),
U-86-15 (well),
U-81-39 (RR signage), and
U-79-1 & U-79-22 (community center marquee sign)

DISCUSSION:

The subject property is approximately 52.9 acres in size and is the site of Mills Park, the Community Center, aquatic facility, and Marv Teixeira Pavilion.

The applicant is seeking a Special Use Permit to allow for the construction of a ±9,500 square foot fenced maintenance yard and a ±1,590 square foot metal maintenance building which will be located 20 feet from the east property line. Per CCMC 18.04.185, the use may only be established subject to a special use permit. The Planning Commission is authorized to approve a special use permit.

PUBLIC COMMENTS:

Public notices were mailed to 493 property owners within 900 feet of the subject site on June 16, 2022. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on June 29, 2022, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

Carson City Public Works Department, Engineering Division (“Development Engineering”):

Development Engineering has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all Carson City Development Standards and Standard Details including but not limited to the following:

- A backflow preventer must be installed on the domestic water line.
- The project area must be designed to drain properly.

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering related Master Plan policies.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The project has a negligible impact to pedestrian and vehicular traffic.

CCMC 18.02.080(5)(d) - Public Services

Sanitary Sewer: No impact to City sewer is anticipated.

Water: There is a negligible impact to City water.

Storm Drain: The impacts to the City storm drain system are negligible. The site must be designed to drain properly.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project will meet engineering standards for health and safety if conditions are met.

Earthquake faults: There is an earthquake fault shown on the property but it is approximately 850 feet away from the building area.

FEMA flood zones: The building is to be constructed in an area that is x-shaded, which has no special construction requirements.

Site slope: The site is flat

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

The following Carson City Fire Department requirements will need to be addressed at the time of building or site improvement permit:

1. The project shall comply with currently adopted International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.
2. A Knox box shall be provided for the gate access and building access.

FINDINGS:

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the objectives of the Master Plan elements.

The subject property is in the Parks and Recreation Master Plan designation which is generally reserved for active and passive recreational areas within the community, primarily those areas provided by Carson City, though the designation would be appropriate to regional recreational areas that may be held privately. The Mills Park site conforms to the Master Plan in that the site is a park owned and operated by the City.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood. The proposed maintenance yard and building is located in an area of the Mills Park site which has limited opportunities for other types of programming and will provide Parks with a secured yard and building to store park benches and small equipment such as mowers utilized for park maintenance. As conditioned, the proposed structure will be painted or treated with a non-reflective coat to minimize the visual impact of the building on park users and adjacent residents to the east.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The addition of a maintenance yard and building at this site will not create a detrimental effect on vehicular or pedestrian traffic. There will be no change to traffic patterns as the equipment and materials utilized for park maintenance are currently stored at another area of the park site.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The addition of a metal building and fenced area will not overburden or create a demand on public services or facilities. Plans will need to demonstrate that the site has been designed to provide sufficient drainage that meets the current standards.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The primary purpose of the Public Regional zoning (CCMC 18.04.185) is to accommodate a wide range of public institutional and auxiliary uses which are established in response to the health, safety, cultural and welfare needs of the citizen. The addition of a Parks maintenance building and area for the storage of equipment customarily utilized to maintain the park is consistent with this purpose. Per CCMC 18.04.185 the use may only be established or modified subject to a special use permit. In the PR zoning district, setbacks and heights are determined as part of the special use permit. As conditioned, the project will meet the definition and specific standards set forth in Title 18.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The maintenance building and yard will not be detrimental to the public health, safety, convenience and welfare. The maintenance building is a 1,590 square foot single-story structure

that will be located a minimum of 20 feet from the nearest property line to the east. The maintenance yard will be screened from public right of way view by existing mature trees and improvements to the north. The site is ideal in that the maintenance activities will be located along the Mills Park perimeter separate from a majority of the other park programming activities and amenities.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The project is proposed on the eastern portion of Mills Park and will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Attachments:

Application LU-2022-0259



Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:
CCMC 18.02.080

FILE # LU-2022-0259

SPECIAL USE PERMIT

APPLICANT PHONE #
Carson City Parks, Rec and Open Space

FEE*: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)
+ noticing fee
*Due after application is deemed complete by staff

MAILING ADDRESS, CITY, STATE, ZIP
3303 Butti Way #9

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:
Application Form
Detailed Written Project Description
Site Plan
Building Elevation Drawings and Floor Plans
Special Use Permit Findings
Master Plan Policy Checklist
Applicant's Acknowledgment Statement
Documentation of Taxes Paid-to-Date
Project Impact Reports (Engineering)

EMAIL ADDRESS
nwentworth@carson.org

PROPERTY OWNER PHONE #
Carson City Parks, Rec and Open Space

MAILING ADDRESS, CITY, STATE, ZIP
3303 Butti Way #9

EMAIL ADDRESS
nwentworth@carson.org

CD or USB DRIVE with complete application in PDF
Application Received and Reviewed By:

APPLICANT AGENT/REPRESENTATIVE PHONE #
Nick Wentworth (775)283-7733

MAILING ADDRESS, CITY STATE, ZIP
same

Submittal Deadline: Planning Commission applicator submittal schedule.

EMAIL ADDRESS

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

nwentworth@carson.org

Project's Assessor Parcel Number(s): 00218101 **Street Address:** 851 E. William Street

Project's Master Plan Designation: **Project's Current Zoning:** Public Regional **Nearest Major Cross Street(s):** Saliman Rd.

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.
Carson City Parks is in the design phase for a new maintenance shop at the

PROPERTY OWNER'S AFFIDAVIT

I, Jennifer Budge, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature: [Handwritten Signature] Address: 3303 Butti Way #9 Carson City NV 89701 Date: 5/17/22

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY

On May 17, 2022, Jennifer Budge personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public: [Handwritten Signature]



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:
 - a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
 - b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:



0 10 20 40 Feet
 - c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
 - d. Title block in lower right-hand corner including:
 - i. Applicant's name, mailing address, and daytime phone number (including area code).
 - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
 - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - v. Project title and permit request. (Example: Variance, Special Use Permit).
8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
 - a. Distances from property lines indicated by dimensions.
 - b. Distances between buildings shall be indicated on the site plan.
 - c. Clearly label existing and proposed structures and uses, and show dimensions.
 - d. Square footage of all existing and proposed structures.
 - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - f. Elevations of any proposed structures/additions.
 - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
11. Project access:
 - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - b. Show adjoining street names.
 - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.

13. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
15. If specific landscape areas are required or provided, show with dimensions.
16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

SPECIAL USE PERMIT APPLICATION FINDINGS

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Explanation:

- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

- Explanation:
- A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?
 - B. How will your project affect police and fire protection?
 - C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.
 - G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Nick Wentworth

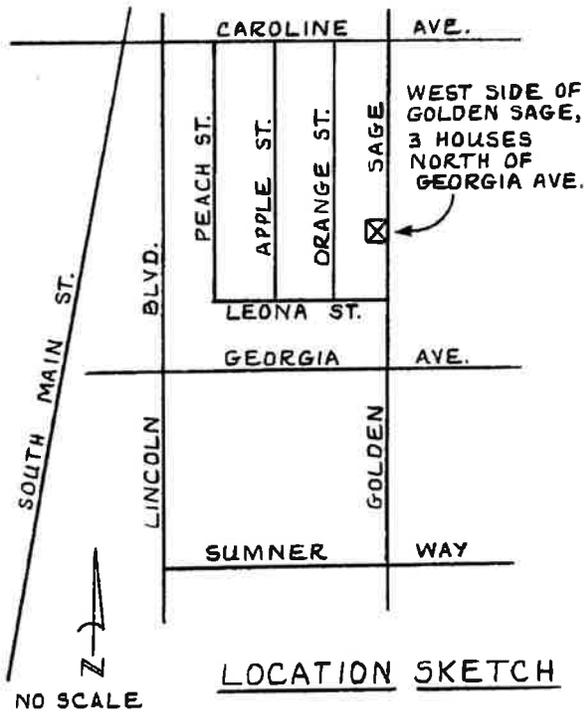
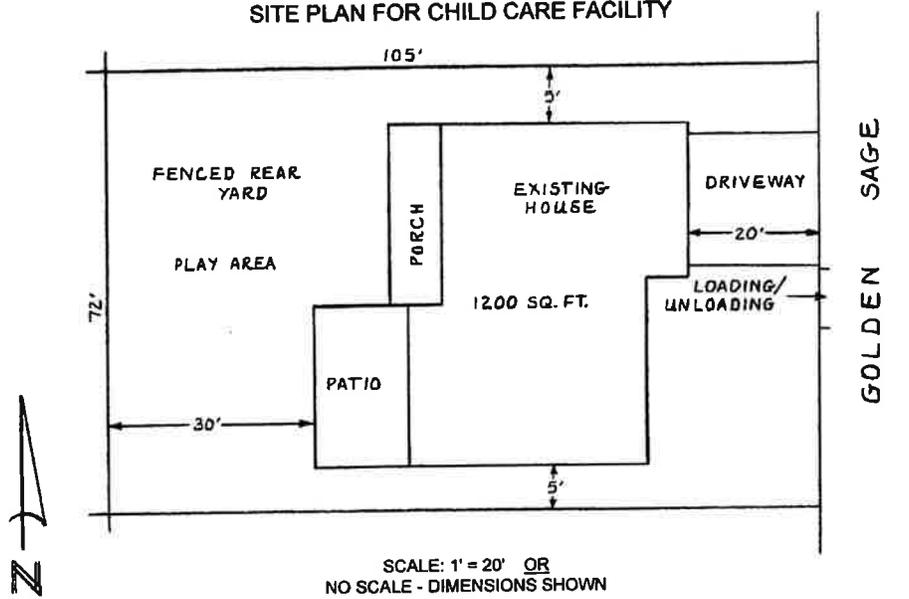
Print Name

5/25/2022

Date

EXAMPLE SITE PLAN

SITE PLAN FOR CHILD CARE FACILITY



OWNER: John Doe
123 Anyplace
Carson City NV 89701
(775) 333-3333

APPLICANT: SAME

REQUEST: To allow a childcare facility

LOCATION: 123 Golden Sage Drive

ZONING: Single Family 6,000 (SF6)

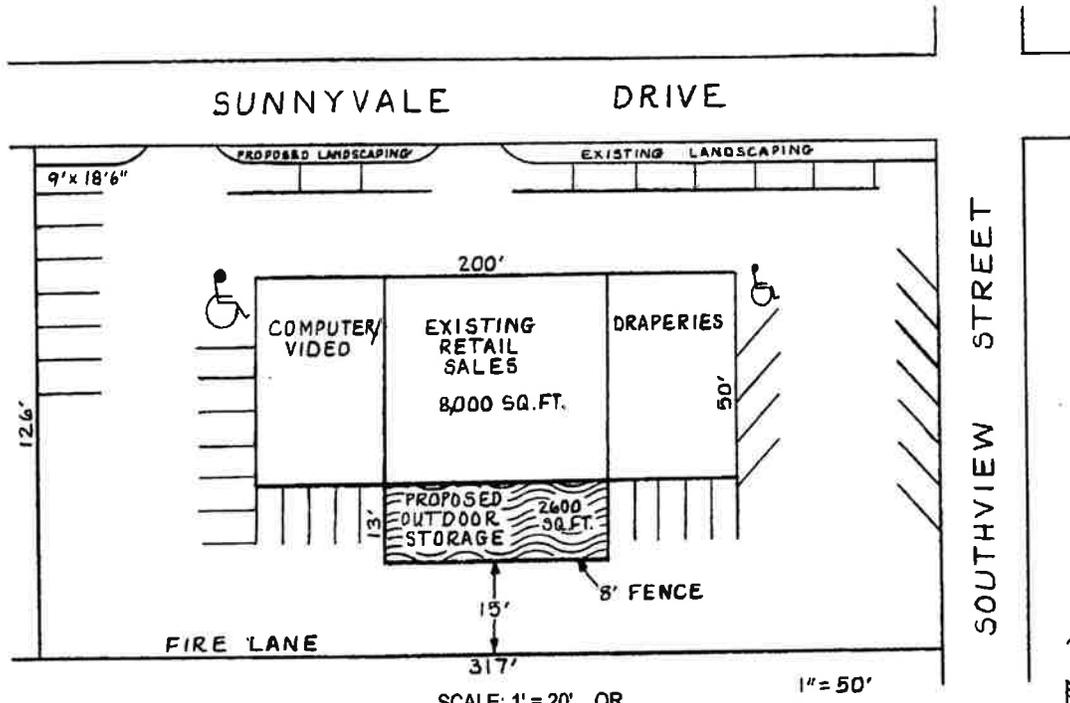
MASTER PLAN LAND USE DESIGNATION: Low Density Residential

APN: 005-215-25

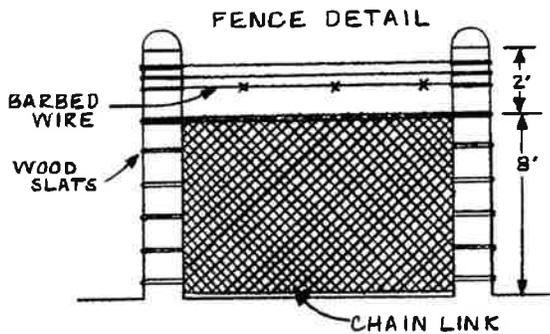
Site Plan Prepared By John Doe

EXAMPLE SITE PLAN

SITE PLAN FOR COMMERCIAL OUTDOOR STORAGE



SCALE: 1" = 20' OR
NO SCALE - DIMENSIONS SHOWN



OWNER: John Doe
123 Anyplace
Carson City NV 89701
(775) 111-1111

APPLICANT: Jane Smith
345 Someplace
Carson City NV 89701
(775) 222-2222

REQUEST: To allow outdoor storage in Retail Commercial (RC) zone

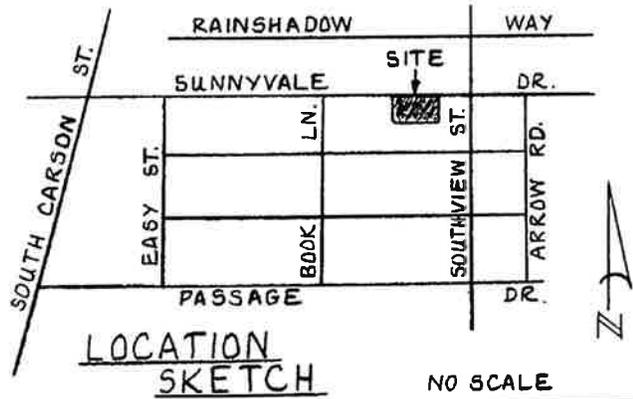
LOCATION: 123 Anyplace

ZONING: Retail Commercial (RC)

MASTER PLAN LAND USE DESIGNATION: Commercial

APN: 005-215-25

Site Plan Prepared By Jane Smith



NO SCALE

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Mills Park Maintenance Shop

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Mills Park Maintenance Shop, Detailed Written Project Description and Findings

Carson City parks, Rec and Open Space is required to obtain a Special Use Permit for any permanent site improvement structure on public property. The attached 60% design for a maintenance shop at Mills Park will also include an approx. 9,500 sq. ft. fenced yard space to replace the 11,000 sq. ft. yard that currently sits closer to the middle of the park. This new site was selected after preliminary design at the current site revealed it is within the floodplain and would greatly exceed the Board of Supervisor's approved budget for this project to elevate the new building 3'.

The existing storage yard at Mills Park consists of a 4' high chain link fence and 2 small (<120 sq. ft.) sheds. The area, 4' fencing and old sheds are not secure. Maintenance staff cannot utilize the area to store any equipment or supplies of any value. Equipment, tools, or supplies are currently vandalized 3-5 times per year with staff very rarely leaving those items on site only when necessary. With Mills Park being the largest and most prominent regional park in the community, on site and secure storage for equipment, supplies and tools is a must-have to operate in a more efficient manner.

Design elements of the new shop/yard include an 8' fence with a 3 wire deterrent at the top, exterior LED down lighting on all 4 sides of the building, asphalt grindings 3" in depth across the entire yard space, concrete driveway from an existing apron to the front (southwest) of the building where both doors will be located, 100amp electrical service from an existing meter located approx. 110' to the north and a frost-free hydrant from an existing irrigation water service approx. 120' to the north.

1. Master Plan Objectives

A new maintenance shop at Mills Park will allow Park Maintenance staff to better serve visitors, special events, renters and all park users/groups in a more efficient manner. The proposed location is currently unused and not landscaped. The new building, concrete driveway, asphalt grindings, and DG perimeter will be a major improvement aesthetically and functionally. 1 recently planted tree will be relocated along with any mature lilac bushes that survive a transplant on site or to another Parks' facility. All setbacks have been addressed in design. Maintenance staff regularly provides support to The Parks Foundation and other groups that use the Wungnema House.

2. Surrounding Properties

Directly adjacent neighbors to the proposed location include Walgreens (General Commercial) to the northeast, apartments (Multi-Family Apartments) to the east. Other neighbors to Mills Park include Residential Office to the southeast, Single Family 6,000 sf to the south, General Office to the southwest, Retail Commercial to the west and General Commercial to the north.

Maintenance practices are not planned to change with a new shop. No manufacturing, fumes or other disturbances will take place on the property. Staff is typically on site from 7am-3pm during weekdays. All regular landscape maintenance and routine special event services will continue as practiced in the past.

Exterior security lighting will be LED fixtures and bulbs pointed down the sides of the building to assist Park Rangers and law enforcement in keeping the property and city assets safe. No direct light will be emitted off the property in any direction.

We may entertain the idea of slats within the chain link fence if that is allowable for the location. Any existing shrubs or trees that must be moved for construction will be relocated along the outside of the new fencing where possible to help in beautification of the area.

3. Vehicle and Pedestrian Traffic Effect

This project will have absolutely no effect on any type of traffic inside or outside of the park besides during construction.

4. Public Services

This project will have no negative effect on schools, police, fire, water system, sewer system or roadways. The Carson City Stormwater Engineer has cited that a drainage swale will be necessary at the east edge of the site for capturing runoff and preventing it from entering the adjacent properties. This comment has been sent to the design team as part of the 60% review. Other city staff from Fire, Comm. Development, Engineering, Facilities, Parks, Transportation and Water have all been part of the design review process so far and will continue until a complete design is received.

5. Title 18

All minimums, setbacks, etc... are N/A for Public Regional Zoning

6. This project has no detrimental effect to public health, safety, convenience, or welfare.

This project is intended to increase the community and visitors' recreational experience at Mills park as well as increasing efficiency and productivity for our staff which is a direct benefit to the tax paying local community.

7. This project will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.



NEW MAINTENANCE SHOP MILLS PARK

1111 E William Street, Carson City, NV 89701

dubé group
ARCHITECTURE

438 Court Street | Reno, Nevada 89501
 Also Available at: www.dubegroup.com
 775.332.1801
 775.332.3899

VICINITY MAP



PROJECT DESCRIPTION

GENERAL

- 1 DTG
- 2 G20

CIVIL

- 3 CO.1
- 4 CO.2
- 5 CS.1

STRUCTURAL

- 6 S10
- 7 S10

ARCHITECTURAL

- 8 A10
- 9 A11
- 10 A20
- 11 A30
- 12 A30

MECHANICAL

- 13 M10
- 14 E10

COVER SHEET

- GENERAL NOTES, STANDARD ABBREVIATIONS
- CIVIL NOTES
- FOUNDATION PLAN
- FLOOR PLAN, SCHEDULES
- ROOF PLAN
- BUILDING ELEVATIONS
- SECTION, DETAILS
- MECHANICAL DESIGN-BUILD PLAN
- ELECTRICAL DESIGN-BUILD PLAN

INDEX TO DRAWINGS

PROJECT NAME
**NEW MAINTENANCE SHOP
 MILLS PARK**

CARSON CITY, NEVADA

DATE
 08/28/2022

CREATED BY
 JPB

REVISIONS

PROJECT DIRECTORY

OWNER:
 CARSON CITY PARKS, RECREATION & OPEN SPACE
 3302 BUTTEWAY #9, CARSON CITY, NV 89701

PROJECT MANAGER:
 NICK WERTHWORTH, CPSI
 (775) 285-7733

ARCHITECT:
 DUBE GROUP ARCHITECTURE
 458 COURT STREET, RENO, NEVADA 89501
 (775) 332-1001

CIVIL STRUCTURAL ENGINEER:
 STRUCTURAL SYSTEM SOLUTIONS INC.
 410 W. HILL STREET, SUITE 206, RENO, NV 89502
 (775) 332-4664

APPLICABLE CODES

- 2018 NORTHERN NEVADA AMENDMENTS
- 2018 NORTHERN NEVADA FIRE AMENDMENTS
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL PROPERTY MANAGEMENT CODE
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 WILDLAND URBAN INTERFACE CODE
- 2018 UNIFORM MECHANICAL CODE
- 2018 UNIFORM PLUMBING CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2009 ICC/ANSI A117.1

BASIS OF DESIGN

ADDRESS: 1111 E WILLIAM STREET
 CARSON CITY, NV 89701

APN: 002-181-01

PARCEL AREA: 52,9000

ZONING: PR

TYPE OF CONSTRUCTION: V-B (NON-RATED)

OCCUPANCY GROUP: S-1

TOTAL BUILDING AREA: 1,880 SF

OCCUPANT LOAD FACTOR: 300

OCCUPANT LOAD: 6

EXIT WIDTH REQUIRED: 6 x 0.7' = 4.2'

EXITS REQUIRED: 1

EXITS PROVIDED: 1 36" DOOR

FIRE SPRINKLERS: NO

FIRE ALARM: NO

DEFERRED SUBMITTALS

PLANS AND SPECIFICATIONS FOR DEFERRED SUBMITTALS SHALL BE SUBMITTED TO CARSON CITY BUILDING DEPARTMENT AFTER BEING REVIEWED FOR CONFORMANCE WITH THE BUILDING OR STRUCTURE DESIGN BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND SHALL HAVE THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PROVIDE A NOTATION ON ALL DEFERRED DOCUMENTS THAT ACKNOWLEDGES REVIEW OF SUCH DOCUMENTS.

METAL BUILDING:
 MAINTENANCE SHOP DETAIL IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL OBTAIN ENGINEER STAMPED METAL BUILDING PLANS, PERMITS AND DRAWINGS UNDER SEPARATE PERMIT ISSUED BY AHJ IN ACCORDANCE WITH APPLICABLE CODES.

MECHANICAL:
 MECHANICAL SCHEMATIC MECHANICAL REQUIREMENTS, LAYOUT, AND DETAILS FOR BID PURPOSES. ENGINEER STAMPED MECHANICAL PLANS, PERMITS AND DRAWINGS UNDER SEPARATE PERMIT ISSUED BY AHJ IN ACCORDANCE WITH APPLICABLE CODES.

ELECTRICAL:
 ELECTRICAL SCHEMATIC ELECTRICAL REQUIREMENTS, LAYOUT AND DETAILS FOR BID PURPOSES. ENGINEER STAMPED ELECTRICAL PLANS, PERMITS AND DRAWINGS UNDER SEPARATE PERMIT ISSUED BY AHJ IN ACCORDANCE WITH APPLICABLE CODES.

COVER SHEET

PROJECT NAME
**NEW MAINTENANCE SHOP
 MILLS PARK**

CARSON CITY, NEVADA

DATE
 08/28/2022

CREATED BY
 JPB

REVISIONS

G1.0

60% DESIGN SUBMITTAL

NOTE: FULL-SIZE SETS ARE 27" X 36" HALF-SIZE SETS ARE 12X18 CONFORM SCALES SHOWN ON DRAWINGS

STANDARD ABBREVIATIONS

A	AD	ADJUSTER	AD	ADJUSTER
B	BA	BALANCE	BA	BALANCE
C	CB	CABLE	CB	CABLE
D	DB	DUCT	DB	DUCT
E	EB	ELECTRICAL	EB	ELECTRICAL
F	FB	FLOOR	FB	FLOOR
G	GB	GLASS	GB	GLASS
H	HB	HANDRAIL	HB	HANDRAIL
I	IB	INSULATION	IB	INSULATION
J	JB	JUNCTION	JB	JUNCTION
K	KB	KEY	KB	KEY
L	LB	LOAD	LB	LOAD
M	MB	MATERIAL	MB	MATERIAL
N	NB	NOTED	NB	NOTED
O	OB	OPENING	OB	OPENING
P	PB	PIPE	PB	PIPE
Q	QB	QUALITY	QB	QUALITY
R	RB	REVISION	RB	REVISION
S	SB	STRUCTURE	SB	STRUCTURE
T	TB	TILE	TB	TILE
U	UB	UNIT	UB	UNIT
V	VB	VENT	VB	VENT
W	WB	WALL	WB	WALL
X	XB	WOOD	XB	WOOD
Y	YB	YIELD	YB	YIELD
Z	ZB	ZONE	ZB	ZONE

GENERAL NOTES

- A THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND FURNISH A WRITTEN REPORT WITH ALL EXISTING AND PROPOSED DRAWINGS WHICH MAY AFFECT THE COURSE OF THE WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS TO THE OWNER PRIOR TO THE BID WITH THIS REQUIREMENT BE ALLOWED FOR TOLERANCE TO COMPLY WITH THIS REQUIREMENT.
- B CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH CONSTRUCTION UNLESS VARIATIONS OR DISCREPANCIES ARE REVISIONS BY THE ARCHITECT.
- C ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS OR DIMENSIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK.
- D DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND RECORDED AS WORK PROGRESSES.
- E DIMENSIONS SHOWN IN (E) CONDITIONS ARE TO FACE OF FRAMING UNLESS DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHEN NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- F CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE LOCATIONS WITH A LICENSED AND APPROVED SURVEYOR.
- G PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, UTILITIES AND SUPPLIES FOR ALL WORK SHOWN ON DRAWINGS. LICENSED PERSONNEL SHALL BE PROVIDED FOR ALL WORK SHOWN ON DRAWINGS.
- H CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTORS' PERMITS, AND OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. SUB-CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION. SCHEDULE ALL WORK OF ALL THE TRADES WITH THE APPROVAL OF THE OWNER.
- I THE CONTRACTOR SHALL ENSURE THAT ALL WORK AREAS ARE PROTECTED TO BUILDINGS, COMPANIES OR OTHERS USING ADJACENT AREAS. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING UTILITIES ARE TEMPORARILY DISRUPTED.
- J SAFETY RESPONSIBILITY FOR ALL UTILITIES CONTRACTORS SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ALL UTILITIES AT THE JOB SITE INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT'S SITE VISITS ARE NOT INTENDED TO REVEAL THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- K CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL TRADES DURING CONSTRUCTION AND OPERATION INCLUDING TORCHES OR OPEN HEAT SOURCES OR OTHER HEAT PRODUCING EQUIPMENT SHALL HAVE FIRE EXTINGUISHERS PRESENT AT ALL TIMES.
- L ALL WASTE AND DEBRIS CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT. REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY HANDLING, PERMIT AND DUMPING FEE. REGULATIONS AND ORDERS FEDERAL, STATE AND LOCAL.
- M INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. U.N.O. WHERE PRE-MANUFACTURED OR FABRICATED ITEMS AND/OR MATERIALS ARE TO BE INSTALLED. EVERY ROUGH OR FINISHED SURFACE SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. APPLICATION OF FINISH SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL WORK SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSIDERED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BEST WORK WHICH IS TO BE USED AND STRAIGHTENED OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- O CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PREFORM WORK. RESPONSIBILITY FOR ENGINEERING, DESIGN AND CONSTRUCTION OF SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- R REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS SHALL BE RESOLVED BY THE ARCHITECT. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- S DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.

GENERAL NOTES, CONT'D

- T DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK UNDER CONDITIONS THAT WILL BE INCLUDED AS PART OF THE WORK.
- U WHERE ANY ITEM AND/OR MATERIAL IS INDICATED ON THE DRAWINGS AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL FINISH, THE CONTRACTOR SHALL FURNISH AND INSTALL SAME THROUGHOUT THE CONSTRUCTION DOCUMENTS. ITEMS THAT ARE EXISTING ARE INDICATED AS EXISTING (E). ITEMS INDICATED FOR REMOVAL ARE INDICATED AS REMOVE (R). ITEMS TO BE REMOVED OR REPAIRED, SOME ITEMS MAY BE INDICATED AS NEW (N).
- V ANY EXISTING EQUIPMENT AND ANGLIARY MATERIALS REMOVED DURING THE COURSE OF THIS PROJECT SHALL BE OFFERED TO THE CONTRACTOR FOR REUSE. ITEMS NOT TO BE REUSED OR REPAIRED SHALL BE REMOVED TO THE OWNER ON SITE. ALL REMAINING EQUIPMENT AND MATERIALS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A TIMELY MANNER.
- X CONTRACTORS MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOPPE DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE IN WRITING UNLESS IT IS CLEARLY NOTED ON THE DRAWING THAT THE ARCHITECT HAS APPROVED ANY CHANGES. THE PHASE - REQUESTED CHANGE SHALL BE CLEARLY NOTED ON THE DRAWING. LEAVE ALL SURFACES IN VACUUM CLEAN CONDITION WITH ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DRIPPINGS, AND OTHER BLEMISHES AND DEFECTS COMPLETELY REMOVED. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT PRIOR TO PROTECT CLOSE-OUT.

dubé group
ARCHITECTURE

438 Chest Street | New Haven, CT 06501
Tel: 203.323.2222 | Fax: 203.323.2222
http://www.dubegroup.com

Project Name: **NEW MAINTENANCE SHOP MILLS PARK**

Location: **CRENSHAW CITY, NEW HAVEN**

Job Number: **21-001**

Date: **April 28, 2022**

Drawn by: **gga**

Checked by: **prof**

Revisions:

Project Info

GENERAL NOTES

STANDARD ABBREVIATIONS

Approval Date:

G2.0

2 working days before you Dis.

1-800-227-2600

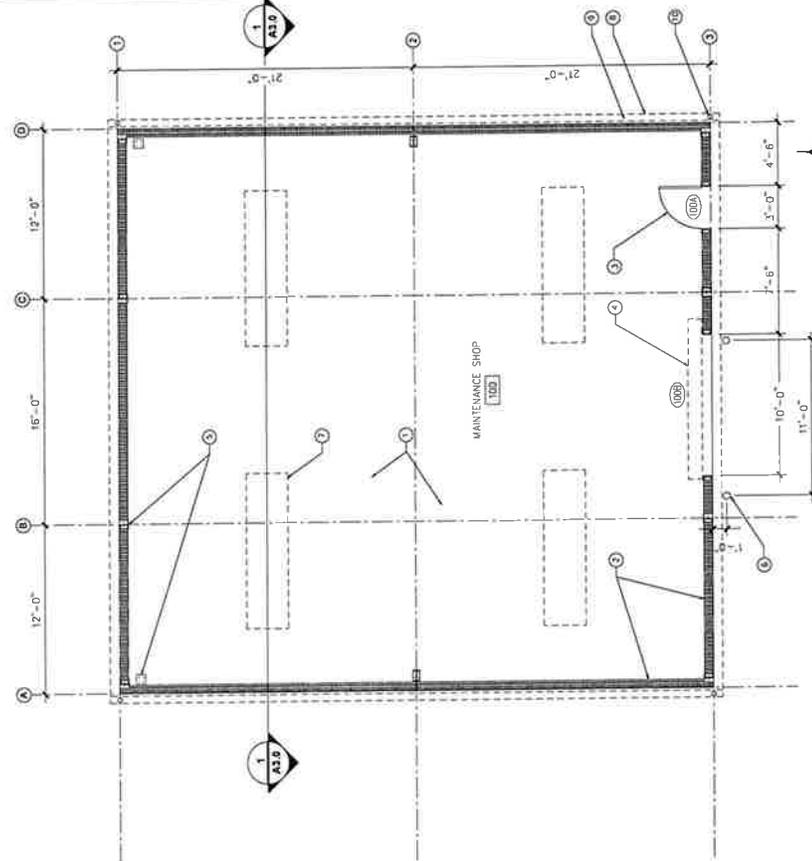
60% DESIGN SUBMITTAL

GENERAL NOTES:

1. SEE SHEET A1.0 FOR FINISH SCHEDULE
2. SEE SHEET A1.0 FOR DOOR SCHEDULE
3. SEE SHEET A1.0 FOR WINDOW SCHEDULE

ROOM FINISH SCHEDULE			
ROOM NO.	ROOM NAME	FLOOR	REMARKS
100	MAINTENANCE SHOP	SEALED CONCRETE	
		BASE	
		WALL	
		CEILING	
		PAINT	
		DOOR	
		WINDOW	

DOOR SCHEDULE			
MARK	TYPE	DOOR SIZE	REMARKS
A	1	3'-0" x 7'-0"	HANDICAP GROUP
B	2	10'-0" x 12'-0"	MAINTENANCE SHOP



1 FLOOR PLAN
A1.0 SCALE: 1/8" = 1'-0"

PROJECT FILE

**NEW MAINTENANCE SHOP
MILLS PARK**

DESIGNER: DUBÉ GROUP
JOB NUMBER: 21-100
DATE: APRIL 22, 2022
DRAWN BY: GSA
CHECKED BY: PFL
REVISIONS:

SHEET DESCRIPTION
FLOOR PLAN
SCHEDULES

PROJECT FILE

60% DESIGN SUBMITTAL

A1.0

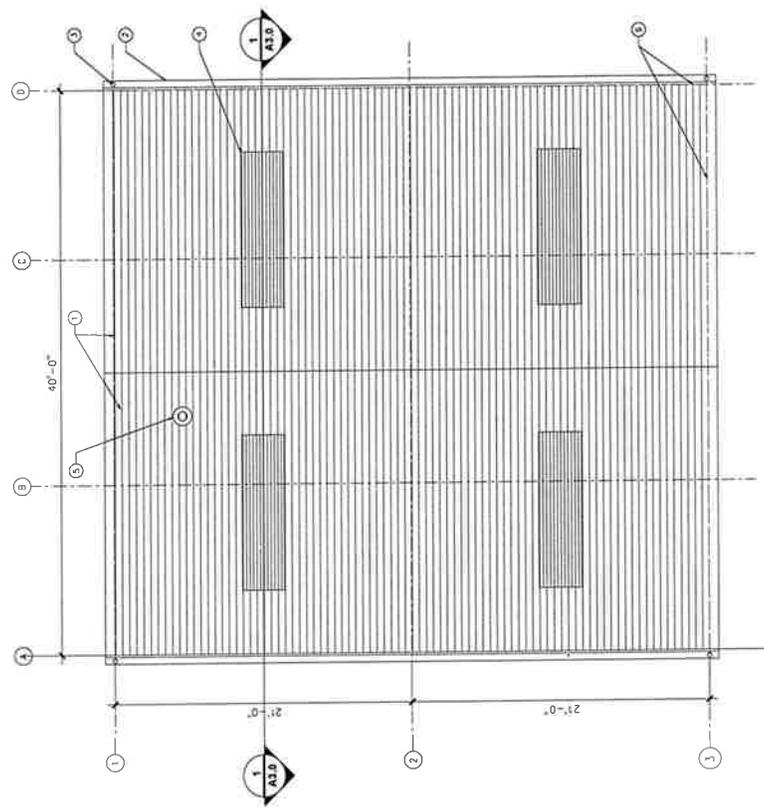
NOTE: FULL-SIZE SETS ARE 24" X 36" HALF-SIZE SETS ARE 12 X 18 CONFORM SCALES SHOWN ON DRAWINGS

GENERAL NOTES:

- 1.
- 2.
- 3.

1 SHEET NOTES:

- 1 METAL ROOF PANEL BY METAL BUILDING MANUFACTURER
- 2 GUTTER, 1" P
- 3 DOWNPOUT, 1" P OF 1"
- 4 TRANSPARENT PANEL WITH 3'-0" WIDE X 11'-0" HOLES OF 4" DIA. TO ALLOW FOR VENTILATION UP THROUGH ROOF (CONCRETE VENT KIT)
- 5 LINE OF METAL BUILDING BELOW



1 ROOF PLAN
A1.1 SCALE: 1/8" = 1'-0"

60% DESIGN SUBMITTAL

dubé group
ARCHITECTURE

414 Court Street | Reno, Nevada 89501
<http://www.dubegroup.com>
 P | 775.322.1091
 F | 775.322.2258

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project: **NEW MAINTENANCE SHOP
MILLS PARK**

CARSON CITY, NEVADA

job number: 21-1000
 date: April 21, 2022
 drawn by: gjs
 checked by: jpf
 revisions:

sheet description:
ROOF PLAN

approval: **DATE:**

SHEET NUMBER:
A1.1

NOTE: FULL-SIZE SETS ARE 24" X 36" HALF-SIZE SETS ARE 12X18 CONFORM SCALES SHOWN ON DRAWINGS

GENERAL NOTES:

- 1
- 2
- 3

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PROJECT INFO

**NEW MAINTENANCE SHOP
MILLS PARK**

CHARLOTTE, NORTH CAROLINA

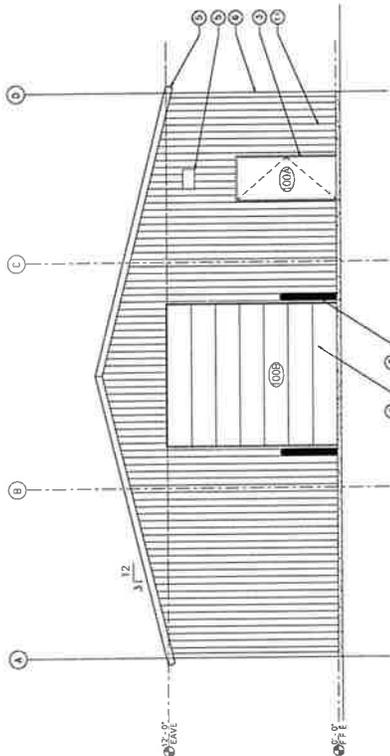
job number	21-000
date	08/21/2022
drawn by	gjb
checked by	gjb
revisions	

SHEET DESCRIPTION

BUILDING ELEVATIONS

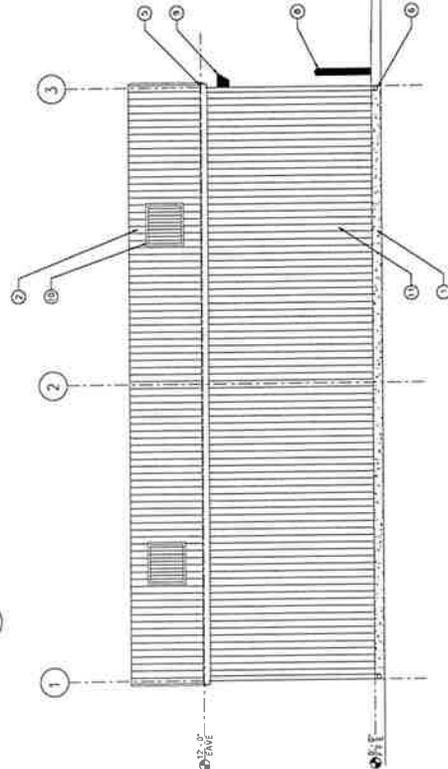
sheet number

A2.0



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

1 SHEET NOTES:

- 1 6-INCH CONCRETE S.O.C. OVER 6-INCH COMPACTED BASE
- 2 1-1/4-INCH FRP METAL WALL / ROOF / LINER PANELS, 20-GAUGE BUILDING MANUFACTURER S/NL
- 3 3'-0" WIDE X 7'-0" HIGH MAN-DOOR
- 4 10'-0" WIDE BY 12'-0" HIGH OPENING INCLUDING DOOR
- 5 GUTTER, TYP
- 6 DOWNPOUT, TYP OR (4)
- 7 TRANSPARENT PANEL, WIN, 2'-0" WIDE X 11'-0", TOTAL OF (0)
- 8 2'-0" WIDE X 7'-0" HIGH WINDOW, TYP OR (7) PER DETAIL X/24
- 9 LIGHT FIXTURE - SEE SHEET E10
- 10 TRANSPARENT SIGN-OUT PANEL, WIN
- 11 1-1/4-INCH FRP METAL WALL / ROOF / LINER PANELS, 20-GAUGE BUILDING MANUFACTURER

GENERAL NOTES:

- 1
- 2
- 3

dubé group
ARCHITECTURE

458 court street | rino, nevada 89001
<http://www.dubegroup.com>
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1 775.322.1001
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project: **NEW MAINTENANCE SHOP
MILLS PARK**

client: **COMMUNITY DEVELOPMENT**

sheet number: **21-1000**
 date: **08/02/2022**
 drawn by: **gpb**
 checked by: **gpb**
 revisors:

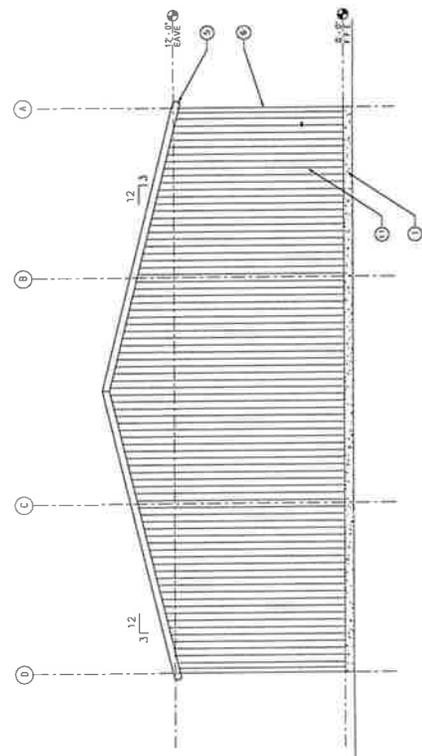
sheet description: **BUILDING ELEVATIONS**

approval box

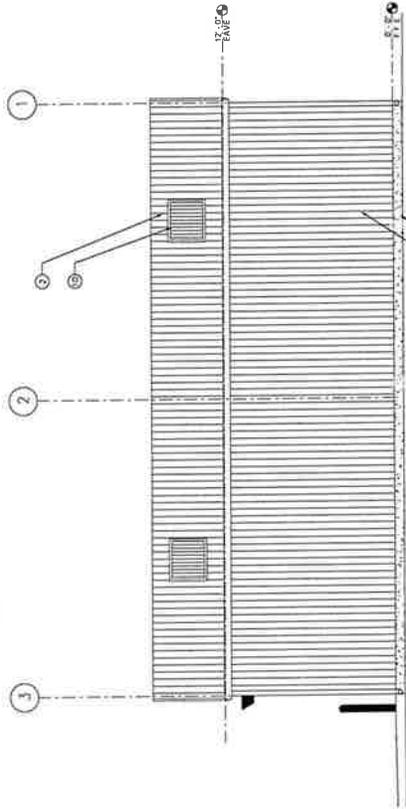
sheet number:

A2.1

60% DESIGN SUBMITTAL



4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

- SHEET NOTES:**
- 1 5'-INCH COMPACTS 12" OVER
 - 2 1 1/2"-INCH PBR METAL WALL / ROOF / LINER PANEL, 28-GAUGE BUILDING MANUFACTURER
 - 3 3'-0" WIDE x 7'-0" HIGH MAN-DOOR
 - 4 10'-0" WIDE BY 12'-0" HIGH OVERHEAD ROLLING DOOR
 - 5 GUTTER, TYP
 - 6 DOWNSPOUT, TYP OF (4)
 - 7 TRANSPARENT PANEL, MIN 3'-0" WIDE x 11'-0", TOTAL OF (4)
 - 8 6-INCH ROUND PBR BOLLARD, TYP OF 2 PER CORNER, 4 TOTAL
 - 9 LIGHT FIXTURE - SEE SHEET E1-0
 - 10 3'-0" WIDE x 11'-0", TOTAL OF (4)
 - 11 1 1/2"-INCH PBR METAL WALL / ROOF / LINER PANEL, 28-GAUGE BUILDING MANUFACTURER

NOTE: FULL-SIZE SETS ARE 24"x36" HALF-SIZE SETS ARE 12x18 CONFORM SCALES SHOWN ON DRAWINGS

GAS FIRED UNIT HEATER SCHEDULE

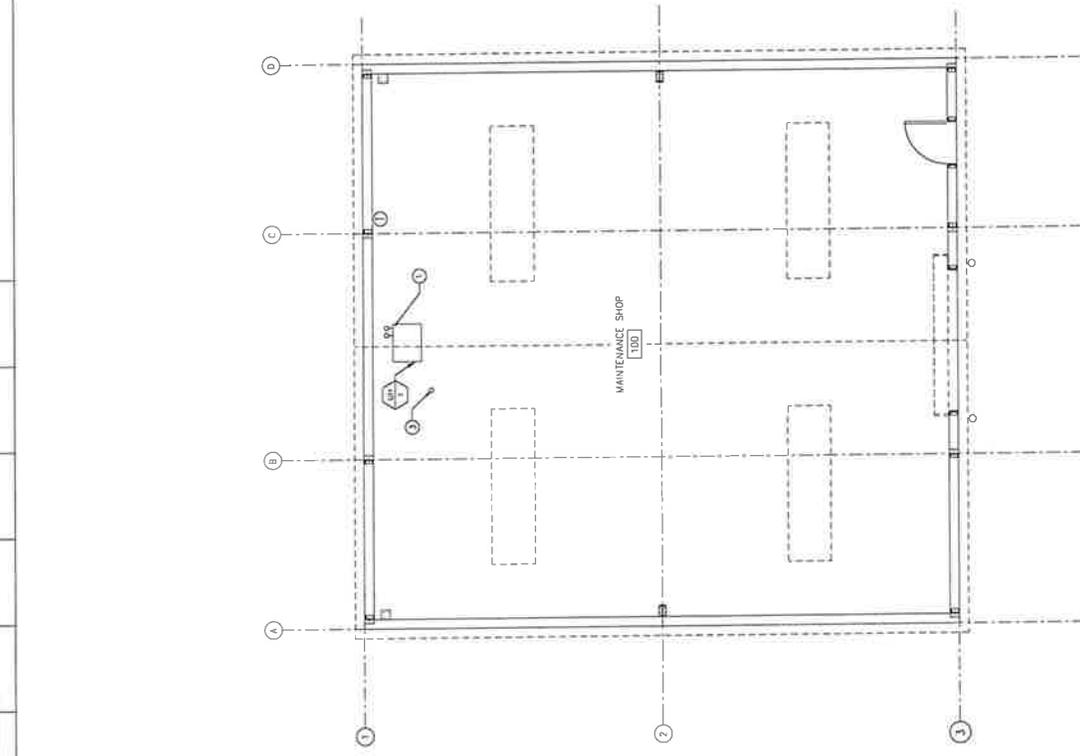
MARK	MANUFACTURER	MODEL	TYPE	INPUT CAPACITY (BTU)	OUTPUT CAPACITY (BTU)	CFM	EA (DB)	LAT (DB)	WATS	RPM	V/PH/Hz	DEFINING HEIGHT (FSD)	REMARKS
UW-1	HILTI/NSM	U3 KURIEL MODEL U3W4	SEPARATED COMBUSTION								120/1/60		CONVERT TO 120V/1/60 HZ. CHECK LOCAL CODES FOR ANY VENTING AND CONDENSATE DRAINING REQUIREMENTS. SEE THE MANUFACTURER'S INSTALLATION MANUAL.

GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR LOCATION OF GAS SERVICE

dubé group
ARCHITECTURE

438 SOUTH STREET | SUITE 1000 | MILLS PARK, MISSISSAUGA L5S 1Z5
<http://www.dubegroup.com>
 TEL: 775.333.1001
 FAX: 775.333.2320



1 MECHANICAL DESIGN-BUILD PLAN

M1.0 SCALE: 3/4" = 1'-0"



60% DESIGN SUBMITTAL

DESIGNED BY: [Redacted]
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 REVISIONS: [Redacted]

PROJECT NAME
**NEW MAINTENANCE SHOP
 MILLS PARK**

CLIENT: CITY OF MISSISSAUGA

JOB NUMBER: 21-1800
 DATE: APRIL 28, 2022
 DRAWN BY: [Redacted]
 CHECKED BY: [Redacted]
 REVISIONS: [Redacted]

SHEET DESCRIPTION
**MECHANICAL
 DESIGN-BUILD PLAN**

APPROVAL: [Redacted]

SHEET NUMBER

M1.0

NOTE: FULL-SIZE SETS ARE 24"X36" HALF-SIZE SETS ARE 12X18 CONFORM SCALES SHOWN ON DRAWINGS

GENERAL NOTES:

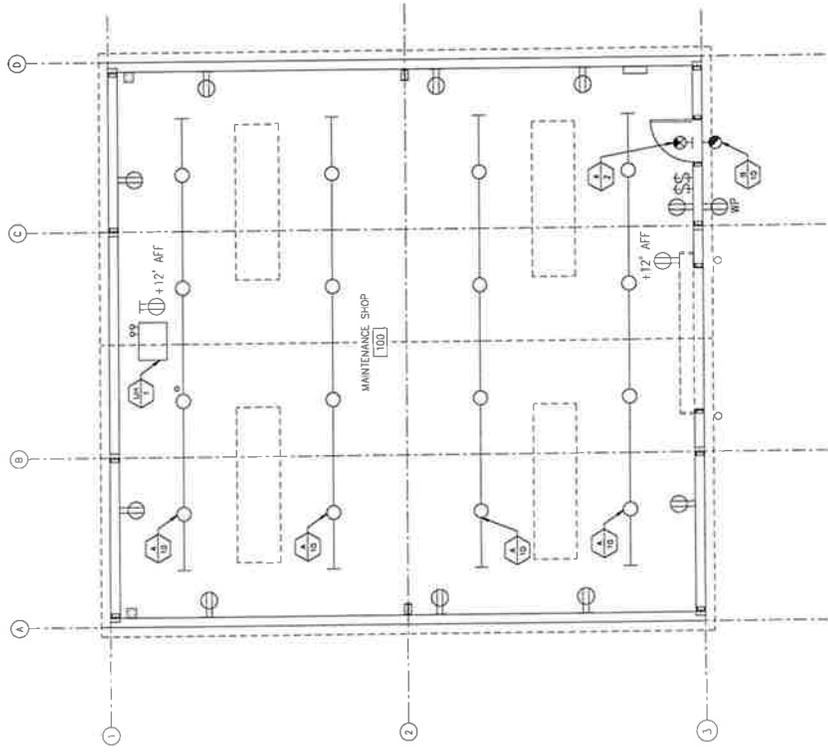
- 1.
- 2.
- 3.

SHEET NOTES:

- 1.

LEGEND:

LIGHT FIXTURE SCHEDULE		REMARKS
WORK	MANUFACTURER	LAMPS
110	LED DOWN LIGHT FIXTURE - 10'-0" AFF	LED DOWN LIGHT FIXTURE 10'-0" AFF
111	LED DOWN LIGHT FIXTURE - 12'-0" AFF	LED DOWN LIGHT FIXTURE 12'-0" AFF
112	LED DOWN LIGHT FIXTURE - 15'-0" AFF	LED DOWN LIGHT FIXTURE 15'-0" AFF
113	LED DOWN LIGHT FIXTURE - 18'-0" AFF	LED DOWN LIGHT FIXTURE 18'-0" AFF



E1.0 ELECTRICAL DESIGN-BUILD PLAN
SCALE: 1/8" = 1'-0"

60% DESIGN SUBMITTAL

NOTE: FULL-SIZE SETS ARE 24" X 36" HALF-SIZE SETS ARE 12X18. CONFIRM SCALES SHOWN ON DRAWINGS



Water - 150'

Power - 140'

Shop
1,590 Sq Ft
492 Sq Ft

10' Concrete Aprons
11,329 Sq Ft
221 Sq Ft

9,000 sq. ft.
asphalt grindings

Jim Foster
Memorial Tree
Arbor Day tree to
relocate

SEELY LP

SEELY LP

10 Feet

10 Feet

10 Feet

20 Feet

40 Feet



