

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF DECEMBER 20, 2022

FILE NO: LU-2022-0431

AGENDA ITEM: 14.L

STAFF CONTACT: Heather Ferris, Planning Manager

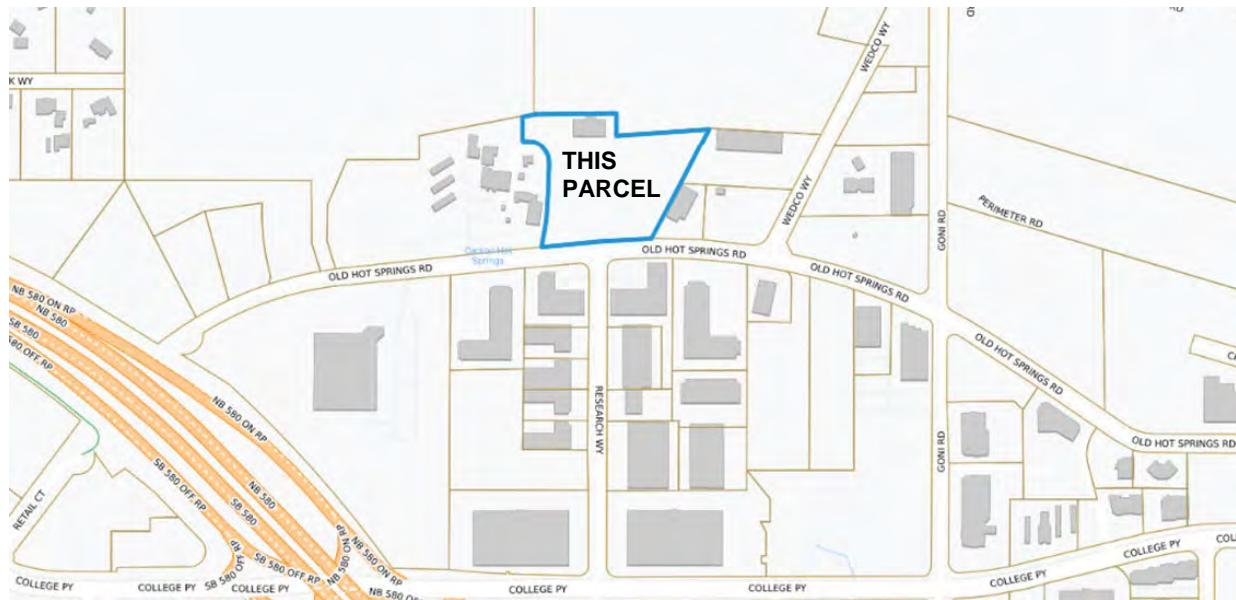
AGENDA TITLE: For Possible Action: Discussion and possible action regarding an application from Carson City Holdings, LLC ("Applicant") for a special use permit ("SUP") to allow for a brewery with tasting room on property zoned Tourist Commercial ("TC") located at 1588 Old Hot Springs Road, Assessor's Parcel Number ("APN") 008-123-23. (Heather Ferris, hferris@carson.org)

Staff Summary: The Applicant is proposing to convert an existing 5,000 square foot warehouse building into a brewery with a tasting room. Carson City Municipal Code ("CCMC") 18.04.140 allows a brewery with a tasting room in the TC use district, subject to first obtaining an SUP. The Planning Commission is authorized to approve the SUP.

RECOMMENDED MOTION:

"I move to approve Special Use Permit LU-2022-0431 based on the ability to make the required findings and subject to the conditions of approval as outlined in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the plans presented to the Planning Commission.
2. All on and off-site improvements shall conform to city standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension must be requested in writing to the Planning Division of the Carson City Community Development Department (Planning Division") thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the notice of decision for conditions of approval within 10 days of receipt of notification. If the notice of decision is not signed and returned within 10 days, then the item will be rescheduled for the next planning commission meeting for further considerations.
5. At the time a building permit application is submitted, the applicant shall provide a parking plan that provides parking at a ratio of 1 space per 150 square feet for the tasting room use; and 1 space per 1,000 square feet plus 1 space per employee for the brewery use.
6. At the time the building permit application is submitted, the applicant shall provide a site plan that demonstrates compliance with CCMC 18.05.015 (Trash, refuse and recycled material storage) and Carson City Development Standards ("CCDS") 1.2.6.

LEGAL REQUIREMENTS: CCMC 18.02.080 (Special Use Permit) and 18.04.140 (Tourist Commercial).

SITE DEVELOPMENT INFORMATION:

SUBJECT SITE AREA: 3.94 acres
EXISTING LAND USE: Warehouse/storage

MASTER PLAN DESIGNATION: Community / Regional Commercial ("C/RC")

ZONING: Tourist Commercial ("TC")

KEY ISSUES: Will the SUP meet the required findings, and will the proposed use be compatible with the surrounding neighborhood and in keeping with the standards of CCMC?

SURROUNDING ZONING AND LAND USE INFORMATION

NORTH: Public Community / vacant (airport clear zone)
SOUTH: Limited Industrial / business office
EAST: General Industrial / service garage, gas station, warehouse
WEST: Tourist Commercial / restaurant, bar/brewery, motel

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X, Zone X shaded, Zone AH
SEISMIC ZONE: Zone II (Moderate Severity); beyond 500 feet

BACKGROUND:

Earlier this year, the applicant requested a zoning code amendment to allow a brewery with a tasting room in the TC zoning district. The Planning Commission considered this request at their September 28, 2022 meeting and recommended approval to the Board of Supervisors of a zoning code amendment that would incorporate a brewery with a tasting room into the list of conditional uses in the TC zoning district, thereby requiring a special use permit. The Board of Supervisors considered the request at their October 20, 2022, meeting and introduced the ordinance as recommended by the Planning Commission. The Board adopted the ordinance at their meeting of November 17, 2022, becoming effective on November 24, 2022.

DISCUSSION:

The applicant proposes to establish a brewery with a tasting room on the subject 3.94-acre parcel zoned TC. As noted above, a brewery with tasting room is a conditional use in the TC zoning district (Ordinance No. 2022-23), therefore an SUP is required.

The project includes the conversion of the existing 5,000 square foot warehouse building into a brewery, including fermentation, canning storage and refrigeration, as well as a small tasting room ± 250 square feet in size. Parking will be required to be provided on-site at a ratio of 1 space per 150 square feet for the tasting room use; and 1 space per 1,000 square feet plus 1 space per employee for the brewery use. Based on the proposed square footage of the uses a minimum of 7 parking spaces are required (2 parking spaces for the tasting room and 5 for the brewery use). As currently designed the project is providing a total of 6 parking spaces; however, there is sufficient room to provide the additional required space. It should be noted, consistent with the CCDS, the Applicant will be required to pave the parking lot, driveway apron and drive aisles.

The Planning Commission is authorized to approve an SUP upon making the seven required findings of fact.

PUBLIC COMMENTS: Public notices were mailed to 33 property owners within 1,100 feet of the subject site on December 6, 2022, pursuant to the provisions of Nevada Revised Statutes ("NRS") and CCMC. As of the completion of this staff report no public comments have been received. Any written comments that are received after this report is completed will be submitted prior to or at the Planning Commission meeting on December 20, 2022, depending upon their submittal date to the Planning Division.

OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS: The following comments were received from City departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Development Engineering

The Development Engineering Division of the Carson City Public Works Department ("Development Engineering") has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all CCDS and Standard Details including but not limited to the following:
 - Driveway apron, drive aisles, and parking must be paved.
 - Curb, gutter, and sidewalk are required to be installed along the property frontage per CCMC 11.12.081.
 - The site must be designed in accordance with the City's drainage manual, including detention requirements.

- Any grading or other improvements within the FEMA AH flood zone on the southern portion of the site must be designed in accordance with CCMC 12.09 Flood Damage Prevention.
- The water service must have an above ground backflow preventer in a hot box located at the property line.

ENGINEERING DISCUSSION:

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The project will have no detrimental impact to pedestrian and vehicular traffic if the project is built to City standards. Parking is provided within the project. The drive isles and parking area must be paved per City Standards. The project does not generate enough traffic to trigger a traffic study. The Transportation Division of the Carson City Public Works Department ("Transportation Division") analyzed the area to determine if the project would contribute to the need for a future traffic signal, and it does not appear that a new traffic signal will be needed at any of the nearby intersections.

CCMC 18.02.080(5)(d) - Public Services

Sanitary Sewer: There is an existing 8" PVC main in College Parkway which is estimated to be 10-15% full (d/D). There is sufficient capacity to serve the project without mitigation.

Water: The water mains have sufficient capacity to serve this project. The project must meet Carson City development standards including ensuring that the water meter is not within the driving surface and that a backflow preventer is installed.

Storm Drain: The City storm drain system has sufficient capacity to serve the project. The project must meet the requirements of the City's drainage manual, including detention requirements.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project meets will meet engineering standards for health and safety if conditions are met.

Earthquake faults: There are no known earthquake fault lines within 500 feet of the property.

FEMA flood zones: The structure is not in a special flood hazard area ("SFHA,") so no mitigation is required. Any grading or improvements in the AH flood zone on the south end of the property would need to meet CCMC requirements for flood damage prevention.

Site slope: The site slope is less than 15%, so hillside development standards do not apply.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department

The Carson City Fire Department ("Fire Department") has no preference or objection to the special use request provided that the following conditions are met:

1. The project shall meet or exceed the 2018 International Fire Code requirements.
2. The project shall meet or exceed the 2018 International Fire Code Northern Nevada Amendments.
3. Any building over 5000 square feet shall be provided with an approved automatic fire sprinkler system.
4. A key box (KNOX) shall be provided, multiple boxes maybe required.
5. On site fire hydrants shall meet or exceed the appendix C of the 2018 International fire Code.
6. On site fire flow shall meet the 2018 International Fire Code.
7. For any building that are 30 feet tall or greater, shall access road widths a minimum of 26 feet unobstructed width.
8. Buildings 30 feet tall or greater, the access road must be at least 15 feet, not more than 30 feet from eh side of the building envelope, without overhead obstructions.
9. Access shall be provided within 150 feet of all portions of the building(s) and shall meet the 2018 International Fire Code for access road construction.

Environmental Control Authority

The Environmental Control Authority of the Public Works Department ("ECA") has no comments regarding the SUP. The following will be applicable to demolition, construction and operation of the facility.

1. An asbestos assessment is required on all applicable materials being demolished, per CCMC 12.12.065 and 40 CFR Part 61.
2. After receiving results back from the asbestos assessment, complete Carson City's Acknowledgement of Asbestos Assessment Form. Submit a copy of this form along with a copy of the asbestos assessment at the Building ("Division") of the Carson City Community Development Department ("Building Division"), per CCMC 12.12.065.
3. A U.S. Environmental Protection Agency ("EPA") 10-Day Notification may be required, dependent on the results of the asbestos assessment (if analytical results from asbestos assessment indicate a result of friable asbestos greater than 1%). If a 10-Day Notification is required, please submit a copy of this document at the Building Division, along with proof that the notification was sent to EPA Region IX, per CCMC 12.12.065.
4. Please note: if any asbestos containing material is to be taken to the Carson City Landfill for disposal, an Industrial Waste Manifest must first be obtained from the ECA before this material will be allowed to enter the landfill, per CCMC 12.12.050. If any asbestos containing material is to be taken to the Lockwood Landfill for disposal, ECA will require a copy of the receipt issued from Lockwood to be submitted to the Building Division to show that this material was taken to Lockwood for disposal.
5. Please submit sizing calculations used for the 1000-gal grease interceptor.
6. Secondary containment will be required for all stored and in-use liquid chemicals in quantities of 30 gallons or above, per CCMC 12.06.248.
7. The Applicant must obtain a Wastewater Discharge Permit prior to opening.

SPECIAL USE PERMIT FINDINGS: Staff recommends approval of the SUP based on the findings below and in the information contained in the attached reports and documents, pursuant to CCMC 18.02.080(5) (Findings), subject to the recommended conditions of approval, and further

substantiated by the applicant's written justification. In making findings for approval, the Planning Commission must consider:

1. *Will be consistent with the objectives of the Master Plan elements;*

Guiding Principle 5 of the Master Plan discusses the need for the City to maintain and enhance a strong and diversified economic base. The project is consistent with the Master Plan. The project site is designated as Community / Regional-Commercial which is intended to provide for a mix of retail and commercial services such as sales of general merchandise, grocery, apparel, household goods, and restaurants. The area is currently developed with a mix of commercial and office uses. The proposed brewery with tasting room will continue to expand the visitor-related activities in the area providing for employment opportunities and the expansion of an established business.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity;*

The subject property is surrounded by a mix of commercial and industrial uses. The proposed brewery will allow for the expansion of the existing brewery currently located on the parcel to the east of the subject site. The proposed use is consistent with the existing neighborhood, will be developed consistent with the CCDS, and will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic;*

As proposed and conditioned, the project will have little or no detrimental effect on vehicular or pedestrian traffic. The applicant has provided a traffic memo outlining the estimated trips, based on the Institute of Transportation Engineers ("ITE") Trip Generation Manual. The project is anticipated to generate 307 average daily trips with 58.7 peak hour trips. This is below the threshold for a full traffic analysis. The Transportation Division analyzed the area to determine if the project would contribute to the need for a future traffic signal and it was determined that a new signal will not be needed at any of the nearby intersections.

4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.*

The project is located in an area that is developed with visitor oriented commercial businesses as well as business office space. The area is served by existing public facilities including sheriff, transportation facilities, and parks. Development Engineering has reviewed the development for impacts to water, sewer, storm drainage and roadway systems. The existing infrastructure is sufficient to serve the project. The Fire Department has also reviewed the development. As noted in the Fire Department comments, the project must comply with the currently adopted edition of the International Fire Code and the Northern Nevada Fire Code Amendments as adopted by Carson City.

5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.*

The subject property is zoned "TC". A brewery with a tasting room is a conditional use in this zoning district. As designed and conditioned, the project will meet the requirement outlined in Title 18.

6. *Will not be detrimental to the public health, safety, convenience and welfare; and*

As conditioned, the proposed brewery with tasting room will not be detrimental to the public health, safety, convenience, and welfare. The use is consistent with other uses in the neighborhood and will meet all City standards.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

As conditioned, the proposed development will not result in material damage or prejudice to other property in the vicinity. The project is consistent with other uses in the area and will serve as an expansion of those uses.

Attachments

Application- LU-2022-0431

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

FILE

APPLICANT	PHONE #
Carson City Holdings LLC	907-229-1465
MAILING ADDRESS, CITY, STATE, ZIP	
1500 Old Hot Springs Rd, Carson City, NV 89706	
EMAIL ADDRESS	
markbegich@gmail.com	
PROPERTY OWNER	PHONE #
Carson City Holding, LLC	907-229-1465
MAILING ADDRESS, CITY, STATE, ZIP	
1500 Old Hot Springs Rd, Carson City, NV 89706	
EMAIL ADDRESS	
APPLICANT AGENT/REPRESENTATIVE	PHONE #
Keith Shellhamer	775-721-7592
MAILING ADDRESS, CITY STATE, ZIP	
1500 Old Hot Springs Rd, Carson City, NV 89706	
EMAIL ADDRESS	
keithnev52@gmail.com	

SPECIAL USE PERMIT

FEE*: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential
zoning districts)
+ noticing fee

*Due after application is deemed complete by
staff

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submittal Deadline: Planning Commission application
submittal schedule.

Note: Submittals must be of sufficient clarity and detail for
all departments to adequately review the request. Additional
information may be required.

Project's Assessor Parcel Number(s): 008-123-23 Street Address 1588 Old Hot Springs Road, Carson City, NV 89706

Project's Master Plan Designation Community, Regional, Commercial Project's Current Zoning TC Nearest Major Cross Street(s) Old Hot Springs Road and Research

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.
Show Tree Brewery would like to use the existing warehouse as an additional part of their micro-brewery operation. They will add micro-canning operation that public can view
the operation. Along with this they will have tasting room for the public.

PROPERTY OWNER'S AFFIDAVIT

Mark Begich, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have
knowledge of, and I agree to, the filing of this application.

Signature

Address Anchorage, Ak 99501

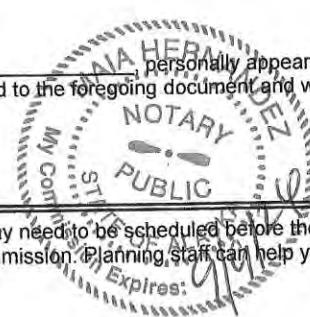
Date 09/30/2022

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA Placer
COUNTY 3rd Judicial District

On September 30th, 2022, Mark Peter Begich, personally appeared before me, a notary public,
personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she
executed the foregoing document.

Notary Public



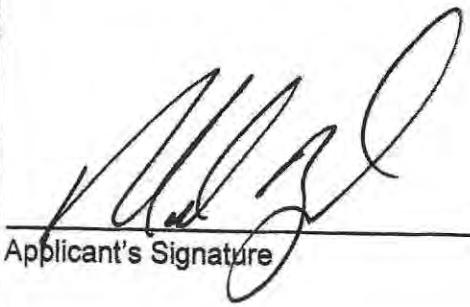
NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the
Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

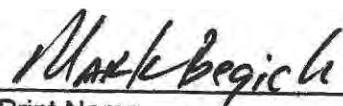
Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

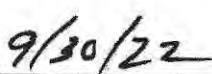
I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature



Print Name



Date

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Carson City Holdings, L.L.C

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- Encourage the development of regional retail centers (5.2a)?
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Project Description

1588 Old Hot Springs Road

Carson City, NV 89706

The plan is to redevelop an existing warehouse at 1588 Old Hot Springs Road as an addition of a canning brewery and tasting room for Shoe Tree Brewery. Shoe Tree Brewery is a microbrewery bar that is currently operating on the adjoining property. The bar has been a successful business and would like to expand and brew their beer in cans. This would allow them to move away from the portable canning equipment they currently are using and create a more permanent facility that would be used as a brewery, viewing, and tasting area for their canning operations.

The brewery will have a tasting room in the Tourist Commercial zoning district. The Tourist Commercial zoning district is intended to permit a broad range of primary and accessory tourist commercial uses to encourage tourist and to serve the visitor-related activities of Carson City. All uses within this district should be oriented toward the promotion, accommodation and service of tourism and associated needs to the commercial tourist related activities and services.

The proposed addition of a brewery with a tasting room will provide an opportunity to enhance the visitor experience as well as diversify the economic base of the city. This is consistent with Master Plan Guiding Principle 5: *A Strong Diversified Economic Base* encourages the City to maintain and enhance the base of primary jobs and provide a broader range of retail services to serve residents of Carson City as well as those in surrounding counties.

This will allow for an additional tourist attraction in this zoning district. This is consistent with the intent of the zoning district which is 'to permit a broad range of primary and accessory tourist commercial uses to encourage tourism to serve the visitor-related activities of Carson City.' By allowing a brewery with a tasting room, it will complement other uses currently permitted in the Tourist Commercial zoning district which include bars, nightclubs, outdoor entertainment facilities, a private and public clubs, resorts, restaurants, and theaters.

To allow a brewery with a tasting room will not negatively impact existing or planned public services or facilities. The Tourist Commercial zoning district exists in areas of the City currently served by public facilities and a brewery in this zoning district will be considered infill development.

As a visitor or community member you will be able to enjoy the pools, go to the bar and restaurant or to the future brewery. From a visitor's perspective it becomes a one stop shop for them. For the local community it becomes a place to come after work or on the weekends. By also being located next to a large retail center it draws many people to the area for the day, shopping, recreating, and eating.

Staff has conducted a completeness review of the subject application. Before the application can be deemed complete, the following items must be addressed:

1. Please provide exterior elevations or photos of the exterior of the building. If there are any proposed modifications to the exterior of the building, please provide renderings of the proposed modifications. There are no exterior renovations planned. At some point we intend to add signage and some paint color to the building. Below are the photos of the existing building.



View from Old Hot Springs Road.



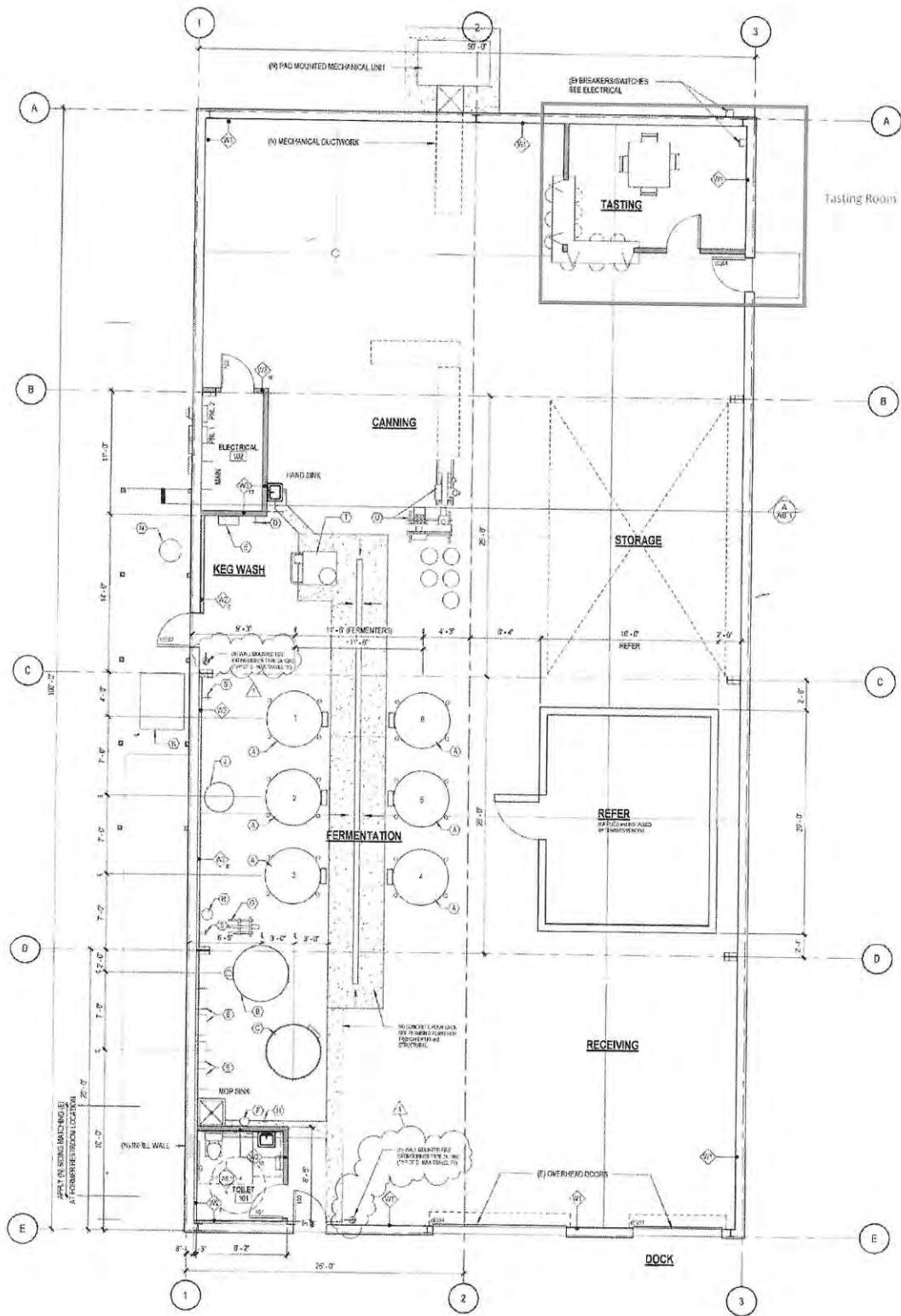
View of access for loading dock, which is from the left of photo above



Overhead photo of all property. This photo still shows equipment around the building from the past owner. We have removed all of that.

2. Provide a dimensioned floor plan showing the location of the tasting room, including the proposed number of seats. Please include any intended outdoor seating as well.

There is no outdoor seating planned at this time. Attached is the floor plan of the brewery with the tasting room area. We anticipate no more than 10-12 seats. The space is less than 250 square feet.



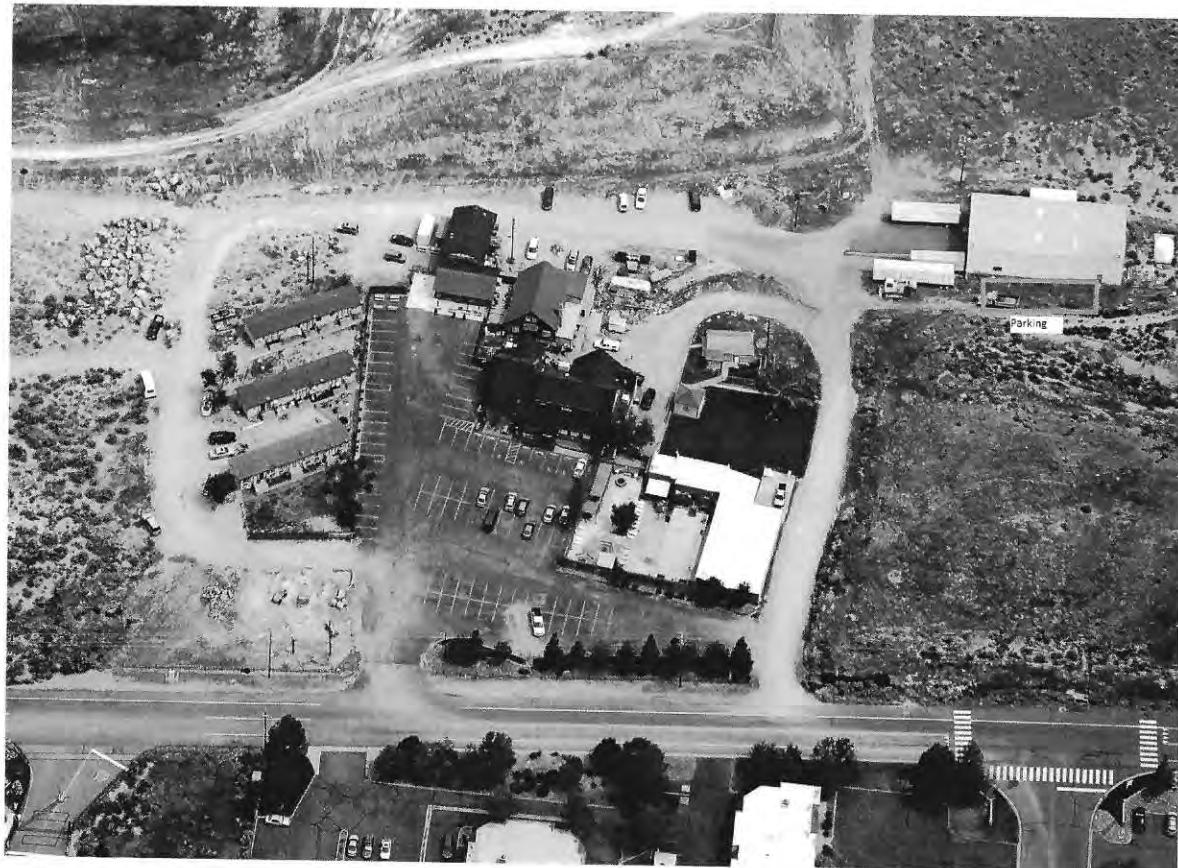
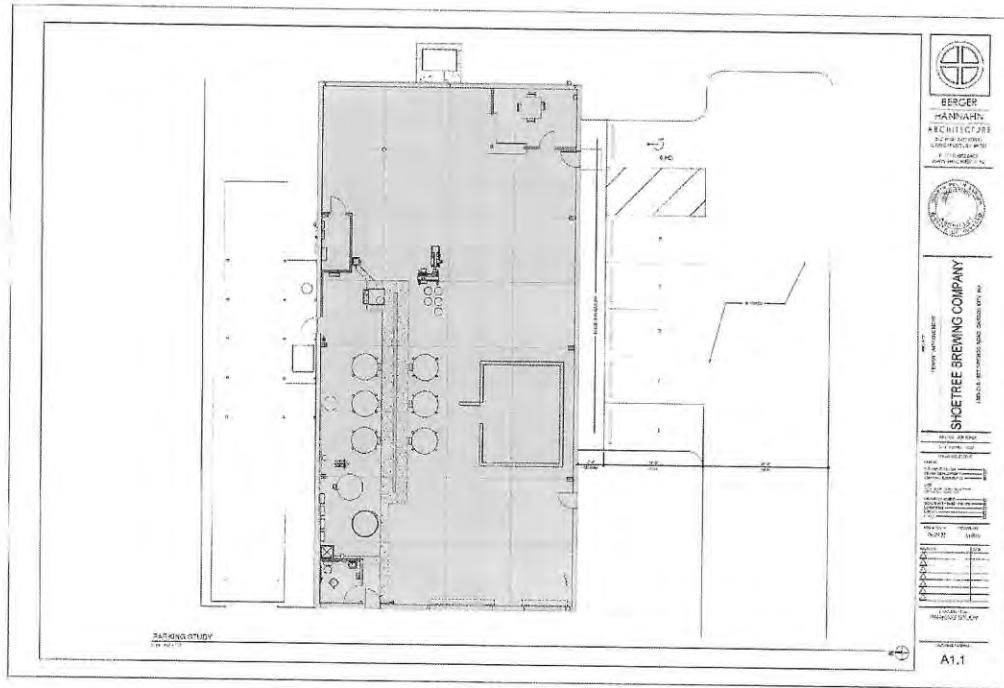
3. Provide a parking plan. Carson City parking standards do not address this use. Please provide a suggested parking standard with supporting documentation from an accredited source such as the Institute of Transportation Engineers (ITE). Because we consider this an extension to our current operation of the Shoe Tree Brewery, we anticipate people coming from the existing brewery by walking over. I was unable to get specific standards for tasting rooms and brewery combination from ITE. We did some research on communities around the country that are working on these issues. There seems to be a range from 1:150 Square feet to 1:1000 square foot ratio, with average falling into 1:300 square feet for the public area, the tasting room. Most ordinances that I found show that the tasting room is an accessory use to the brewery. The parking ratio for the space we use for the tasting room (less than 250-300 square feet), 1:300, the remainder of the building will be whatever you use for the brewery manufacturing which I think is 1:1000. I see about 4.5 total spaces for warehouse and an additional 1 space for the tasting room.

Here is a standard from Placer County, CA.

Table 4
MINIMUM PARKING REQUIREMENTS

Use Type	Parking Required
Areas for use by or for patrons, including tasting rooms, reception areas, and outdoor seating	One space per 300 sq. ft.
Offices or administration areas	One space per 300 sq. ft.
Production, storage or warehousing areas	One space per 1,500 sq. ft.
Event parking ⁽¹⁾	One space per 2.5 persons

Attached is memo that was done several years ago when Woodville, WA was working on their parking requirements, and an article by the Beer Chronicle which talks about parking and another a memo for a specific project in Laguna Niguel, CA. I think these will give you a good sense of the parking requirements. Noting that we looked at California which has some of the most restrictive zoning requirements in the country, I think we have provided some good examples. We are proposing the higher standard that seems to be 1:150 square feet. We will have additional parking as identified on the photo below.



4. Please provide an estimate of water and sewer usage as well as traffic generation. Please contact Stephen Pottey with Development Engineering at 775-283-7079 with any questions related to this requirement.

We have added new water and sewer lines, permit number 2021-1854 to this facility. This has been completed and finalized as per city code. I have attached the backup on the calculations of the water and sewer usage, which is under 15,000 gallon a day.

5. If your estimated water usage is over an average of 15,000 gallons per day you will be required to obtain Growth Management approval. This can be processed concurrently with the special-use permit. The application for Growth Management can be found at the following link.

We are not planning to use over 15,000 gallons on an average per day based on our calculations. No Growth Management Plan is required

Growth Management Application

6. Address the findings for a special use permit (CCMC 18.02.080.5):

"5. Findings. Findings from a preponderance of evidence must indicate that the proposed use:

- a. Will be consistent with the objectives of the Master Plan elements.*

The proposed addition of a brewery with a tasting room will provide an opportunity to enhance the visitor experience as well as diversify the economic base of the city. This is consistent with Master Plan Guiding Principle 5: *A Strong Diversified Economic Base* encourages the city to maintain and enhance the base of primary jobs and provide a broader range of retail services to serve residents of Carson City as well as those in surrounding counties.

This will allow for an additional tourist attraction in this zoning district. This is consistent with the intent of the zoning district which is 'to permit a broad range of primary and accessory tourist commercial uses to encourage tourism to serve the visitor-related activities of Carson City.' By allowing a brewery with a tasting room, it will complement other uses currently permitted in the Tourist Commercial zoning district which include bars, nightclubs, outdoor entertainment facilities, a private and public clubs, resorts, restaurants, and theaters.

b. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

This is no residential property connected to this location. The surrounding area is made up of TC, Industrial and Airport property. The Airport property is designed for open space for the Airport. The industrial is made up of several businesses, which are warehouse operations with some public access. Across the street is a mix of industrial and offices in one story buildings. The last property that has the most connection is our property, which has the brewery, restaurant, and the hot springs.

The operation of the brewery is self-contained within the warehouse, there is no visibility of the operation from the outside, so it will no impact to the adjoining property. Noise should be minimal compared to the last owner when he used it as a construction company storage yard. The only impact will be the use of the joint driveway with our current operations (Carson Hot Springs, Sassafras and Shoe Tree Brewery) use for maintenance and deliveries. This impact will not be much different than the uses over the past years.



Surrounding Property uses map.

c. Will have little or no detrimental effect on vehicular or pedestrian traffic; We do not believe it will increase impact on the vehicle or pedestrian traffic. The property is set back from the main road and does not have any public pedestrian traffic that is next to it. The traffic that would be coming to this facility will be a couple of new part-time employees to operate the brewery operation on an infrequent basis, hosting tastings (which we anticipate the tasting room will accommodate no more than ten to twelve people at a time) and deliveries and pickups from the facility. The folks that would be coming to the tasting room will more than likely existing customers from the adjoining operation. The beer tastings would be scheduled on a limited basis. It is not designed to be open to the public everyday through-out the year. We also will have some additional limited parking.

d. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements; It will not overburden existing public services or facilities. In anticipation of additional use, we added a new sewer and waterline to service the building. The old lines were bootlegged off the adjoining property.

e. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district; The brewery will have a tasting room in the Tourist Commercial zoning district. Under TC zoning this is allowed with a conditional use permit. The Tourist Commercial zoning district is intended to permit a broad range of primary and accessory tourist commercial uses to encourage tourist and to serve the visitor-related activities of Carson City. All uses within this district should be oriented toward the promotion, accommodation and service of tourism and associated needs to the commercial tourist related activities and services.

f. Will not be detrimental to the public health, safety, convenience, and welfare; and

g. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Response to "f" and "g." This use will not negatively impact the public health, safety convenience, welfare or materially damage other property in the vicinity. Prior to this use it was used as a water bottling plant, construction storage, and manufacturing. If anything, this use will be a lower impact use for the area. In the past there was numerous broken-down backhoes, bulldozer, trailers, and other large items that littered

the area. They had a bootlegged sewer and water system that was not appropriate for the building. The bathroom facilities were not up to code and no trash facilities. Since we have purchased the property, we have cleaned all the up, got rid of the trailers, trucks, backhoes, etc. With the redevelopment of this property, we will clean up all the code issues.

h. The applicant for a Special Use Permit shall have the burden of proof by a preponderance of the evidence to provide facts supporting the proposed Special Use Permit. For purposes of legal clarity, this shall include the burden of going forward with the evidence and the burden of persuasion on all questions of fact which are to be determined by the Commission and the Board. Additionally, the applicant shall provide adequate information in the application and on the site plan to substantiate the findings required in this Section.”

ShoeTree Brewing
Tenant Improvements

1588 Old Hot Springs Road



BERGER

HANNA

ARCHITECTURE

312 WESTERN AVENUE

CARSON CITY, NV 89703

P. (775) 882-6455

WWW.BHARCHITECTS.BIZ



SHOTREE BREWING COMPANY

TENANT IMPROVEMENT PROJECT

APN NO. 005-4-223

DRAWING STATUS:

PROJECT

CONTRACT

USE

PHASE

PROGRESS

REVIEW

ESTIMATE

DRAWING

REVISION

ISSUE DATE:

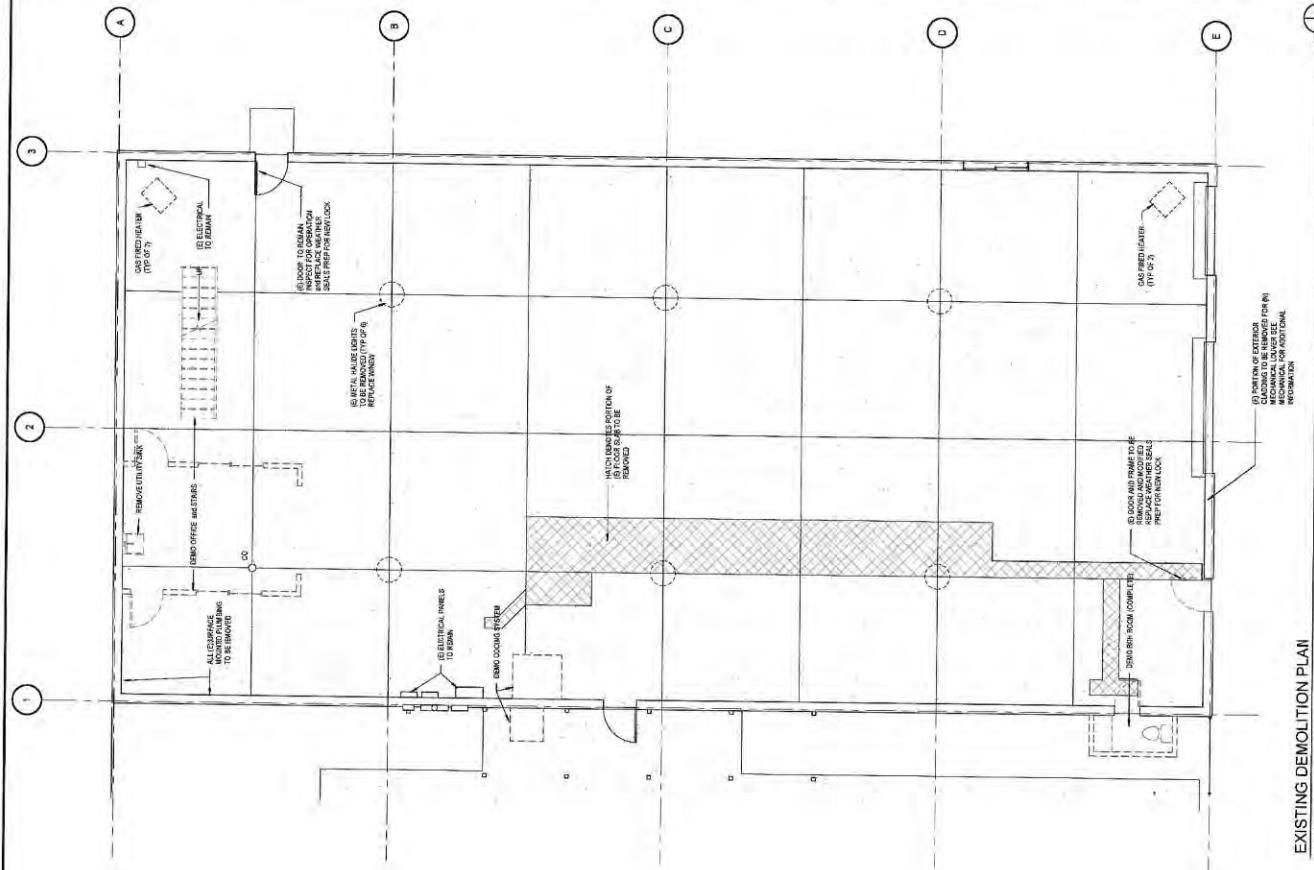
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DRAWING NUMBER:

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See sheet 1-1 of



BERGER
JANNAFEN

ARCHITECTURE
312 WEST 3RD STREET
CARSON CITY, NV 89703
P: (775) 882-6455
WWW.BHARCHITECTS.COM



SCHOTTRÉE BREWING COMPANY

TENANT IMPROVEMENT

object

EQUIPMENT SCHEDULE

WALL LEGEND

WT (EXTERIOR WALL ASSEMBLY TO BIMAX - UNCHANGED EXISTING METAL SONG OR BIMAX)
SWS (SWITCH SCREW INSULATION)

ME (INSULATION OR WATER RESISTANT COAT ON 1 & 1/2" METAL STUDS OR IF DC ATTACHED TO
INSULATION COAT)

WT (WATERPROOF COAT ON 1 & 1/2" METAL STUDS OR IF DC ATTACHED TO
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WALL LEGEND

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ONE OVERHEAD DOOR

DOOR HARDWARE GROUPS

ITEM	DESCRIPTION	QUANTITY	ITEM	DESCRIPTION	QUANTITY
1	W/ TUBE IN HORN	1	1	W/ TUBE IN HORN	1
2	HORN	1	2	HORN	1
3	LEVER SET	1	3	LEVER SET	1
4	HORN	1	4	HORN	1
5	GAS & SOUND SEAL ¹	1	5	GAS & SOUND SEAL ¹	1
6	WIRE PLATE (TOP HORN)	1	6	WIRE PLATE (TOP HORN)	1
7	WIRE PLATE (TOP HORN)	1	7	WIRE PLATE (TOP HORN)	1
8	LEVER SET	1	8	LEVER SET	1
9	DOOR STOP	1	9	DOOR STOP	1
10	WIRE PLATE (TOP HORN)	1	10	WIRE PLATE (TOP HORN)	1
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NEW EDITION

NEW EDITION

6

DRAWING NUMBER:



BERGER
HANNAFIN
ARCHITECTURE
312 WEST 3RD STREET
CARSON CITY, NV 89706
P: (775) 882-6455
WWW.BHARCHITECTS.NV



SHOETREE BREWERY

HOT SPRINGS
PROJECT

No: 22002

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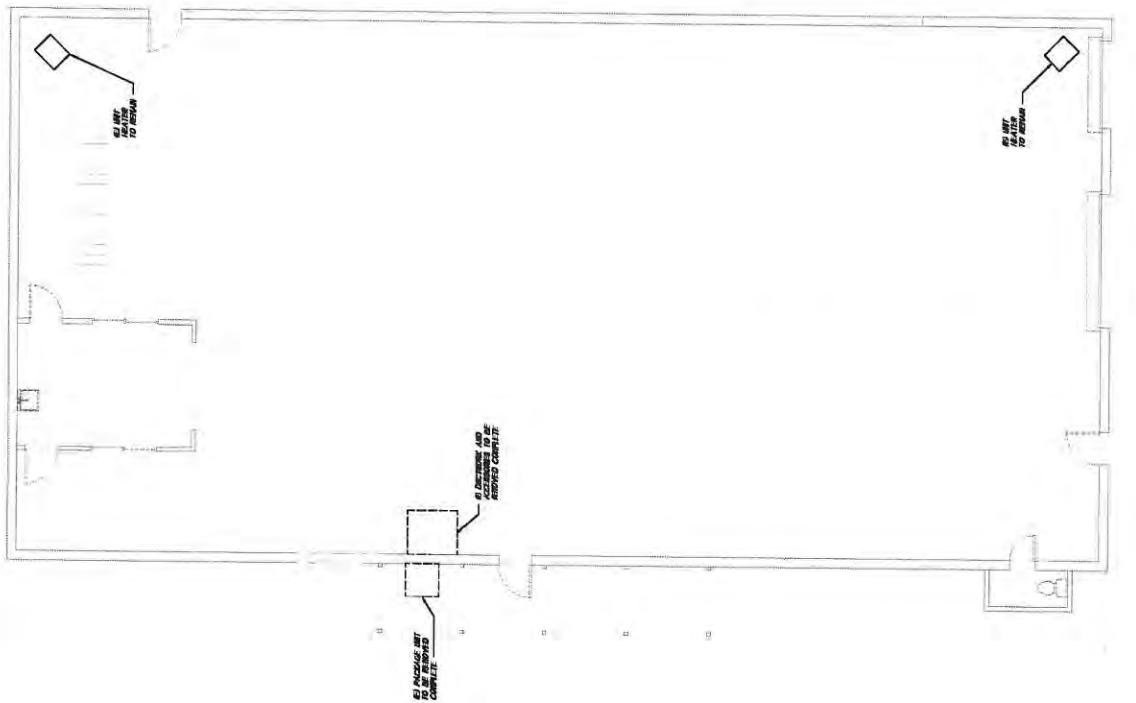
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VENDITION MÉMORIAL





BERGER

HANNAFIN

ARCHITECTURE
312 WEST 3RD STREET
CARSON CITY, NV 89703
P: (775) 882-6455
WWW.ARCHITECTS.BIZ



SHOETREE BREWERY

SPRINGS

BROWNSVILLE

SEARCHING FOR
THE SOURCE OF
THE RIVER
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15/29/22

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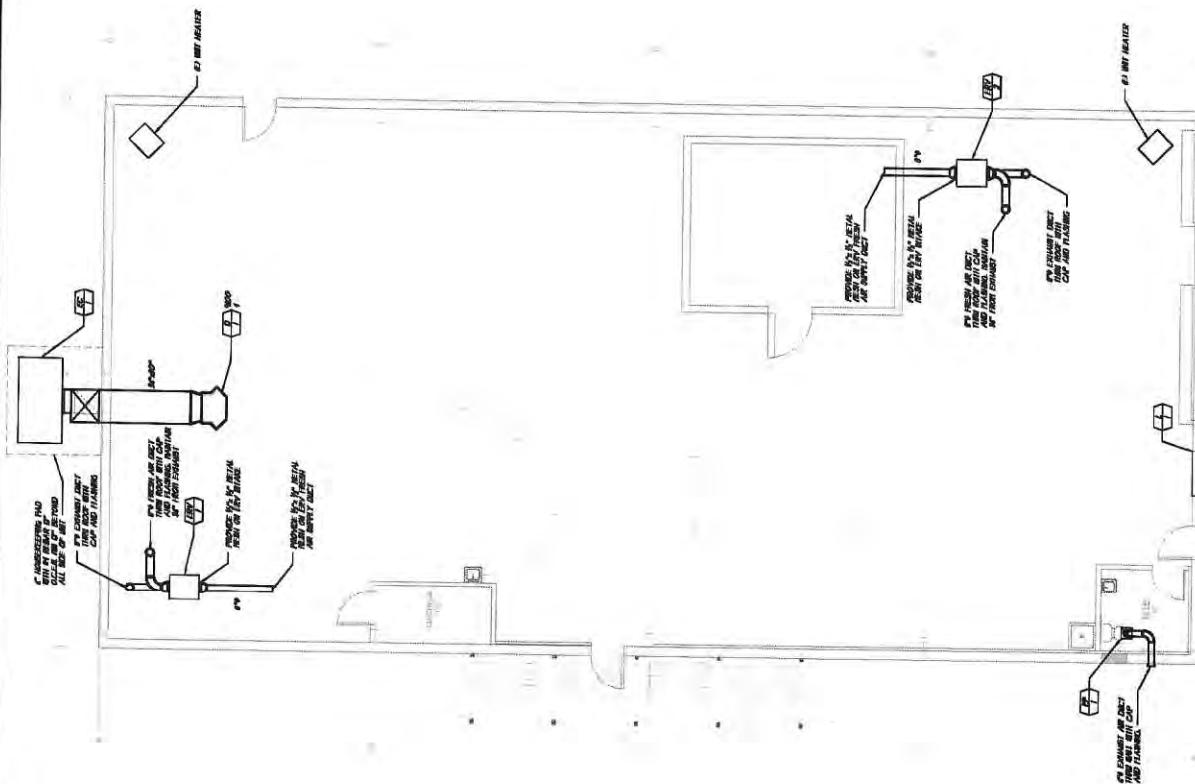
DRAWING TEAR

110

0401



MECHANICAL PLAN





BERGER

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ARCHITECTURE
3112 WEST 3RD STREET
CARSON CITY, NV 89703
P: (775) 882-6455
www.bharchitects.com



SHOETREE BREWERY

SPRINGS

DRAWING STATE

SCHEMATIC DESIGN

SOCIAL DOCUMENTS

THE JOURNAL

—REVIEW

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ISSUE DATE

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WATER & GAS PIPING PLAN
SCALE 1/16" - 1'-0"

DOMESTIC WASTE & VENT PIPING PLAN

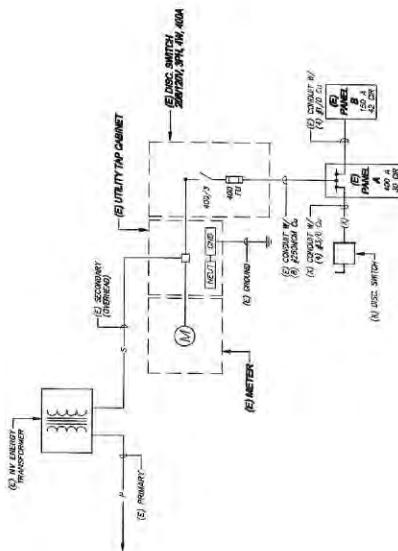


CARSON CITY, HOT SPRINGS RESORT

RINGS

SHOETREE BREWERY

202/DS/



SINGLE LINE DIAGRAM

DRAWING TITLE
SINCH-E BIAU DIAO

503



CARSON CITY, HOT SPRINGS RESORT

SHOTREE BREWERY

HOTSPRINGS

PROJECT

6/20/2022

DRAWING STATUS

INFORMATION CHECKED

CONTRACT DOCUMENT

CONTINUATION SHEET

LINE

PICKING NUMBER

CONTRACT NUMBER

REVISION NUMBER

CROSS REF.

DRAWING NUMBER

DRAWING DATE

DRAWN BY:

MATERIAL

REVISION

DRAWING NUMBER

POWER DEMOLITION
PLAN

DRAWING NUMBER

E1.1

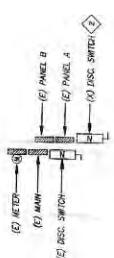
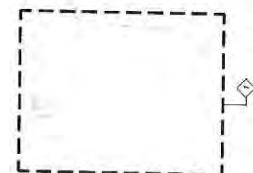
SHEET NOTES

ALL ELECTRICAL EQUIPMENT AND CIRCUITS SHALL BE RELOCATED BACK TO THE NEW SOURCE. ALL CIRCUITS AND CABLES THAT ARE NOT ELECTRICAL OR NOT ELECTRICAL, ALL CIRCUITS AND CABLES SHALL BE REMOVED BACK TO THE NEW SOURCE.



(2) MOTOR START

(2) DISC. SWITCH



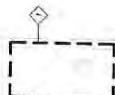
(2) MOTOR

(2) DISC. SWITCH

(2) PANEL A

(2) PANEL B

(2) HEATER





JP
ENGINEERING
1100 Church Street, Suite 1
New Haven, CT 06510
P: 203.622.2222
F: 203.622.2222
www.jpengineering.com



4/15/2022

CARSON CITY, HOT SPRINGS RESORT

SHOETREE BREWERY

HOTSPRINGS
PROJECT

04/15/2022

DRAWING STATUS

- PHASE: INQUIRIES
- DRAFTS
- CONTRACT DOCUMENT
- CONTRACT COORDINATE
- LIE
- FIELD INVESTIGATION
- FIELD SURVEY
- COORDINATE SURVEY
- COORDINATE ADJUSTMENT
- INTERPOLATING
- CLOSING
- CLOSURE

ISSUE DATE: 04/15/2022

DRAWN BY: MT

REVIEWED BY: [Signature]

APPROVED BY: [Signature]

**LIGHTING DEMOLITION
PLAN**

DRAWING NUMBER: E1.2

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CARSON CITY, HOT SPRINGS RESORT

OUTSPRINGS

Project: 100

PHASE SCHEMATIC DESIGN DESIGN DEVELOPMENT

ISSUE DATE: 06.30.2022 DRAWN BY: MT

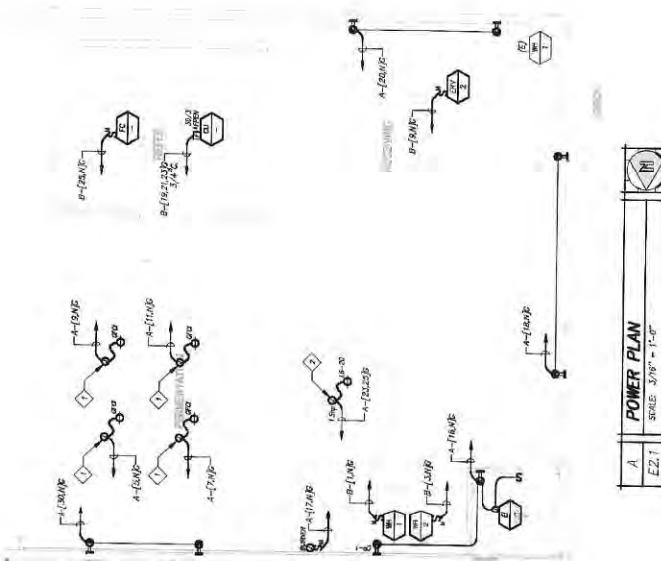
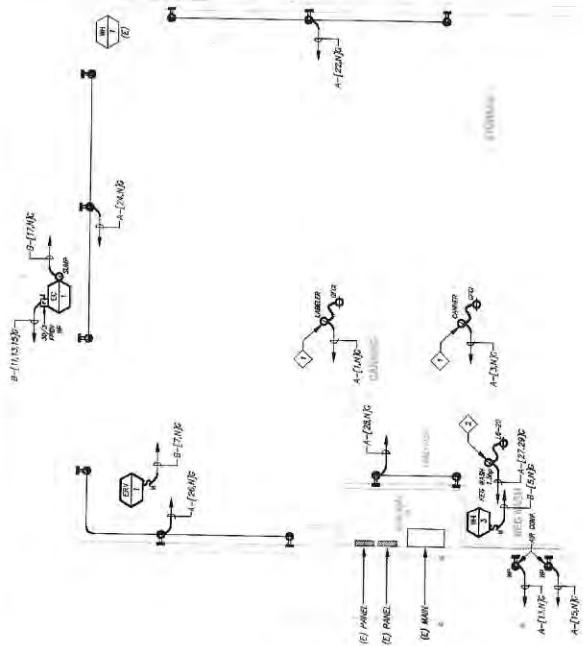
DRAWING TITLE:
POWER PLAN

SHEET NOTES

SEE DETAIL C/EQ.2 FOR CORD GROUP REQUIREMENTS

GENERAL NOTES

ALL CONDUIT SHALL BE RIGID/EMT WITH RAIN-TIGHT FITTINGS (NOT COMPRESSION) AND
MANY-TEHN WRAPS UNLESS OTHERWISE NOTED.



POWER PLAN

POWER PLAN



CARSON CITY, HOT SPRINGS RESORT

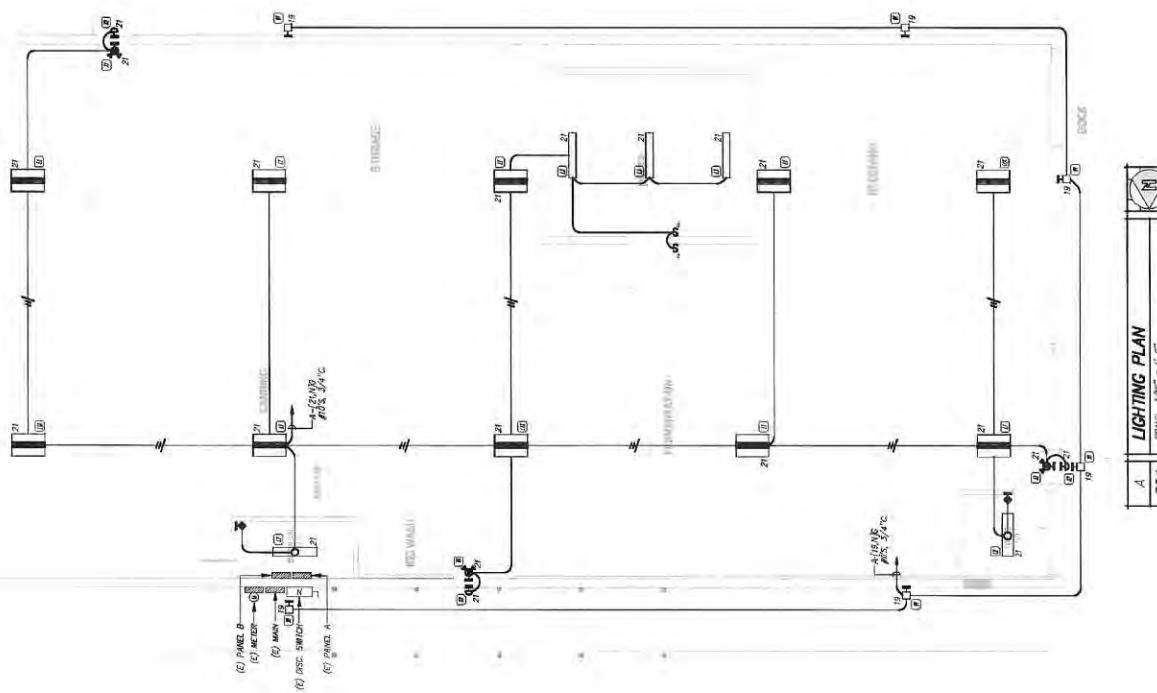
SHOETREE BREWERY

HOTSPRINGS

DRAWING STATUS:	
PHASE:	DRAWN NO : 2020
DESIGNER / DESIGN CONTRACTOR / DEVELOPER	REVIEWED AND APPROVED BY THE FOLLOWING MEMBERS
USE:	THIS DRAWING IS FOR INTERNAL USE ONLY
PRODUCED BY: BAW	REVIEWING AGENCY / REVIEWER:
ESTIMATED TOTAL:	REVIEWED
REMARKS:	
ISSUE DATE:	06.30.2022
MT:	Refrigeration

DRAWING TITLE:
LIGHTING PLAN

LAWYERS' MIRROR



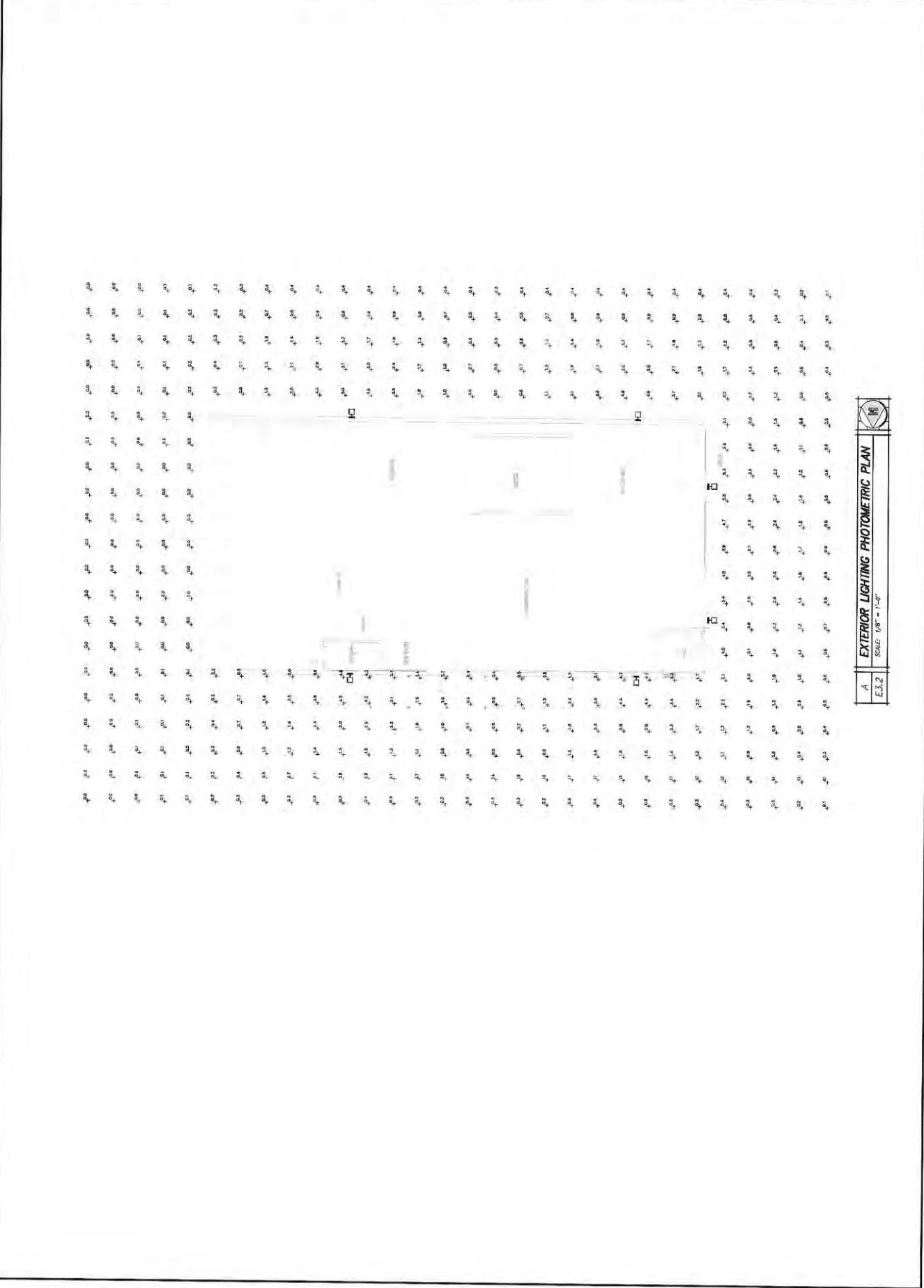


6/20/2022

CHARLES CITY, HOT SPRINGS RESORT

SHOETREE BREWERY

HOTSPRINGS
PROJECT



PERMIT CORRECTIONS REPORT (COM-2022-1755)

August 29, 2022 108 E Proctor Street Carson City, Nevada 89701

ENGINEERING - Christopher Gonzales (8/15/22)

Comments: This item is unresolved. Carson City Municipal Code, Title 11, 11.12.081 - Street improvements, curbs, gutters and sidewalks—Construction required.

Any person who constructs or causes to be constructed any new building, or remodels any building within any commercial, industrial, multifamily residential, office building or governmental zone as defined in Title 18 of the Carson City Municipal Code fronting on any dedicated

street or other publicly owned street in the city, shall construct curbs, gutters, sidewalks, storm drainage, and one-half street paving in accordance with the city's specifications and standards along all street frontage adjoining the property upon which such building or structure exists. This project would also be required to build a driveway apron, to Carson City Standard Detail, connecting to Old Hot Springs Road and a paved Driveway to the building.

We are planning to do this.

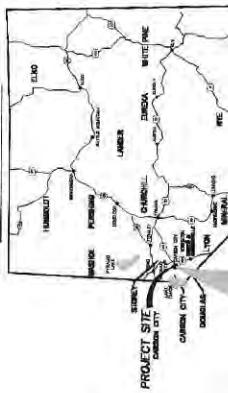
Water / Sewer
New lines.

**CARSON HOT SPRINGS RESORT
APN: 008-12-323
WATER & SEWER ADDITION**

AUGUST 2021

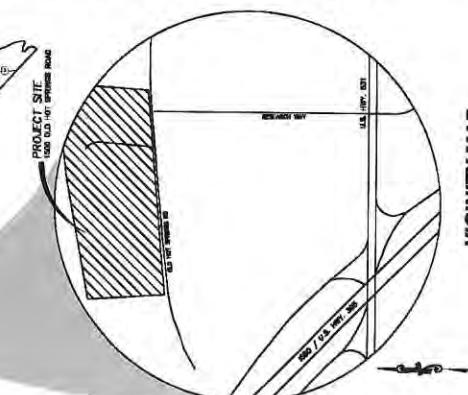
GENERAL NOTES:

LOCATION MAP

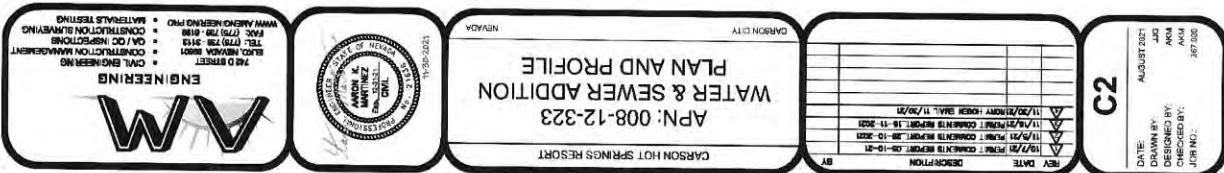


510

VICINITY MAP



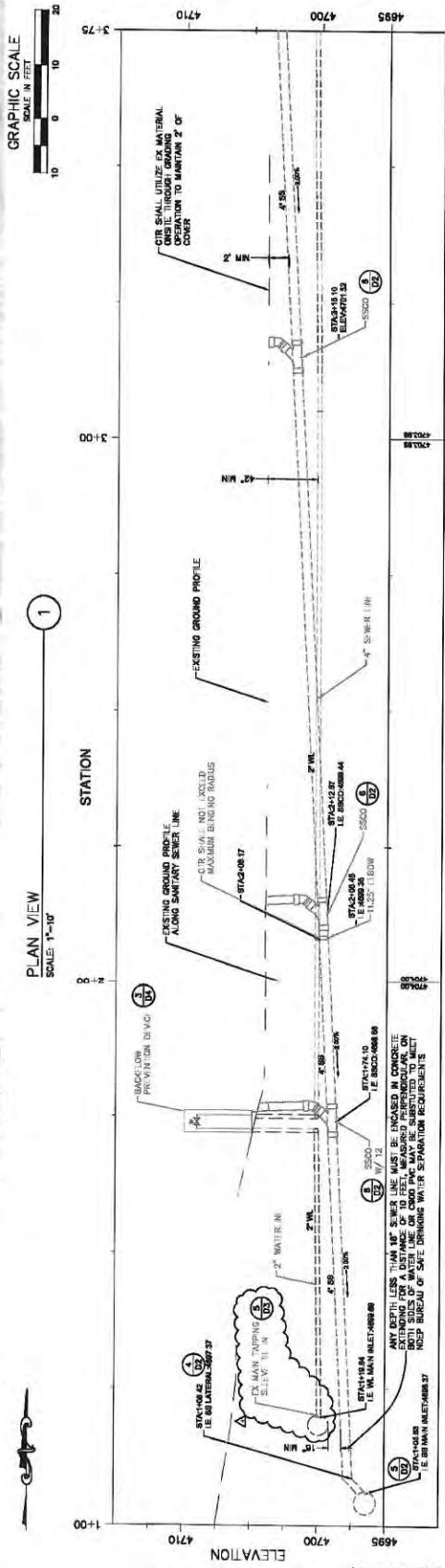
OWNER: *[Signature]*
ENGINEER *[Signature]*
ENGINIER
AN
742 D STREET
ELKO, NEVADA
PH.: (775) 738-5884
CARSON HOT SPRINGS RESORT
ATTN: MR. MARK BEGICH
1500 OLD HOT SPRINGS ROAD
CARSON CITY, NV 89706
PH: (775) 885-5884

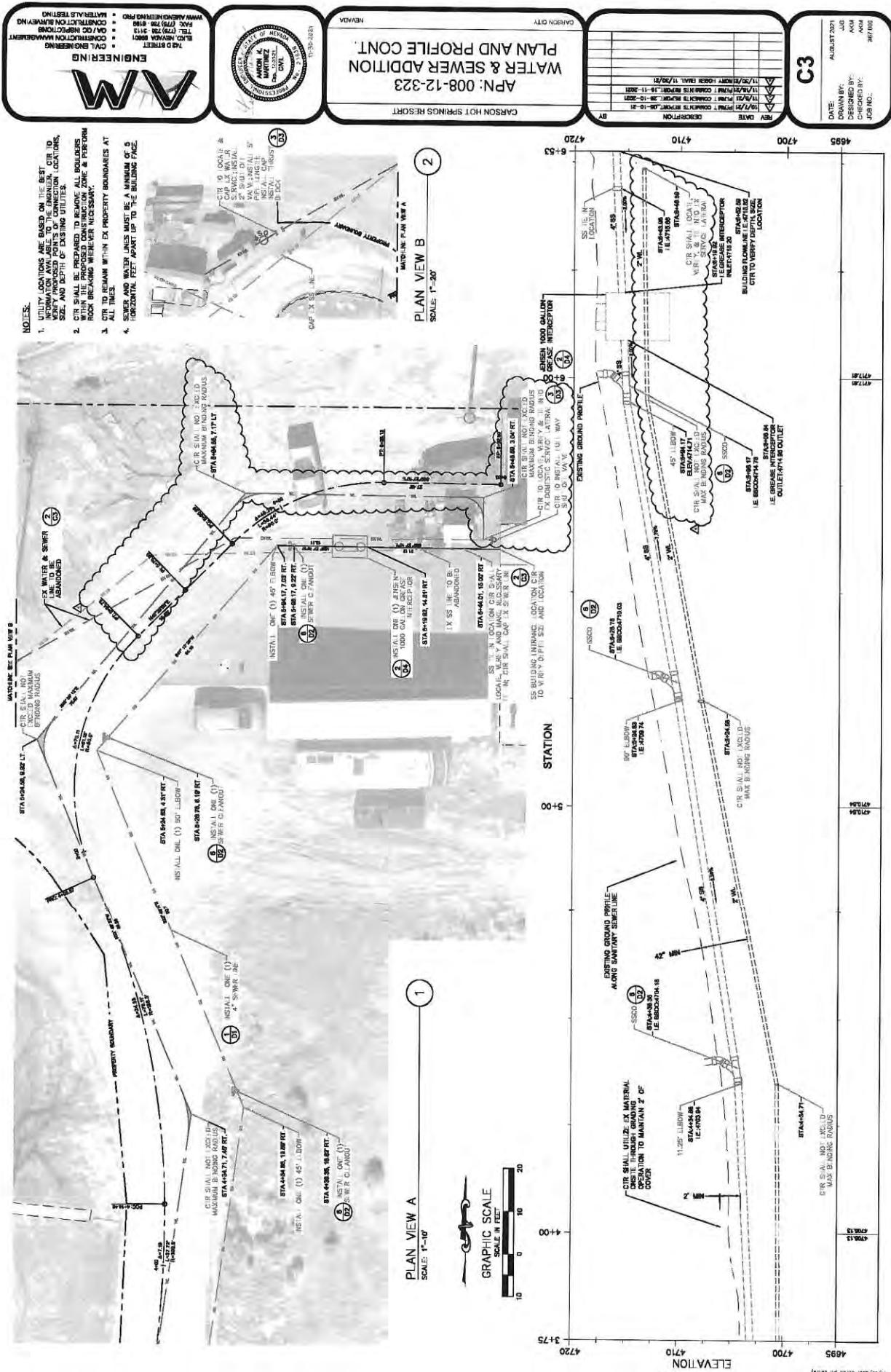


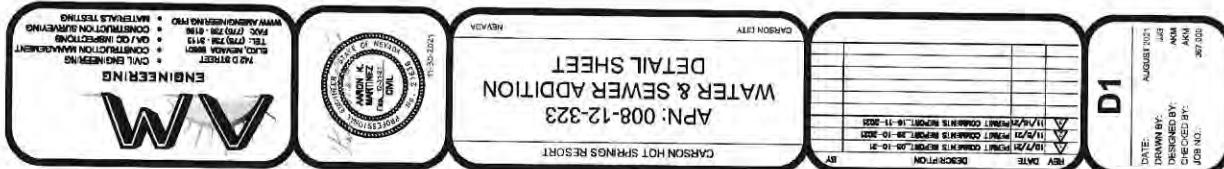
NOTES

NOTES:

1. **UTILITY LOCATIONS ARE BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. CTR TO, IF POSSIBLE, MARK EXISTING UTILITY LOCATIONS.**
2. **CTR SHALL BE PREPARED TO REMOVE ALL BOLDERS WITHIN THE PROPOSED CONSTRUCTION ZONE & PERMIT ROCK BREAKING WHERE NECESSARY.**
3. **CTR TO REMAIN WITHIN EX PROPERTY BOUNDARIES AT ALL TIMES.**
4. **SEWER AND WATER LINES MUST BE A MINIMUM OF 6' HORIZONTAL FEET APART FROM THE BUILDING FACE. WATER LINE TO BE PRIVATELY MAINTAINED BEHIND WATER METER.**
5. **SEWER LINE TO BE PRIVATELY MAINTAINED TO THE MAIN LINE.**



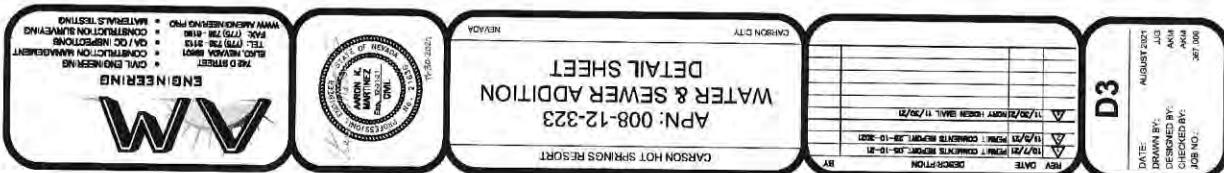




DETAIL SHEET
WATER & SEWER ADDITION
APN: 008-12-323

CARSON HOT SPRINGS RESORT

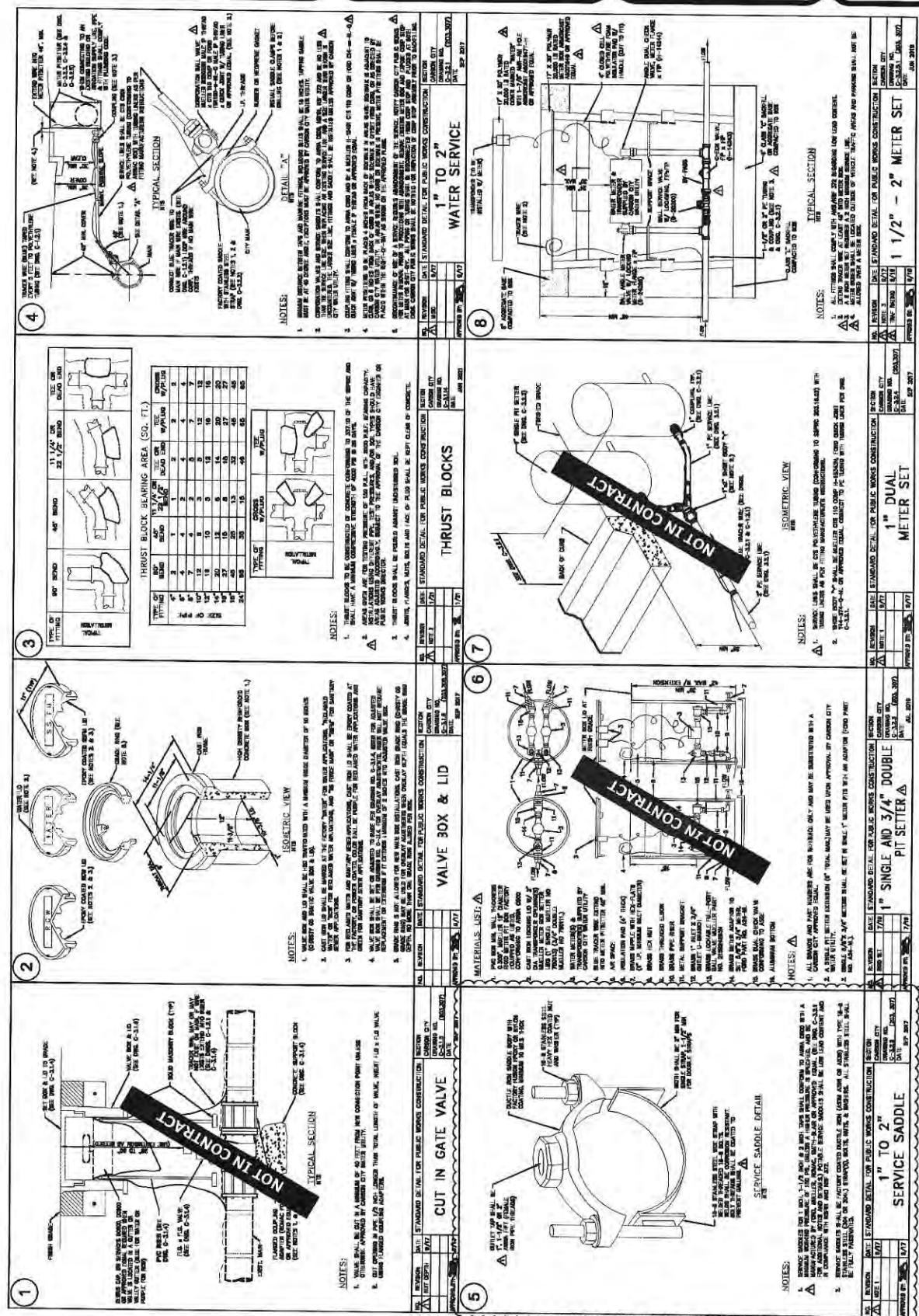


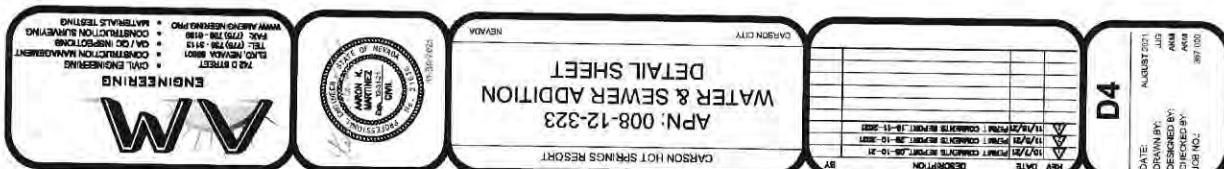


DETAIL SHEET
WATER & SEWER ADDITION
APN: 008-12-323

CARSON HOT SPRINGS RESORT

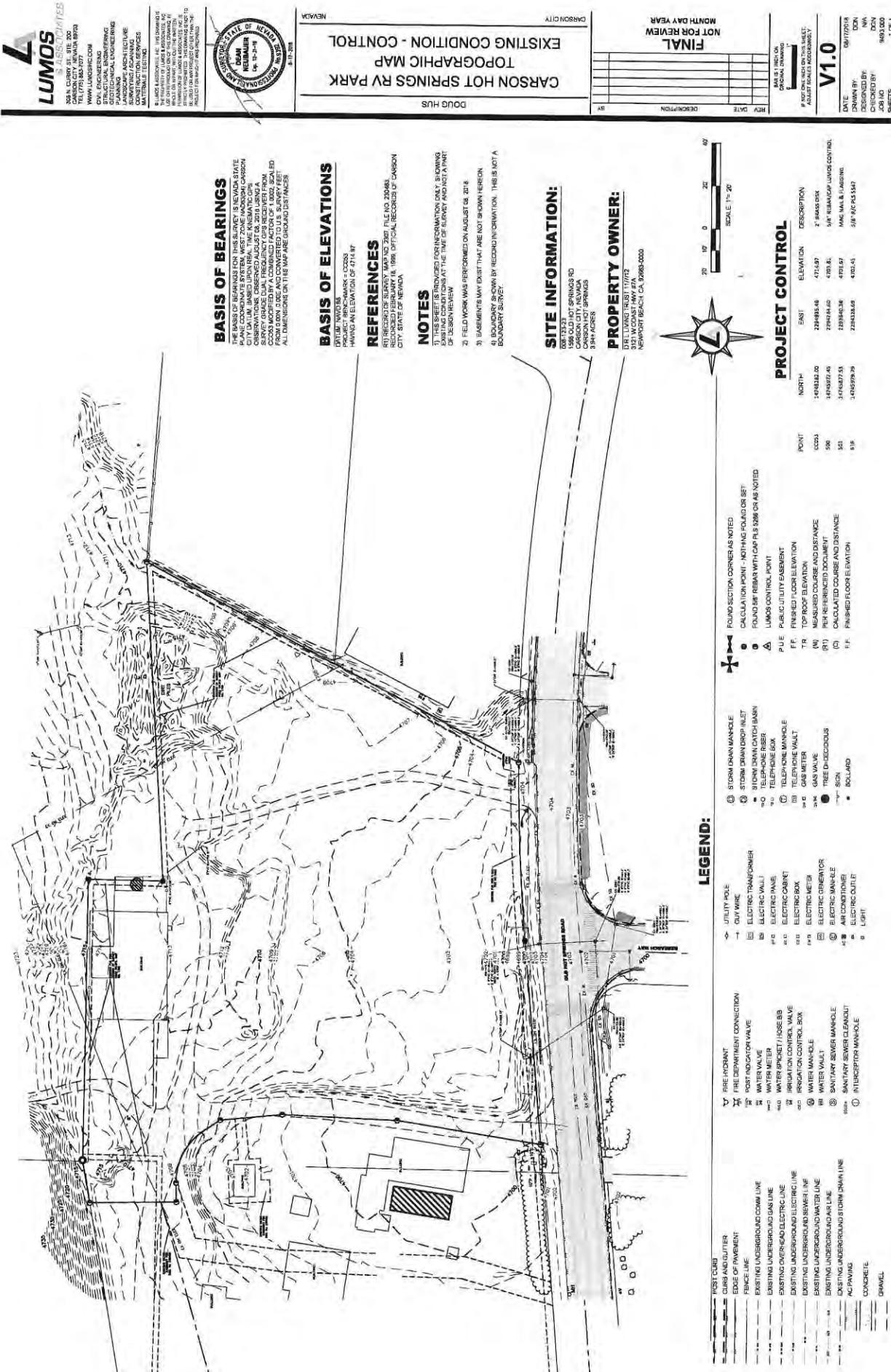
6





APN: 008-12-323
WATER & SEWER ADDITION
DETAIL SHEET

CARSON HOT SPRINGS RESORT



Plat/Property Information

SCALE 1-100

Project Sifer

APN:5-012-01

C.C. AIRPORT AUTHORITY

ZONED PUBLIC

ଓনলাইন

100' 85' 50' 25' 0'

VICINITY MAP

A.P.N.

ZONED GI

10' PRIVATE 3' 94/100
300.37
ACCESS EASEMENT

APN 8-123-23
SUBJECT PARCEL

A. F. N.

ZONED GI

ZONED
TO

PN 8-125-09
ZONED LI

Old Hot Springs RD

Richard Langson
1101 W. Winnie LN

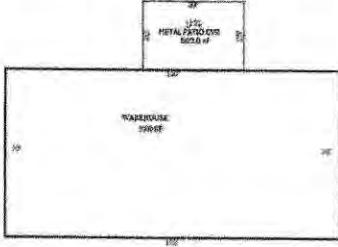
Parcel APN8 123-23

1588 Old Hot Springs RD.

Zone Change From TC τ_0 GT

Carson City Property Inquiry

Property Information			
Parcel ID	008-123-23	Parcel	3.9400
Tax Year	2022 <input type="button" value="▼"/>	Acreage	
Land Use	COM	Assessed Value	292,438
Group		Tax Rate	3.5700
Land Use	400 - General Commercial	Total Tax	\$8,665.53
Zoning	TC	Fiscal Year	(2022 - 2023)
Tax District	024	Total Unpaid	\$0.00
Site Address	1588 OLD HOT SPRINGS RD	All Years	
Neighborhood	Comm - College Parkway	Pay Taxes	
Public Notes	AVERAGE STORY HEIGHT: 20 FT		

Sketches & Photos
<p>Converted Sketch</p> 

Assessments					
Taxable Value	Land	Building	Per. Property	Totals	
Residential	0	0	0	0	0
Com / Ind.	729,412	106,126	0	835,538	
Agricultural	0	0	0	0	
Exempt	0	0	0	0	
Pers. Exempt				0	
Total	729,412	106,126	0	835,538	
Assessed Value	Land	Building	Per. Property	Totals	
Residential	0	0	0	0	0
Com / Ind.	255,294	37,144	0	292,438	
Agricultural	0	0	0	0	
Exempt	0	0	0	0	
Pers. Exempt				0	
Total	255,294	37,144	0	292,438	
	New Land	New Const.	New P.P.		
Residential	0	0	0	0	
Com / Ind.	0	0	0	0	
Agricultural	0	0	0	0	
Exempt	0	0	0	0	
Totals	0	0	0	0	

Assessor Descriptions						
Year	Assessor Descriptions	Subdivision	Section	Township	Range	Block & Lot
Current Year 2023						
2023		04	15N	20E		
Selected Parcel Year 2022						
2022		04	15N	20E		

No Personal Exemptions

Billing Fiscal Year (2022 - 2023)							
Installment	Date Due	Tax Billed	Cost Billed	Penalty/Interest	Total Due	Amount Paid	Total Unpaid
1	8/15/2022	\$2,146.38	\$0.00	\$85.86	\$2,232.24	\$2,232.24	\$0.00
2	10/3/2022	\$2,144.43	\$0.00	\$0.00	\$2,144.43	\$2,144.43	\$0.00
3	1/2/2023	\$2,144.43	\$0.00	\$0.00	\$2,144.43	\$2,144.43	\$0.00
4	3/6/2023	\$2,144.43	\$0.00	\$0.00	\$2,144.43	\$2,144.43	\$0.00
Total		\$8,579.67	\$0.00	\$85.86	\$8,665.53	\$8,665.53	\$0.00

Payment History

Fiscal Year	Total Due	Total Paid	Amount Unpaid
(2022 - 2023)	\$8,665.53	\$8,665.53	\$0.00
(2021 - 2022)	\$7,944.29	\$7,944.29	\$0.00
(2020 - 2021)	\$8,026.50	\$8,026.50	\$0.00
(2019 - 2020)	\$7,875.07	\$7,875.07	\$0.00
(2018 - 2019)	\$7,423.18	\$7,423.18	\$0.00

Show 5 More (22)

Related Names

CURRENT OWNER FOR 2023 (2023 - 2024)

Name CARSON CITY HOLDINGS
LLC
Mailing Address
Status Current
Account

CURRENT Mail To FOR 2023 (2023 - 2024)

Name CARSON CITY HOLDINGS
LLC
Mailing Address
Status Current
Account

OWNER FOR 2022 (2022 - 2023)

Name CARSON CITY HOLDINGS
LLC
Mailing Address
Status Current
Account

Mail To FOR 2022 (2022 - 2023)

Name CARSON CITY HOLDINGS
LLC
Mailing Address
Status Current
Account

Structure 1 of 2

Structure 2 of 2

Sales History

DISCLAIMER: SOME DOCUMENTS MAY NOT BE SHOWN

Year	Document #	Document Type	Sale Date	Sold By	Sold To	Price
2021	<u>521734</u>	CORRECTION DEED/DOCUMENT	6/22/2021			\$0
2021	<u>521735</u>	CORRECTION DEED/DOCUMENT	6/22/2021			\$0
2021	<u>520847</u>	CORRECTION DEED/DOCUMENT	5/26/2021	D.R.L LIVING TRUST 11/7/12 RICHARD LANGSON	CARSON CITY HOLDINGS LLC	\$0
2021	<u>514518</u>	GRANT BARGAIN SALE DEED	12/23/2020	RICHARD LANGSON	CARSON CITY HOLDINGS LLC	\$1,200,000
2021	<u>514522</u>	TERMINATION OF LEASE	12/23/2020			\$0

PARKING / TRAFFIC
Information and
examples other
communities.

Carson City Holding LLC
Shoe Tree Brewery Conditional Use Permit for
brewery/tasting room in TC Zone
Traffic Generation Narrative

The tasting room is approximately 250-300 square feet. It will have capacity for 10-12 people at any given time. Assuming the Tasting Room is open 10-15 hours a week and there will be some additional trucks on a very minimal basis to make deliveries of supplies and transporting products. The parking plan also assumes minimal additional generated truck traffic trips as these are already coming to the other facility for temporary production. The work is just moving to this facility.

Based on this facility, the tasting room could have a maximum of 150 customers per week, this assumes we are serving at 90% of the tasting room capacity for the 15 hours of the week that it is planned to be open. Lastly the added trucks for deliveries of product or receiving supplies should be between 4-6 a week, I think this number may be high as these trucks are already serving the existing facility.

In any seven-day period we are estimating that the customers will add an additional 14.286 trips of traffic to the location. The formula used was 150 customers a week, 33.33% of the customers would be sharing transportation, and most of the traffic would be generated in the late afternoon to early evening as this is time that the tasting room will be open. This will also be at the time

of the lowest volume of traffic on the Old Hot Springs Road and adjoining roads. Most of the facilities around the property are office or only open during the daytime hours.

This facility will have minimal impact to the traffic in the property and the surrounding areas.



CITY OF WOODINVILLE, WA
REPORT TO THE CITY COUNCIL
17301 133rd Avenue NE, Woodinville, WA 98072
www.ci.WOODINVILLE.WA.US

To: Honorable City Council **Date:** 5/3/2016

From: David Kuhl, Development Services Director

By: Jenny Ngo, Senior Planner *SN*

Subject: Public Hearing for Ordinance No. 615 Parking Code Amendments *BS*

ISSUE: Shall the City Council open the public hearing, receive testimony, and continue the public hearing to June 7, 2016?

RECOMMENDATION: To open the continued public hearing, provide direction to staff and continue the public hearing to June 7, 2016.

POLICY ISSUE: The Woodinville Municipal Code (WMC 17.07.050) establishes that development regulations/amendments be reviewed by the Planning Commission at a public hearing and then forwarded to the City Council with a recommendation.

BACKGROUND: This City-initiated amendment modifies Chapter 21.18 WMC, which regulates parking and circulation within the City. The amendment updates the purpose statement, clarifies language in the change of use provisions, adds additional land uses to minimum parking standards, provides provisions for mixed-use developments, clarifies standards for bicycle parking, and changes the parking dimensional standards.

DISCUSSION:

The provision, design, and size of parking lots can have a considerable impact to a community's character and economic vitality. During the February 2, 2016 meeting, four goals were presented to the Council and used as the framework for various parking standards. The four goals include driver demand, community character, business retention, and economic development. After discussion at the February 2, 2016 meeting and February 16, 2016 meeting, Council provided feedback to staff on various items with an intent to discuss requirement options at this May 3, 2016 meeting.

Below is a summary of code sections and options for language. The language options are the same as those tables presented to Council at previous meetings, but do not list policy goals. Option 1 is what staff has understood as Council's preference during discussions and Option 2 includes alternative language. In reviewing these tables, please consider marking individual preference in the Council Vote column.

Topic	Existing Requirements	Council 1	Council Vote
When expansion requires compliance with standards (020)	"Enlarged buildings" must comply with parking standards for the entire tenant space	"Enlarged buildings" must comply with parking standards for the entire tenant space	"Enlarged buildings" must comply with the parking standards for the addition only

Topic	Existing Requirement	Change	Option 3	Current Use
When change of use within a space requires parking review (020)	Review only if a change of use occurs	Review only if use has greater parking ratio	Review only if a change of use occurs	
Areas to exclude from parking ratios (030)	Exclude maintenance areas, storage, and restrooms only	Exclude maintenance areas, storage, restrooms, stairs, elevators, and hallways	Exclude maintenance areas, storage, and restrooms only	
When an "incidental" or accessory use can be counted as part of the primary use for parking (030)	Calculate primary and incidental uses separately	Incidental uses less than 20% of the net floor area, can use the parking ratio for the primary use	Calculate primary and incidental uses separately	
Tasting rooms as incidental uses to wineries (using ratio of 1 stall per 1,000 sf) (030)	Wineries and tasting rooms are counted independently consistent with the definition of accessory uses	Tasting rooms qualify as an incidental use when associated only to a winery	Lower parking ratios for tasting rooms (1 per 150 sf) and count independently from wineries.	
Mixed use reduction (040)	Parking study only option	30,000 sf minimum Restaurants and standalone tasting rooms qualify	30,000 sf minimum Restaurants and standalone tasting rooms <u>do not</u> qualify	

PARKING RATIOS

Single-family	None	2 spaces	None
Multi-family parking	None	1 per unit + 1 per 4 units for guests	Parking study
ADU	None	1 additional	None
Hotel	None	1.1 per room	Parking study
Auto Repair Service	None	1 per 500 sf	1 per 300 sf
Industrial	1 per 300 sf office, .9 per 1,000 sf industrial	1 per 1,000 sf	1 per 300 sf office, .9 per 1,000 sf industrial
High Schools	1 per 10 students	Parking study	1 per 6 students

Topic	Existing Requirement	Option 2	Council Vote
Bulk retail	1 per 300 sf	1 per 500 sf	1 per 300 sf
Food stores	3 + 1 per 350 sf	1 per 300 sf	3 + 1 per 350 sf
Tasting rooms	1 per 50 sf	1 per 75 sf	1 per 50, 1 per 100

Topic	Option 1	Option 2	Option 3	Council Vote
Stall sizes (035)	9.0' x 18' standard 0% compact	9.0' x 18' standard 30% compact 8.5' x 16' compact	8.5' x 18' standard 0% compact	

RECOMMENDED MOTIONS:

1. OPEN THE CONTINUED PUBLIC HEARING REGARDING ORDINANCE NO. 615.
2. OPEN THE PUBLIC TESTIMONY PORTION OF THE HEARING.
(Receive Staff's Report and then Public Testimony)
3. MOVE TO CONTINUE THE PUBLIC HEARING FOR ORDINANCE NO. 615 TO JUNE 7, 2016 IN THE WOODINVILLE CITY HALL COUNCIL CHAMBERS AT 7:00PM OR AS SOON THEREAFTER AS MAY BE HEARD.

CITY OF LAGUNA NIGUEL

AGENDA ITEM PLANNING COMMISSION

NOVEMBER 12, 2019

To: Planning Commission

FROM: Community Development Department

SUBJECT: Minor Use Permit UP 19-11 and Site Development Permit Amendment SP 19-04A01 (Escape Craft Brewery - 28162 Camino Capistrano, Suite 109A @ Camino Capistrano Business Center) - PUBLIC HEARING - A request to establish and operate a 3,589 square foot microbrewery with tasting room. The project is located at 28162 Camino Capistrano, Suite 109A, within the Camino Capistrano Business Center. The center is generally located northeast of the Camino Capistrano and Avery Parkway intersection within the "Community Service" Zone of the Laguna Niguel Gateway Specific Plan.

The project also includes a request to modify the center's approved Precise Mix-of-Uses (parking model), proposed deficit increase from 43 to 47 spaces (131 spaces required, 84 spaces provided).

PROJECT PROONENTS

Applicants/Business Owner:
Josh and Melissa Fisher
Escape Craft Brewery
721 Nevada Street
Redlands, CA 92373
(909) 713-3727

Property Owner:
28142-28162 Camino Capistrano, LLC
Attention: Dave Bueche
6200 Tobruk Court
Long Beach, CA 90803
(949) 394-3331

PUBLIC NOTICE

A notice of public hearing describing the project, date, time and location of the hearing was advertised in the *Orange County Register - Coastal Current News* at least 10 days prior to the hearing date. Property owners and tenants within 300' of the project boundaries were mailed notice of the hearing. A notice was also posted a City Hall and was made available on the City's website. As of the drafting of this staff report, City staff has not received any written correspondence in response to the public notice.

BACKGROUND

Project Setting

The project site (28162 Camino Capistrano, Suite 109A) is a vacant 3,589 square foot inline tenant suite located within Camino Capistrano Business Center. The multi-tenant center is approximately 2.2 acres in area and includes approximately 27,000 square feet of commercial space. The subject tenant space (Suite 109A) was previously occupied by Icon Motoring (an auto dealership). Refer to Figure 1 below for an aerial exhibit of the project site and surrounding area and Figure 2 for a storefront photo.

Figure 1: Area Exhibit (Project Site)

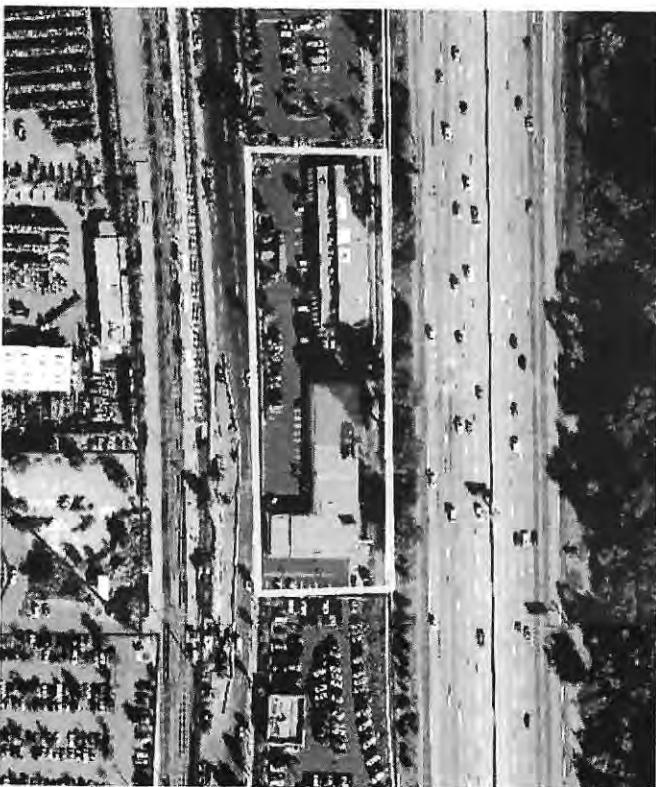


Figure 2: Tenant Suite Frontage



Previous Related Entitlements

On October 22, 2019, the Community Development conditionally approved Minor Use Permit UP 19-03 and Site Development Permit SP 19-04. The Minor Use Permit allowed Mercado Muay Thai & Fitness (MMT Fitness) to establish and operate a group training fitness studio at 28162 Camino Capistrano, Suite 109B. The Site Development Permit approved “alternative parking standards” allowing the center to operate with less parking than would otherwise be prescribed by the Laguna Niguel Zoning Code (LNZC) based on a Precise Mix-of-Uses (parking

model)¹. The approved Precise Mix-of-Uses (Attachment C) allows the commercial center to operate with a parking deficiency of 43 spaces (127 spaces required, 84 spaces provided) in consideration of the actual collective parking demand generated by the center's mix-of-uses. Notable, vacant Suite 109A was programmed for 20 spaces in anticipation of a future group fitness use occupying this suite.

PROJECT DESCRIPTION

Minor Use Permit UP 19-11

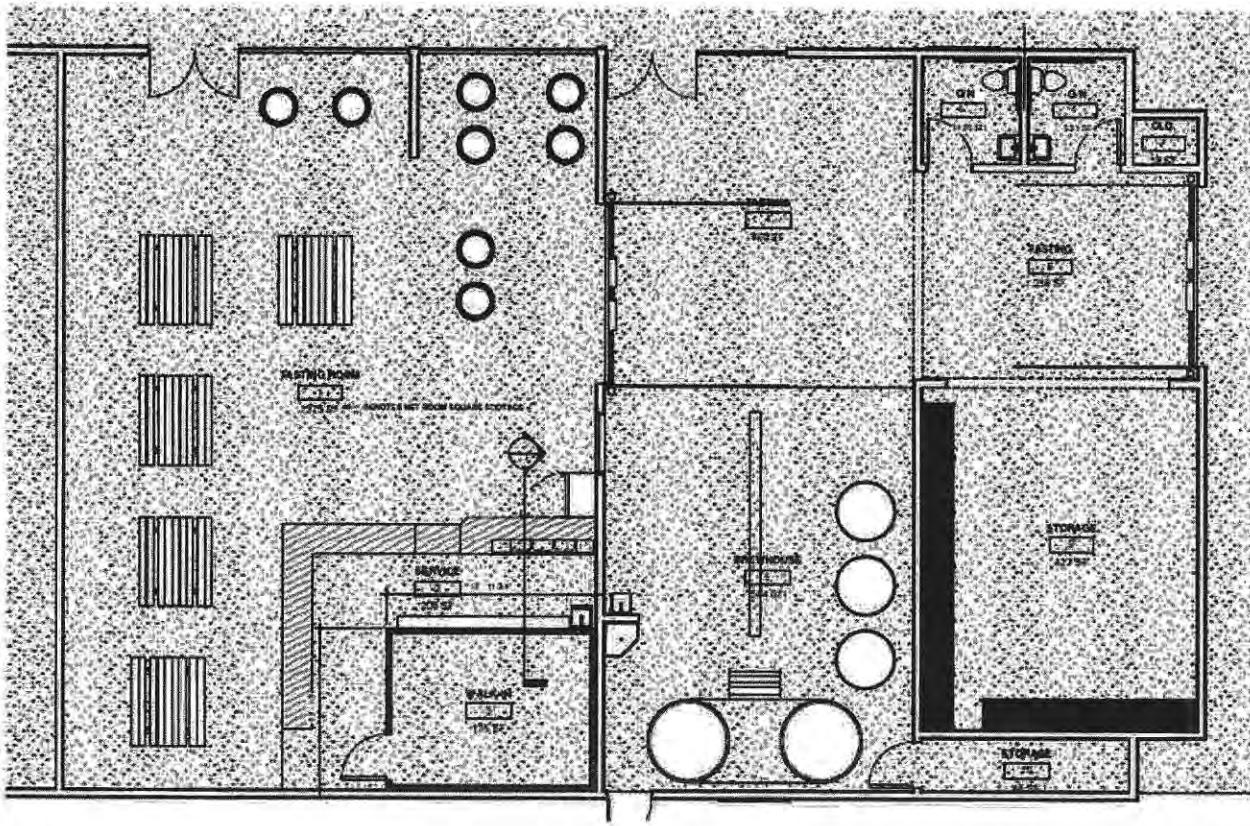
- Request by Josh and Melissa Fisher to establish and operate a 3,589 square foot microbrewery with tasting room (Escape Craft Brewery) under a Department of Alcohol and Beverage Control "Type 23" License (Small Beer Manufacturer). The use would include a limited production brewery of craft beers. As is the case with most microbreweries, Escape Craft Brewery would also include a tasting room featuring their brewed craft beers for sale. Mr. and Mrs. Fisher currently operate Escape Craft Brewery in the City of Redlands. This would be their second brewery location. For more details regarding their background and current proposal please refer to the letter drafted by the applicants (Attachment B).
- Proposed hours of operation are as follows: tasting room - 11:00 a.m. to 11:00 p.m. daily, brewing - 8:00 a.m. to 11:00 a.m.
- The proposed floor plan for Suite 109A identifies approximately 2,090 square feet to be dedicated to the tasting area and the remaining 1,499 square feet for beer manufacturing. Proposed alterations to the tenant space would be limited to interior alterations (tenant improvements). With the exception of a new storefront wall sign (under a separate permit request), there would be no exterior modifications to the building. The project plans are included as Attachment G. The proposed Floor Plan is also provided below for reference as Figure 3.

Site Development Permit Amendment SP 19-04A01

- Request by applicants to amend the center's Precise Mix-of-Uses (parking model) to account for the 4 space increase in required parking for the proposed microbrewery at Suite 109A. The previously programmed group fitness use for the tenant suite was allocated 20 parking spaces. The proposed use requires a total of 24 spaces.

¹ For shopping centers with less than 400 parking spaces, if the overall parking space requirement, per Table 6.5, is greater than the cumulative number of spaces provided, then an application may be made for a Site Development Permit pursuant to the provisions of Section 9-1-62, Alternative Parking Regulations.

Figure 3: Floor Plan



GENERAL PLAN COMPLIANCE

The project is located within Community Profile Area 4, Sub-Profile Area I, of the Laguna Niguel General Plan. The Land Use Element of the General Plan designates the site as "Community Commercial." Table LU-1 in the General Plan lists the most common permitted land uses. This list is limited and does not include microbreweries. The General Plan states that this list is not intended to be all inclusive and refers to the City's zoning regulations for a more detailed list of permitted and prohibited land uses. The proposed use is permissible by the LNGSP for this site with the approval of minor use permit, as discussed subsequently in this staff report. In light of these zoning provisions and the intent of the General Plan, which is to broadly define land use classifications to provide flexibility and options in site specific planning, the proposed use is generally consistent with this land use designation.

CEQA COMPLIANCE

The project qualifies for categorical exemption from the California Environmental Quality Act (CEQA) under Section 15332, Class 1 (Existing Facilities), of the CEQA Guidelines. This exemption applies to a class of projects that generally are considered not to have a significant effect on the environment. This includes projects that consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private

structures, facilities, mechanical equipment, or topographical features involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Consistent with these provisions, the project is a request to operate a microbrewery with tasting room entirely within an existing commercial building, and minor changes to on-site parking conditions, which does not have the potential to significantly affect the environment.

ZONING CONSISTENCY

Permitted Nonresidential Uses

The project site is located within the CS Zone of the LNGSP. The CS Zone is intended to accommodate a broad mix of commercial uses, such as light industrial, business park, office, restaurant, retail, service, and auto related uses. Table 4.1 (Allowable Land Uses and Permitting Requirements) of the LNGSP specifies the land uses allowed in each Zone. The proposed use includes small-scale beer manufacturing and a tasting room. The tasting room would serve Escape Craft Brewery beer on tap and in bottles or cans for both on-site and off-site consumption consistent with their ABC Type 23 small beer manufacturer license.

The proposed microbrewery includes both a restaurant² and a manufacturing component. Restaurants are permissible uses within the CS Zone with the approval of a minor use permit and manufacturing and assembling uses are permitted outright. Considering this would be the first microbrewery in Laguna Niguel, the Community Development Director has elected to refer decision-making authority for this proposal to the Planning Commission. Minor use permits are typically considered and approved at the administrative level.

Development Standards & Design Guidelines

The existing building complies with the LNGSP nonresidential development standards as well as the City's Design Guidelines. With the exception of a new storefront wall sign (required to be consistent with the center's sign program and under separate permit request), there would be no exterior alterations to the building.

Off-street Parking Requirements

LNZC Section 9-1-66 (Table 6.5) identifies the minimum on-site parking requirements by use. As summarized in Table 1 below, the proposed change in land use for Suite 109A from fitness studio to microbrewery with tasting room increases the required parking for the subject tenant space and overall center by 4 spaces.

² Restaurant means an establishment where food and/or beverages are offered, with 11 or more seats. Examples include fine dining, casual sit-down dining, fast food establishments, and other uses deemed to be similar by the Community Development Director. The Community Development Director has determined that the specific operating characteristics of the tasting room are similar to a restaurant.

Table 1: Parking Comparison (Existing and Proposed - 28162 Camino Capistrano, Suite 109A)

	Land Use	Square Footage (SF)	Parking Rate	Required Parking
<i>Existing:</i>	Fitness Studio	3,589 SF	1 space/student & staff	20 spaces
<i>Proposed:</i>	Microbrewery - Tasting Room Manufacturing/Other	2,090 SF 1,499 SF 3,589 SF	10 spaces/1,000 SF 2 spaces/1,000 SF	21 spaces 3 spaces
Difference - 4 spaces				
<u>Notes</u>				
<i>Based on a survey of parking assignments for other microbreweries in other neighboring cities (e.g., San Clemente, San Juan Capistrano, Dana Point), tasting rooms are typically allocated a parking rate between 5 spaces/1,000 SF to 10 spaces/1,000 SF.</i>				

Camino Capistrano Business Center - Precise Mix-of-Uses

The Camino Capistrano Business Center currently operates at a parking deficit, as previously noted. The proposed 4 space increase in required parking to accommodate the proposed use extends the center's existing parking deficiency from 43 to 47 spaces (131 parking spaces required and 84 spaces provided). The applicants are requesting the increased deficit in consideration of the actual parking demand generated by the existing and proposed center-wide mix-of-uses rather than the baseline required parking of the LNZC. The proposed Camino Capistrano Business Center Precise Mix-of-Uses is included in Attachment C.

To evaluate the anticipated impacts of the proposed parking change, City staff conducted a parking observation study at the center (included as Attachment D). The study is intended to provide objective "real world" information about the center's parking characteristics at various hours of the day. At the peak recorded parking demand time (5:00 p.m. on Thursday September 12, 2019) 45 of 84 parking spaces in the center were occupied (39 spaces were vacant).

Currently, there are two vacant suites in the center, including the subject tenant space. The projected peak parking demand for the proposed microbrewery and other center vacancy is 32 parking spaces. To account for these vacancies, 32 additional occupied parking spaces were added to the parking count totals. After this adjustment, the total modeled parking demand at peak time for the center would be 77 occupied spaces out of a total parking supply of 84 spaces. For both existing and proposed uses (assuming zero tenant vacancies at the center), the center is anticipated to continue providing adequate on-site parking. Further, the peak parking demand times for the brewery are expected to be after 5:00 p.m. and on the weekends when most of the other businesses in the center are closed. Also for reference, should additional parking be necessary, on-street parking is available directly in front of the center along Camino Capistrano (4 parking stalls).

SURROUNDING LAND USES

The project site is a vacant inline tenant suite located within an established multi-tenant commercial center (Camino Capistrano Business Center). The center includes various commercial uses, such as retail, auto repair, home brewing supply store, fitness studio, and medical office. The center is within an urbanized area of the City along Camino Capistrano. Land uses beyond the center include the Allen Cadillac/GMC automobile dealership to the south, the I-5 Freeway to the east, Camino Capistrano and the Metrolink train station to the west, and an Enterprise Rent-A-Car to the north.

The proposed microbrewery with tasting room would operate entirely within the existing tenant suite. The proposed use, as conditioned, is not anticipated to generate adverse noise, traffic, parking, or other secondary impacts that would be unusual for light industrial or commercial uses that are permissible within the CS Zone. Furthermore, the proposed microbrewery with tasting room is consistent with the more dynamic and urban types of uses envisioned for the Gateway area. As a part of the project review, City staff consulted with Laguna Niguel Police Services. Kimberly Sawyer, Crime Prevention Specialist, has indicated that Police Services does not have any objections with the proposed microbrewery.

City of Redlands

Escape Craft Brewery currently operates in the City of Redlands (established in 2014). An endorsement letter for Escape Craft Brewery from Sergeant Derik Ohlson with the City of Redlands Police Department is included in Attachment E. In the letter, Sergeant Ohlson concludes by stating “Escape Craft Brewery would be an excellent addition to any city.” City staff has also contacted the City of Redlands and their staff has indicated that the business is in good standing; there have been no code enforcement actions, calls for service, or resident complaints

RECOMMENDATION

That the Planning Commission adopt Resolution No. 19-06, approving Minor Use Permit UP 19-11 and Site Development Permit Amendment SP 19-04A01 (Escape Craft Brewing - 28162 Camino Capistrano, Suite 109A @ Camino Capistrano Business Center), subject to conditions.

Respectfully submitted,
COMMUNITY DEVELOPMENT DEPARTMENT

PREPARED

BY:



Heidi Jacinto
Assistant Planner

REVIEWED

BY:



John Morgan
Development Services Manager

SUBMITTED

BY:



Jonathan Orduna
Community Development Director

Attachments:

- A. Draft Resolution No. 19-06
- B. Escape Craft Brewery - Business Description Letter
- C. Existing and Proposed Camino Capistrano Precise Mix-of-Uses (Parking Model)
- D. Parking Observation Study
- E. City of Redlands Police Department, Support Letter
- F. BMP Fact Sheet IC 20, Eating and Drinking Establishments
- G. Project Plans - Prepared by Architects J. Gary Stegemann and Keith A. Suchow



20 AUG BUILDING A BREWERY: THE DEVIL IS IN THE CODE

POSTED AT 01:24H IN BEER PRO TIPS BY BEER CHRONICLE TEAM • 1 COMMENT

OPEN FOR PICK-UP
AND TO-GO ORDERS



MON - SAT 12P - 6P
SUN 12P - 4P

BUILDING A BREWERY: THE DEVIL IS IN THE DETAILS CODE

Tips for navigating the design process and local building codes while planning your next brewery.

Post... Hey, you!



SpindleTap from the parking lot back before they had a name

Breweries are becoming a community staple and the collective experience of city officials with this building type has increased allowing for a better-permitting process. The local building codes while planning your next brewery could make or break your big dream.

However, each local jurisdiction is different, and depending on their familiarity with breweries and the facility requirements, local building codes while planning your next brewery can change depending on the exact location in Houston. This can impact your brewery build-out.



SpindleTap's taproom on day 1

Finding a design team that understands the brewing process and has experience in explaining these differences to the City will allow for more efficiencies and a shorter timeline. Here are some things to look out for on your next brewery build-out:

Psst... Hey, you!





Baileson brewing from the streets

Location

Most cities are welcoming to a brewery but don't know enough about them from a building code perspective. If a local jurisdiction has no experience with breweries, it may be necessary to take additional steps to help city officials understand the brewing process and requirements necessary.

You'll need to understand your city's zoning ordinances and how your prospective location is zoned. A formal rezoning process may be necessary for a property to allow for alcohol production, sales and consumption.

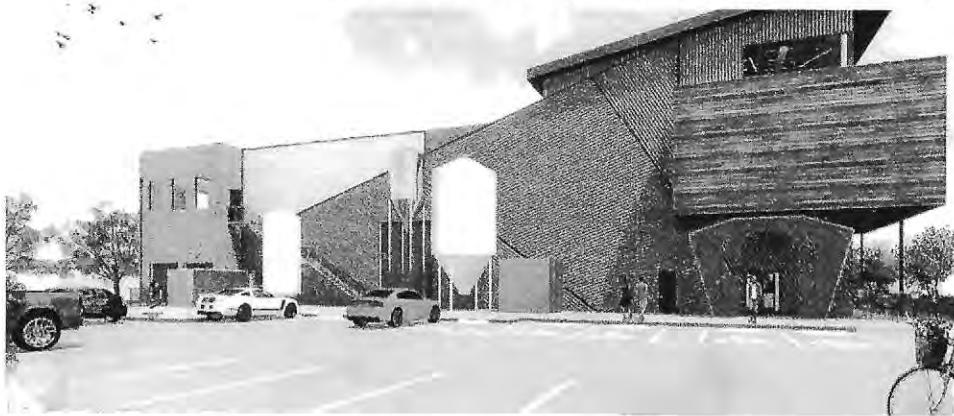


Baileson Brewing learned local building codes while planning your next brewery

It's also important to note Texas Alcohol Beverage Commission (TABC) regulations. For example, TABC says you can't sell alcoholic beverages within 300 feet of a public or private school, church or public hospital, and the distance from a school can be increased to 1,000 feet under certain circumstances. In dense, urban areas with limited real estate options, it can be a challenge to find the right location to suit the local building codes while planning your next brewery.

Pssst... Hey, you!





Buff Brew's parking lot is going to be a movie

Paving paradise

Parking is typically calculated by number of parking spaces per thousand square feet based on the building's use. Each jurisdiction varies but in the City of Houston, typical warehouse/storage occupancies only require 1 parking spot per 7,000 square feet of space and a bar, restaurant, or tap room requires 12 parking space per 1,000 square feet. This change in occupancy can become a challenge in urban centers with minimal parking availability.



Buff Brew renders

Quality H2O

Any time you change a building's occupancy type the City of Houston and other local jurisdictions require a Utility Review to calculate how much water will be used in the new occupancy vs the previous.



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charge a fee for the difference in "water credits." This can be a high number of credits given the importance of water to a brewery.

Since wastewater capacity is often determined by water usage, this traditional model isn't logical with breweries because most of the water used goes back into the product, not down the drain.

Having an experienced design team can help you negotiate with the city's utility department to help them better understand the process.

Additionally, many cities are concerned with the treatment of process wastewater and require anything from a typical solids interceptor or PH monitor system to the pretreatment of wastewater.

Understanding your local requirement upfront will prepare you for the cost associated with these systems.

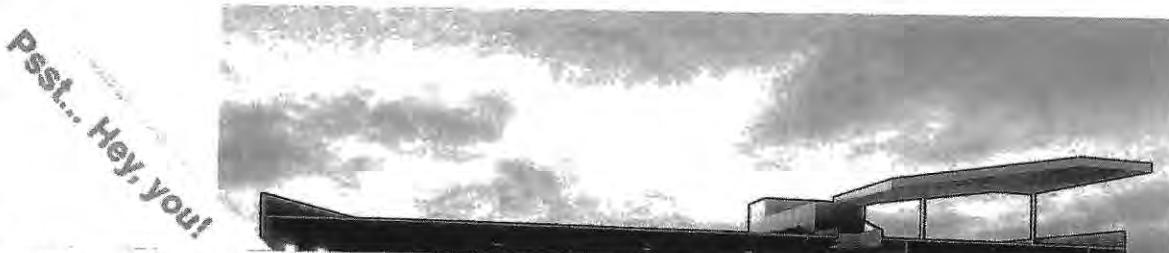


Eureka Heights learns local building codes while planning your next brewery

Foundations

Eureka Heights Brewing Co. in Houston was a renovation of a former food distribution center. The building foundation was insufficient for the weight of the tanks planned for the brewery.

The foundation in the production area had to be cut out and replaced with a stronger foundation to support the current and future tanks.





To see, or not to see.... the brewhouse

Some permitting offices treat breweries as an industrial process facility while others look at them as a bar or restaurant and sometimes codes for both occupancy types are used.

City of Houston requires the brewhouse to be enclosed to meet health and safety requirements, however other jurisdictions allow it out in the open. Code requirements must be carefully coordinated with local authorities, as there are many factors such as sprinkler systems and the size of your brewery that could also require the brewhouse to be closed off.



Raise the roof

Bear King Brewing in Marble Falls, Texas renovated a former warehouse into their new brewery; however, the existing clear heights were too low for the larger tanks. A section of the roof and part of the secondary structure was removed to build a new pop-up roof to allow for the height of the new tanks.

Involving a local brewery design team at the beginning of your project can help you navigate how your local jurisdiction handles these facilities and can save you a lot of time and headache further into the project.

Method Has Changed the Game

od has helped plan, build-out, or add to some of your favorite breweries. Many will be at Brewmasters' 10th Anniversary Beer Festival.

Water/Sewer
Calculations/Backup

Water and Sewer Calculations For Brewery



Berger Hannafin ARCHITECTURE
EST 1973
LTD

August 10, 2022

Carson City Community Development
108 E. Proctor St.
Carson City, NV 89701

Attn: Plan Reviewers

Re: Shoetree Brewing Company
1588 Old Hot Springs Road
Carson City, NV
CCBD Permit No: 22-1755

Dear Plan Reviewer:

While we understand the need to provide estimated water usage calculations for our project based on similar projects and uses, it has proven rather challenging to obtain this information. The Carson City Utility Billing Department has informed us that we can no longer get copies of utility billing information since per the NRS this is now considered confidential information.

Our client did provide us with his current billing information for the existing Shoetree Brewing Company located at 1496 Old Hot Springs Road (APN 008-123-39). However, there is only one meter serving the entire parcel. Per the Carson City Assessor, there are 18 structures on this parcel (see attached for summary of structure use and area).

Existing Shoetree Brewing Company Parcel (1496 Old Hot Springs Road):

Total Area of Structures (including pools): 18,055 sf

Brewery Area: 1,864 sf

Percentage of Structures utilized for Brewery: 1,864 sf / 18,055 sf = 10.32%

Average Water Usage (past 12 months) (consumption history report attached): 231,420 gal/mo

Estimated Water Usage for Brewery alone: 10.32% x 231,420 gal/mo = 23,892 gal/mo = 796 gpd

Based on this information, we have interpolated the data as follows:

Existing Brewery Square Footage: 1,864 sf

Number of fermenting tanks: 3 at 272 gallons, 1 at 211 gallons = 1,027 gallons

Estimated Domestic Water Usage: 796 gpd

New Shoetree Brewing Company (1588 Old Hot Springs Road):

New Brewery Square Footage: 5,000 sf

Number of fermenting tanks: 5 at 272 gallons, 1 at 211 gallons = 1,571 gallons

Percentage increase in fermenting tank capacity: 1,571 gallons/1,027 gallons = 1.53

Estimated Domestic Water Usage: 796 gpd x 1.53 = 1,218 gpd

Please call if you have any further questions or concerns.

BERGER HANNAFIN ARCHITECTS

Marcie Richards, P.E.



COMMERCIAL / INDUSTRIAL WATER AND SEWER CONNECTION FEE WORKSHEET

PERMIT APPLICATION NO. COM-2022-1755

DATE 08.10.2022

The following worksheet related to water and sewer usage of projects must be completed by a Registered Professional Engineer, Architect, or other knowledgeable person as approved by the Engineering Division. **Calculations must accompany this form.** The Water Usage Information will be used in determining the connection fees for the proposed project.

This form must be completed and submitted to the Carson City Permit Center at time of permit application prior to the issuance of any permit for a commercial or industrial project which may require additional water supply.

Location of Project (Street Address Only)

1588 Old Hot Springs Road, Carson City, NV 89706

Brief Description/Name of Project

Shoetree Brewing Company

Please contact the Engineering Division at 775-887-2300 to verify that you have the most current version of this worksheet. The actual connection fees due will be based on those fees established by Carson City Municipal Code (CCMC) in effect at the time of building permit application. Complete the following. (See reverse side for instructions)

1	CURRENT OR PAST average daily water usage. Attach water usage history. This information may be obtained by calling Utility Billing 775-887-2355.	1	0	gpd
2	Indicate amount of new water usage associated with LANDSCAPE IRRIGATION . Attach calculations.	2	0	gpd
3	Indicate amount of new water usage associated with DOMESTIC USAGE . Attach calculations.	3	1,218	gpd
4	Additional water usage associated with project in gallons per day (2 + 3)	4	1,218	gpd
5	Total project water usage in gallons per day (1 + 4)	5	1,218	gpd

ESTIMATED CONNECTION FEES

6	SEWER CONNECTION FEE (3 x \$6.80)	6	8,282.40	gpd
7	WATER CONNECTION FEE (4 x \$0.86)	7	1,047.48	gpd
8	TOTAL ESTIMATED CONNECTION FEES (6 + 7)	8	9,329.88	gpd

With signature, property owner acknowledges that the above is an accurate estimate of water usage and sewage discharge and that additional connection fees may be required, pursuant to the Carson City Municipal Code (CCMC).



SIGNATURE: PROPERTY OWNER

Mark Begich

PRINT: PROPERTY OWNER

Marcie Richards

Digitally signed by Marcie Richards
DN: cn=Marcie Richards, o=Berger Hannafin Architecture,
ou_email=marcie@bharchitects.biz, c=US
Date: 2022.08.10 15:38:32 -07'00'

SIGNATURE: PREPARER

Marcie Richards, P.E.

PRINT: PREPARER

COMMERCIAL / INDUSTRIAL WATER AND SEWER CONNECTION FEE WORKSHEET INSTRUCTIONS

- 1 Current water usage for the location in gallons per day (gpd). This information can be obtained by calling Utility Billing 775-887-2355. This amount includes both domestic and landscape irrigation.
- 2 Estimated increase in water usage as a result of the addition of new **landscaping** in gallons per day (gpd). Supporting calculations are required.
- 3 Estimated increase in **domestic** water usage in gallons per day (gpd). Supporting calculations are required. Domestic water usage is water usage which is not associated with landscape irrigation.

Note that fixture units are not an acceptable method for determining domestic water usage. Domestic water usage shall be determined by obtaining water billing data from similar businesses and scaling that usage in an appropriate manner. For example, restaurants should scale usage based on the ratio of the number of seats in the businesses. Retail stores should scale usage based on store areas.

- 4 Estimated increase in **combined** water usage in gallons per day (gpd). The increase in combined water usage is equal to the sum of **2** and **3**.
- 5 Total estimated project water usage in gallons per day (gpd). The total water usage is equal to the sum of **1** and **4**.
- 6 **Sewer Connection Fee:** Calculated as the estimated increase in domestic water usage **3** divided by the SERC value of 200 gpd, multiplied by the SERC connection charge of \$1360.00 (CCMC 12.03.030). This equates to **3** x \$6.80.
- 7 **Water Connection Fee:** Calculated as the estimated increase in combined (landscaping + domestic) water usage **4** divided by 2.22 X the WERC value of 550 gpd (2.22 X 550 gpd), multiplied by the WERC connection charge of \$1051.00 (CCMC 12.01.030). This equates to **4** x \$0.86.
- 8 **Total Connection Fees:** Calculated as the sum of **6 + 7**.

Definitions (CCMC 12.01.010 and 12.03.010):

- **Sewer Equivalent Residential Customer (SERC):** The average daily sewer system contribution for a residential unit at a discharge of two hundred (200) gallons per day.
- **Water Equivalent Residential Customer (WERC):** The average daily water usage of a residential unit based on a quantity of five hundred fifty (550) gallons per day.

Limitations to Use of this Worksheet:

- The estimated per unit connection fees included in the above calculations are based upon Carson City Municipal Code (CCMC) in effect at the time of preparation of this worksheet (Oct 2009). The actual connection fees due will be based on those fees established by CCMC as adopted by the Board of Supervisors in effect at the time of building permit application. Please contact the Engineering Division at 775-887-2300 to verify that you have the most current version of this worksheet.

City of Carson City UB Consumption History Report

Account #	Customer Service	Name	Mtr #	Cust Read Date	By	Bill#	Curr Read	Parcel	Usage	Rep1	Usage	Billed	Usage	Charge	Amt	Billed Amt	Status	Days
									47820	210885CARSON CITY HOLDINGS, LLC	00812339	1500	OLD HOT SPRINGS	CURREN	47820	648,48	3,129.03	34
UB1500	1 B	00034048599	A	07/18/2022		10219707	17,545	168	0	168		168		648,48	3,129.03	34		
UB1500	1 B	00034048599	A	06/14/2022		10200505	17,377	144	0	144		144		540,00	2,598.09	28		
UB1500	1 B	00034048599	A	05/17/2022		10181869	17,233	115	0	115		115		431,25	2,112.46	28		
UB1500	1 B	00034048599	A	04/19/2022		10163320	17,118	154	0	154		154		577,50	3,765.55	36		
UB1500	1 B	00034048599	A	03/14/2022		10144289	16,964	154	0	154		154		577,50	2,765.55	28		
UB1500	1 B	00034048599	A	02/14/2022		10125894	16,810	113	0	113		113		423,75	2,078.98	27		
UB1500	1 B	00034048599	A	01/18/2022		10107454	16,697	290	0	290		290		1,087,50	1,087,50	36		
UB1500	1 B	00034048599	A	12/13/2021		10088451	16,407	386	0	386		386		1,447,50	1,447,50	28		
UB1500	1 B	00034048599	A	11/15/2021		10070020	16,021	377	0	377		377		1,413,75	6,650.55	35		
UB1500	1 B	00034048599	A	10/11/2021		10051504	15,644	331	0	331		331		1,241,25	6,499.83	28		
UB1500	1 B	00034048599	A	09/13/2021		10032415	15,313	297	0	297		297		1,113,75	5,160.18	28		
UB1500	1 B	00034048599	A	08/16/2021		10014008	15,016	248	0	248		248		930,00	930,00	26		
UB1500	1 B	00034048599	A	07/21/2021		6249005	14,768	223	0	223		223		4,339,64	4,339,64	28		
UB1500	1 B	00034048599	A	06/23/2021		6249004	14,545	150	0	150		150		.00	.00	30		
UB1500	1 B	00034048599	A	05/24/2021		6249003	14,395	175	0	175		175		.00	.00	33		
UB1500	1 B	00034048599	A	04/21/2021		6249002	14,220	193	0	193		193		.00	.00	29		
UB1500	1 B	00034048599	A	03/23/2021		6249001	14,027	196	0	196		196		.00	.00	28		
UB1500	1 B	00034048599	A	02/23/2021		6249000	13,831	342	0	342		342		.00	.00	28		
UB1500	1 B	00034048599	A	01/26/2021		6248999	13,489	473	0	473		473		.00	.00	33		
UB1500	1 B	00034048599	A	12/24/2020		6248998	13,016	80	0	80		80		.00	.00	30		
UB1500	1 B	00034048599	A	11/24/2020		6248997	12,936	108	0	108		108		.00	.00	33		
UB1500	1 B	00034048599	A	10/22/2020		6248996	12,828	101	0	101		101		.00	.00	29		
UB1500	1 B	00034048599	A	09/23/2020		6248995	12,727	110	0	110		110		.00	.00	29		
UB1500	1 B	00034048599	A	08/25/2020		6248994	12,617	130	0	130		130		.00	.00	34		
UB1500	1 B	00034048599	A	07/22/2020		6248993	12,487	92	0	92		92		.00	.00	29		

City of Carson City

UB Consumption History Report

Account #	Service	Man	Meter #	Customer	Name	Ccd	Read Date	By	Bill#	Curr Read	Parcel	Location			Charge	Billed Amt	Status	Days	
												Usage	Rep1	Usage	Billed Usage	83	1500	OLD HOT SPRINGS	
47820					210885CARSON CITY HOLDINGS, LLC	006/23/2020	6248992	12,395	83	0								CURRENT	28
UB1500	1	B	00034048599	A	05/26/2020	6248991	12,312	56	0									.00	.00
UB1500	1	B	00034048599	A	04/22/2020	6248990	12,256	36	0									.00	.00
UB1500	1	B	00034048599	A	03/24/2020	6248989	12,220	57	0									.00	.00
UB1500	1	B	00034048599	A	02/25/2020	6248988	12,163	73	0									.00	.00
UB1500	1	B	00034048599	A	01/27/2020	6248987	12,090	95	0									.00	.00
UB1500	1	B	00034048599	A	12/24/2019	6248986	11,995	74	0									.00	.00
UB1500	1	B	00034048599	A	11/25/2019	6248985	11,921	88	0									.00	.00
UB1500	1	B	00034048599	A	10/23/2019	6248984	11,833	74	0									.00	.00
UB1500	1	B	00034048599	A	09/24/2019	6248983	11,759	77	0									.00	.00
UB1500	1	B	00034048599	A	08/26/2019	6248982	11,682	131	0									.00	.00
UB1500	1	B	00034048599	A	07/25/2019	6248981	11,551	126	0									.00	.00
UB1500	1	B	00034048599	A	06/25/2019	6248980	11,425	87	0									.00	.00
UB1500	1	B	00034048599	A	05/28/2019	6248979	11,338	106	0									.00	.00
UB1500	1	B	00034048599	A	04/24/2019	6248978	11,232	72	0									.00	.00
UB1500	1	B	00034048599	A	03/26/2019	6248977	11,160	74	0									.00	.00
UB1500	1	B	00034048599	A	02/25/2019	6248976	11,086	83	0									.00	.00
UB1500	1	B	00034048599	A	01/23/2019	6248975	11,003	69	0									.00	.00
UB1500	1	B	00034048599	A	12/24/2018	6248974	10,934	65	0									.00	.00
UB1500	1	B	00034048599	A	11/26/2018	6248973	10,869	74	0									.00	.00
UB1500	1	B	00034048599	A	10/24/2018	6248972	10,795	90	0									.00	.00
UB1500	1	B	00034048599	A	09/24/2018	6248971	10,705	143	0									.00	.00
UB1500	1	B	00034048599	A	08/22/2018	6248970	10,562	156	0									.00	.00
UB1500	1	B	00034048599	A	07/24/2018	6248969	10,406	154	0									.00	.00
UB1500	1	B	00034048599	A	06/25/2018	6248968	10,252	169	0									.00	.00
UB1500	1	B	00034048599	A	05/23/2018	6248967	10,083	96	0									.00	.00

City of Carson City UB Consumption History Report

Account #	Service	Name	Customer	Cd	Read date	By	Bill#	Curr Read	Parcel	Location			Charge	Status
										Usage	Repl	Usage	Billed	Ant
47820							210885CARSON CITY HOLDINGS, LLC	00812339		1500	OLD HOT SPRINGS		.00	CURREN
UB1500	1 B	00034048599	A	04/24/2018	6248966	9,987	93		0	93		.00	.00	29
UB1500	1 B	00034048599	A	03/26/2018	6248965	9,894	100		0	100		.00	.00	32
UB1500	1 B	00034048599	A	02/22/2018	6248964	9,794	87		0	87		.00	.00	30
UB1500	1 B	00034048599	A	01/23/2018	6248963	9,707	83		0	83		.00	.00	33
UB1500	1 B	00034048599	A	12/21/2017	6248962	9,624	74		0	74		.00	.00	29
UB1500	1 B	00034048599	A	11/22/2017	6248961	9,550	98		0	98		.00	.00	29
UB1500	1 B	00034048599	A	10/24/2017	6248960	9,452	101		0	101		.00	.00	29
UB1500	1 B	00034048599	A	09/25/2017	6248959	9,351	128		0	128		.00	.00	32
UB1500	1 B	00034048599	A	08/24/2017	6248958	9,223	136		0	136		.00	.00	30
UB1500	1 B	00034048599	A	07/25/2017	6248957	9,087	161		0	161		.00	.00	29
UB1500	1 B	00034048599	A	06/26/2017	6248956	8,926	196		0	196		.00	.00	34
UB1500	1 B	00034048599	A	05/23/2017	6248955	8,730	145		0	145		.00	.00	28
UB1500	1 B	00034048599	A	04/25/2017	6248954	8,585	126		0	126		.00	.00	33
UB1500	1 B	00034048599	A	03/23/2017	6248953	8,459	99		0	99		.00	.00	29
UB1500	1 B	00034048599	A	02/22/2017	6248952	8,360	86		0	86		.00	.00	29
UB1500	1 B	00034048599	A	01/24/2017	6248951	8,274	91		0	91		.00	.00	33
UB1500	1 B	00034048599	A	12/22/2016	6248950	8,183	78		0	78		.00	.00	30
UB1500	1 B	00034048599	A	11/23/2016	6248949	8,105	75		0	75		.00	.00	29
UB1500	1 B	00034048599	A	10/24/2016	6248948	8,030	133		0	133		.00	.00	32
UB1500	1 B	00034048599	A	09/22/2016	6248947	7,897	107		0	107		.00	.00	30
UB1500	1 B	00034048599	A	08/23/2016	6248946	7,790	106		0	106		.00	.00	29
UB1500	1 B	00034048599	A	07/25/2016	6248945	7,684	112		0	112		.00	.00	32
UB1500	1 B	00034048599	A	06/23/2016	6248944	7,572	121		0	121		.00	.00	31
UB1500	1 B	00034048599	A	05/23/2016	6248943	7,451	85		0	85		.00	.00	28
UB1500	1 B	00034048599	A	04/25/2016	6248942	7,366	69		0	69		.00	.00	32

City of Carson City UB Consumption History Report

Account #	Man	Meter #	Customer Name	cd	Read Date	By	Bill#	Curr Read	Parcel	Usage	Rep1	Usage	Billed Usage	Charge Amt	Billed Amt	Status	Days
47820			210885CARSON CITY HOLDINGS, LLC		00812339		58	0	1500 OLD SPRINGS				.00			CURREN	30
UB1500	1	B	00034048599	A	03/24/2016		6248941	7,297	62	0			.00				00
UB1500	1	B	00034048599	A	02/23/2016		6248940	7,239	62	0			.00				33
UB1500	1	B	00034048599	A	01/21/2016		6248939	7,177	50	0			.00				30
UB1500	1	B	00034048599	A	12/22/2015		6248938	7,127	49	0			.00				29
UB1500	1	B	00034048599	A	11/23/2015		6248937	7,078	69	0			.00				32
UB1500	1	B	00034048599	A	10/22/2015		6248936	7,009	76	0			.00				30
UB1500	1	B	00034048599	A	09/22/2015		6248935	6,933	80	0			.00				29
UB1500	1	B	00034048599	A	08/24/2015		6248934	6,853	102	0			.00				33
UB1500	1	B	00034048599	A	07/22/2015		6248933	6,751	83	0			.00				30
UB1500	1	B	00034048599	A	06/22/2015		6248932	6,668	88	0			.00				33
UB1500	1	B	00034048599	A	05/20/2015		6248931	6,580	79	0			.00				28
UB1500	1	B	00034048599	A	04/22/2015		6248930	6,501	75	0			.00				29
UB1500	1	B	00034048599	A	03/24/2015		6248929	6,426	153	0			.00				33
UB1500	1	B	00034048599	A	02/23/2015		6248928	6,273	88	0			.00				33
UB1500	1	B	00034048599	A	01/21/2015		6248927	6,185	62	0			.00				30
UB1500	1	B	00034048599	A	12/22/2014		6248926	6,123	32	0			.00				33
UB1500	1	B	00034048599	A	11/19/2014		6248925	6,091	27	0			.00				28
UB1500	1	B	00034048599	A	10/22/2014		6248924	6,064	45	0			.00				30
UB1500	1	B	00034048599	A	09/22/2014		6248923	6,019	46	0			.00				32
UB1500	1	B	00034048599	A	08/21/2014		6248922	5,973	40	0			.00				28
UB1500	1	B	00034048599	A	07/24/2014		6248921	5,933	118	0			.00				30
UB1500	1	B	00034048599	A	06/24/2014		6248920	5,815	138	0			.00				33
UB1500	1	B	00034048599	A	05/22/2014		6248919	5,677	31	0			.00				30
UB1500	1	B	00034048599	A	04/22/2014		6248918	5,646	34	0			.00				28
UB1500	1	B	00034048599	A	03/25/2014		6248917	5,612	19	0			.00				28
UB1500	1	B	00034048599	A	02/25/2014		6248916	5,593	33	0			.00				33

City of Carson City

UB Consumption History Report

Account #	Service	Man Meter #	Customer	Name	Cd Read	Date	By	Bill#	Parcel	Curr Read	Usage	Rep1	Usage	Billed Usage	Charge	Billed Amt	Status	Days
47820									00812339								CURREN	
UB1500	1 B	00034048599		210885CARSON CITY HOLDINGS, LLC	A 01/23/2014			6248915	5,560	63	0		63		.00			
UB1500	1 B	00034048599			A 12/23/2013			6248914	5,497	72	0		72		.00		31	
UB1500	1 B	00034048599			A 11/21/2013			6248913	5,425	35	0		35		.00		32	
UB1500	1 B	00034048599			A 10/24/2013			6248912	5,390	40	0		40		.00		28	
UB1500	1 B	00034048599			A 09/24/2013			6248911	5,350	63	0		63		.00		30	
UB1500	1 B	00034048599			A 08/22/2013			6248910	5,287	61	0		61		.00		33	
UB1500	1 B	00034048599			A 07/23/2013			6248909	5,226	64	0		64		.00		30	
UB1500	1 B	00034048599			A 06/24/2013			6248908	5,162	64	0		64		.00		29	
UB1500	1 B	00034048599			A 05/23/2013			6248907	5,098	55	0		55		.00		32	
UB1500	1 B	00034048599			A 04/24/2013			6248906	5,043	51	0		51		.00		29	
UB1500	1 B	00034048599			A 03/26/2013			6248905	4,992	41	0		41		.00		28	
UB1500	1 B	00034048599			A 02/26/2013			6248904	4,951	58	0		58		.00		34	
UB1500	1 B	00034048599			A 01/23/2013			6248903	4,893	49	0		49		.00		30	

** END OF REPORT - Generated by Tonya Petri **

Carson City Property Inquiry

● Property Information

Parcel ID	008-123-39	Parcel	5.9400
Tax Year	2022 ▾	Acreage	
Land Use	COM	Assessed	700,975
Group		Value	
Land Use	490 - Mixed Use with Commercial as Primary Use	Tax Rate	3.5700
Zoning	TC	Total Tax	\$21,947.27
Tax District	024	Fiscal Year	
Site Address	1500 OLD HOT SPRINGS RD 1496 OLD HOT SPRINGS RD 1520 OLD HOT SPRINGS RD POOL 1490 OLD HOT SPRINGS RD MOTEL 1510 OLD HOT SPRINGS RD	Total Unpaid	\$21,947.27
Neighborhood	Comm - College Parkway	All Years	
Public Notes	FIREPLACE, 30% SLAB FLOOR, LIVING ROOM, DINING AREA, 3 BEDROOMS, 1 BATH		

[Pay Taxes](#)

(20/21) 2 NEW POOLS, (21/22) NEW POOL, NEW PARKING LOT AND
WATER FEATURE

SHOWER BLDG: AVERAGE STORY HEIGHT: 12 FT 2 & 1/2 BATHS

RESTAURANT BLDG: AVERAGE STORY HEIGHT: 10 FT, PORCH

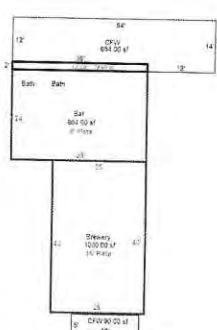
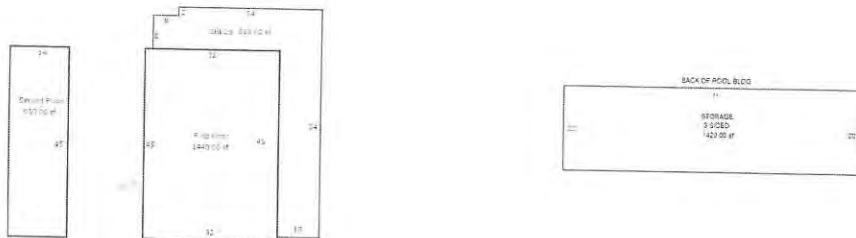
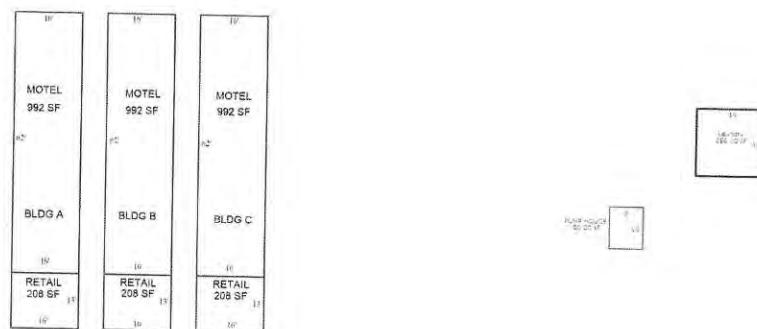
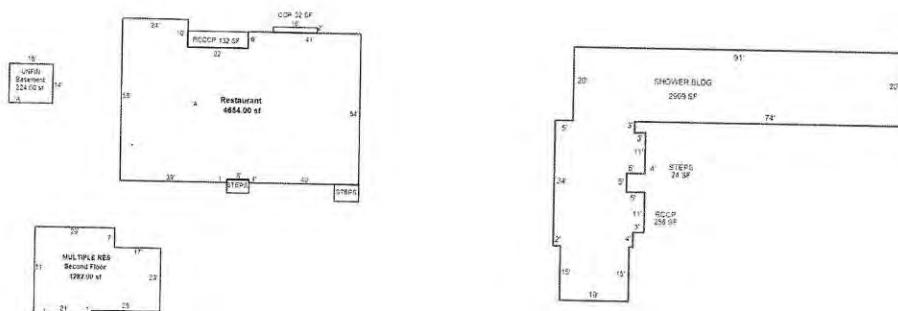
LAUNDROMAT BLDG: AVERAGE STORY HEIGHT: 8 FT

MOTEL BLDG 3A, 3B, 3C: AVERAGE STORY HEIGHT: 8 FT, ROOFED
PORCH

WAREHOUSE: AVERAGE STORY HEIGHT: 10FT

BREWERY: BAR, CUSTOMER SEATING AREA, MEN & WOMENS
BATHROOM, BREWERY TANKS, WALKIN COOLER, 100% COMPLETE
FOR 17/18

Sketches & Photos



Imported Image



Imported Image



⊕ Assessments

⊕ Assessor Descriptions

No Personal Exemptions

⊕ Billing Fiscal Year (2022 - 2023)

⊕ Payment History

⊕ Related Names

● Structure 1 of 18

Property Type	Description	Style	Total Floor Area	Year Built
RES	SINGLE FAMILY RES, BLDG #5	100% 1 1/2 Story Finished	2,070	1942
Accommodations				
Mobile Home				
# of Stories	0.00	DRS Length Style One	0.00	
# of Bedrooms	0.00	DRS Width Style One	0.00	
# of Bathrooms	0.00	DRS Length Style Two	0.00	
# of Bsmt Bedrooms	0.00	DRS Width Style Two	0.00	
# of Bsmt Bathrooms	0.00			
Exterior Walls				
Roofing		Frame, Siding, Wood	100 % of Total	
Wood Shingle	100 % of Total Floor Area		Floor Area	
Heating/Cooling				
Floor Cover		Floor Furnace	100 % of Total	
Automatic Floor Cover Allowance			Floor Area	
Built-In Appliances				
Plumbing Fixtures		Automatic Appliance Allowance		
Plumbing Fixtures	5 Number of Fixtures			
Subfloor				
Fireplaces		Slab on Grade	% of Total Floor	
Single 1-Story Fireplace	1 Number of Fireplaces	Raised Subfloor	Area	
			% of Total Floor	
			Area	
Porches, Decks, Breezeways				
Slab Porch with Roof	108 Porch Area			

– Structure 2 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SHOWER BLDG, BLDG #2		2,909	1928

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	2,909	94

Occupancies

Occupancy Group	Occupancy	Type	Class	Finished Area
Schools & Classrooms	Shower Building	Wood or Steel Framed Exterior Walls		2,909 Sq. Ft.

Heating, Cooling & Ventilation

Exterior Walls

Wall Furnace	100 % of Total Floor Area 2 Climate	Stud -Stucco	100 % of Exterior Wall
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– Structure 3 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	22% MULTI RES, 78% RESTAURANT, BLDG #1		5,936	1940

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
2	0	5,936	82

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Stores & Commercial Buildings	Restaurant	Wood or Steel Framed Exterior Walls	4,630 Sq. Ft.
Dwellings, Duplexes, Motels	Multiple Res (Low Rise)	Masonry Bearing Walls	1,306 Sq. Ft.
Stores & Commercial Buildings	Restaurant	Fireproof Structural Steel Frame	0 Sq. Ft.

Exterior Walls

Heating, Cooling & Ventilation

Default Walls	100 % of Exterior Wall	Warmed and Cooled Air	100 % of Total Floor Area 2 Climate
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● Structure 4 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	LAUNDROMAT, BLDG #4		256	1940

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	256	82

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Stores & Commercial Buildings	Laundromat	Wood or Steel Framed Exterior Walls	256 Sq. Ft.

Heating, Cooling & Ventilation

Wall Furnace	100 % of Total Floor Area 2 Climate	Stud Walls-Wood Siding	100 % of Exterior Wall
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● Structure 5 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	MOTEL, BLDG #3A		1,200	1954

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	1,200	68

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Dwellings, Duplexes, Motels	Extended Stay Motel	Wood or Steel Framed Exterior Walls	1,200 Sq. Ft.

Heating, Cooling & Ventilation

Wall Furnace	100 % of Total Floor Area 2 Climate	Stud Walls-Wood Siding	100 % of Exterior Wall
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● Structure 6 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	MOTEL, BLDG #3B		1,200	1954

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	1,200	68

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Dwellings, Duplexes, Motels	Extended Stay Motel	Wood or Steel Framed Exterior Walls	1,200 Sq. Ft.

Heating, Cooling & Ventilation

Wall Furnace	100 % of Total Floor Area 2 Climate	Stud Walls-Wood Siding	100 % of Exterior Wall
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● Structure 7 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	MOTEL, BLDG #3C		1,200	1954

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	1,200	68

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Dwellings, Duplexes, Motels	Extended Stay Motel	Wood or Steel Framed Exterior Walls	1,200 Sq. Ft.

Heating, Cooling & Ventilation

Wall Furnace	100 % of Total Floor Area 2 Climate	Stud Walls-Wood Siding	100 % of Exterior Wall
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● Structure 8 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	WAREHOUSE, BLDG #6		1,420	1990

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	1,420	32

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Garages, Industrials & Warehouses	Storage Warehouse	Wood or Steel Framed Exterior Walls	1,420 Sq. Ft.

Heating, Cooling & Ventilation

No HVAC	100 % of Total Floor Area 2 Climate	Single -Metal on Steel Frame	100 % of Exterior Wall
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● Structure 9 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #7		NA	NA

Categories

CONCRETE OPEN	32 Square Ft.
PORCH-RESIDENCE	Year Built: 1942
FLATWORK-	783 Square Ft.
CONCRETE 3" (0-999SF)	Year Built: 1942
SHED-FRAME	828 Square Ft.
	Year Built: 1942
STEPS-CONCRETE	20 Linear Ft.
	Year Built: 1942
WALL-CONCRETE	30 Square Ft.
RETAINING	Year Built: 1942
WD FENCE CEDAR	2 Linear Ft.
WHOLLY OWNED	Year Built: 1942

● Structure 10 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #4		NA	NA
Miscellaneous				
SMALL SHED AND PUMP HOUSE	80 Square Ft. Year Built: 1940	CONC COVERED PORCH-COMMERCIAL	108 Square Ft. Year Built: 1954	
		FLATWORK-CONCRETE 3" (0-999SF)	144 Square Ft. Year Built: 1954	
		STEPS-CONCRETE	54 Linear Ft. Year Built: 1954	
		WD FENCE CEDAR WHOLLY OWNED	3 Linear Ft. Year Built: 1954	

● Structure 11 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #9		NA	NA
Categories				
CONC COVERED CEILED PORCH-COMMERCIAL	72 Square Ft. Year Built: 2016			
FLATWORK-CONCRETE 3" (0-999SF)	774 Square Ft. Year Built: 2016			

● Structure 12 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #6		NA	NA

Categories

FLATWORK-CONCRETE 3" (0-999SF)	531 Square Ft. Year Built: 1940
SHED-FRAME	80 Square Ft. Year Built: 1940
WALL-STONE/SF	255 Square Ft. Year Built: 1940

● Structure 13 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #1		NA	NA

Categories

CONC COVERED	32 Square Ft.
PORCH- COMMERCIAL	Year Built: 1940
CURB-CONCRETE LIN FT	664 Square Ft. Year Built: 1940
FLATWORK- CONCRETE 3" LRG (1000-2999SF)	1,255 Square Ft. Year Built: 1940
PARKING SPACES- LOW	29 Per Space Year Built: 2019
PARKING SPACES- LOW	59 Per Space Year Built: 1940
RECESSED CONC COVERED CEILED PORCH-COM	148 Square Ft. Year Built: 1940
SPLIT RAIL FENCE-2 RAILS	300 Linear Ft. Year Built: 1940
SPRINKLERS- COMMERCIAL X 1 (+2000 SF)	1 Quantity Year Built: 1940
STAIRWAY-WOOD	1 Quantity Year Built: 1940
STEPS-CONCRETE	86 Linear Ft. Year Built: 1940

● Structure 14 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #8		NA	NA

Categories

FLATWORK-
CONCRETE 3" (0-
999SF) 420 Square Ft.
Year Built: 1990

● Structure 15 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #3		NA	NA

Categories

CONC COVERED 108 Square Ft.
PORCH-
COMMERCIAL Year Built: 1954

CURB-CONCRETE 100 Square Ft.
LIN FT Year Built: 1954

FLATWORK-
CONCRETE 3" (0-
999SF) 144 Square Ft.
Year Built: 1954

STEPS-CONCRETE 54 Linear Ft.
Year Built: 1954

WD FENCE CEDAR 3 Linear Ft.
WHOLLY OWNED Year Built: 1954

● Structure 16 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	SITE IMPROVEMENTS #2		NA	NA

Categories

CHAIN LINK FENCE-6'	72 Linear Ft.
	Year Built: 1928
FLATWORK BRICK N SAND VLRG (3000- 5000SF)	4,900 Square Ft.
	Year Built: 2020
FLATWORK- COLORED CONCRETE	3,333 Square Ft.
	Year Built: 1928
FLATWORK- CONCRETE 3" (0- 999SF)	670 Square Ft.
	Year Built: 1928
JACCUZI DET IN GROUND	10 Quantity
	Year Built: 1928
PATIO COVER-METAL	81 Square Ft.
	Year Built: 2021
RECESSED CONC COVERED CEILED PORCH-COM	25 Square Ft.
	Year Built: 1928
SWIMMING POOL- 1,000	1 Quantity
	Year Built: 1928
SWIMMING POOL-300	1 Quantity
	Year Built: 2019
SWIMMING POOL-300	1 Quantity
	Year Built: 2020
SWIMMING POOL-650	1 Quantity
	Year Built: 2019
WALL-CONC BLK 8"	1,739 Square Ft.
	Year Built: 2020
WATERFALL AND POND-GOOD	1 Quantity
	Year Built: 2020
WD FENCE CEDAR WHOLLY OWNED	4 Linear Ft.
	Year Built: 1928

● Structure 17 of 18

Property Type	Description	Style	Total Floor Area	Year Built
COM	BAR/BREWERY #9		1,864	2014

Section 1

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	864	8

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Stores & Commercial Buildings	Bar/Tavern	Wood or Steel Framed Exterior Walls	864 Sq. Ft.

Heating, Cooling & Ventilation

Complete HVAC	100 % of Total Floor Area 2 Climate	Stud -Hardboard Sheet	100 % of Exterior Wall
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Section 2

Section Information

Stories Per Section	Stories Per Building	Area	Effective Age
1	0	1,000	8

Occupancies

Occupancy Group	Occupancy Type	Class	Finished Area
Stores & Commercial Buildings	Bar/Tavern	Wood or Steel Framed Exterior Walls	1,000 Sq. Ft.

Heating, Cooling & Ventilation

Complete HVAC	100 % of Total Floor Area 2 Climate	Stud -Hardboard Sheet	100 % of Exterior Wall
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● Structure 18 of 18

Property Type	Description	Style	Total Floor Area	Year Built
RES	SITE IMPROVEMENTS #5	100% One Story	NA	NA
Categories				
FLATWORK- CONCRETE 3" (0- 999SF)	144 Square Ft. Year Built: 1954			
STEPS-CONCRETE	54 Linear Ft. Year Built: 1954			
WD FENCE CEDAR WHOLLY OWNED	3 Quantity Year Built: 1954			

● Sales History

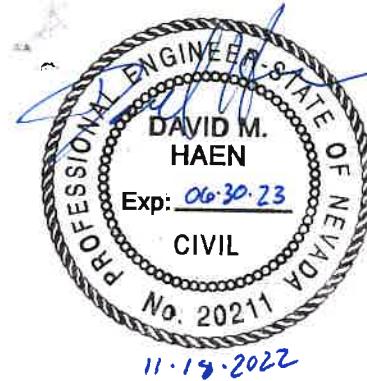
No Genealogy Information

● Taxing Entities



November 18, 2022

Christopher Gonzales, P.E.
Carson City Community Development
108 E. Proctor Street
Carson City, Nevada 89701



Subject: Carson City Holdings, LLC – Tree Brewery Micro-Brewery & Tasting Room – Trip Generation Letter

Dear Christopher:

This letter contains the findings of our trip generation review of the improvement plans for Carson City Holdings, LLC to construct a private Micro-Brewery & Tasting Room on the Tree Brewery property at 1500 Old Hot Springs Rd in Carson City, Nevada. An existing metal building on the property is planned for remodel to house a micro-brewery and a 10-12 seat 250 square foot tasting room. There are 6 proposed parking spots (one handicap) as part of this project.

A traffic engineering study is required if the proposed development generates eighty (80) or more peak hour trips and/or five hundred (500) or more trips per day. Trip Generation calculations are based on the Tenth Edition of ITE Trip Generation (2017). This national manual is the most respected source of trip generation data but it only provides limited information on this specialized land use. The ITE calculation sheets are attached for the ITE land use #970 Winery. That was the most representative published data. We calculated the trips based on the square footage of the area available to the public 1,200 sf including the 250 square foot tasting room. To be conservative we used the graphs for a Saturday that produces the highest traffic counts from the available tables. Table 1 shows the trip generation summary.

Table 1 Trip Generation		
Winery	ADT	Peak Hour
1,200 sf (250 sf 10-12 seats tasting room)	307.3	58.7

As shown in the table all the average daily and peak hour totals are below the thresholds triggering the need for a full traffic study. Actual trips generated from the brewery are expected to be significantly less since the tasting room is scheduled to be used on a limited basis or by appointment.

We trust this information will be helpful to you. Please contact us if you have any questions or comments.

Best regards,
Resource Concepts Inc

David Haen, P.E.
Enclosures

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Land Use: 970

Winery

Description

A winery is a property used primarily for the production of wine. Wineries typically include tasting room facilities and may offer special events such as weddings or parties. Wineries often offer complimentary tours and wine tasting. Visitors also may purchase wine or wine-related products.

Additional Data

For the purposes of this land use, the independent variable "1,000 sq. foot gross floor area" refers to the square footage of the building that houses the tasting room.

Time-of-day distribution data for this land use for a weekday, Friday, Saturday, and Sunday are presented in Appendix A. For the sites with weekday, Saturday, and Sunday data, the overall highest vehicle volumes during the PM were counted between 1:45 and 2:45 p.m. For the sites with Friday data, the PM peak hour was between 4:00 and 5:00 p.m. For all four days, the AM peak hour was between 11:45 a.m. and 12:45 p.m.

The sites were surveyed in the 2010s in California, Illinois, and Virginia.

Source Numbers

807, 851, 894

Winery (970)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday

Setting/Location: Rural

Number of Studies: 10

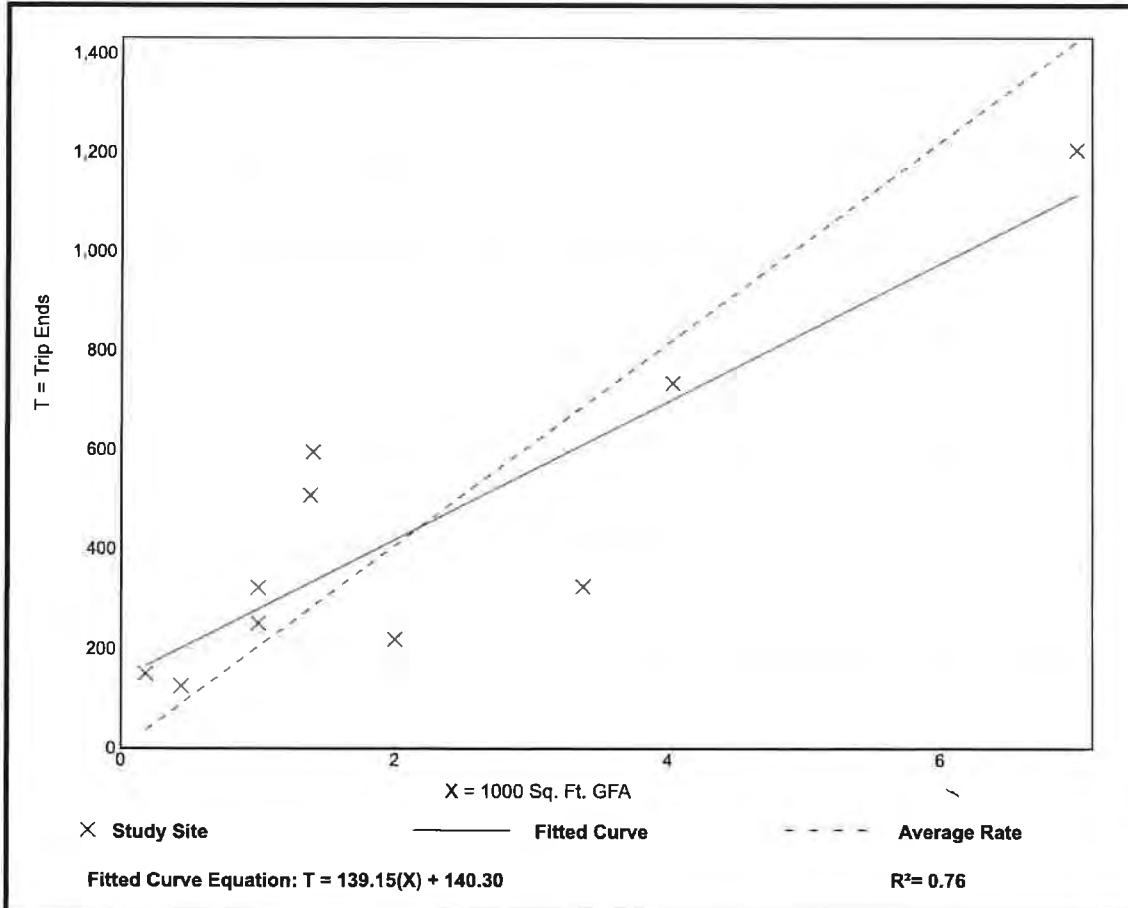
1000 Sq. Ft. GFA: 2

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
203.48	96.59 - 833.33	115.48

Data Plot and Equation



Winery (970)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: Rural
Number of Studies: 10
1000 Sq. Ft. GFA: 2
Directional Distribution: 47% entering, 53% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
36.50	19.50 - 183.33	22.58

Data Plot and Equation

