

APN:

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Recorded 5/1/2023 11:33 AM

Requested By: CARSON CITY CLERK
TO THE BOARD

Carson City - NV

William "Scott" Hoen Clerk-Recorder

Pg 1 of 39 Fee: \$0.00

Recorded By: CM

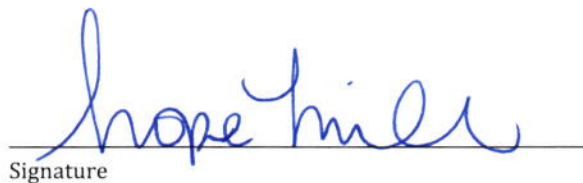
FOR RECORDER'S USE ONLY

RESOLUTION NO. 2023-R-8

Adopting a provisional order to amend the ordinance establishing the
Downtown Neighborhood Improvement District ("DNID") under NRS Chapter
271, and reporting the City Engineer's estimated Fiscal Year 2024 assessment
roll for the DNID

☐ I, the undersigned, hereby affirm that the attached document, including any exhibits, hereby
submitted for recording does not contain personal information of any person or persons.
(NRS 239B.030)

☐ I, the undersigned, hereby affirm that the attached document, including any exhibits, hereby
submitted for recording does contain personal information of a person or persons as required by
law. State specific law: _____


Signature

Hope Mills- Chief Deputy Clerk
Print Name & Title

WHEN RECORDED MAIL TO:

Carson City
885 E. Musser Street, suite 1032
Carson City, NV 89701

RESOLUTION NO. 2023-R-8

A RESOLUTION REPORTING THE CITY ENGINEER'S ESTIMATED FISCAL YEAR 2024 ASSESSMENT ROLL FOR THE DOWNTOWN NEIGHBORHOOD IMPROVEMENT DISTRICT; IDENTIFYING THE COST TO BE PAID BY THE DOWNTOWN NEIGHBORHOOD IMPROVEMENT DISTRICT FOR THE PURPOSE OF PAYING FOR MAINTENANCE OF THE DOWNTOWN STREETScape ENHANCEMENT PROJECT; DIRECTING CITY STAFF TO FILE THE ASSESSMENT ROLL WITH THE CLERK'S OFFICE; FIXING THE TIME AND PLACE TO HEAR COMPLAINTS, PROTESTS AND OBJECTIONS REGARDING THE ASSESSMENT; DIRECTING CITY STAFF TO PROVIDE NOTICE OF THE PUBLIC HEARINGS PURSUANT TO NRS CHAPTER 271; AND ADOPTING A PROVISIONAL ORDER TO DIRECT THE AMENDMENT OF THE ORDINANCE ESTABLISHING THE DOWNTOWN NEIGHBORHOOD IMPROVEMENT DISTRICT.

WHEREAS, the Board of Supervisors adopted Ordinance No. 2016-1 creating the Downtown Neighborhood Improvement District ("DNID") on January 7, 2016, to help pay for the ongoing maintenance of the street beautification project known as the Downtown Streetscape Enhancement Project, and that ordinance provides for the baseline property assessment as well as other requirements in accordance with NRS Chapter 271; and

WHEREAS, NRS 271.280 establishes the procedures to amend a Neighborhood Improvement District ordinance by provisional order of the Board of Supervisors and the Board of Supervisors desires to amend the ordinance establishing the DNID; and

WHEREAS, NRS 271.375 requires the City Engineer to report the DNID Assessment Roll to the Board of Supervisors prior to adopting the Assessment Roll; and

WHEREAS, NRS 271.325 and 271.375 require the Board of Supervisors to file the City Engineer's Assessment Roll with the Clerk's office; and

WHEREAS, NRS 271.305, 271.310 and 271.380 require the adoption of a resolution to fix the time and place to hear complaints, protests and objections regarding the assessment and order notice of that public hearing.

NOW, THEREFORE, the Board of Supervisors hereby resolves that:

Annual Assessments

1. The base DNID assessment for Fiscal Year ("FY") 2024 is \$77,597.
2. The estimated assessment to be paid by the DNID property owners in FY 2024 for the purpose of paying for maintenance of the Downtown Streetscape Enhancement Project is \$48,604, based on a reduction in the assessment of \$28,993 from the base assessment amount, which

represents the City's FY 2024 contribution for the maintenance of the rights-of-way in the DNID, and estimates the corresponding FY 2024 DNID assessment roll for each property within the DNID to be in those amounts as set forth in EXHIBIT B, attached;

3. City staff shall file the City Engineer's Assessment Roll with the Clerk's office;

4. A hearing of complaints, protests and objections will be held on May 18, 2023, at the regularly scheduled meeting of the Board of Supervisors beginning at 8:30 a.m., at 851 East William Street, Carson City, Nevada; and

5. City staff shall publish and provide notice of the public hearing in accordance with NRS 271.380 and 271.390, including the provision of notice to each owner of property located within the DNID.

Amendment of DNID Ordinance

1. This provisional order directs staff to bring an ordinance amending Ordinance No. 2016-1, the ordinance that established the DNID, before the Board of Supervisors on May 18, 2023, in accordance with the provisions of NRS Chapter 271 and this resolution. The ordinance provisions must include substantially the following provisions. The boundaries of the DNID are as described in Exhibit A.

2. The total maintenance costs for the DNID for FY 2024 are \$105,950. The City's contribution to the DNID is \$28,993. The amount to be assessed to property owners within the DNID in FY 2024 is \$48,604. This amount will be distributed among the properties within the DNID based on the frontage of the properties to the Downtown Streetscape Enhancement Project. Those properties that directly front the Downtown Streetscape Enhancement Project improvements are assessed at a 100 percent assessment rate, and properties that are elsewhere within the DNID, including those properties that are located on a side or adjacent street, are assessed at a 75 percent rate. All properties within the DNID that are zoned exclusively residential, including private homes and all private residences included within a mixed-use property, will be excluded from the DNID and the resulting DNID assessments. The DNID assessment roll, which sets forth the assessment for each property within the DNID, is attached as Exhibit B.

3. The DNID expenditures for each year must be equal to the actual projected maintenance cost for the DNID. Expenditures, including maintenance costs, and revenues must be projected each year for at least five years, and maintenance costs must include projections for any periodic maintenance that does not occur annually. The expenditures must include amounts set aside for any periodic maintenance that occurs once every two years or more to avoid sudden increases in the annual assessment when such maintenance is scheduled to occur. A reserve account must be maintained to provide a buffer against sudden increases in expenditures and annual assessments. In FY 2024, the required reserve amount must be equal to 20 percent of the average annual expenditures over five years. The required reserve amount must increase to 30 percent in FY 2025 and following years. The percentage or amount required to be maintained in a reserve account may be changed by the Board of Supervisors not more than once a year during the process to set the annual assessment. The roll-forward amounts for periodic maintenance may not be designated as

part of the reserve account.

4. The assessment must be equal to the expenditures for the DNID, including the actual projected maintenance cost for the DNID, plus additional amounts necessary to maintain or establish the roll-forward accounts and reserve accounts and pay any administrative fees and other incurred costs, less the City's contribution to the DNID. The City's contribution to the DNID will increase or decrease in the same manner as provided for the annual assessment. Unless otherwise approved by the Board of Supervisors, the City's contribution will not increase if the board of any nonprofit association administering the DNID or 66 and 2/3 percent or more of the property owners in the DNID specifically request an increase in the amount of the assessment. Once the required reserve account balance has been reached, the assessment must be adjusted to an amount designed to maintain the required reserve account balance. If the expenditures in any given year exceed the assessed amount plus any available reserve account balance and the City incurs the cost to meet contractual maintenance obligations, the assessment must be increased the following year to reimburse the City for those additional maintenance expenditures and replenish the reserve account. The total expenditures of the DNID must not in any event increase more than five percent on a year-over-year basis, unless otherwise approved by the Board of Supervisors or requested by the board of any nonprofit association administering the DNID or 66 and 2/3 percent or more of the property owners in the DNID.

5. The DNID assessment must be paid by each property owner in conjunction with the owner's property taxes for the year, divided into quarterly payments. Penalties and interest for delinquent amounts will be calculated in the same manner as for real property taxes. The assessment amount shall constitute a lien upon an assessed property and have the same priority as a lien for property taxes.

6. The City shall prepare the annual assessment estimate to be considered by the Board of Supervisors in conformance with the requirements of NRS Chapter 271. After the assessment is confirmed, the Clerk's Office must submit the list of parcel numbers and the assessed amount for each property to the Carson City Treasurer. The Treasurer is authorized to reduce or waive the amount for good cause pursuant to NRS 361.483 and NRS 361.4835;

7. In conjunction with any nonprofit association administering the DNID, the City shall itemize and document any alleged increased maintenance costs, which may include actual costs of maintenance or the cost of contracting the maintenance to a private company, as applicable.

8. The City has established a procedure for obtaining a hardship determination based on a property owner's ability to pay the assessment pursuant to NRS 271.357.

9. The Project improvements that are to be maintained through the DNID assessment are shown in Exhibit C.

10. The Project improvements will be maintained in accordance with the maintenance plans described in Exhibit D.

11. The assessments to be made upon all parcels benefited by the project as described in this resolution are hereby declared to be proportional to the benefits received.

12. A hearing will be held on May 18, 2023, at the regularly scheduled meeting of the Board of Supervisors beginning at 8:30 a.m., at 851 East William Street, Carson City, Nevada. At the hearing, owners of tracts to be assessed, or any other interested persons, may appear before the Board of Supervisors to present any complaints, protests and objections and to be heard as to the propriety and advisability of amending the DNID ordinance.

13. This resolution provisionally amending the DNID ordinance must be furnished to the Clerk-Recorder and filed, recorded and numbered in the office of the Clerk-Recorder.

14. City staff shall publish and provide notice of the public hearing in accordance with NRS 271.305, including the provision of notice to each owner of property located within the DNID.

15. The officers and employees of Carson City are hereby authorized and directed to take all action necessary or appropriate to effectuate the provisions of this resolution.

Upon motion by Supervisor Lisa Schuette, seconded by Supervisor Stacey Giomi, the foregoing resolution was passed and adopted this 20th day of April 2023 by the following vote:

AYES: Supervisor Stacey Giomi
Supervisor Maurice White
Supervisor Curtis Horton
Supervisor Lisa Schuette
Mayor Lori Bagwell

NAYES: None

ABSENT: None

ABSTAIN: None

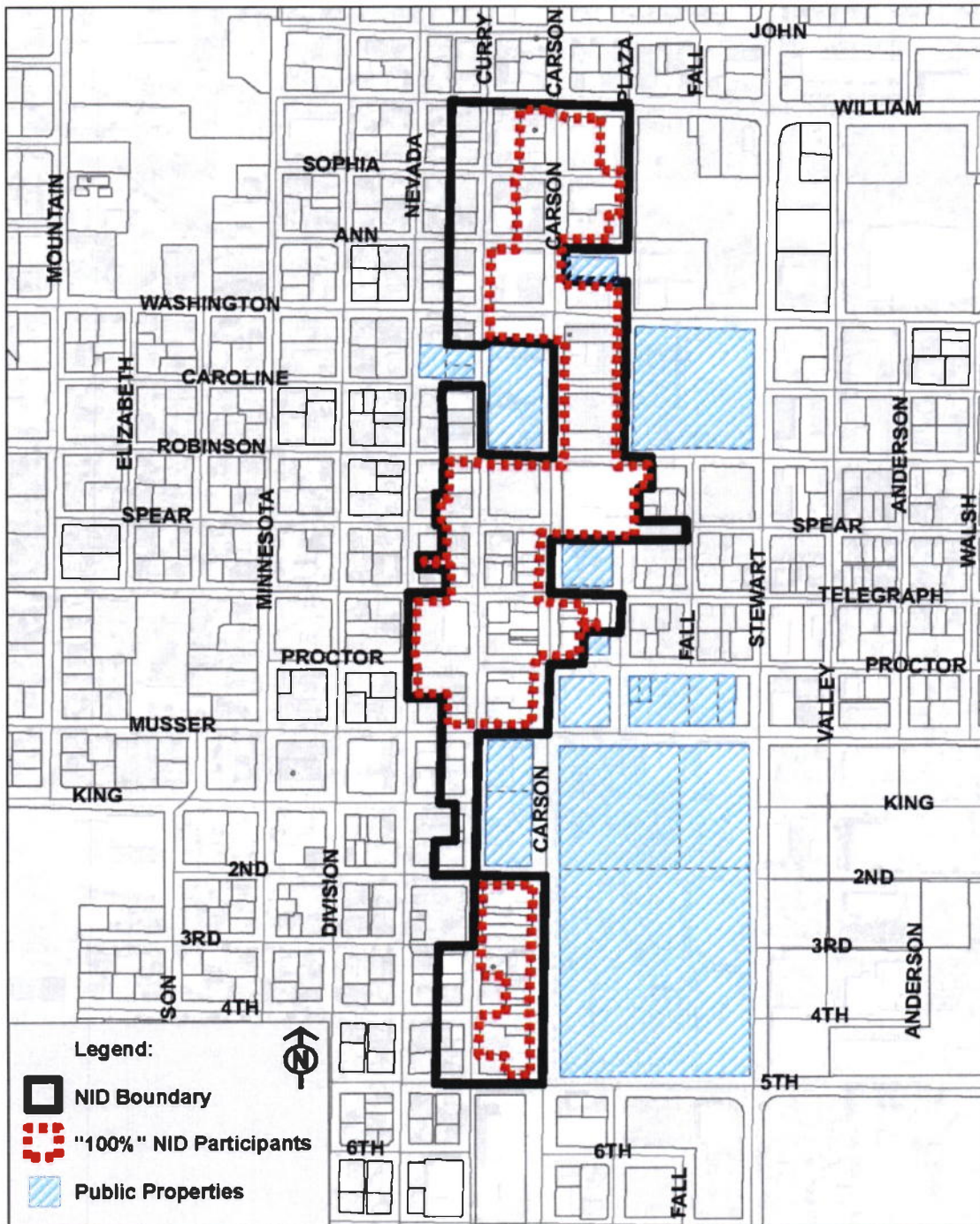

Lori Bagwell, Mayor
Carson City, Nevada

ATTEST:

William Scott Hoen, Clerk-Recorder

**DOWNTOWN
NEIGHBORHOOD IMPROVEMENT DISTRICT**

EXHIBIT A

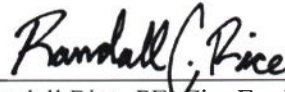


Downtown Neighborhood Improvement District
FY 2024
City Engineer's Assessment Roll

State of Nevada }
 }
County of Carson City }

To the Board of Supervisors of Carson City, Nevada:

I hereby certify and report that the foregoing is the assessment roll and assessments made by me for the purpose of paying that part of the cost which you decided should be paid and borne by special assessment for the Downtown Neighborhood Improvement District for the maintenance of the Downtown Streetscape Enhancement Project; that in making such assessments, I have, as near as may be, and according to my best judgement, conformed in all things to the provisions of Chapter 271 of NRS.



Randall Rice, PE, City Engineer

Dated at Carson City, Nevada, April 11, 2023.

				Non-Res. Bldg size	Specia Benefit Factor	% total bldg size	Assessment \$
WEST SIDE OF CARSON ST				2,259	100%	0.50%	244
<u>W WILLIAMS AND N CARSON</u>	00118499	1020 N CARSON ST	HEIDI'S DUTCH MILL	0	100%	0.00%	-
	00118407	1020 N CARSON ST	ROSENTHAL, DONALD M ET AL	1,500	100%	0.33%	162
<u>SOPHIA AND N CARSON</u>	00118408	1000 N CARSON ST	TERVEER, JOHN & BELL, MICHELLE	516	100%	0.11%	56
	00118802	922 N CARSON STREET	BROGISH LLC	2,100	100%	0.47%	226
<u>ANN AND N CARSON</u>	00118804	900 N CARSON STREET	BROOKS, BENTLEY Y & MONICA	37,838	100%	8.39%	4,080
	00119401	800 N CARSON STREET	MAFFI, JOE ROBERT	19,927	100%	4.42%	2,149
<u>W WASHINGTON AND N CARSON</u>	00328304	716 N CARSON ST	KAPLAN FAMILY TRUST	0	100%	0.00%	-
<u>W ROBINSON AND N CARSON</u>	00322301	500 N CARSON ST	ADAMS CARSON LLC	5,439	100%	1.21%	586
<u>W SPEAR AND N CARSON</u>	00322402	420 N CARSON ST	NORTHERN NV COMSTOCK INV LLC	2,552	100%	0.57%	275
	00322403	410 N CARSON ST	DOUGLASS DEVELOPMENT LLC	2,769	100%	0.61%	299
<u>W TELEGRAPH AND N CARSON</u>	00322404	408 N CARSON ST	CHANEY, EUGENE FAM LIMITED PART	5,951	100%	1.32%	642
	00322409	402 N CARSON ST	CHANEY, EUGENE FAM LIMITED PART	2,690	100%	0.60%	290
<u>W PROCTOR AND N CARSON</u>	00322902	320 N CARSON ST	320 NORTH CARSON STREET LLC	13,441	100%	2.98%	1,449
	00322903	318 N CARSON ST	COLE, JEFFREY N & DENISE M	1,020	100%	0.23%	110
<u>SECOND AND S CARSON</u>	00322904	310 N CARSON ST	SCHMIDT, MARK & KIMBERLY TRUST	1,275	100%	0.28%	137
	00322905	308 N CARSON ST	SCHMIDT, MARK & KIMBERLY TRUST	2,053	100%	0.46%	221
<u>THIRD AND S CARSON</u>	00322906	306 N CARSON ST	ADAMS 302 CARSON LLC	8,748	100%	1.94%	943
	00322907	302 N CARSON ST	ADAMS 302 CARSON LLC	8,390	100%	1.86%	905
<u>FOURTH AND S CARSON</u>	00321301	111 W PROCTOR ST	CARSON INCUBATOR I LLC	11,519	100%	2.56%	1,242
	00321302	206 N CARSON ST	WARREN, RICHARD & WARREN, DC TR	9,426	100%	2.09%	1,016
<u>THIRD AND S CARSON</u>	00321303	202 N CARSON ST	KNASIAK, JAMES W & BETTY TRUST	10,243	100%	2.27%	1,104
	00311206	123 W SECOND ST	LOPICCOLO FAMILY 1998 TRUST	1,924	100%	0.43%	207
<u>THIRD AND S CARSON</u>	00311203	210 S CARSON ST	BODIE NEVADA TRUST 12/27/11	5,746	100%	1.27%	620
	00311204	217 S CURRY ST	MERCURY CLEANERS INC	5,685	100%	1.26%	613
<u>THIRD AND S CARSON</u>	00311205	224 S CARSON ST	LOPICCOLO FAMILY 1998 TRUST	12,906	100%	2.86%	1,392
	00311309	310 S CARSON ST	LOPICCOLO INVESTMENTS LLC	0	100%	0.00%	-
<u>FOURTH AND S CARSON</u>	00311310	S CARSON ST	BERNARD LLC	2,890	100%	0.64%	312
	00311311	312 S CARSON ST	BERNARD LLC	1,925	100%	0.43%	208
<u>FOURTH AND S CARSON</u>	00311312	314 S CARSON ST	BERNARD LLC	0	100%	0.00%	-
	00311602	400 S CARSON ST	BORTOLIN LLC	4,208	100%	0.93%	454
<u>FOURTH AND S CARSON</u>	00311601	410 S CARSON ST	BORTOLIN LLC	2,180	100%	0.48%	235
	00311605	418 S CARSON ST	NEVADA BUILDERS ALLIANCE	1,653	100%	0.37%	178
EAST SIDE OF CARSON ST				31,890	100%	7.07%	3,439
<u>E WILLIAMS AND N CARSON</u>	00216503	1017 N CARSON ST	MAPP ENTERPRISES, INC	0	100%	0.00%	-
<u>SOPHIA AND N CARSON</u>	00216502	917 N CARSON ST	B P HOTEL, LLC	10,531	100%	2.34%	1,136
	00216501	901 N CARSON STREET	B P HOTEL, LLC	739	100%	0.16%	80
<u>ANN AND N CARSON</u>	00216402	801 N CARSON ST	CAPITAL CITY FLATS LLC	1,731	100%	0.38%	187
<u>E WASHINGTON AND N CARSON</u>	00426101	113 E WASHINGTON ST	CARSON LODGE #1 - MASONIC LODGE	0	100%	0.00%	-
<u>EAST CAROLINE AND N CARSON</u>	00426102	705 N CARSON ST	LAMKIN, ROBERT L & ROBERTA J	0	100%	0.00%	-
	00426301	617 N CARSON ST	ADAMS CARSON LLC				

FY 2024 Downtown Neighborhood Improvement District Maintenance Engineer's Assessment Roll

EXHIBIT B

<u>E ROBINSON AND N CARSON</u>	00426302	601 N CARSON ST	PARDINI FAMILY PROPERTIES LLC	3,920	100%	3,920	0.87%	\$	423
	00421111	507 N CARSON ST	ADAMS CARSON LLC	79,378	100%	79,378	17.61%	\$	8,559
	00421402	E SPEAR ST	ADAMS CARSON LLC	0	100%	-	0.00%	\$	-
	00421503	319 N CARSON ST	DAVIS / BENTHAM LLC	4,320	100%	4,320	0.96%	\$	466
<u>E TELEGRAPH AND N CARSON</u>	00421504	315 N CARSON ST	YAPLE, JON M AND JEANNE	1,958	100%	1,958	0.43%	\$	211
	00421508	311 N CARSON ST	JOHNSON, THOMAS Y AND LINDA E	7,644	100%	7,644	1.70%	\$	824
	00421506	301 N CARSON ST	JOHNSON FAMILY REV TR 1/31/92	9,282	100%	9,282	2.06%	\$	1,001
CURRY STREET FRONTAGE - EAST									
<u>W WILLIAM AND N CURRY</u>	00118409	1007 N CURRY STREET	NDBT PROPERTIES LLC	4,506	75%	3,380	0.75%	\$	364
	00118801	115 W SOPHIA	BROGISH LLC	0	75%	-	0.00%	\$	-
	00118803	110 W ANN	PROPERTY MANAGEMENT, CARSON CITY	0	75%	-	0.00%	\$	-
	00322401	411 N CURRY ST	NORTHERN NEVADA COMSTOCK INVEST	9,467	100%	9,467	2.10%	\$	1,021
<u>SPEAR AND N CURRY</u>	00322407	407 N CURRY ST	OLD GLOBE SALOON INC	1,641	100%	1,641	0.36%	\$	177
	00322406	110 W TELEGRAPH ST	JONES, K & M TRUST	6,160	100%	6,160	1.37%	\$	664
	00322408	108 W TELEGRAPH ST	CROWELL ENTERPRISES INC	2,311	100%	2,311	0.51%	\$	249
	00322901	111 W TELEGRAPH ST	BRUUN-ANDERSEN FAMILY EST TRUST	11,019	100%	11,019	2.44%	\$	1,188
<u>THIRD AND N CURRY</u>	00311315	S CURRY / THIRD	LOPICCOLO INVESTMENTS LLC	1,080	100%	1,080	0.24%	\$	116
	00311399	W THIRD ST	LOPICCOLO INVESTMENTS LLC	0	100%	-	0.00%	\$	-
	00311313	110 W FOURTH ST	BERNARD LLC	1,456	75%	1,092	0.24%	\$	118
	00311314	309 S CURRY ST	BERNARD LLC	0	75%	-	0.00%	\$	-
<u>W FOURTH AND N CURRY</u>	00311606	114 W FIFTH ST	NEVADA BUILDERS ALLIANCE	0	75%	-	0.00%	\$	-
	00118302	1012 N CURRY ST	SHEERIN, MARY J & SHEERIN, ETAL	0	75%	-	0.00%	\$	-
	00118304	1008 N CURRY ST	FOUR WINDS, LLC	924	75%	693	0.15%	\$	75
	00118306	1002 N CURRY ST	LORENZ, ALLEN R TRUST 1/19/07	2,053	75%	1,540	0.34%	\$	166
<u>SOPHIA AND N CURRY</u>	00118707	910 N CURRY ST	C & A INVESTMENTS LLC	0	75%	-	0.00%	\$	-
	00118705	904 N CURRY ST	T C J ENTERPRISES LLC	936	75%	702	0.16%	\$	76
	00119302	812 N CURRY ST	ADAMS 800 N CURRY LLC	0	75%	-	0.00%	\$	-
	00119305	808 N CURRY ST	ADAMS 800 N CURRY LLC	0	75%	-	0.00%	\$	-
<u>ANN AND N CURRY</u>	00119306	802 N CURRY ST	ADAMS 800 N CURRY LLC	0	75%	-	0.00%	\$	-
	00328202	714 N CURRY ST	MKR VENTURES LLC	1,433	75%	1,075	0.24%	\$	116
	00328203	710 N CURRY ST	GRAVES, BRANDI & JONES, LINDSEY	1,250	75%	938	0.21%	\$	101
	00328502	201 W CAROLINE ST	CARSON HEIGHTS LLC	11,684	75%	8,763	1.94%	\$	945
<u>W CAROLINE AND N CURRY</u>	00328503	N CURRY ST	CARSON HEIGHTS LLC	0	75%	-	0.00%	\$	-
	00328504	602 N CURRY ST	CHIM MARK H K & MARILYN M	2,446	75%	1,835	0.41%	\$	198
	00322202	512 N CURRY ST	KLETTE S & M E FAMILY TRUST	713	100%	713	0.16%	\$	77
	00322203	508 N CURRY ST	RPJ NV LLC	2,448	100%	2,448	0.54%	\$	264
<u>W ROBINSON AND N CURRY</u>	00322204	204 W SPEAR ST	BENGOCHEA LLC	3,307	100%	3,307	0.73%	\$	357
	00322510	412 N CURRY ST	CAIN GARY	528	100%	528	0.12%	\$	57
	00322503	402 N CURRY ST	PRUETT FAMILY TRUST 6/10/04	2,297	100%	2,297	0.51%	\$	248
	00322506	405 N NEVADA ST	PRUETT FAMILY TRUST	1,309	100%	1,309	0.29%	\$	141
<u>W SPEAR AND N CURRY</u>	00322506	405 N NEVADA ST	ADAMS 308 N CURRY LLC	21,826	100%	21,777	4.83%	\$	2,348
	00322802	308 N CURRY ST	ADAMS 308 N CURRY LLC	0	100%	-	0.00%	\$	-
	00321206	234 N CURRY ST	ADAMS 308 N CURRY LLC	1,853	100%	1,853	0.41%	\$	200
	00321203	208 N CURRY ST	PLATINUM QUAIL LLC SERIES A						

FY 2024 Downtown Neighborhood Improvement District Maintenance Engineer's Assessment Roll

EXHIBIT B

<u>W MUSSEY AND N CURRY</u>	00321204	206 N CURRY ST	CC CONCIERGE LLC	1,333	100%	1,333	0.30%	\$	144
	00321205	202 N CURRY ST	WARREN, RICHARD AND WARREN DC TR	1,242	100%	1,242	0.28%	\$	134
	00321502	112 N CURRY ST	CURRY MUSSEY PROCTOR & GREEN LLC	1,303	75%	977	0.22%	\$	105
	00321504	102 N CURRY ST	NEVADA PRESS FOUNDATION	3,541	75%	2,656	0.59%	\$	286
	00321710	201 W KING ST	201 W KING STREET LLC	2,788	75%	2,091	0.46%	\$	225
<u>W KING AND N CURRY</u>	00321711	106 S CURRY ST	JOOST, KAREN	954	75%	716	0.16%	\$	77
	00321713	110 S CURRY ST	SUMMO, DONALD W & EILENE H TR	1,123	75%	842	0.19%	\$	91
<u>W SECOND AND S CURRY</u>	00311401	300 S CURRY ST	SIERRA NV ASSOC OF REALTORS INC	5,528	75%	4,146	0.92%	\$	447
	00311403	314 S CURRY ST	SIERRA NV ASSOC OF REALTORS INC	0	75%	-	0.00%	\$	-
	00311404	310 S CURRY ST	BROWN, RANDY J INVESTMENTS LLC	1,419	75%	1,064	0.24%	\$	115
<u>W FOURTH AND S CURRY</u>	00311503	201 W FOURTH ST	BROWN, RANDY J INVESTMENTS LLC	0	75%	-	0.00%	\$	-
	00311505	202 W FIFTH ST	LANGSON, DON K	0	75%	-	0.00%	\$	-
	00311502	205 W FOURTH ST	BROWN, RANDY J INVESTMENTS LLC	0	75%	-	0.00%	\$	-
PLAZA STREET FRONTAGE									
<u>WILLIAMS AND PLAZA</u> <u>SOPHIA AND PLAZA</u> <u>E TELEGRAPH AND PLAZA</u>	00216504	1000 N PLAZA STREET	M & M BIGUE INVESTMENTS LLC	5,239	75%	3,929	0.87%	\$	424
	00216505	110 E ANN STREET	SALAS, ANGELICA	2,465	75%	1,849	0.41%	\$	199
	00421502	107 E TELEGRAPH	T.L.A.C.P., LLC	2,150	75%	1,613	0.36%	\$	174
	00421501	111 E TELEGRAPH	WONG FAMILY TRUST 11/22/97	2,948	75%	2,211	0.49%	\$	238
Total				464,847		450,761	100%	\$	48,604

2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS

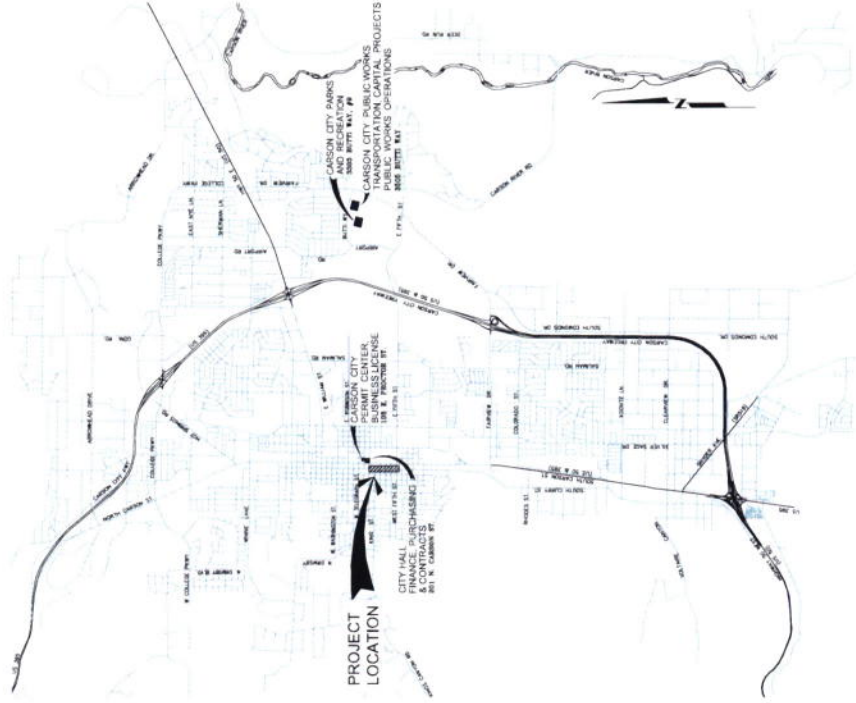
CARSON CITY, NEVADA
PROJECT NO. P751020001

BOARD OF SUPERVISORS

Lori Bagwell Mayor
Stacey Glomi Supervisor
Maurice White Supervisor
Stan Jones Supervisor
Lisa Schuette Supervisor
Aubrey Rowlett City Clerk

DESIGNED FOR:

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTE WAY NV 89701
CARSON CITY, NV 89701
(775) 887-2355



VICINITY MAP
N.T.S.

SHEET INDEX

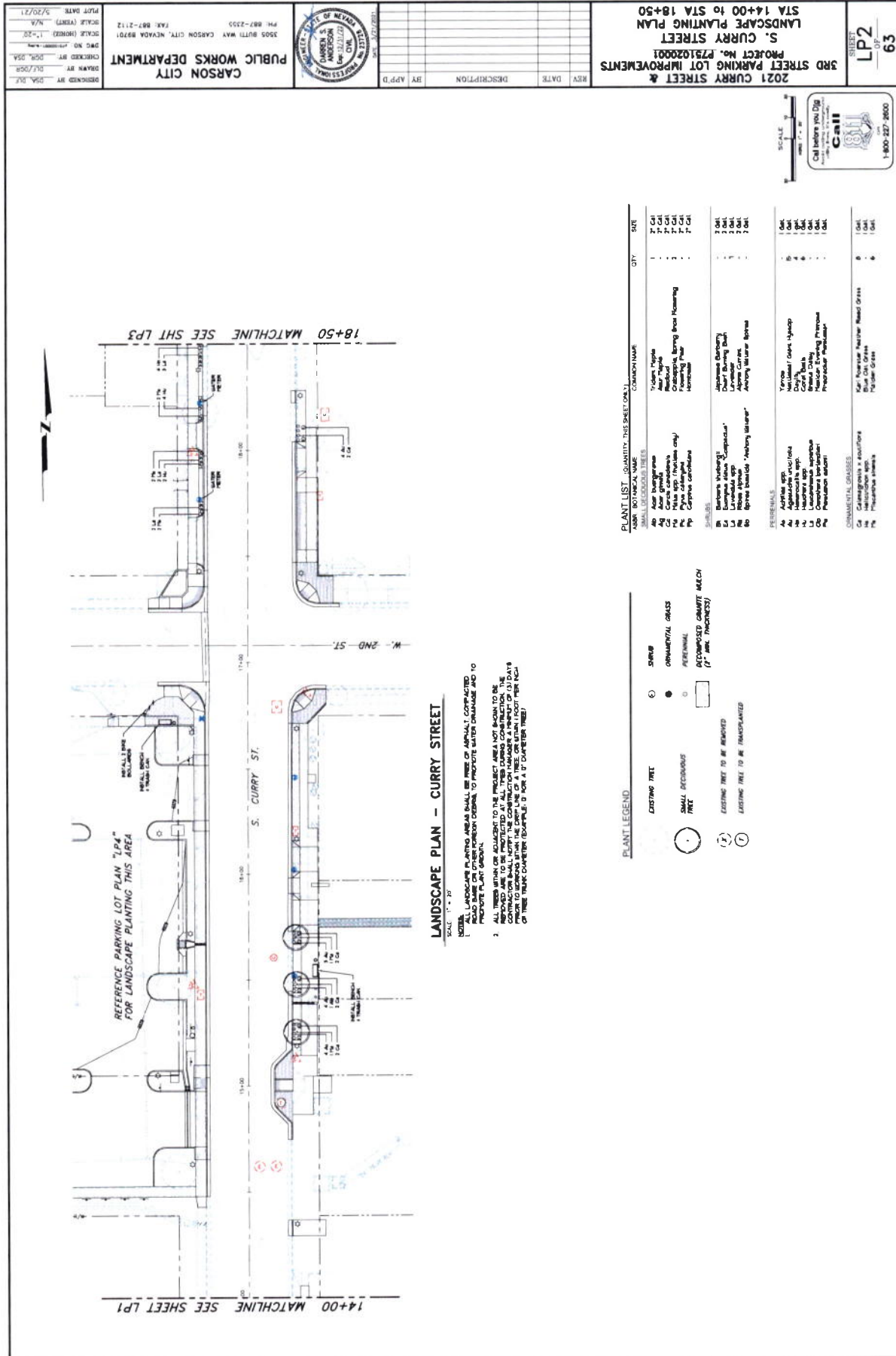
NO.	TITLE
G1	TITLE SHEET
G2	GENERAL CONSTRUCTION NOTES
G3	NOTES, LEGEND & ABBREVIATIONS
G4	SURVEY CONTROL PLAN
G5	HORIZONTAL CONTROL PLAN
G6	STORMWATER POLLUTION PREVENTION PLAN
G7-G9	CURRY STREET - DEMOLITION PLAN
G10	3RD STREET PARKING LOT - DEMOLITION PLAN
C1-C3	CURRY STREET - SITE LAYOUT PLAN
C4-C8	CURRY STREET - SITE GRADING PLAN
C9	3RD STREET PARKING LOT - SITE PLAN
C10-C11	3RD STREET PARKING LOT SITE GRADING PLAN
C12	ENLARGED PLAN VIEW SOUTHEAST DRIVEWAY GRADING
C13	L.I.D. INFILTRATION GALLERY SITE PLAN & DETAILS
U1-U73	CURRY STREET - UTILITY IMPROVEMENTS
D1-D5	CONSTRUCTION DETAILS
E0-E11	ELECTRICAL PLANS
NV1-NV4	NV ENERGY - ELECTRICAL PLANS
CS1-CS3	CURRY STREET SIGNING & STRIPING PLAN
CS4	3RD STREET PARKING LOT SIGNING & STRIPING PLAN
CS5	SIGNING & STRIPING DETAILS
LP0	LANDSCAPE & IRRIGATION NOTES
LP1-LP4	LANDSCAPE PLANTING PLANS
UI-U4	LANDSCAPE IRRIGATION PLANS
LD1-LD2	LANDSCAPE / IRRIGATION DETAILS



EXHIBIT C

DESIGNED BY: JDA/2/16 CHECKED BY: JDA/2/16 DATE: 02/16/2021 SCALE: AS SHOWN SHEET: 63 OF 63 PROJECT: 2021 CURRY STREET & 3RD STREET PARKING LOT IMPROVEMENTS PROJECT NO.: P751020001 CURRY STREET & 3RD STREET PARKING LOT TITLE SHEET		PUBLIC WORKS DEPARTMENT CARSON CITY 3505 BUTTE WAY CARSON CITY, NEVADA 89701 FAX: 887-2355 12/29/21
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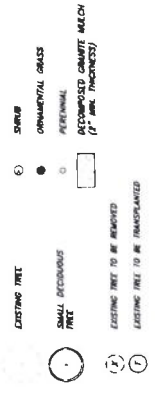
CONFORMED FOR CONSTRUCTION



LANDSCAPE PLAN - CURRY STREET

- SCALE: 1" = 10'
1. ALL LANDSCAPE PLANTING AREAS SHALL BE FREE OF ANNUAL COMPACTED SOILS, GRAVEL, OR OTHER UNDESIRABLE MATERIALS. ALL PLANTING SHALL BE PROTECTED BY A 4" DIA. PLANT GUARD.
 2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT ADJACENT TO THE EXISTING CURB SHALL BE PROTECTED BY A 4" DIA. PLANT GUARD. ALL TREES WITHIN OR ADJACENT TO THE EXISTING CURB SHALL BE PROTECTED BY A 4" DIA. PLANT GUARD. ALL TREES WITHIN OR ADJACENT TO THE EXISTING CURB SHALL BE PROTECTED BY A 4" DIA. PLANT GUARD.

PLANT LEGEND



PLANT LIST - QUANTITY THIS SHEET ONLY

NAME	BOTANICAL NAME	COMMON NAME	QTY	SIZE
SMALL DECIDUOUS TREES				
1	Amelanchier	Amelanchier	1	7' Cal
2	Amelanchier	Amelanchier	1	7' Cal
3	Amelanchier	Amelanchier	1	7' Cal
4	Amelanchier	Amelanchier	1	7' Cal
5	Amelanchier	Amelanchier	1	7' Cal
6	Amelanchier	Amelanchier	1	7' Cal
7	Amelanchier	Amelanchier	1	7' Cal
8	Amelanchier	Amelanchier	1	7' Cal
9	Amelanchier	Amelanchier	1	7' Cal
10	Amelanchier	Amelanchier	1	7' Cal
PERENNIALS				
1	Agrostis	Agrostis	1	6" Cal
2	Agrostis	Agrostis	1	6" Cal
3	Agrostis	Agrostis	1	6" Cal
4	Agrostis	Agrostis	1	6" Cal
5	Agrostis	Agrostis	1	6" Cal
6	Agrostis	Agrostis	1	6" Cal
7	Agrostis	Agrostis	1	6" Cal
8	Agrostis	Agrostis	1	6" Cal
9	Agrostis	Agrostis	1	6" Cal
10	Agrostis	Agrostis	1	6" Cal
ORNAMENTAL GRASSES				
1	Agrostis	Agrostis	1	6" Cal
2	Agrostis	Agrostis	1	6" Cal
3	Agrostis	Agrostis	1	6" Cal
4	Agrostis	Agrostis	1	6" Cal
5	Agrostis	Agrostis	1	6" Cal
6	Agrostis	Agrostis	1	6" Cal
7	Agrostis	Agrostis	1	6" Cal
8	Agrostis	Agrostis	1	6" Cal
9	Agrostis	Agrostis	1	6" Cal
10	Agrostis	Agrostis	1	6" Cal

3RD STREET PARKING LOT IMPROVEMENTS

2021 CURRY STREET & LANDSCAPE PLANTING PLAN

PROJECT NO. 7731020001

STA 14+00 TO STA 18+50

63

LP2

STREET

CARSON CITY PUBLIC WORKS DEPARTMENT

3505 BUTTE WAY CARSON CITY, NEVADA 89201

PH: 887-2255 FAX: 887-2112

PLANT DATE: 5/20/21

SCALE (INCHES): 1"=20'

CHECKED BY: RSL/2021

DESIGNED BY: RSL/2021

DATE: 5/20/21

STATE OF NEVADA

LANDSCAPE ARCHITECT

CHARLES W. ANDERSON

REGISTERED PROFESSIONAL

NO. 12720

REV

DATE

DESCRIPTION

BY

APP'D

[illegible]

1. ALL LANDSCAPE PLANTING SHALL BE FREE OF ASPHALT, COMPACTED ROAD BASE OR OTHER POROUS MEDIA, TO PREVENT WATER DRAINAGE AND TO PREVENT PLANT GROWTH.

2. ALL TREES WITHIN OR ADJACENT TO THE PROJECT AREA NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER A MINIMUM OF 15 DAYS PRIOR TO REMOVING WITH THE DISE LINE OF A TREE, OR WITHIN 1 FOOT PER INCH OF THEIR TRUNK DIAMETER (EXAMPLE: 6" FOR A 1" DIAMETER TREE).

[illegible]

	EXISTING TREE		SHRUB
	SMALL DECIDUOUS TREE		PETIOLE
			RECOMPOSED GRANITE MASON (* MIN. THICKNESS)
	EXISTING TREE TO BE REMOVED		
	EXISTING TREE TO BE TRANSPLANTED		

**CARSON CITY, NEVADA - SECTION 17, T15N, R20E
PROJECT P303520002**

<i>Robert L. Crowell</i>	<i>Mayor</i>
<i>Stacey Gioni</i>	<i>Supervisor</i>
<i>Brad Bonkowski</i>	<i>Supervisor</i>
<i>Lori Bagwell</i>	<i>Supervisor</i>
<i>John Barrette</i>	<i>Supervisor</i>
<i>Aubrey Rowlett</i>	<i>City Clerk</i>

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTI WAY
CARSON CITY, NV 89701
(775) 887-2355



SHEET INDEX	
G1	TITLE SHEET
G2	LEGEND, ABBREVIATIONS & NOTES
G3	GENERAL CONSTRUCTION NOTES
G4	HORIZONTAL AND VERTICAL CONTROL PLAN
C1	SITE LAYOUT PLAN
C2	SITE GRADING PLAN
C3-C4	UTILITY PLANS & PROFILES
C5	SIGNING & STRIPING PLAN
D1-D4	CONSTRUCTION DETAILS
L1-L6	LANDSCAPE & IRRIGATION PLANS
E1-E3	ELECTRICAL PLANS

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TELEGRAPH STREET
RECONSTRUCTION PROJECT
PROJECT NO. P303620002
EAST TELEGRAPH ST
ENLARGED LANDSCAPE PLANS
PLANTERS A & B

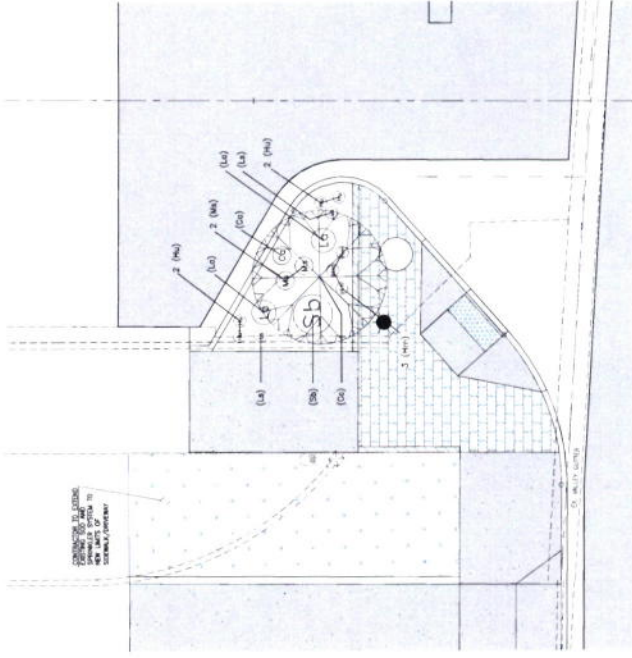


CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BURT WAY CARSON CITY, NEVADA 89701
PH 887-2355 FAX 887-2112

DESIGNED BY DGA, LV
CHECKED BY DGA, NV
DATE 05/05/2011
SCALE (HORIZ) 1"=5'
SCALE (VERT) 1"=5'
SHEET DATE 11/27/11



PLANTER C ENLARGED PLAN
SCALE 1" = 5'



PLANTERS B ENLARGED PLAN
SCALE 1" = 5'

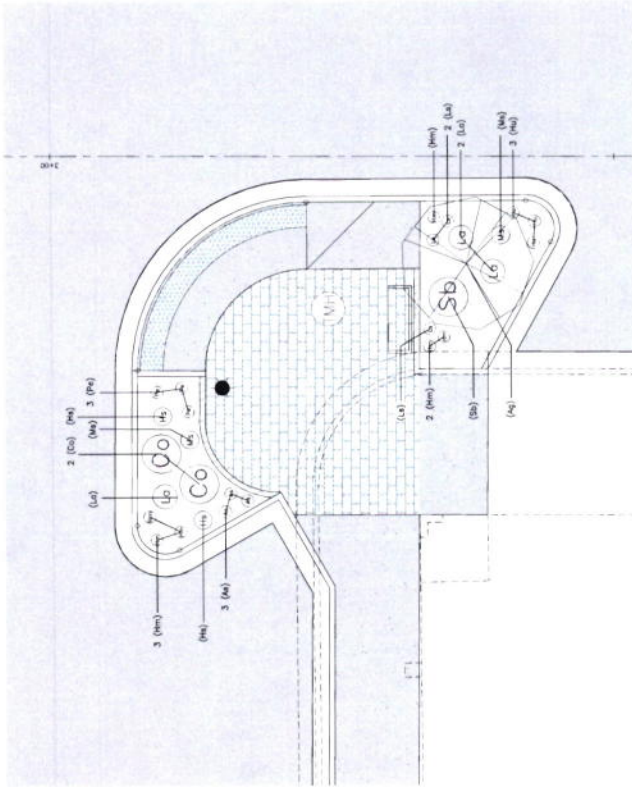
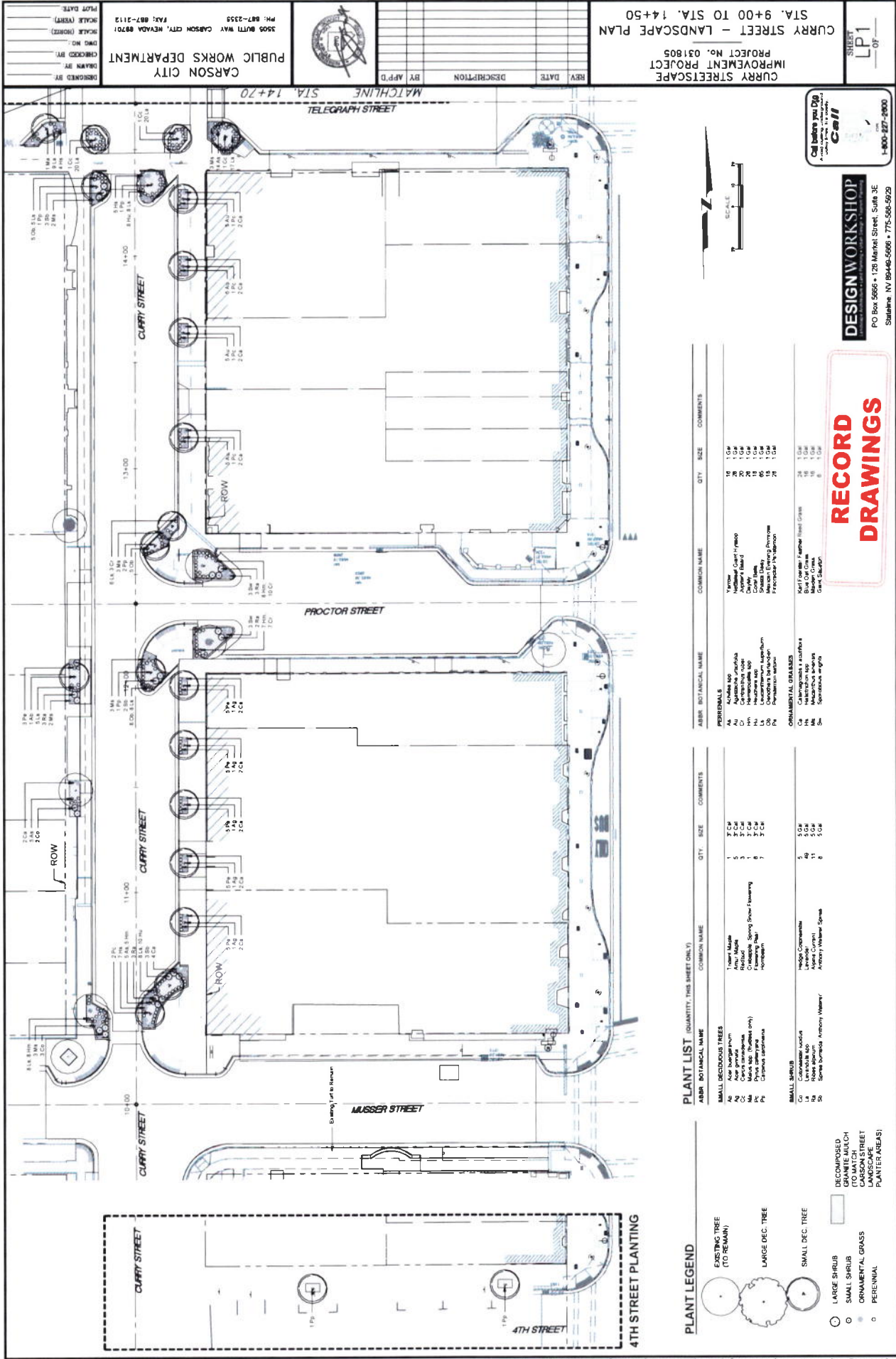
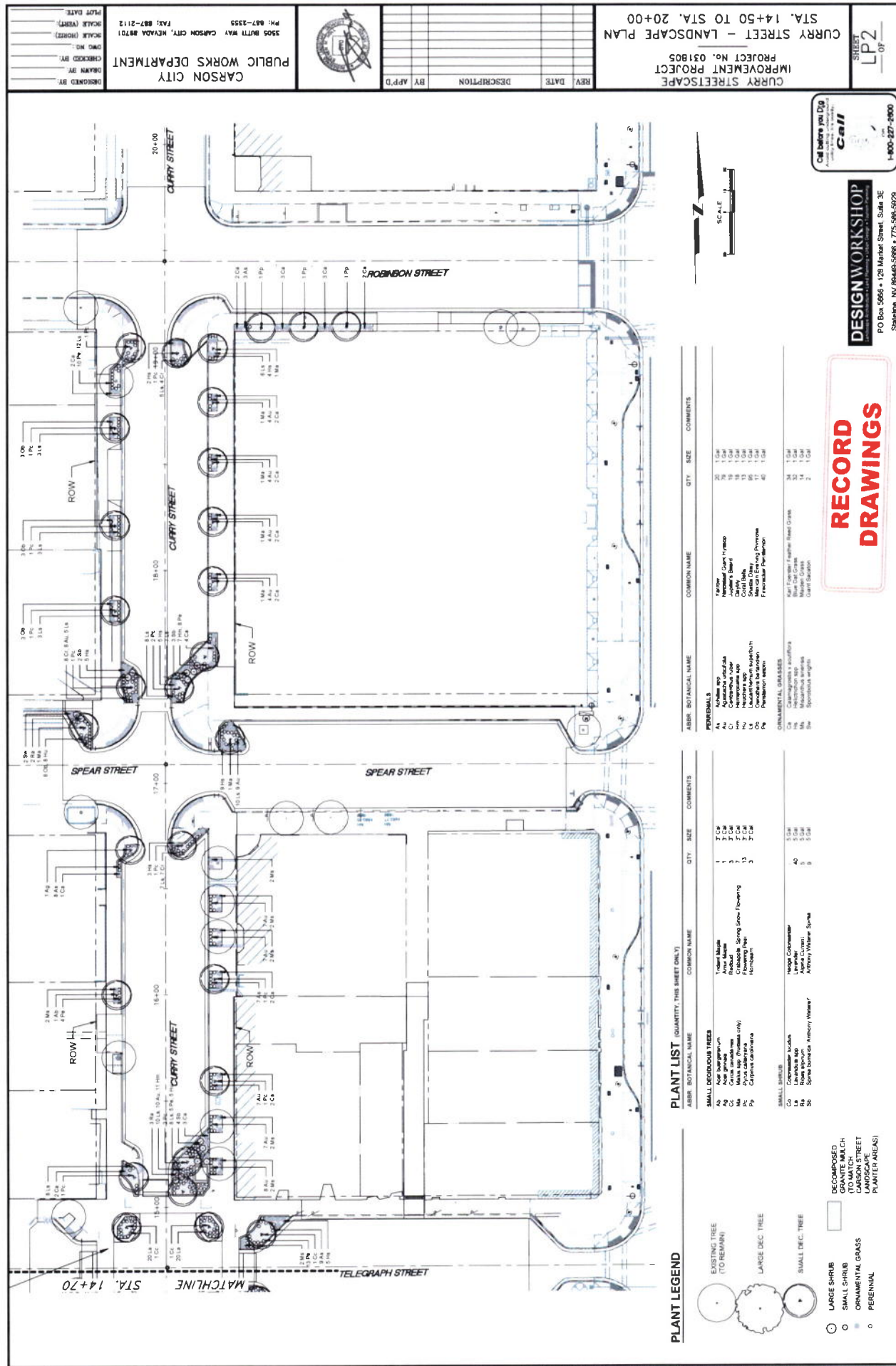
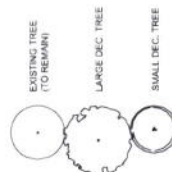


EXHIBIT C





PLANT LEGEND



EXISTING TREE
(TO REMAIN)

LARGE DEC. TREE

SMALL DEC. TREE

LARGE SHRUB

SMALL SHRUB

ORNAMENTAL GRASS

PERENNIAL

DECOMPOSED
GRANITE MATCH
TO MATCH
LANDSCAPE
PLANTER AREAS

PLANT LIST (QUANTITY THIS SHEET ONLY)

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
SMALL DECIDUOUS TREES					
A1	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A2	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A3	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A4	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A5	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A6	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A7	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A8	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A9	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A10	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A11	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A12	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A13	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A14	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A15	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A16	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A17	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A18	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A19	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A20	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A21	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A22	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A23	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A24	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A25	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A26	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A27	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A28	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A30	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A31	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A32	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A35	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A38	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A39	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A40	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A41	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A42	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A43	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A44	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A45	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A46	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A47	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A48	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A49	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A50	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A51	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A52	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A53	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A54	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A56	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A57	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A58	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A59	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A60	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A61	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A62	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A63	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A64	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A65	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A66	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A67	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A68	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A69	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A70	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A71	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A72	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A73	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A74	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A75	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A76	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A77	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A78	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A79	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A80	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A81	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A82	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A83	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A84	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A85	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A91	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
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A94	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A95	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A96	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A97	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A98	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A99	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	
A100	<i>Acacia saligna</i>	Acacia Saligna	1	3" Ca	

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
PERENNIALS					
P1	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	20	1" Ca	
P2	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	19	1" Ca	
P3	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	18	1" Ca	
P4	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	17	1" Ca	
P5	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	16	1" Ca	
P6	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	15	1" Ca	
P7	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	14	1" Ca	
P8	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	13	1" Ca	
P9	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	12	1" Ca	
P10	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	11	1" Ca	
P11	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	10	1" Ca	
P12	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	9	1" Ca	
P13	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	8	1" Ca	
P14	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	7	1" Ca	
P15	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	6	1" Ca	
P16	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	5	1" Ca	
P17	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	4	1" Ca	
P18	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	3	1" Ca	
P19	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	2	1" Ca	
P20	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	1	1" Ca	
ORNAMENTAL GRASSES					
O1	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	34	1" Ca	
O2	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	33	1" Ca	
O3	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	32	1" Ca	
O4	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	31	1" Ca	
O5	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	30	1" Ca	
O6	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	29	1" Ca	
O7	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	28	1" Ca	
O8	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	27	1" Ca	
O9	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	26	1" Ca	
O10	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	25	1" Ca	
O11	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	24	1" Ca	
O12	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	23	1" Ca	
O13	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	22	1" Ca	
O14	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	21	1" Ca	
O15	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	20	1" Ca	
O16	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	19	1" Ca	
O17	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	18	1" Ca	
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O23	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	12	1" Ca	
O24	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	11	1" Ca	
O25	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	10	1" Ca	
O26	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	9	1" Ca	
O27	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	8	1" Ca	
O28	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	7	1" Ca	
O29	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	6	1" Ca	
O30	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	5	1" Ca	
O31	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	4	1" Ca	
O32	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	3	1" Ca	
O33	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	2	1" Ca	
O34	<i>Asplenium platyneuron</i>	Asplenium Platyneuron	1	1" Ca	

**RECORD
DRAWINGS**

DESIGNWORKSHOP
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Seattle, WA 98148-5866 • 775-588-9929

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CURRY STREETSCAPE
IMPROVEMENT PROJECT
PROJECT NO. 031805
STA. 14+50 TO STA. 20+00



CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTE WAY CARSON CITY, NEVADA 89701
PH: 867-3555 FAX: 867-2112
DESIGNED BY: [blank]
CHECKED BY: [blank]
SCALE (HORIZ): [blank]
SCALE (VERT): [blank]
PLOT DATE: [blank]

REV.	DATE	DESCRIPTION	BY	APP'D.

RECORD DRAWING

LEADERSHIP OF RESEARCH OR CONSTRUCTION PROJECTS
CAPABILITY, EXPERIENCE, OR COMPETENCE
CONSTRUCTION PROJECTS

Bob Crowell	Mayor
Karen Abowd	Supervisor
Brad Bonkowski	Supervisor
Lori Bagwell	Supervisor
Jim Shirk	Supervisor
Susan Merriwether	City Clerk

CARSON CITY PUBLIC WORKS DEPARTMENT
3505 BUTTE WAY
CARSON CITY, NV 89701
887-2355

ALL WORK SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (SSMPC) AND THE "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" (SSMPC) AS ADOPTED BY CARSON CITY. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR PUBLIC WORKS CONSTRUCTION FROM THE CARSON CITY PERMIT CENTER PRIOR TO THE START OF CONSTRUCTION.

ALL TRAFFIC CONTROL AND BARRICADING WITHIN THE CARSON CITY RIGHT-OF-WAY SHALL COMPLY TO SECTION 100.3.1, 332.04 AND 332.05 OF THE STANDARD SPECIFICATIONS, PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE UMF 12 CENTER, TEMPORARY TRAFFIC CONTROL GUIDELINES LATEST EDITION TO THE STREET CLOSURE PROCEDURES.

EDITION A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CAPSULE CITY MOBILE UNIT DIVISION PRIOR TO ANY STREET CLOSURES.

* THE CONTRACTOR SHALL CALL THE CARSON CITY ENGINEERING DIVISION (867-2300) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL ONE (1) WORKING DAY PRIOR TO REQUIRED INSPECTIONS AND TESTING. THE REQUIRED INSPECTIONS AND TESTING ARE LISTED ON THE INSPECTION REPORT ISSUED WITH EACH PERMIT. THE CONTRACTOR MUST HAVE THE PERMIT NUMBER AND THE DESCRIPTION LISTED ON THE APPLICATION RECORD TO SCHEDULE REQUIRED INSPECTIONS AND TESTING FOR CITY CONTROLLED PROJECTS. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS FOR THE CONTRACT DOCUMENTS.

MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE CARSON CITY ENGINEERING DEPARTMENT. THE REVIEW PROCESS FOR ANY CHANGES TO THE APPROVED PLANS WILL BE AS FOLLOWS:

7. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.

THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR AVOIDING A STOPPAGE OR DISCHARGE PENALTY FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION (NDDEP) INCLUDING THE NEVADA DIVISION OF WATER RESOURCES (NDWR). THE CONTRACTOR SHALL DEVELOP A PLAN TO MAINTAIN STORM WATER PROTECTION SERVICES IN COMPLIANCE WITH THE NEVADA CONTRACTORS FIELD GUIDE FOR CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (JUNE 2008).

10. THE LOCATION OF CASTING UTILITIES SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATIONS AT THE PROPOSED POINTS OF CONNECTIONS AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION PRIOR TO BEGINNING CONSTRUCTION. POLE-LOCATING IS REQUIRED. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF PROPER SLOPING OF THE WORKS IN ACCORDANCE WITH OCCUPATIONAL SAFETY LAWS. THE DUTIES OF THE ENGINEER DO NOT INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY PLAN OR NEAR-THREAT-TO-CONSTRUCTION

12. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY WATER RELATIVE HERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

13. ALL WATERLINE AND RISERS SHALL BE DISINFECTED IN ACCORDANCE WITH STATE HEALTH DEPT.

16. REQUIREMENTS AND ABBR CDS) PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING ALL REQUIRED SAMPLES AND THE COST OF ANALYSES AT A NEVADA-APPROVED LABORATORY.

15. ALL WATER PIPES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE FOLLOWING:

16. AN AIR QUALITY PERMIT AND STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.

17. ANY AND ALL OPENINGS IN UNFINISHED PIPING OR APPOINTMENTS MUST BE SEALED AT THE END OF

18. ALL MATERIALS IN CONTACT WITH POTABLE WATER MUST BE NSF 61 CERTIFIED AND LEAD FREE



REVIEWED FOR CARSON CITY REQUIREMENTS

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Call



CALL

1-800-277-6600

RECORD
DRAWINGS

DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT No. 03-1407
TITLE SHEET

SHEET
1.0
— of —

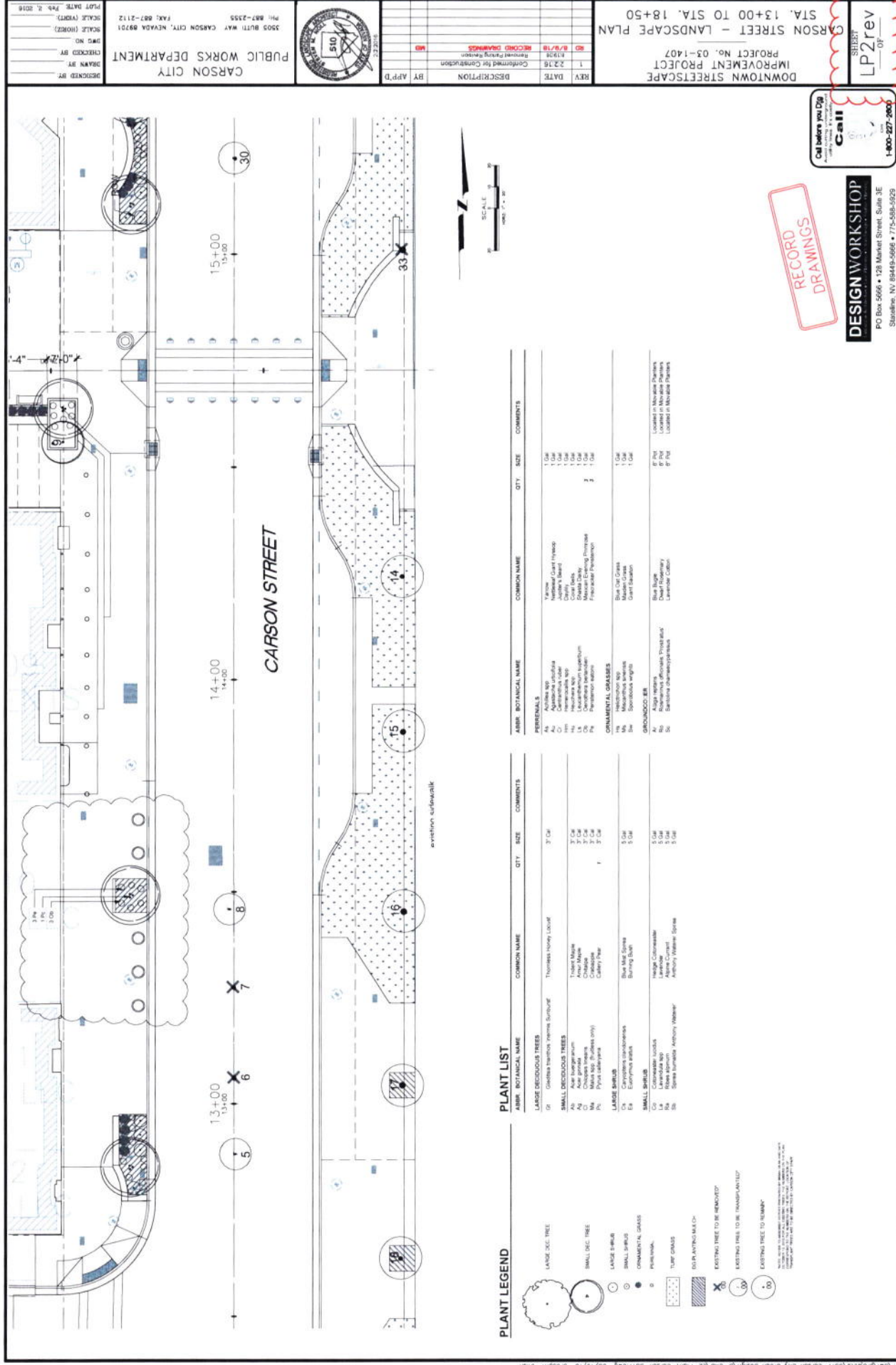
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PLANT LIST



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RECORD DRAWINGS

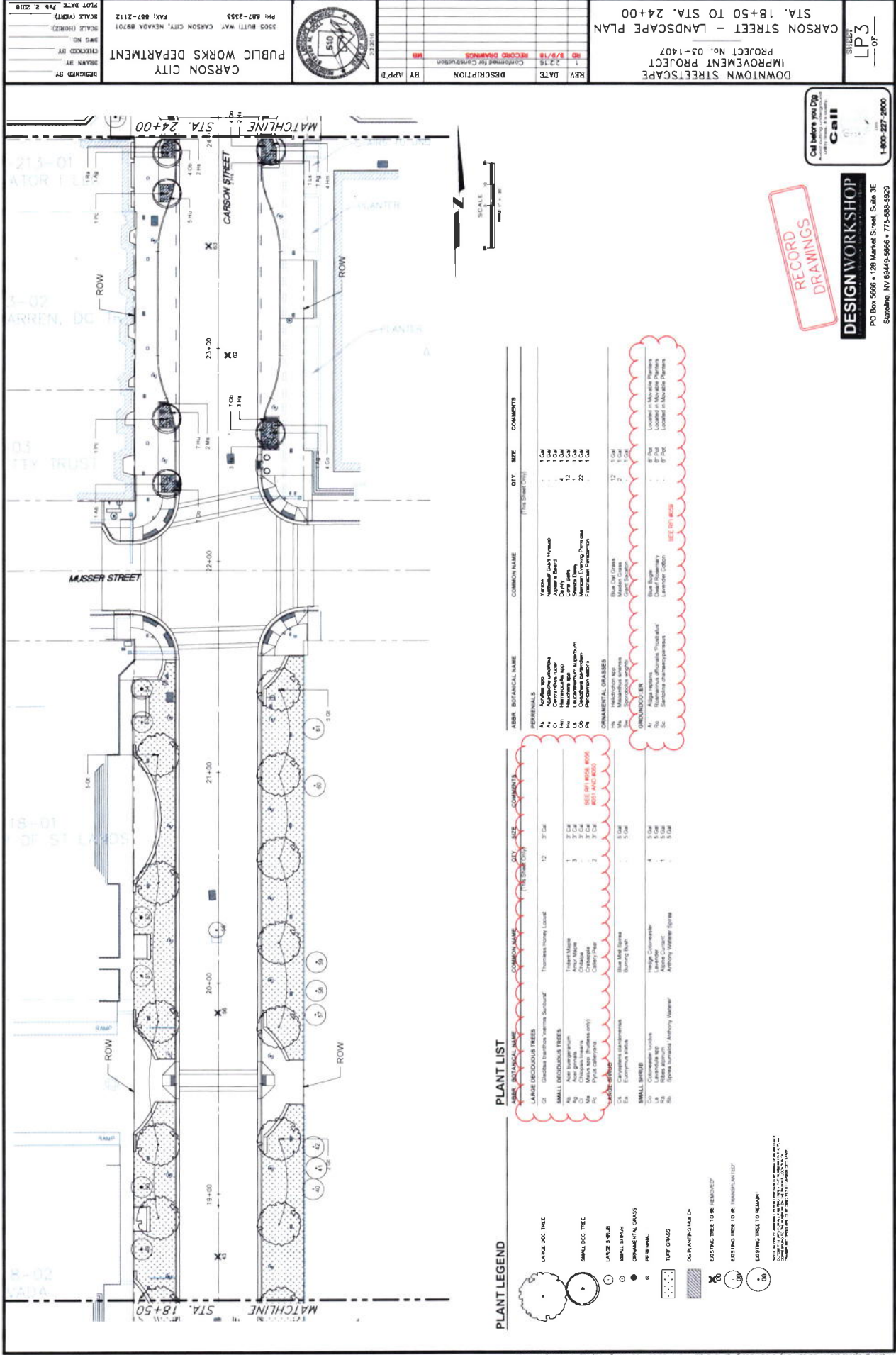
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Sturbridge, NY 08448-5666 • 775-588-5929

STATION 13+00 TO STA. 18+50
CARSON STREET - LANDSCAPE PLAN
PROJECT NO. 03-1407
DOWNTOWN STREETScape IMPROVEMENT PROJECT
REV DATE DESCRIPTION BY APP'D
1 2/2/16 Confirmed for Construction
2 10/18 Revisions
3 10/18 Revisions
4 10/18 Revisions
5 10/18 Revisions
6 10/18 Revisions
7 10/18 Revisions
8 10/18 Revisions
9 10/18 Revisions
10 10/18 Revisions
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100 10/18 Revisions

CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BURT WAY CARSON CITY, NEVADA 89301
PH: 887-2355 FAX: 887-2112
SCALE (HORIZ)
CHECKED BY
DESIGNED BY
PLANT DATE: FEB. 2, 2016



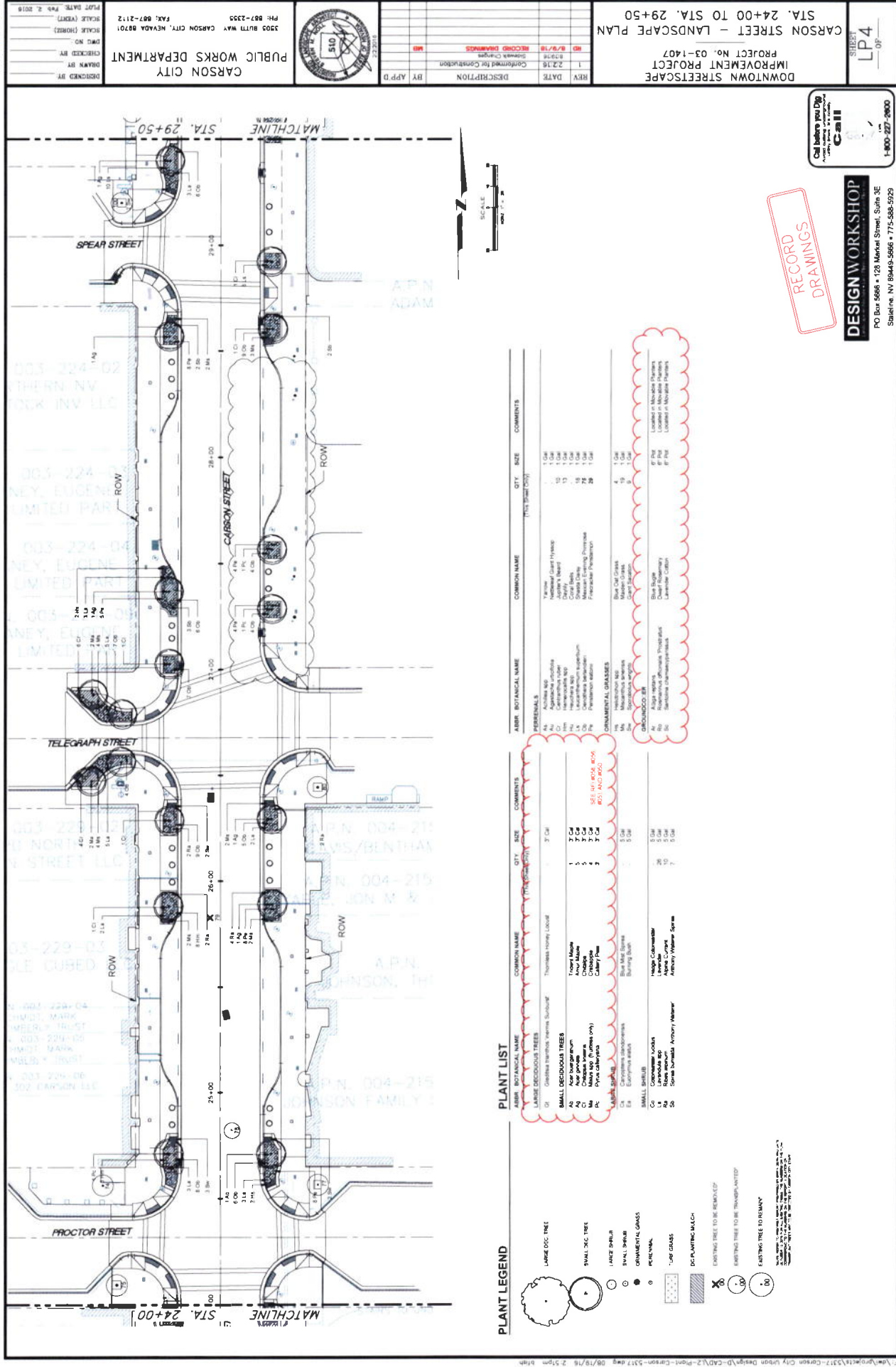
BY APP'D
DESCRIPTION
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2 10/18
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STA. 18+50 TO STA. 24+00
CARSON STREET - LANDSCAPE PLAN
PROJECT NO. 03-1407
IMPROVEMENT PROJECT
DOWNTOWN STREETSCAPE



CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTE WAY
CARSON CITY, NEVADA 89701
PH: 867-2555
FAX: 867-2112
SCALE (VERT)
SCALE (HORIZ)
DATE: MAY 2, 2018
DESIGNED BY
CHECKED BY
APPROVED BY



DESIGNED BY	CARSON CITY PUBLIC WORKS DEPARTMENT
CHECKED BY	
DATE	
SCALE (HORIZ)	1" = 10'
SCALE (VERT)	1" = 10'
PROJECT NO.	03-1407
PROJECT NAME	DOWNTOWN STREETSCAPE IMPROVEMENT PROJECT
PROJECT LOCATION	CARSON STREET - LANDSCAPE PLAN STA. 24+00 TO STA. 29+50

Call before you Dig
Call 1-800-227-2600

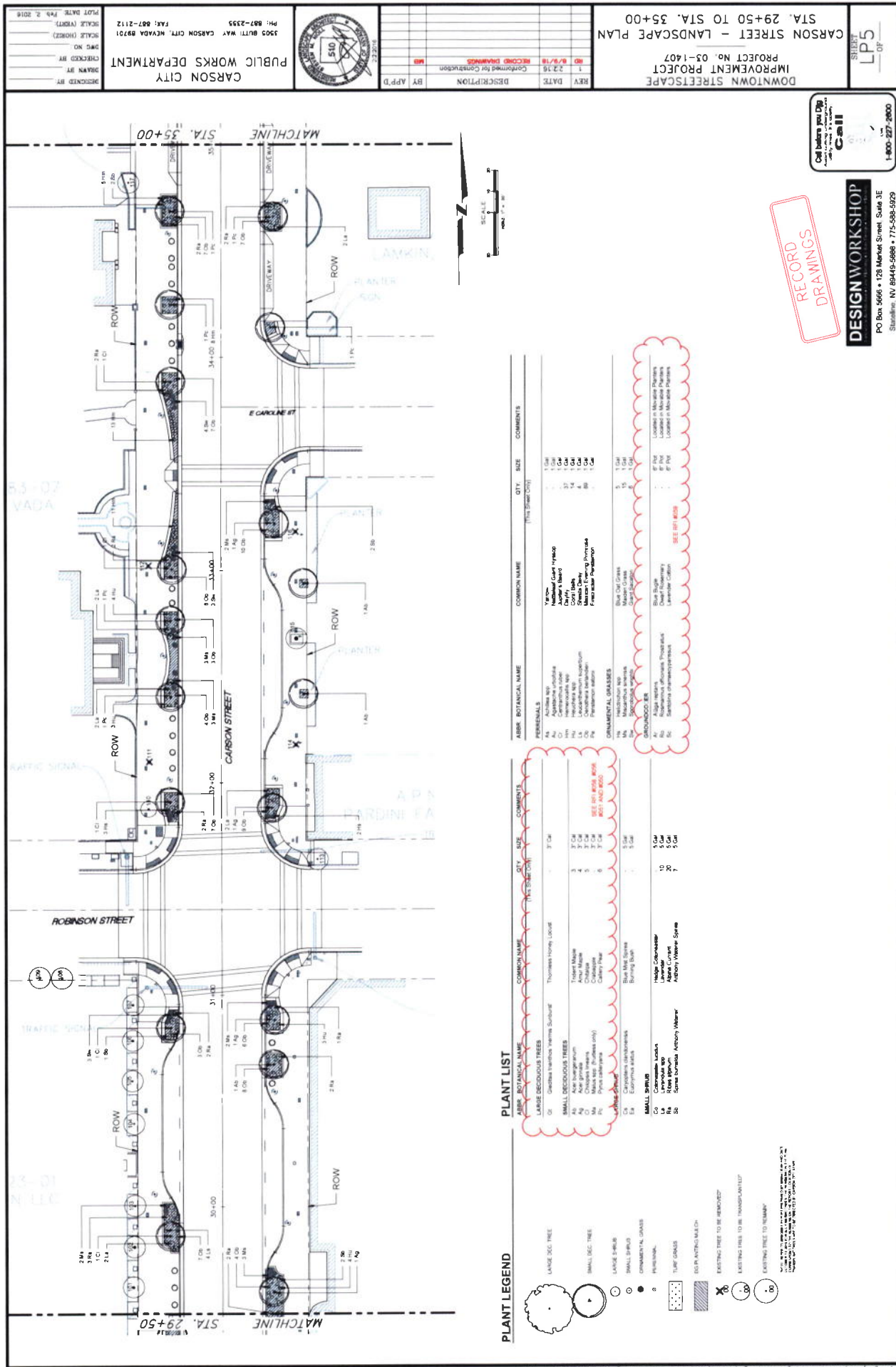
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Stateline, NV 89449-5686 • 775-568-5929

RECORD DRAWINGS

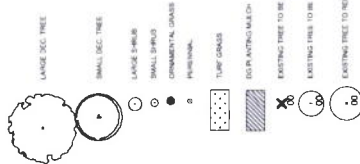
STREET
LP4
03

PLANT LIST			
ABBR.	BOTANICAL NAME	COMMON NAME	QTY. SIZE COMMENTS
LARGE DECIDUOUS TREES			
Q1	Quercus macrocarpa	Thornless Honey Locust	1 3" Cal
SMALL DECIDUOUS TREES			
A1	Aspidistra	Aspidistra	1 3" Cal
A2	Aspidistra	Aspidistra	1 3" Cal
A3	Aspidistra	Aspidistra	1 3" Cal
A4	Aspidistra	Aspidistra	1 3" Cal
A5	Aspidistra	Aspidistra	1 3" Cal
A6	Aspidistra	Aspidistra	1 3" Cal
A7	Aspidistra	Aspidistra	1 3" Cal
A8	Aspidistra	Aspidistra	1 3" Cal
A9	Aspidistra	Aspidistra	1 3" Cal
A10	Aspidistra	Aspidistra	1 3" Cal
PERENNIALS			
P1	Polygonum	Polygonum	1 1 Cal
P2	Polygonum	Polygonum	1 1 Cal
P3	Polygonum	Polygonum	1 1 Cal
P4	Polygonum	Polygonum	1 1 Cal
P5	Polygonum	Polygonum	1 1 Cal
P6	Polygonum	Polygonum	1 1 Cal
P7	Polygonum	Polygonum	1 1 Cal
P8	Polygonum	Polygonum	1 1 Cal
P9	Polygonum	Polygonum	1 1 Cal
P10	Polygonum	Polygonum	1 1 Cal
GROUNDCOVER			
G1	Groundcover	Groundcover	1 1 Cal
G2	Groundcover	Groundcover	1 1 Cal
G3	Groundcover	Groundcover	1 1 Cal
G4	Groundcover	Groundcover	1 1 Cal
G5	Groundcover	Groundcover	1 1 Cal
G6	Groundcover	Groundcover	1 1 Cal
G7	Groundcover	Groundcover	1 1 Cal
G8	Groundcover	Groundcover	1 1 Cal
G9	Groundcover	Groundcover	1 1 Cal
G10	Groundcover	Groundcover	1 1 Cal

PLANT LEGEND	
	LARGE DEC. TREE
	SMALL DEC. TREE
	PERENNIAL
	GROUNDCOVER
	EXISTING TREE TO BE RETAINED
	EXISTING TREE TO BE TRANSPLANTED
	EXISTING TREE TO BE REMOVED



PLANT LEGEND



PLANT LIST

ASPP BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
LANE DECIDUOUS TREES				
Q1	Quercus laevis (var. laevis)	1	3" Cal	
SMALL DECIDUOUS TREES				
A1	Amelanchier canadensis	4	3" Cal	
A2	Aspen (Populus tremula)	3	3" Cal	
A3	Boxelder (Acer negundo)	3	3" Cal	
A4	Chokeberry (Lonicera maackii)	3	3" Cal	
A5	Flowering Dogwood (Cornus florida)	3	3" Cal	
A6	Japanese Spindle (Elaeagnus japonica)	3	3" Cal	
A7	Red-twigged Dogwood (Cornus sericea)	3	3" Cal	
A8	Shagbark Hickory (Carya alba)	3	3" Cal	
A9	White-barked Pine (Pinus strobus)	3	3" Cal	
LANE SHRUBS				
S1	Blue Star Jasmine (Yucca filamentosa)	1	3" Cal	
S2	Boxelder (Acer negundo)	1	3" Cal	
SMALL SHRUBS				
S3	Boxelder (Acer negundo)	10	3" Cal	
S4	Boxelder (Acer negundo)	2	3" Cal	
PERENNIALS				
P1	Black-eyed Susan (Rudbeckia hirta)	10	3" Cal	
P2	Black-eyed Susan (Rudbeckia hirta)	2	3" Cal	
PERENNIALS				
P3	Black-eyed Susan (Rudbeckia hirta)	10	3" Cal	
P4	Black-eyed Susan (Rudbeckia hirta)	2	3" Cal	

ASPP BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
PERENNIALS				
P5	Black-eyed Susan (Rudbeckia hirta)	10	3" Cal	
P6	Black-eyed Susan (Rudbeckia hirta)	2	3" Cal	
PERENNIALS				
P7	Black-eyed Susan (Rudbeckia hirta)	10	3" Cal	
P8	Black-eyed Susan (Rudbeckia hirta)	2	3" Cal	

STA. 29+50 TO STA. 35+00
CARSON STREET - LANDSCAPE PLAN
IMPROVEMENT PROJECT
PROJECT NO. 03-1407
DATE: 2/2/15
RECORD DRAWING
BY: APP'D

3503 BULLITT WAY CARSON CITY, NEVADA 89201
PH: 867-2353
PUBLIC WORKS DEPARTMENT
CHECKED BY: SHAWN BY
DATE: 2/2/15
SCALE: (HORIZONTAL)
SCALE: (VERTICAL)
PLOT DATE: Feb 2, 2016

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Stanford, NV 89445-5666 • 775-538-5929

RECORD
DRAWINGS

[illegible]

DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT No. 03-1407
CARSON STREET - LANDSCAPE PLAN
STA. 35+00 TO STA. 40+50

— of —
LP6
SHEET

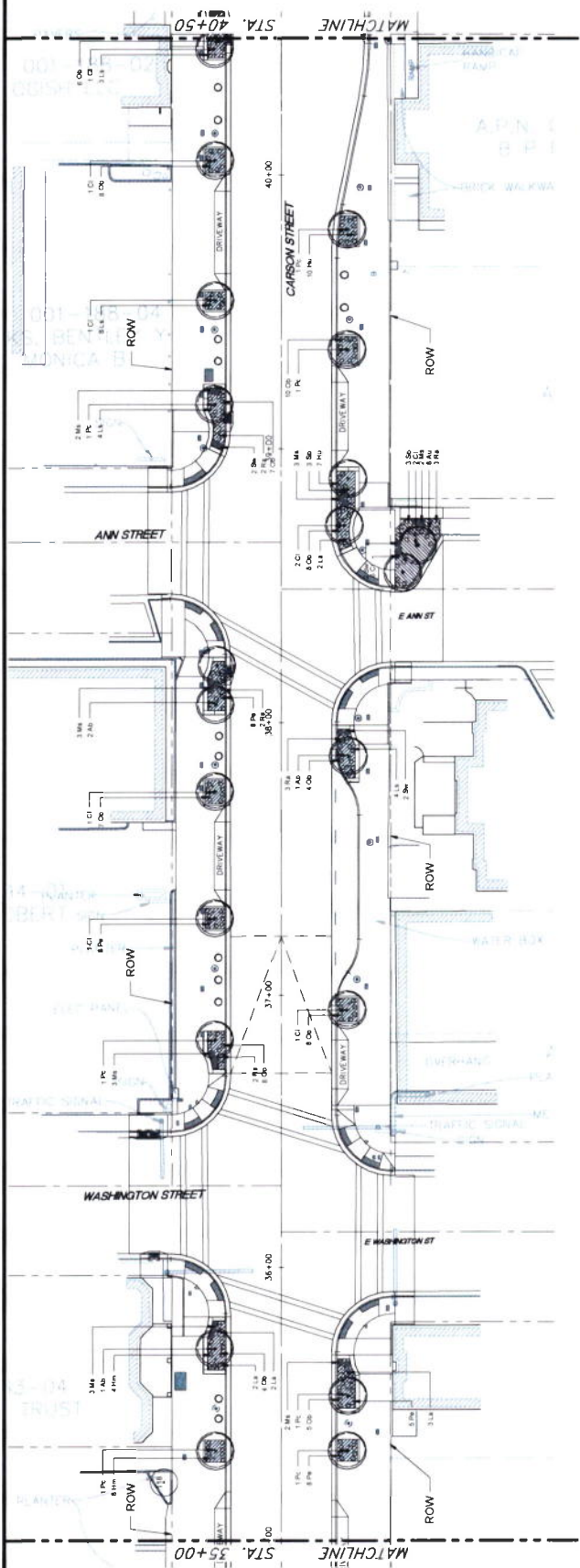
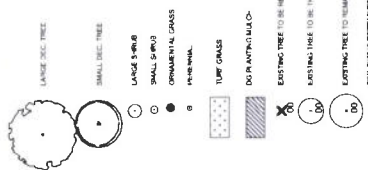
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 Stateline, NV 89419-5666 • 775-588-5929

PLANT LEGEND
PLANT LIST

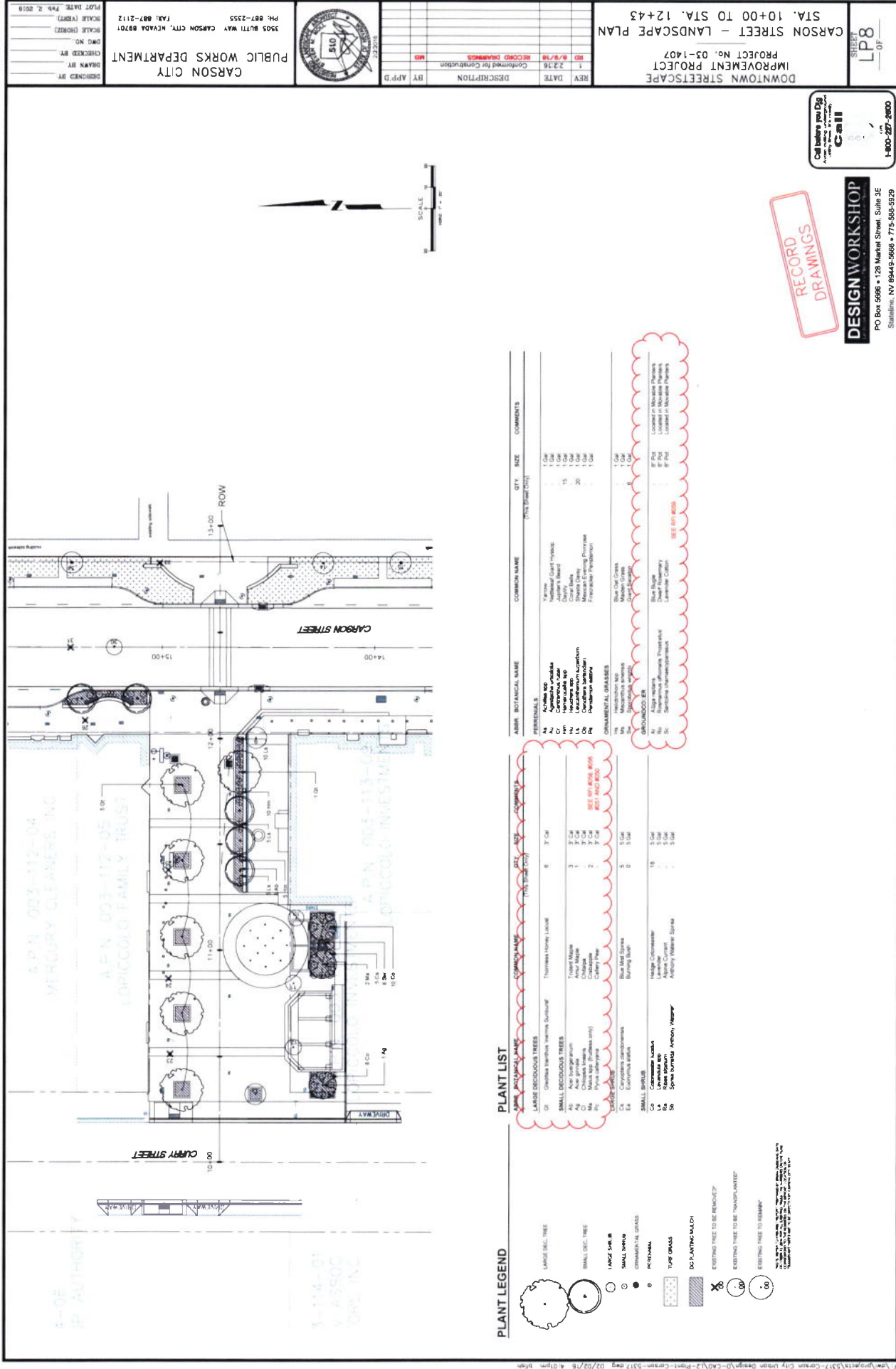
PLANT LIST

[illegible]

ABN	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
(THIS PAGE ONLY)					
PERENNIALS					
A1	Asplenium nidus	Wax Plant	0	1 Gal	
A2	Asplenium nidus	Wax Plant	0	1 Gal	
A3	Asplenium nidus	Wax Plant	0	1 Gal	
A4	Asplenium nidus	Wax Plant	0	1 Gal	
A5	Asplenium nidus	Wax Plant	0	1 Gal	
A6	Asplenium nidus	Wax Plant	0	1 Gal	
A7	Asplenium nidus	Wax Plant	0	1 Gal	
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A99	Asplenium nidus	Wax Plant	0	1 Gal	
A100	Asplenium nidus	Wax Plant	0	1 Gal	
ORNAMENTAL GRASSES					
G1	Asplenium nidus	Wax Plant	0	1 Gal	
G2	Asplenium nidus	Wax Plant	0	1 Gal	
G3	Asplenium nidus	Wax Plant	0	1 Gal	
G4	Asplenium nidus	Wax Plant	0	1 Gal	
G5	Asplenium nidus	Wax Plant	0	1 Gal	
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PLANT LEGEND



Call before you Dig
1-800-227-2800

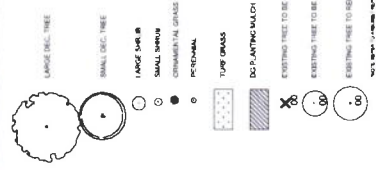
RECORD
DRAWINGS

DESIGNWORKSHOP
PO Box 5686 • 123 Market Street, Suite 3E
Staten Island, NY 10314-5686 • 775-585-5929

DOWNTOWN STREETSCAPE
IMPROVEMENT PROJECT
PROJECT NO. 03-1407
CARSON STREET - LANDSCAPE PLAN
STA. 10+00 TO STA. 12+43



CARSON CITY
PUBLIC WORKS DEPARTMENT
3505 BUTTE WAY CARSON CITY, NEVADA 89701
PH: 887-2555 FAX: 887-2112
SCALE (HORIZONTAL)
SCALE (VERTICAL)
CHECKED BY
DESIGNED BY
PROJECT DATE: FEB. 2, 2019



PLANT LEGEND

EXISTING TREE TO BE REMOVED
EXISTING TREE TO BE "TRANSPLANTED"
EXISTING TREE TO BE REMOVED

CARSON CITY DOWNTOWN NEIGHBORHOOD IMPROVEMENT DISTRICT MAINTENANCE LEVEL OF SERVICE STANDARDS

Owner: Carson City, acting by and through its parks and recreation and public works departments. All owner items are noted in grey.

NID: Neighborhood Improvement District [will direct and manage maintenance contract, authorize invoices, submit billing to City for payment]

Contractor: Third-party independent provider for landscaping, trash removal, and other related services as required.

Effective Date: This agreement will be effective upon the approval of the NID Agreement by the Board of Supervisors and the date of acceptance of bids by the NID for work under these standards.

Level of service standards outlined in this document are to guide regular maintenance tasks for the NID and are not intended for special events. Not all tasks in this document are the responsibility of the contractor, but are incorporated with the intent to ensure clear roles and responsibilities between owner, NID and contractor. *Exclusions: Graffiti removal will be the responsibility of the owner; all plant material will be under warranty for up to one year after installation and project acceptance from the owner. It is anticipated that plant material will be under warranty through the 2017 growing season unless otherwise determined by contract documents.* Plant replacements during the warranty period should be coordinated through the owner's representative. Plant replacements or additions of plant material shall be conducted in good faith and mutual cooperation between the owner and the NID.

TASK 1: Planter Beds

Guidelines: Bedding areas will contain healthy, attractive plants that lend variety, color and interest to the landscape. These areas will be litter, weed and pest free. Planter beds will be maintained to provide secondary functions such as barriers, animal habitat, and dust and erosion control. All trees, shrubs and other plants will be trimmed, pruned or otherwise maintained to achieve natural form and enhance aesthetics.

Planter Beds Tasks

Task	Description	Frequency	Season
Pruning	Prune according to International Society of Arboriculture (ISA) standards. Shrubs 1' minimum clearance to curbs/sidewalks. Branch height of trees to provide clearance consistence on sidewalks/streets in accordance with city codes for safety. Be sure utility boxes and other areas needing accessibility are cleared for servicing.	Shrubs 1/yr Flowers 4-6/season	Shrubs: spring or fall Flowers: April 15-November 1
Irrigation	Adequate irrigation to sustain healthy, vigorous plant growth	As needed	April 15-November 1

Pest control	Correct identification and proper control methods. Use of Chemical, mechanical, cultural or biological when appropriate, determined by supervisor. Chemical applications according to ordinance as defined on label.	Typical: Inspections weekly peak season one/month off season	Year round
Fertilize	Use appropriate fertilizer according to plant needs.	2/ year for herbaceous perennials and annuals 1/year for woody plants	April 15-November 1
Clean-up	Rake leaves, weeds, add mulch	Initial spring clean-up and as needed throughout the year	April 15-November 1
Litter removal	Pick-up all debris when visible	As needed	Year round
Tree stakes	Maintenance and removal of tree stakes.	Check as needed for proper operation. Remove all tree stakes after 1 year or as determined by owner.	Yearly

TASK 2: Flower Baskets

Guidelines: Flower baskets purchased and placed through the Greenhouse Project will contain healthy, attractive plants that lend variety, color and interest to the landscape. These areas will be litter, weed and pest free. All flower baskets will be cleaned or otherwise maintained to achieve natural form and enhance aesthetics.

Flower Basket Tasks

Flower Baskets	Watering, clean up and removal of dead petals/flowers to achieve a healthy plant and maintain a consistent and aesthetic product throughout the NID. Fertilize every 2-3 weeks, fertilizer provided by others (Greenhouse); maintain hangers and replace as needed.	Daily or as needed	June-October
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Task 3: Irrigation Systems Standards

Guidelines: Irrigation systems will deliver optimum water to each plant type at the lowest cost and with maximum water resource conservation. All systems will comply with legal requirements and will protect safety of the public water system.

Irrigation Systems Tasks

Task	Description	Frequency	Season
Repair & Replace Irrigation valves	Contractor responsibility begins at the location of the valve. Valve to point of connection is the owner responsibility. Contractor to coordinate with owner regarding controls/timers. Repair of irrigation control valves and main line leaks/breaks with specified materials within 4 hours for main breaks and within 24 hours for other leaks are the responsibility of owner.	As needed	Spring + fall
Repair & Replace Heads	Broken heads and lateral line leaks/breaks to be repaired or replaced before next watering cycle by contractor, includes material failures, vandalism etc. All repairs performed by contractor. On a preventative basis, replace all heads at each site with new or reconditioned sprinkler heads.	Based on system inspections.	April 15-November 1
Monitor & Adjust system	Observe the system in operation. Make adjustments. Call owner for major items.	As needed	April 15-November 1
Adjust Controller	Owner responsibility. Contractor to advise owner of changes or adjustments requested to watering schedules.	Spring, peak heat periods, fall and with significant weather changes	April 15-November 1
Start-up	Owner responsibility. Following site specific procedures, restore water service to each site upon owner inspection/coordination.	Once per year	Spring
Shut-down & winterize	Owner responsibility.	Once per year	Fall and as determined by freezing temps.
Backflow	Owner responsibility. Complete standard backflow test and submit test report. Responsibility of owner.	At system startup each spring.	Spring
Drains	Owner responsibility. Check drains at site shut down, repair or replace as needed and coordinate with owner.	Once per year	Fall

Task	Description	Frequency	Season
Valves	Repair valves, solenoids and decoder when indicated by inspection. Replace according to manufacturer specifications.	As needed	April 15-November 1
Central Computer Control System	Responsibility of owner. Download and observe data, adjust program according to irrigation needs. Owner to trouble shoot system with contractor when necessary. Upgrade software and system.	Daily during irrigation season.	April 15-November 1
Valve Boxes	Maintain visible lids, replace if broken or missing, insure proper grade in the field and secure bolts.	Weekly in season; monthly off season	Year round
Quick Couplers	Insure proper seating, and placement in valve box, clean from debris	As needed	April 15-November 1
Drip Systems	Inspect operation of emitters and replace as needed. Inspect placement of distribution tubing, check and clean filter and pressure regulator. Flush end lines. Check, replace and repair lines & fittings. Expand emitters out to drip line of tree as needed.	Inspect, adjust and repair as needed. In season, observe plant stress or lack of fwater.	April 15-November 1

Task 4: Paved/Concrete and Unpaved Surfaces Standard

Guidelines: Paved pathways, parking lots, concrete sidewalks and other paved areas will have smooth surfaces, be properly marked or signed and, where night use is intended, be adequately lighted. Pathways and parking lots will be free of litter. Contractor will provide a cleaning/power washing schedule to assist NID in coordination with business owners and scheduling of activities. Unpaved surfaces will be clean, graded and compacted for its intended use. This task also includes regular maintenance of the Bob McFadden Plaza, *excluding the splash pad*.

Paved/Concrete Surfaces Tasks

Task	Description	Frequency	Season
Clean walks	Keep free of hazards and debris by sweeping, washing or blowing	Clean as necessary	Year round
Litter Removal	Pick up all debris in designated areas	As necessary	Year round
Clean stairs, shelters and stage structure	Keep free of hazards and debris by sweeping, washing or blowing. Sweep or blow off, use proper cleaning agent when needed, wash down, keep free from food/gum/standing water. Dry clean/pressure wash in off-season. Dispose of debris. Notify owner of vandalism, graffiti or safety concerns.	Inspect regularly and clean as necessary	Year round
Clean benches/seat walls	Use proper cleaning agent, scrub seats, wash down, and remove standing water. Notify owner of vandalism or safety concerns.	Inspect regularly and clean as necessary	April 15-November 1
Trash containers	Dispose if over ½ full, clean barrels when necessary.	In season: 1/day minimum/7-days per week. Off season: Fridays and Mondays only	In season: April 15-November 1 Off season: November 2-April 14
Weed control	Remove all invasive vegetation chemically or mechanically. Maintain 3' set back off roads and sidewalks/pathways to be clear for ADA access.	As needed	April 15-November 1

Task 4 continued: Unpaved Surfaces Tasks

Task	Description	Frequency	Season
Grade	Maintain smooth surfaces as necessary by mechanical means	As needed	April 15-November 1
Rake	Hand raking for small obstructions and debris	As needed	Year round
Weed Removal	Remove by Chemical (pre-and post-emergence) physical or mechanical means. Maintain 3-foot set back or as site requires.	Twice annually	April 15-November 1
Litter Removal	Pick up all debris	As needed	Year round
Leaf Removal	Rake or blow off as needed	As needed	April 15-November 1

Task 5: Splash Pad Standards

Guidelines: Splash pad will be operated and maintained in accordance with Nevada Administrative Code and in a manner acceptable to national, state and local health department regulations for the safety and enjoyment of the general public. Graffiti and vandalism must be reported to owner within 24 hours and owner will be responsible for replacement/removal associated with any acts of vandalism. Contractor is required to have a Certified Pool and Spa Operator as part of team providing service with proof of certification to be provided to owner and NID.

Splash Pad Tasks

Task	Description	Frequency	Season
Graffiti removal and vandalism mitigation	Owner responsibility. Replacement items due to vandalism are the responsibility of owner, upon notification of contractor or NID.	Remove Graffiti within 24-48 hours	June - October
Splash Pad Regular Maintenance	Checks plumbing and system operation for defects, leaks, vandalism, blockages etc. Clean out all drains/hair catches, removes debris to ensure an efficiently operating system including on pad surface. Cleans filtration system as needed. Contractor to monitor and make adjustments to water chemistry, add chemicals to maintain NAC and health department chemical levels as needed. Contractor to purchase and transport chemicals as no chemical storage is on site. Contractor to close splash pad when safety issues arise and post accordingly. Should a closure occur, contractor will notify NID and owner accordingly with a timeline and plan of action to resolve issues. Contractor will provide an inspection/testing log on-site for health department inspections.	Daily or as needed.	June- October
Splash Pad Emergency Maintenance	Contractor to provide minor system/plumbing repairs as needed and notifies owner to address all mainline or major issues including vandalism.	As needed	June – October
Splash Pad System Start Up	Owner responsibility. Upon owner inspection, start up system, flush lines, check	1 x Beginning of season	End of May, beginning of June

Task	Description	Frequency	Season
Splash Pad System Shut Down	plumbing for leaks, inspect chemical feeders, fittings, parts etc. Owner responsibility. Upon owner inspection, winterize system, flush and blow lines to ensure system protection during winter.	1 x End of Season	October

Task 6: Snow Removal Standards

Guidelines: Snow removal will be provided to ensure safety within a reasonable timeframe and manner in high traffic areas within the NID boundaries (see map). NID will work cooperatively with contractor to negotiate thresholds to reduce duplication of efforts and maximize time frames for ease of the contractor if providing service to others in the vicinity, especially adjacent property owners.

Snow Removal Tasks

Task	Description	Frequency	Season
Snow removal – McFadden Plaza	Remove mechanically, physically or chemically as available, in designated locations, with priorities set by NID, but general guideline will be after a 2” snow accumulation. Provide ice melt product (product must be pre-approved by owner) to reduce slips and falls in high traffic areas.	As needed in response to 2” snow accumulation.	October-June
Snow removal- Sidewalks	Remove mechanically, physically or chemically as available, in designated locations, with priorities set by NID, but general guideline will be after a 4” snow accumulation. Provide ice melt product (product must be pre-approved by owner) to reduce slips and falls in high traffic areas. Contractor to identify problem areas and notify NID accordingly	As needed in response to 4” snow accumulation.	October-June