

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF MAY 31, 2023

FILE NO: LU-2023-0148

AGENDA ITEM: 13.B

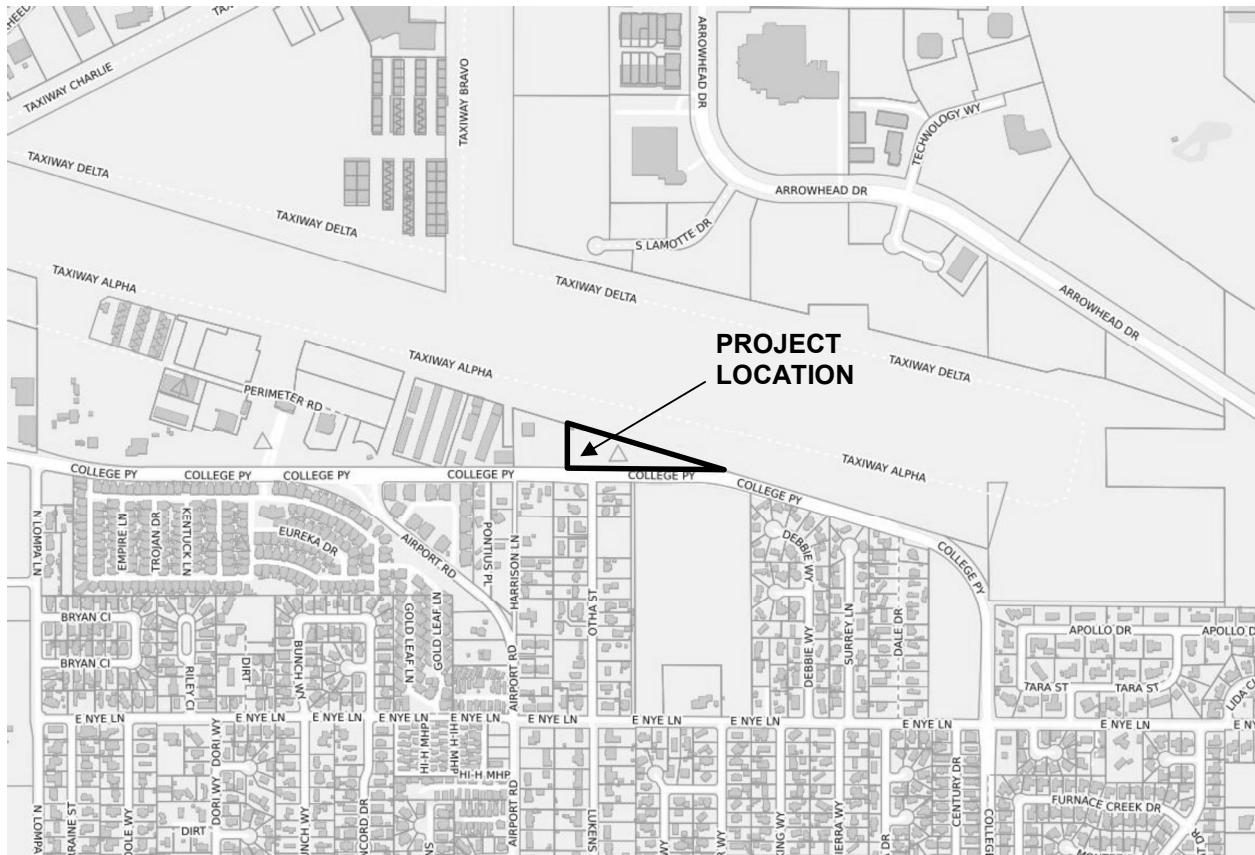
STAFF AUTHOR: Heather Ferris, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request from the Carson City Airport ("Applicant") for a special use permit ("SUP") to allow for the construction of a snow removal equipment storage building on property zoned Public Regional ("PR"), located at 3420 College Parkway, Assessor's Parcel Number ("APN") 005-011-05. (Heather Ferris, hferris@carson.org)

Summary: The Carson City Airport is proposing the construction of a 40-foot by 80-foot snow removal equipment storage building. Per Carson City Municipal Code ("CCMC") 18.04.185, a use may only be established in the "PR" zoning district subject to an SUP. The Planning Commission is authorized to approve the SUP.

RECOMMENDED MOTION: "I move to approve LU-2023-0148 based on the ability to make the required findings and subject to the conditions of approval included in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

1. All development shall be substantially in accordance with the approved plans, except as otherwise modified by the conditions of approval.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension of time must be requested in writing to the Planning Division of the Community Development Department ("Planning Division") thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.
4. The applicant must sign and return the Notice of Decision for conditions of approval within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. Prior to issuance of a building permit, the Applicant shall submit a landscape and irrigation plan for review and approval by the Planning Division. Landscaping shall be provided consistent with the Carson City Development Standards, Division 3- Landscaping.
6. Prior to issuance of a building permit the applicant shall submit plans for review and approval that include extending the existing water main along the College Parkway frontage of the subject parcel. The main extension shall be terminated at the easterly end of the property with a fire hydrant. The extension of the water main shall be completed and the line fully functional prior to the applicant beginning construction of the building.
7. The building shall not be used for mechanical repairs of the equipment.

LEGAL REQUIREMENTS: CCMC 18.02.050 (Review); 18.02.080 (Special Use Permit); 18.04.185 (Public Regional)

MASTER PLAN DESIGNATION: Public / Quasi-Public & Parks & Recreation

ZONING DISTRICT: Public Regional ("PR")

KEY ISSUES: Will the use be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Public Regional / airport

EAST: Public Regional / airport

WEST: Public / hangar

SOUTH: Mobile home 12,000 / residences and vacant land (approved subdivision)

ENVIRONMENTAL INFORMATION:

FLOOD ZONE: Zone X (area of minimal risk)

EARTHQUAKE FAULT: Zone II (Moderate) beyond 500 feet

SLOPE/DRAINAGE: Site is generally flat

SITE DEVELOPMENT INFORMATION:

LOT SIZE: 4.76 acres

STRUCTURE SIZE: 3,200 square feet; 25 feet tall (max)

VARIANCES REQUESTED: None

DISCUSSION:

The subject property is approximately 4.76 acres in size and is located on the north side of College Parkway and south of Taxiway Alpha on the Carson City Airport property. The Carson City Airport is proposing the construction of a new 3,200 square foot building to store snow removal equipment. The building will also include a small office and restroom. The design of the building will be in keeping with the other buildings located on the airport.

The Carson City Airport manager has noted that the inclusion of landscaping adjacent to the taxiway can become hazardous by attracting wildlife to the area. Additionally, according to the Federal Aviation Administration ("FAA"), landscaping should be avoided on airport property. As noted above, staff is recommending a condition of approval requiring a landscape and irrigation plan to be submitted consistent with Division 3 of the Carson City Development Standards ("CCDS") prior to issuance of the building permit. Staff recognizes that the same level of landscaping that is required for other uses, may not be appropriate given this properties location at the airport. CCDS Division 3 allows the Community Development Director to approve alternative landscape plans when justified. This may include reduced living landscaping and or landscaping with rocks and mulch.

Per CCMC 18.04.185, a use may only be established in the PR zoning district subject to a special use permit. The Planning Commission is authorized to approve an amendment to a special use permit.

PUBLIC COMMENTS:

Public notices were mailed to 39 property owners within 650 feet of the subject site on May 17, 2023. As of the writing of this report, staff has not received any written comments. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on May 31, 2023, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies, and the following comments were received. Comments have been incorporated into the conditions of approval, as appropriate.

Development Engineering Division:

The Development Engineering Division of the Carson City Public Works Department ("Development Engineering") has no preference or objection to the special use request provided that the following conditions are met:

- The project must extend the existing water main in College Parkway along the subject properties full College Parkway frontage. The main extension shall be terminated at the easterly end with a fire hydrant, prior to a building permit being issued.

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

- The project must meet all Carson City Development Standards and Standard Details

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The proposed Project will have little or no detrimental effect on vehicular or pedestrian traffic in the area.

CCMC 18.02.080(5)(d) - Public Services

The proposed project will not overburden existing public services and facilities, including schools, police, sanitary sewer, and public roads.

The City does see the need for an existing water main in College Parkway to be extended east along the frontage of the proposed project property. This extension will be beneficial to the surrounding area in the effect of moving forward with a complete water system and with the addition of a fire hydrant at the most easterly end of the extension, providing fire protection on College Parkway that currently is without. The project will be subject to submitting a wet stamped water main analysis in accordance with CCDS 15.3.1(a) to show that adequate pressure will be delivered to the meter and that fire flows meet the minimum requirements of the Carson City Fire Department.

The City believes that there are adequate storm drainage facilities in the area and a Technical Drainage Study meeting the requirements of section 14 of the Carson City Development Standards must be submitted with the permit and plans.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project meets will meet engineering standards for health and safety.

Earthquake faults are beyond 500 feet away from the site.

FEMA flood zones: Property is in Unshaded X zone, therefore there are no special flood requirements.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

1. Project must comply with the 2018 International Fire Code ("IFC") and northern Nevada Fire Code amendments as adopted By Carson City.
2. Two additional Fire Hydrants shall be provided that meet the required fire flow.
3. Mechanical work in the structures is not allowed.

4. Fire Extinguishers shall be provided in accordance with NFPA 10.
5. Exterior addressing shall be approved by the Carson City Fire Department.

FINDINGS:

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

- 1. *Will be consistent with the objectives of the Master Plan elements.***

The subject property is in the Public/Quasi-Public ("PQP") master plan designation. The PQP designation is intended for schools, government offices, community centers, fire stations, airports, libraries, hospitals, and other similar uses. The proposed project is consistent with the intent of the PQP master plan designation as it is located on the Carson City Airport property and involves the construction of a building for storing snow removal equipment for the airport.

- 2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.***

The project will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood. The project involves the construction of a building for storing snow removal equipment for the airport. The building will be 3,200 square feet in size and a maximum of 25 feet tall. The building will also be designed to be consistent with the other buildings located on the airport.

- 3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.***

The construction of an equipment storage building will not create a detrimental effect on vehicular or pedestrian traffic. There will be no change to traffic patterns. The building will house snow removal equipment to be utilized on the airport property.

- 4. *Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.***

The proposed construction of a snow removal equipment storage building will not overburden or create a demand on public services or facilities. It will provide for the storage of snow removal equipment for the airport and will include a small office and restroom.

- 5. *Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.***

The primary purpose of the Public Regional zoning (CCMC 18.04.185) is to accommodate federal, state, and city facilities and uses whose main purpose is to sustain wide regional needs. The construction of a snow removal equipment storage building is consistent with this purpose as it is serving the Carson City Airport. Per CCMC 18.04.185 the use may only be established or modified subject to a special use permit. In the PR zoning district, setbacks and heights are determined as part of the special use permit. The building will be approximately 90 feet from the northern-most property line; approximately 53.6 feet from the western-most property line; 48.8

feet from the southern property line; and approximately 758 feet from the eastern corner of the property. The building has been designed to be consistent with other buildings located at the airport and will have a maximum height of 25 feet. As conditioned, the project will meet the definition and specific standards set forth in Title 18.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

The building will be located on the airport property for the purposes of housing snow removal equipment for the airport. This use will not be detrimental to the public health, safety, convenience and welfare.

7. *Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.*

The project is proposed at the Carson City Airport and includes the construction of a building for the storage of snow removal equipment and will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Application LU-2023-0148

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE

APPLICANT **Carson City Airport** PHONE # **775-841-2255**

MAILING ADDRESS, CITY, STATE, ZIP
2600 East College Parkway, Carson City, NV 89706

EMAIL ADDRESS **cjenkins@flycarsoncity.com**

PROPERTY OWNER **same as Applicant** PHONE #

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE **Corey Jenkins** PHONE # **775-841-2255**

MAILING ADDRESS, CITY STATE, ZIP
same as Applicant

EMAIL ADDRESS

same as Applicant

Project's Assessor Parcel Number(s):

00501105

Street Address

3420 College Parkway

Project's Master Plan Designation

Project's Current Zoning

PR

Nearest Major Cross Street(s)

College Pkwy & Airport Rd

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.
Construction of snow removal equipment storage building, approx. 40'x80' area; pre-engineered steel with metal siding and paved approaches. Interior will have lighting and heat, and one bid option includes one restroom and an office.

PROPERTY OWNER'S AFFIDAVIT

I, Corey Jenkins, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature

2600 College Parkway #6

Address

4/4/23

Date

Use additional page(s) if necessary for additional owners.

STATE OF NEVADA
COUNTY Carson City }

On April 04th, 2023, *Corey Jenkins*, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Notary Public



LISSETTE GARCIA VELAZQUEZ
NOTARY PUBLIC - State of Nevada
No. 19-1285-3
My Appt. Expires: Jan. 29, 2027

NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.

SPECIAL USE PERMIT CHECKLIST

Each application must include the following:

1. Detailed Written Project Description
2. Special Use Permit Findings
3. Master Plan Policy Checklist
4. Documentation of Taxes Paid to Date
5. Project Impact Reports: Provide documentation regarding project impacts related to traffic, drainage, water, and sewer, including supportive calculations and/or reports required per the Carson City Development Standards, Divisions 12, 14 and 15. Contact Development Engineering to determine if these are necessary for your project at (775) 887-2300.
6. Building Elevation Drawings and floor plans
7. Site plan including the following information:

- a. The site plan shall be drawn on quality paper (minimum size of 8.5 inches by 11 inches) at an appropriate scale or dimension to depict the parcel. Any site plan larger than 8.5 inches by 11 inches must be folded.
- b. Show a north point arrow and site plan scale. A bar scale is preferred because when the drawings are reduced, it will still show an accurate scale. A bar scale could appear like this for a project that has a scale of one inch equals 20 feet on the original site plan:



- c. Vicinity map must be shown on the site plan. This is a map, not to scale, that you would provide a visitor unfamiliar with the area as directions to get to your property. It will show adjacent streets.
- d. Title block in lower right-hand corner including:
 - i. Applicant's name, mailing address, and daytime phone number (including area code).
 - ii. The name, mailing address, and daytime phone number of the person preparing the site plan, if different from applicant.
 - iii. The name, mailing address, and daytime phone number of the record owner of the subject property, if different from applicant.
 - iv. Assessor Parcel Number(s) (APN) and address (location, if no address) of the subject property.
 - v. Project title and permit request. (Example: Variance, Special Use Permit).

8. Property lines of the subject property with dimensions indicated.
9. All existing and proposed structures shall be shown, including:
 - a. Distances from property lines indicated by dimensions.
 - b. Distances between buildings shall be indicated on the site plan.
 - c. Clearly label existing and proposed structures and uses, and show dimensions.
 - d. Square footage of all existing and proposed structures.
 - e. If a commercial or multi-family project, show all elevations and submit roof plans showing all proposed roof equipment and means of screening from view along with plans for trash receptacle screening and loading/unloading area location and design.
 - f. Elevations of any proposed structures/additions.
 - g. All easements.
10. Show curb, gutter, sidewalks, ADA facilities, PFD, circulation.
11. Project access:
 - a. Show the location of proposed street access and all existing accesses of neighboring properties including across the street.
 - b. Show adjoining street names.
 - c. Show all curb cuts with dimension.
12. Show the Assessor Parcel Number(s) of adjoining parcels.

13. Show all existing and proposed parking, landscape islands and traffic aisles, with dimensions. If you are requesting approval for off-site parking within 300 feet, provide site plans showing (1) parking on your site, (2) parking on the off-site parking lot, and (3) how much of the off-site parking area is required for any business other than your own.
14. Show location of existing and proposed utilities and drainage facilities, and indicate whether overhead or underground. Show the location of any septic lines/fields.
15. If specific landscape areas are required or provided, show with dimensions.
16. Show location of all proposed amenities, such as gazebos, retaining walls, retention areas, etc.

SPECIAL USE PERMIT APPLICATION FINDINGS

State law requires that the Planning Commission consider and support the statements below with facts in the record. These are called "FINDINGS". Since staff's recommendation is based on the adequacy of your findings, you need to complete and attach the required findings with as much detail as possible to ensure that there is adequate information supporting your proposal.

THE FINDINGS BELOW ARE PROVIDED IN THE EXACT LANGUAGE FOUND IN THE CARSON CITY MUNICIPAL CODE (CCMC), FOLLOWED BY EXPLANATIONS TO GUIDE YOU IN YOUR RESPONSE. ON A SEPARATE SHEET TO BE INCLUDED WITH YOUR COMPLETE APPLICATION, LIST EACH FINDING AND PROVIDE A RESPONSE IN YOUR OWN WORDS. ANSWER THE QUESTIONS AS COMPLETELY AS POSSIBLE TO PROVIDE THE PLANNING COMMISSION WITH THE DETAILS NECESSARY TO CONSIDER YOUR PROJECT. IF A FINDING DOES NOT APPLY TO YOUR SITUATION, EXPLAIN WHY.

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

Explanation: Explain how your project will further and be in keeping with, and not contrary to, the goals of the Master Plan elements. Turn to the Master Plan Policy Checklist included with this application. The Master Plan Policy Checklist for Special Use Permits and Major Project Reviews addresses five items that appear in the Carson City Master Plan. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. Address each theme; a check indicates that the proposed development meets the applicable Master Plan Policy. Provide written support of the policy statement in your own words as a part of these findings. For additional guidance, please refer to the Carson City Master Plan document on our website at www.carson.org/planning or you may contact the Planning Division to review the document in our office or request a copy.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Explanation:

- A. Describe the general types of land uses and zoning designations adjoining your property (for example: North: grocery store, Retail Commercial zoning)
- B. Explain why your project is similar to existing development in the neighborhood, and why it will not hurt property values or cause problems, such as noise, dust, odors, vibration, fumes, glare, or physical activity, etc. with neighboring property owners. Have other properties in your area obtained approval of a similar request? How will your project differ in appearance from your neighbors? Your response should consider the proposed physical appearance of your proposal, as well as comparing your use to others in the area.
- C. Provide a statement explaining how your project will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. If outdoor lighting is to be a part of the project, please indicate how it will be shielded from adjoining property and the type of lighting (wattage/height/placement) provided.

- E. Describe the proposed landscaping, including screening and arterial landscape areas (if required by the zoning code). Include a site plan with existing and proposed landscape shown on the plan which complies with City ordinance requirements.
- F. Explain any short-range and long-range benefit to the people of Carson City that will occur if your project is approved.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Explanation: Consider the pedestrian and vehicular traffic that currently exists on the road serving your project. What impact will your development have to pedestrian and vehicular traffic when it is successfully operating? Will additional walkways and traffic lights be needed? Will you be causing traffic to substantially increase in the area? State how you have arrived at your conclusions.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

Explanation: A. How will your project affect the school district? Will your project add to the student population or will it provide a service to the student population?

B. How will your project affect police and fire protection?

C. Is the water supply serving your project adequate to meet your needs without degrading supply and quality to others in the area? Is there adequate water pressure? Are the lines in need of replacement? Is your project served by a well? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

D. If your project will result in the covering of land area with paving or a compacted surface, how will drainage be accommodated? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

E. Is there adequate capacity in the sewage disposal trunk line that you will connect to in order to serve your project, or is your site on a septic system? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

F. What kind of road improvements are proposed or needed to accommodate your project? Contact the Development Engineering Division at (775) 887-2300 for assistance with this item, if applicable.

G. Indicate the source of the information that you are providing to support your conclusions and statements made in this application (private engineer, Development Engineering, Public Works, Transportation, title report or other sources).

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Explanation: Explain how your project meets the purpose statement of the zoning district in which it is located and how it meets the specific standards that are set forth in that zoning district. In CCMC Section 18.04, Use Districts, find the zoning district where your property is located. Refer to the purpose statement at the beginning of the zoning district section and explain how your project meets the purpose statement of that district. In addition, find the specific Intensity and Dimensional Standards for your zoning district in either CCMC Section 18.04.190 (Residential) or CCMC Section 18.04.195 (Non-Residential) and explain how your project meets these specific standards. To access the Carson City Municipal Code, visit our website at www.carson.org/planning.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Explanation: Provide a statement explaining how your project will not be detrimental to the public health, safety, convenience and welfare. If applicable, provide information on any benefits that your project will provide to the general public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Explanation: Provide a statement explaining how your project will not result in material damage or prejudice to other property in the vicinity.

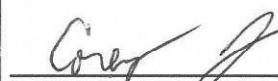
If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.

Please type and sign the statement on the following page at the end of your findings response.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.



Applicant's Signature

Corey Jenkins

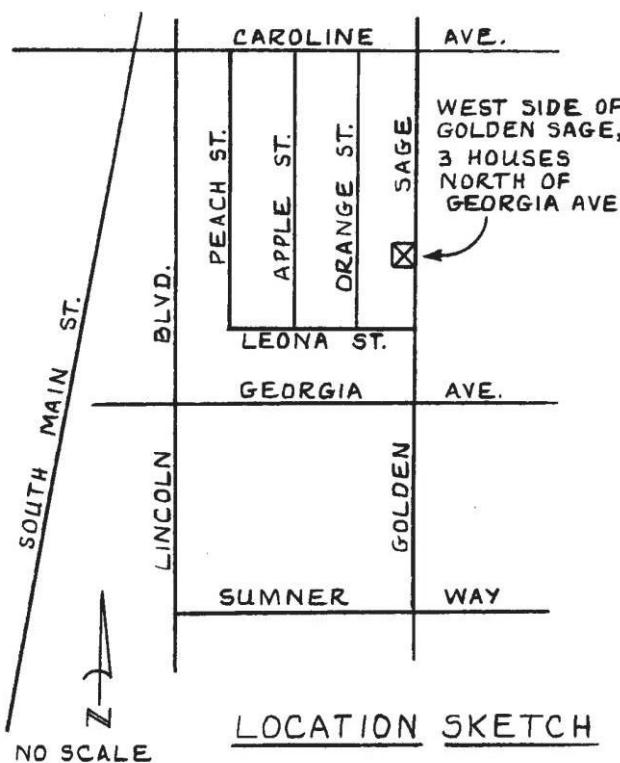
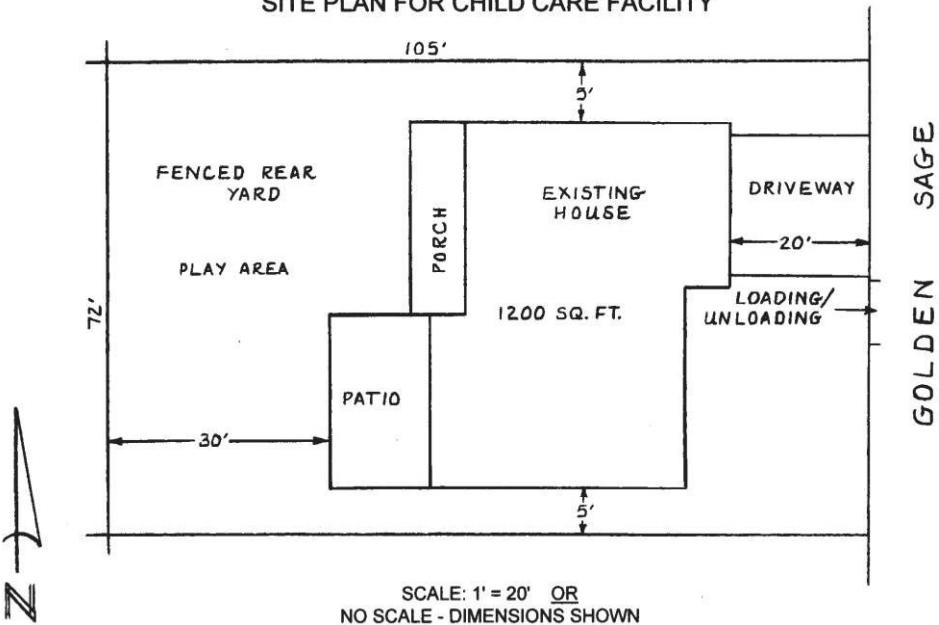
Print Name

4/14/12

Date

EXAMPLE SITE PLAN

SITE PLAN FOR CHILD CARE FACILITY



OWNER: John Doe
123 Anyplace
Carson City NV 89701
(775) 333-3333

APPLICANT: SAME

REQUEST: To allow a childcare facility

LOCATION: 123 Golden Sage Drive

ZONING: Single Family 6,000 (SF6)

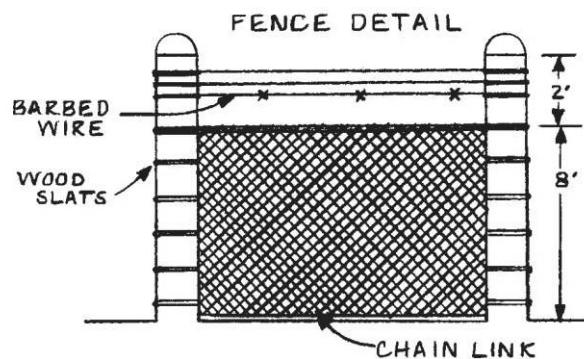
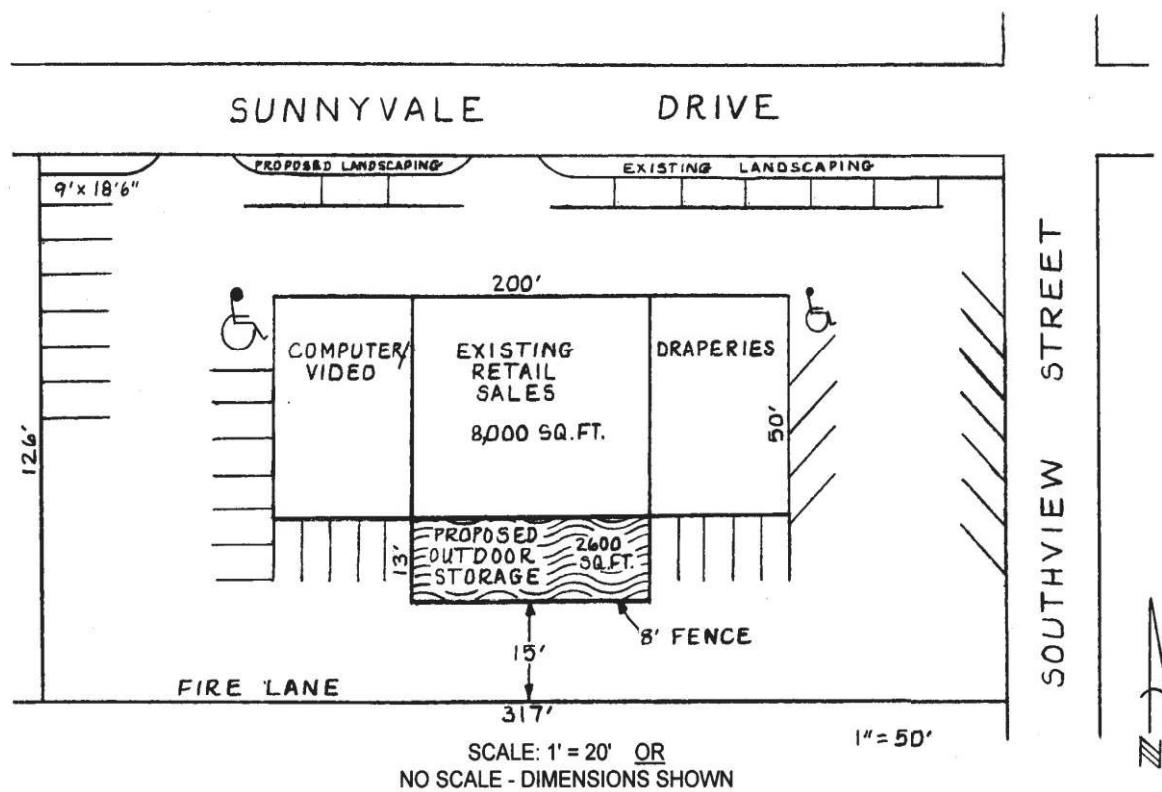
MASTER PLAN LAND USE DESIGNATION: Low Density Residential

APN: 005-215-25

Site Plan Prepared By John Doe

EXAMPLE SITE PLAN

SITE PLAN FOR COMMERCIAL OUTDOOR STORAGE



OWNER: John Doe
123 Anyplace
Carson City NV 89701
(775) 111-1111

APPLICANT: Jane Smith
345 Someplace
Carson City NV 89701
(775) 222-2222

REQUEST: To allow outdoor storage in Retail Commercial (RC) zone

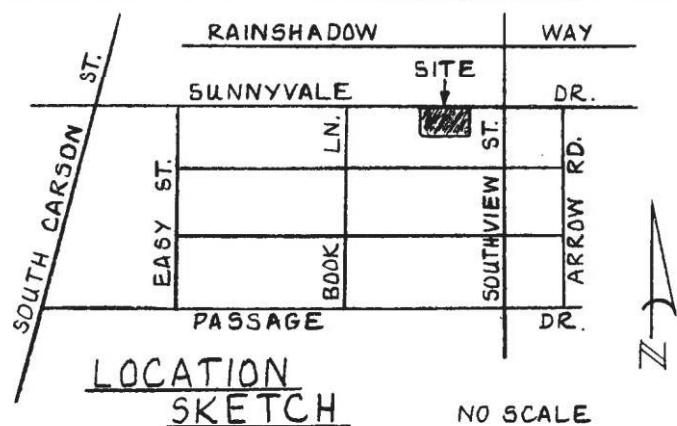
LOCATION: 123 Anyplace

ZONING: Retail Commercial (RC)

MASTER PLAN LAND USE DESIGNATION: Commercial

APN: 005-215-25

Site Plan Prepared By Jane Smith



Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: Carson City Airport Snow Removal Equipment Building

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)?
- Encourage the development of regional retail centers (5.2a)?
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks to promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

SPECIAL USE PERMIT DETAILED WRITTEN PROJECT DESCRIPTION

Carson City Airport Snow Removal Equipment (SRE) Storage Building

This construction project is for a new storage building for snow removal equipment at Carson City Airport in Carson City, Nevada. The proposed building location is in the southeast region of the airport property, close to College Parkway. The building is a pre-engineered steel building designed to meet AC 150/5220-18A. The building will be insulated and cover an area of 40 feet wide by 80 feet long. The interior of the building will include metal paneling to protect the building insulation and allow for easier facility cleaning. An in-slab trench drain connected to contained drainage will be installed. High bay lighting, electrical outlets, and a radiant tube heater will be installed in the equipment storage area. The floor will consist of a troweled-smooth concrete finish. A hose bib for water in the garage area and on the exterior of the building will be included.

A site topographical survey has been performed and a geotechnical investigation has been completed for use in the foundation design. The exterior of the building will consist of colored metal siding with minimal architectural aesthetic elements. Gutters and downspouts are included in the design and appropriate drainage has been planned for the building and the property. Landscape gravel and metal edging will be included around the exterior perimeter of the building. The building will have two personnel doors and three large overhead doors, with one bay being a drive-through. Paved approaches will be included outside of each door. Gravel access roads will connect the airfield pavements and the building.

The project team is as follows:

- Paul Cavin Architects is coordinating the design of this project.
- Armstrong Consultants is the civil design engineer on the project.
- PK Electrical is electrical consultant employed for electrical design.
- Ainsworth Associates Mechanical Engineers is the mechanical consultant employed for plumbing and HVAC design.
- CFBR Group is the structural engineering consultant employed for the foundation and slab-on-grade design for the building.

SPECIAL USE PERMIT APPLICATION FINDINGS

1. Will be consistent with the objectives of the Master Plan elements.

- This project is consistent with the objectives of the City's Master Plan for non-residential development, however the checklist per Chapter 3 through Chapter 7 is not applicable to the building construction on Airport property.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

- This project will not be detrimental to the use, peaceful enjoyment, economic value or development of the surrounding properties or the general neighborhood. This project does not impact the character and integrity of adjacent development and neighborhoods, does not include modifications to public right-of-way and will not create any adverse impacts (noise, vibrations, fumes, odors, dust, glare, etc.) to surrounding properties.
- A. The land use and zoning designations surrounding the property include:
 - Northeast: General industrial
 - Northwest: Airport industrial park
 - East: Public regional and residential
 - South: Residential
 - Southwest: Limited industrial
 - West: Public community
- B. This project is most similar to hangar construction and being on airport property, it will not inhibit or negatively affect any surrounding property.
- C. This project will not be detrimental to the use, peaceful enjoyment, economic value or development of the surrounding properties or the general neighborhood because its construction is only on airport property and therefore will not affect the surrounding areas once built.
- D. Outdoor lighting will be installed as a means to guide snow removal equipment into and out of the building. The proposed lighting is a wall mounted (gray color) aluminum enclosure which will require a 120V power source and produce a 3,000-lumen output. Details and a cut sheet will be provided with the building permit.
- E. Landscaping on this property will be minimal and shall adhere to FAA regulations. The proposed design incorporates rock-scape and the native landscape cleared of any large shrubbery and no additional or new foliage. Per AC 150/5220-18A: The landscaping design should avoid large trees and fences that could impede equipment movement, disrupt line of sight to the airfield, violate air space obstruction criteria (mature tree height), or require excessive care and maintenance. The selected landscaping plan should not become a wildlife

hazard attractant. If the airport operator has a wildlife hazard management plan, then the landscaping should be in accordance with the plan.

- The airport indeed has a wildlife hazard management plan, which outlines that the natural landscape must be maintained to limit wildlife activity on airport property.
- F. Approval of this project will allow for the airport to store its snow removal equipment. The building shall provide shelter for the equipment and its operator and increase the longevity of the equipment. Having the equipment and storage for the equipment will better enable the airport to keep runways, taxiways and all airport roadways clear of snow and ice, thus providing frequently maintained airport facilities for public use.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

- During construction, there will be minimal interruption of vehicular and pedestrian traffic along College Parkway. Post construction, this project does not intersect or affect any public roads. Pedestrian and vehicular traffic will not be affected after the completion of this storage building because it is on airport property, which has controlled access to the public.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

- A. This project will not affect the school district, add to the student population, or provide a service to the student population.
- B. This project will not affect police operations and will enhance fire protection with the addition of at least two (2) fire hydrants to service the property and surrounding area.
- C. The water service to this building is one 1.25" line connection and will not degrade the supply to others in the area. As part of the City's requirements, the water main shall be extended, and appropriate measures will be taken to maintain the water pressure in the area and on the property. This water main extension is not AIP grant eligible and will need to be paid for from a source other than the FAA grant.
- D. Storm water drainage on the property being developed will be accommodated with a drainage swale and detention basin located southeast of the building. The detention basin will have a connection to the City storm drain via catch basin.
- E. This site is not on septic system, it will be serviced via City sewer connection.
- F. There are no road improvements needed to accommodate the project.
- G. The source of information pertaining to existing utilities comes from a private engineer: Lumos & Associates, Inc.

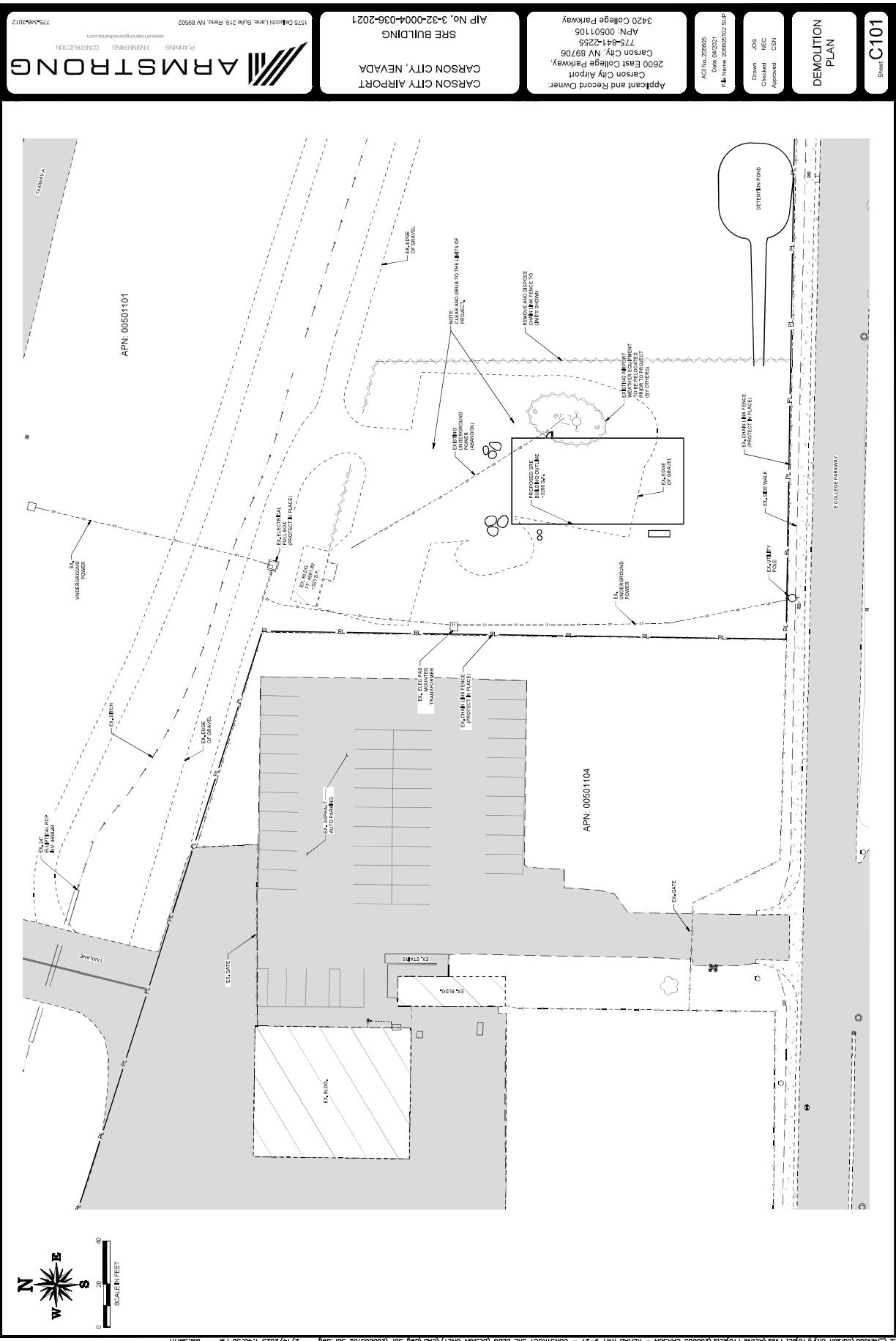
5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

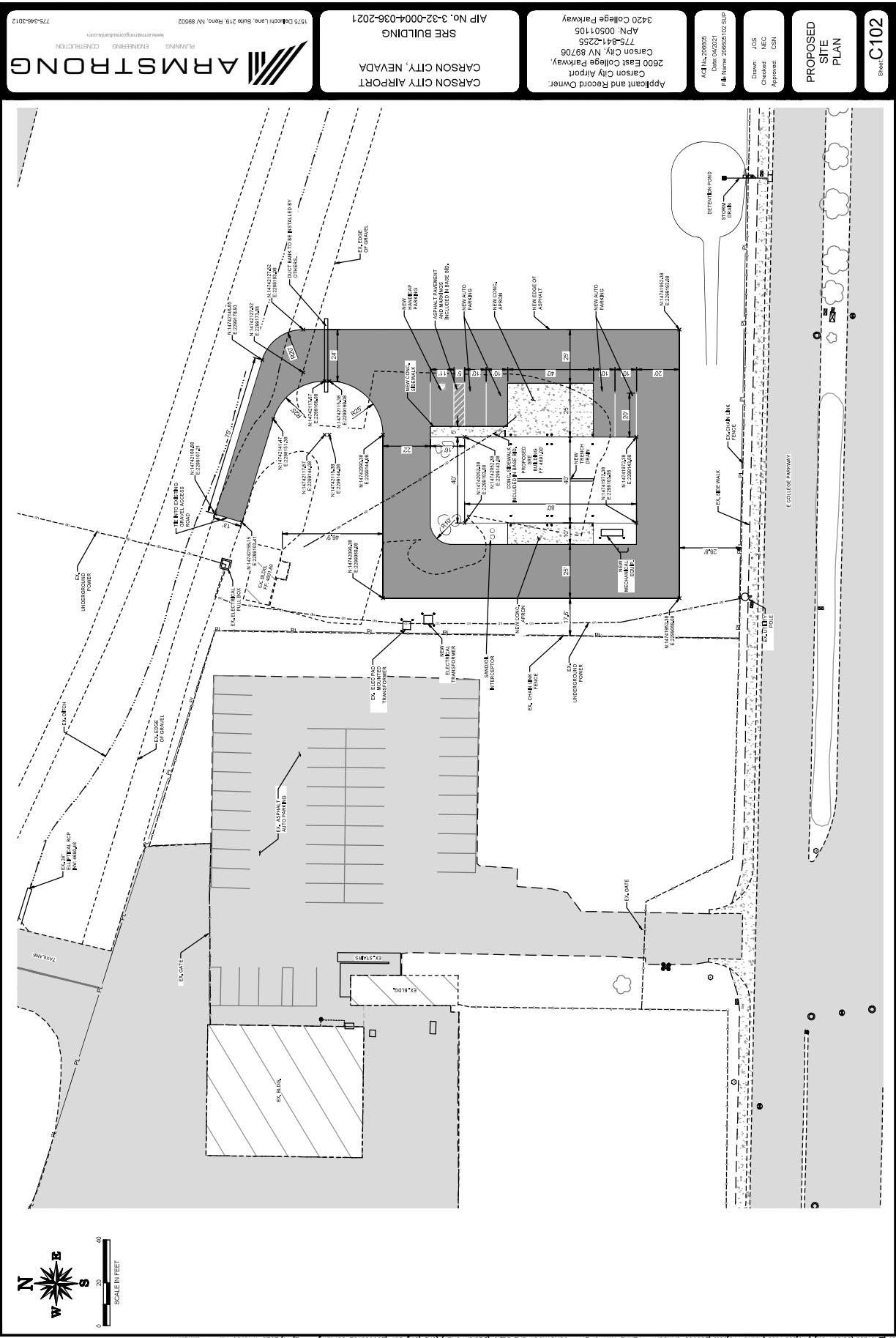
- The airport property falls under the Public Regional (PR) zoning district, which includes "Federal, state and city facilities and uses whose main purpose is to

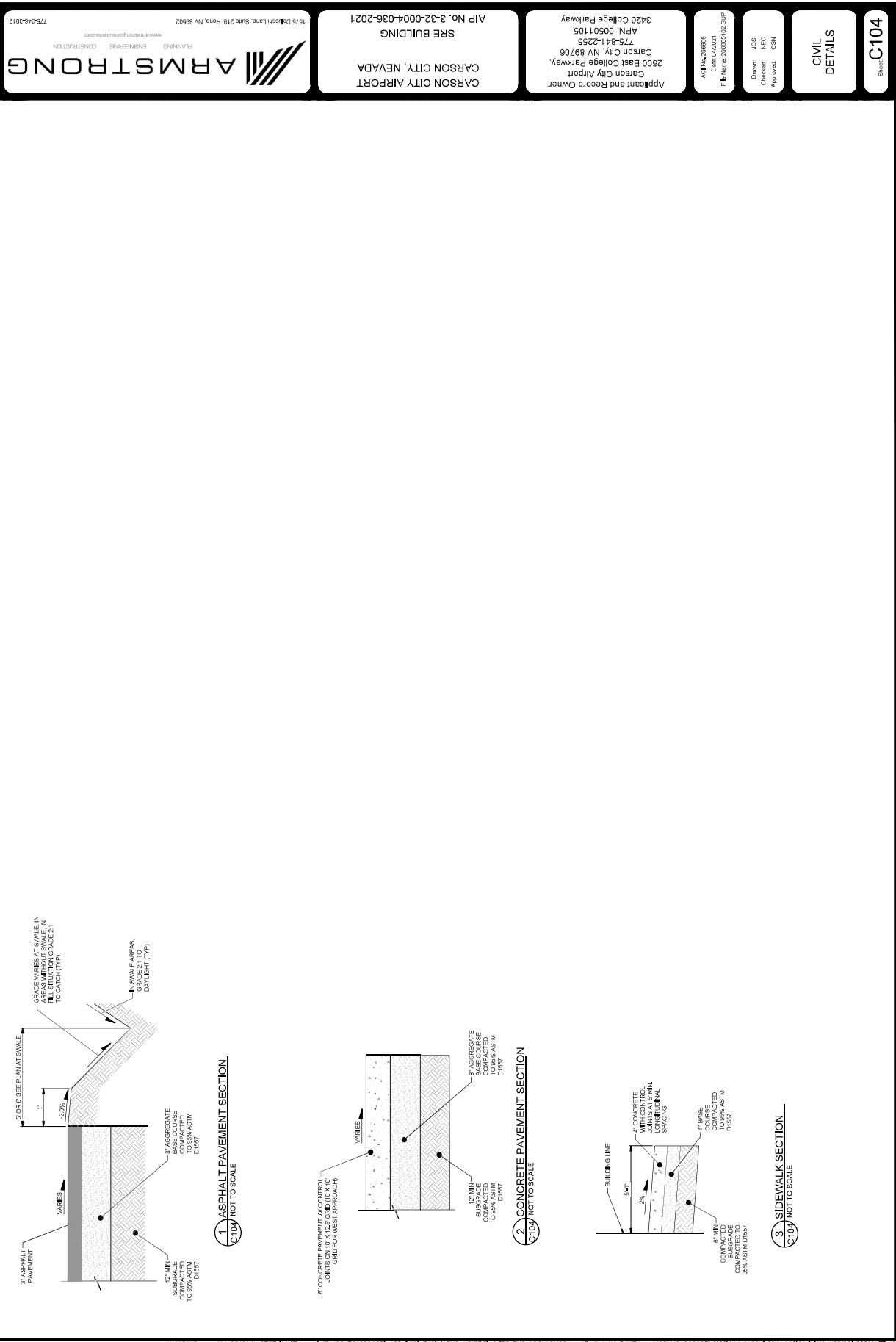
sustain wide regional needs.” The airport services the region’s general aviation purposes and needs. Per 18.04.195, the site development standards are “N/A” and building height, building setbacks, minimum area, minimum lot width and maximum lot depth are to be determined by the special use permit.

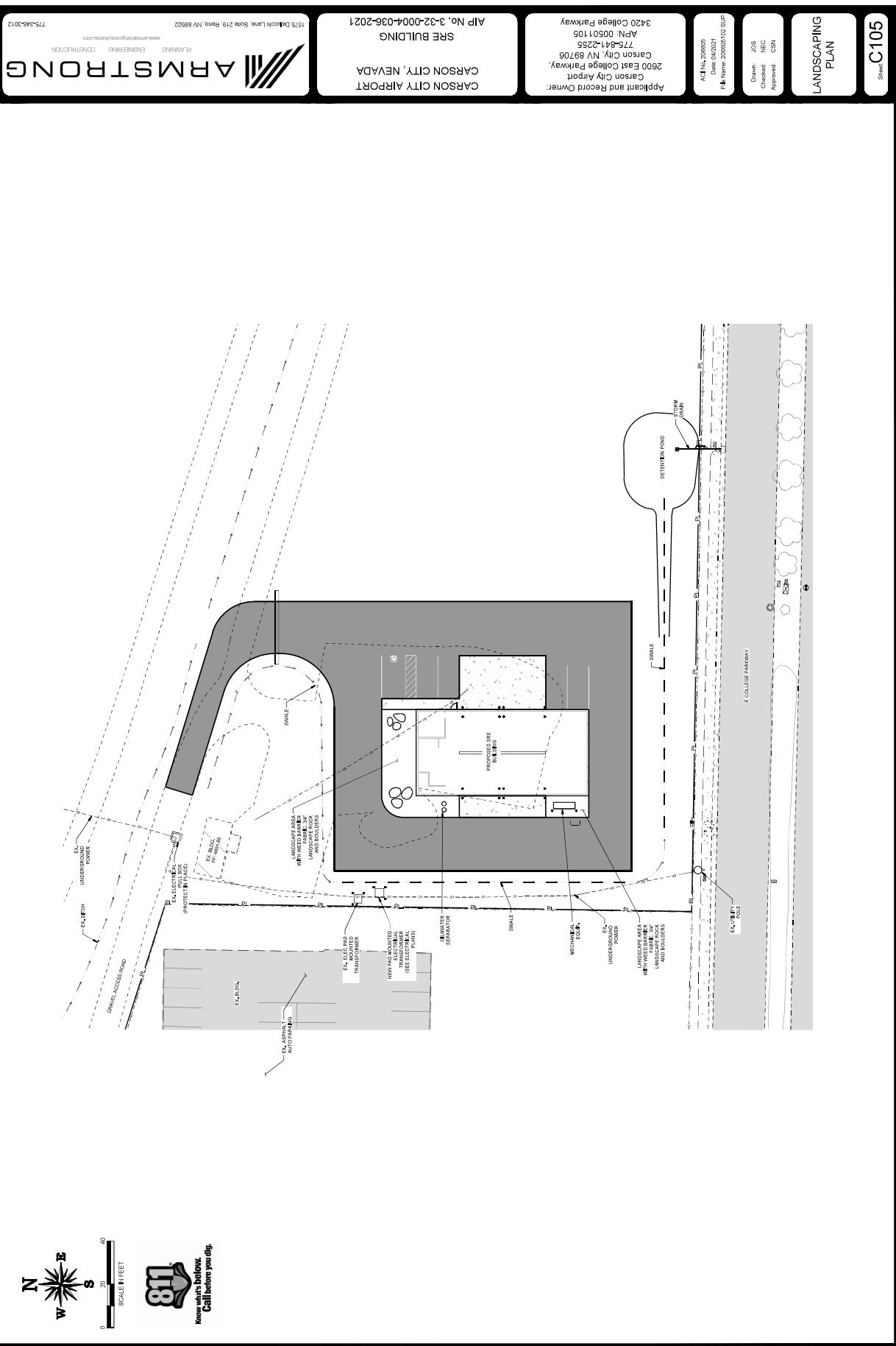
- 6. Will not be detrimental to the public health, safety, convenience and welfare.**
 - This project will not be detrimental to the public health, safety, convenience, and welfare of the surrounding community. The proposed SRE building will further contribute to the airport’s effort in keeping the facilities, runway, taxiways, and taxilanes properly maintained for use by the public.
- 7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.**
 - This project will not result in material damage or prejudice to other property in the vicinity.

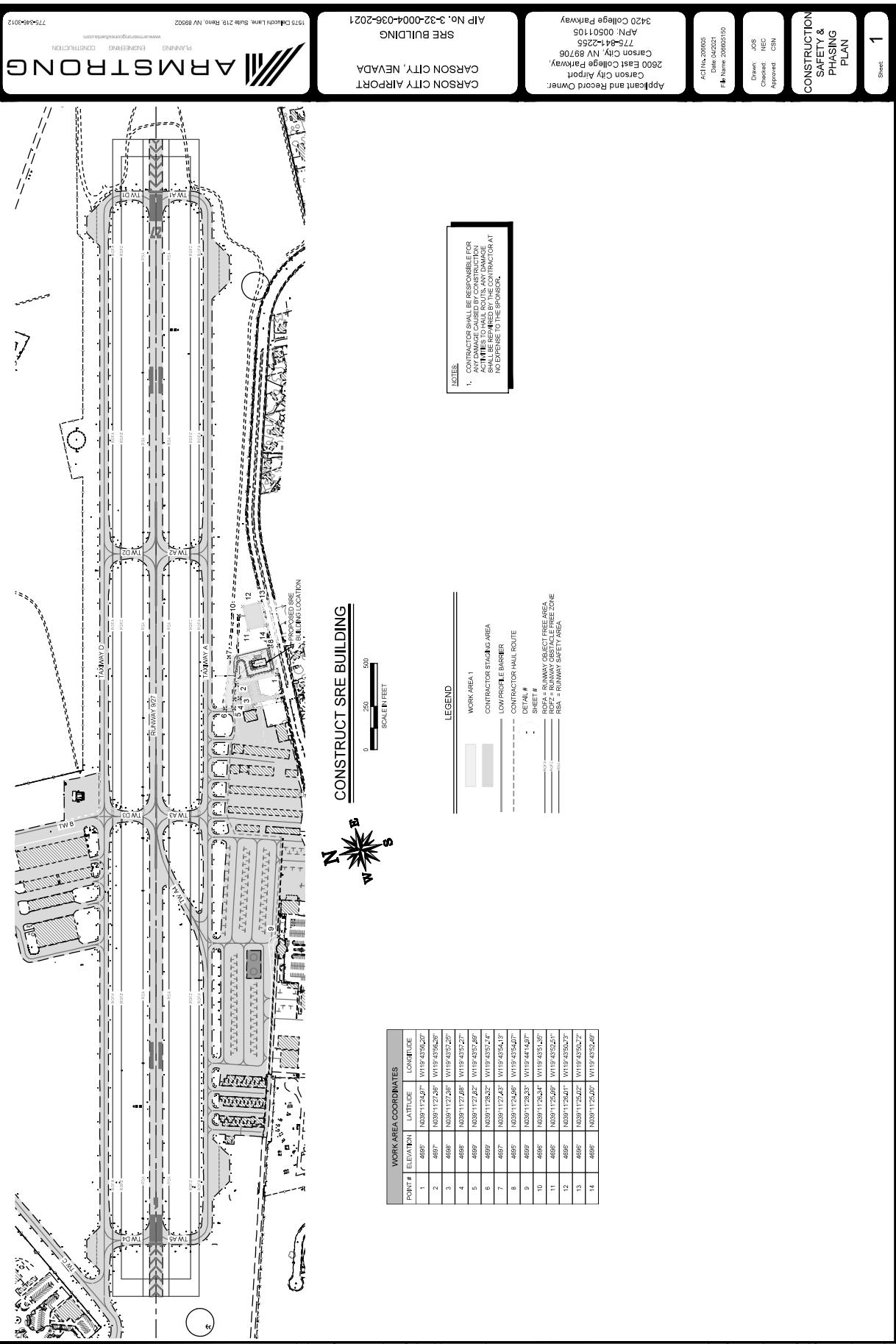
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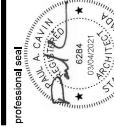










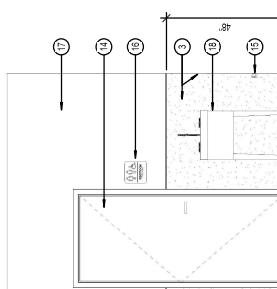


Restroom Accessory Schedule

Symbol	Description	Model Number	Manufacturer	Quantity	Notes
(A)	Toilet Paper Dispenser	B-987	Bronck	1	
(B)	Toilet Seat Cover Dispenser	B-21	Bronck	1	
(C)	Step Dispenser	B-111	Bronck	1	
(D)	Paper Towel Dispenser	B-92	Bronck	1	
(E)	Mirror	B-05	Bronck	1	248
(F)	Grab Bar	B-506	Bronck	1	16'
(G)	Grab Bar	B-500	Bronck	1	36"
(H)	Grab Bar	B-500	Bronck	1	48"
(I)	Lavatory Pipe Guard	LavGuard 2	Trovero	1	

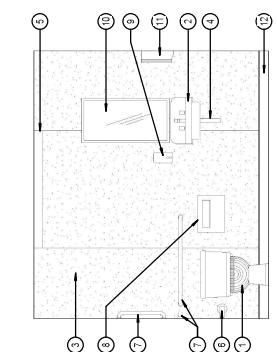
Notes

1. All fixtures are accessible to meet current ADA and ICS/ANSI A117.1 requirements.
2. Please baseline to be installed for all accessories.
3. See detail D-1A901 for additional information on clearance requirements.



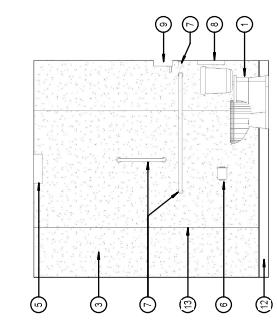
(A3)
1/2" = 1'-0"

Restroom Entry Aicove



(A4)
1/2" = 1'-0"

Restroom Elevation - East



(A5)
1/2" = 1'-0"

Restroom Elevation - North

Interior Elevation Keynotes

1. Handicap accessible water closet • see detail C2 / A901
2. Handicap accessible lavatory • see detail A3 / A901
3. Fiber reinforced plastic paneling • see specifications
4. Lavatory pipe guard • see restroom plan and accessory schedule
5. Light fixture • see electrical
6. Toilet paper dispenser • see detail C3 / A901
7. Grab bar • see detail C2 / A901
8. Toilet seat cover dispenser • see restroom plan and accessory schedule
9. Soap dispenser • see restroom plan and accessory schedule
10. Mirror • see restroom plan and accessory schedule
11. Paper towel dispenser • see restroom plan and accessory schedule
12. Sheet vinyl floor base
13. FRP panel detail
14. Door • see door plan and door schedule
15. Hinge bibs • see planning
16. Restroom signage • see detail
17. Plan frame • see specifications
18. Utility sink • see planning

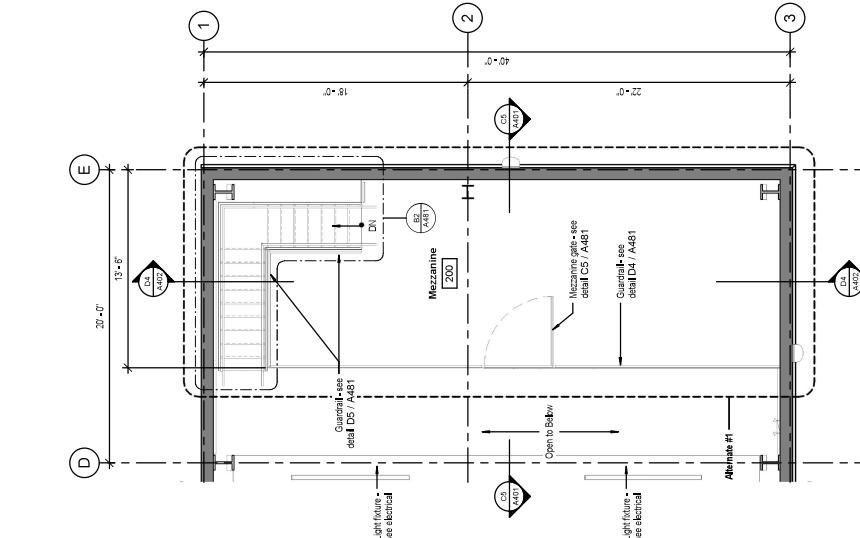
Restroom Plan Keynotes

1. Handicap accessible water closet • see details C2 / A901 & C3 / A901
2. Handicap accessible wall-mounted lavatory • see detail A3 / A901
3. Utility sink
4. 30x48" stall floor space
5. 56x80" stall floor space
6. Wheelchair accessible turning radius
7. Door clearance
8. Restroom signage • see detail B3 / A901
9. Hinge bibs • see planning

revisions

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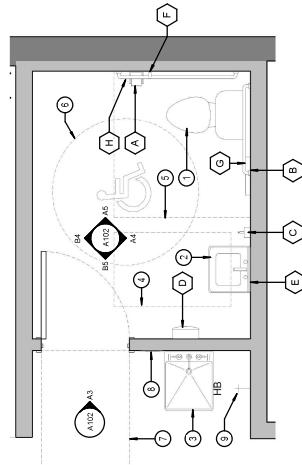
revisions



(D3)
1/2" = 1'-0"

Mezzanine Plan

North



(D4)
1/2" = 1'-0"

Restroom Plan

North

Roof Plan Notes

**Paul Cavin
Architect LLC**

15750 Del Norte Lane, Suite 120
Reno, Nevada 89502

office: (775) 244-7033

mobile: (775) 244-0261

www.paulcavindesign.com

ph@paulcavindesign.com

professional seal



1. The roof system is as follows:
 - A. Standing seam metal roof panels over
 - B. Ice and Water shield underlayment
 - C. Steel purlins over
 - D. Steel joists in roof deck
2. The Contractor shall maintain a clean environment during all construction operations, and shall conduct final cleaning of entire area of work at the conclusion of the project.
3. Unless otherwise specified, all plans, requirements, and details are to be followed as required by the manufacturer's instructions and recommendations as required by warranty.
4. All penetrations, fasteners, and roofing components are to be installed per roof manufacturer's instructions and recommendations as required by warranty.
5. Attachment of snow guard bars to roof panels is to be coordinated with roof panel manufacturer prior to installation. See specifications for additional information.
6. See Project Manual and specifications for additional information and requirements.
7. See Structural drawings and Specifications for additional information and requirements.
8. See Mechanical drawings and Specifications for additional information and requirements.

Roof Gutter & Downspout Calculations

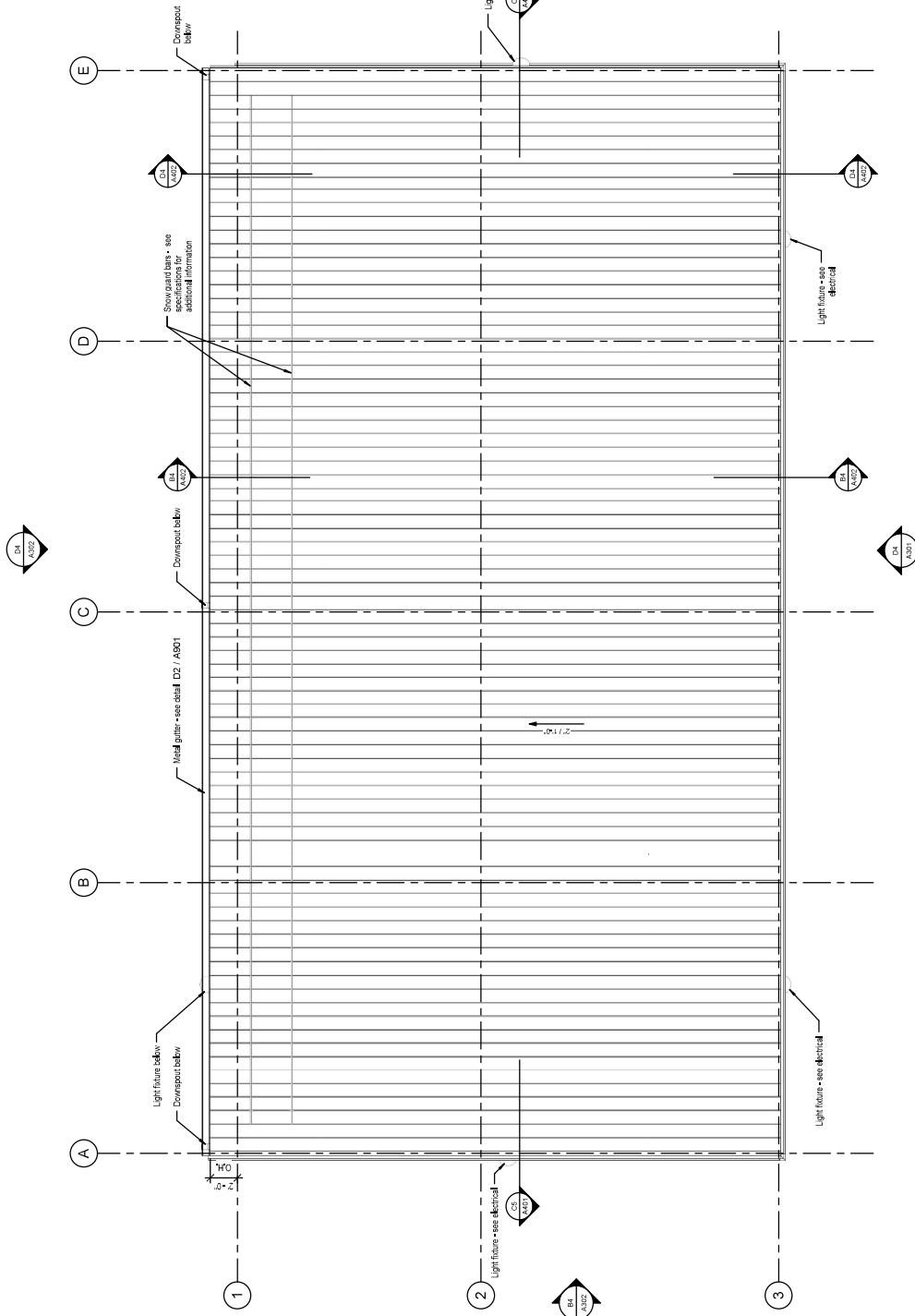
Rainfall Intensity/100 year: 4.5 inch /hr.

Roof Area = 3,355.44

Gutter size = 6 inches

Number of downspouts = 3

Downspout size = 3x4



project

ARMSTRONG

Carson City Airport Snow Removal Equipment Building

2600 East Airport Parkway

Carson City, Nevada 89706

Carson City Airport

2600 East College

Carson City, Nevada 89706

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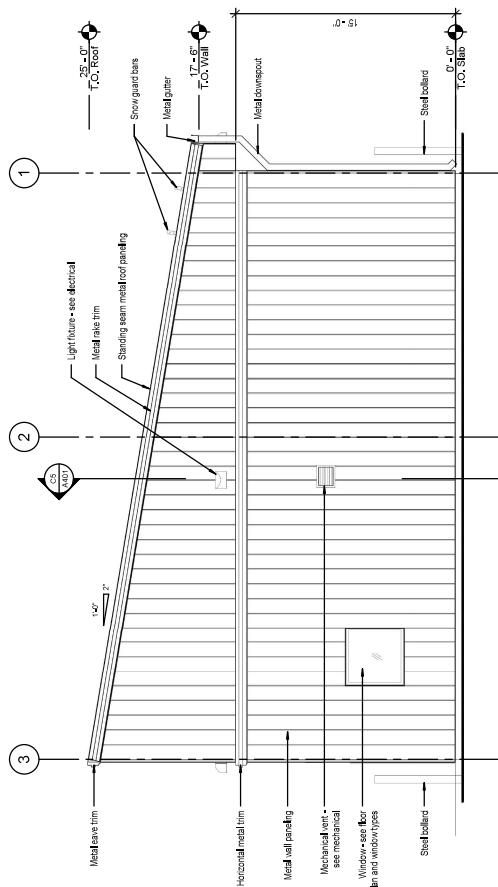
2600 East Airport Parkway

Carson City, Nevada 89706

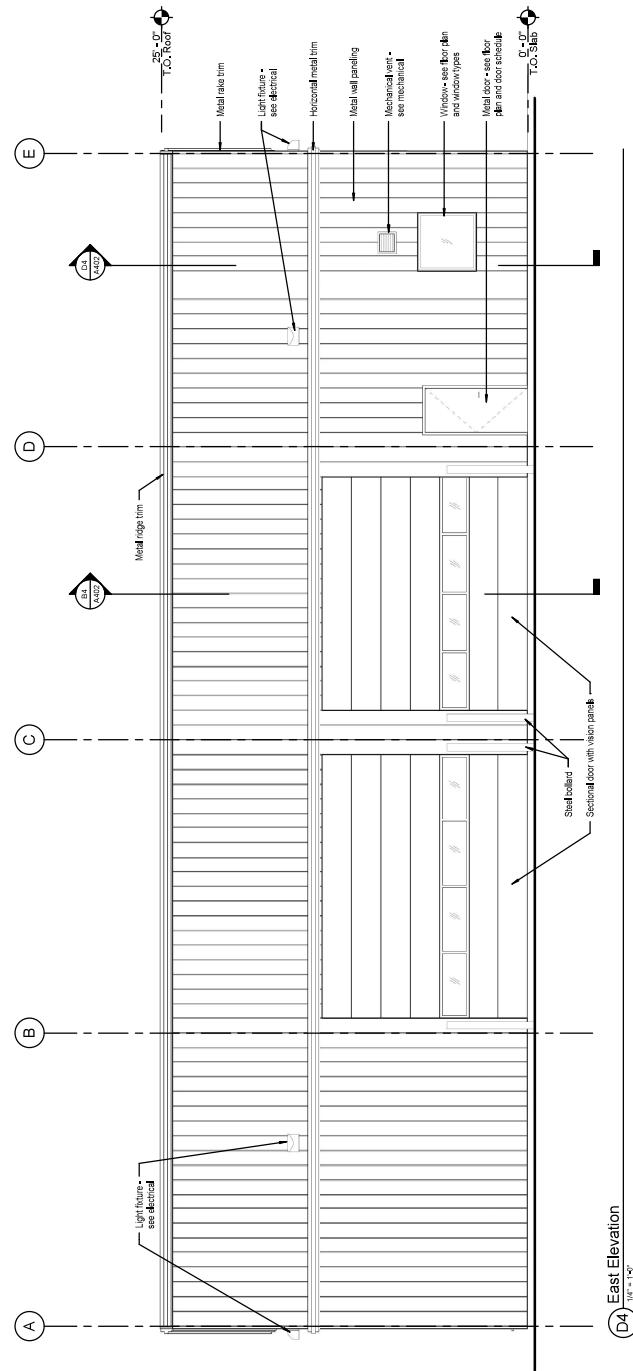
Carson City Airport

2600 East Airport Parkway

Carson City, Nevada 89706



B4 North Elevation
 $1/4" = 1'-0"$



 D4 East Elevation



Carson City Planning Division

108 E. Proctor Street
Carson City, Nevada 89701
(775) 887-2180-Hearing Impaired:711
www.carson.org
www.carson.org/planning

December 11, 2020

Ken Moen
Carson City Airport
2600 E College Parkway
Carson City, NV 89706
Email: kmoen@flycarsoncity.com

Major Project Review: MPR-2020-0050

Project Description: Construction of a 40'x80' snow removal equipment storage building for the Carson City Airport.

Review Date: December 1, 2020

Major Project Review Comments

The Major Project Review Committee has reviewed the proposed plans for the above described project. The following requirements and comments are provided for your use in preparing final plans and submittals for the project. Please be advised that the comments presented in this letter are based on the plans submitted with the Major Project Review application and may not include all the requirements or conditions which may be placed on the project at the time of submittal of planning applications for approval (if applicable) or final plans for building permits. It is hoped, however, that this review will expedite the completion of your project.

Some of the requirements noted below may have already been shown or otherwise indicated in the plans and need only be submitted in the final improvement plan form. Final on- and off-site improvement plans shall be submitted to the Building Division, (108 E. Proctor Street). These plans must contain all appropriate requirements of Development Engineering, Health, Utilities, Fire, and Planning Divisions/Departments.

Planning applications (if applicable), such as Master Plan Amendments, Zoning Changes, Special Use Permits, Variances, Lot Line Adjustments, Parcel Maps, etc. shall be submitted to the Planning Division (108 E. Proctor Street) for review and approval.

SITE INFORMATION:

Address: 3420 College Parkway

APN: 005-011-05

Parcel Size: 4.76 acres

Master Plan Designation: Public/ Quasi-Public

Zoning: Public Regional

PLANNING DIVISION

Contact Heather Ferris, Associate Planner

1. The proposed use is a conditional use in the Public Regional zoning district and therefore requires a Special Use Permit. It should be noted, the relocation of the existing towers on-site will also require a Special Use Permit. (CCMC 18.04.185)
2. Height & Setbacks - CCMC 18.04.195 (Non-residential)

Per 18.04.195 the building height and building setbacks are determined by the Special Use Permit. The proposed building height is 25 feet. Please be sure the building height is shown on the elevation sheets when you submit the Special Use Permit application. The setbacks are only shown to one property line. Please be sure the plot plan shows the setbacks to each of the property lines when you submit the Special Use Permit.

3. Signs - Carson City Development Standards, Division 4

A Sign Permit will be required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning Division for information and standards. A Sign Permit application may be obtained from the Building Division. (Development Standards, Division 4.4.1)

4. Landscaping - Carson City Development Standards, Division 3

A landscape and irrigation plan is required to be submitted with the building permit for review and approval by the Planning Division. The plans shall be consistent with Division 3 of the Carson City Development Standards.

Division 3 allows for variations to the standards set out in this division if they respond more appropriately to a particular site and provide equivalent means of achieving the intent of the landscape standards. Any requests for variations to the standards should be made in writing and should outline the reasons for the requested variations and provide an explanation of how the proposed variations are more appropriate for the site and provide equivalent means of achieving the intent of the landscape standard. A request to vary from the standard should also be accompanied by a conceptual landscape plan.

5. Parking and Loading – Carson City Development Standards, Division 2

The number of parking spaces required for various uses is described in the parking section of the CCMC, Division 2.2 of the Carson City Development Standards. On-site parking shall be provided at a ratio of 1 space per 1,000 square feet of gross floor area plus 1 space for each employee. The site plan submitted with the Special Use Permit must demonstrate compliance with this requirement.

6. Architectural Design - Carson City Development Standards, Division 1

Proposed structure must meet the architectural standards outlined in the Development Standards, Division 1 (Development Standards, Division 1.1), including, but not limited to, the following:

- a. Variations of building details, form, line, color and materials shall be employed to create visual interest. Variations in wall planes, roof lines and direction are encouraged to prevent monotonous appearance in buildings. Large expanses of walls devoid of any articulation or embellishment shall be avoided. Similarly, vertical variation in the roof line

is encouraged. Mansard roofs shall wrap around the entire building. (Development Standards, Division 1.1.3)

- b. All building elevations shall receive architectural treatment, except in special situations where an elevation is not visible from an adjoining property or street. (Development Standards, Division 1.1.4)
- c. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color. Bold colors shall be avoided except when used as accent or trim. (Development Standards, Division 1.1.6)

7. Lighting - Carson City Development Standards, Division 1

Exterior light fixture details must be submitted with a building permit application for review and approval by the Planning Division prior to installation. Exterior lighting must be consistent with Division 1.3 of the Carson City Development Standards.

8. Roof-Mounted Equipment - Carson City Development Standards, Division 1

Roof-mounted equipment (HVAC, etc.) must be screened from view from a public right-of-way or adjacent property through the use of architectural means such as parapet walls and equipment wells. The use of a picket fence or chain link slatted screening is prohibited. During the MPR meeting, you advised that roof mounted equipment will not be utilized. (Development Standards, Division 1.1.7)

9. Trash Storage - Carson City Development Standards, Division 1

Trash, refuse, or recycled material storage containers are required within office, commercial, industrial, or multi-family districts (CCMC 18.05.015).

- a. Outdoor areas used for the storage of trash or refuse must be completely enclosed by a solid gate and a six-foot masonry block wall and be designed to integrate with the building and site design, including colors and materials. Enclosures shall be screened with appropriate plant materials wherever possible. Provide trash enclosure construction details with the final building permit plans. (Development Standards, Division 1.2.6)
- b. Trash enclosures shall be designed to meet or exceed minimum size requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash refuse or recycled material shall be stored in containers within its walled enclosure. (Development Standards, Division 1.2.6)

10. Outdoor Storage- Carson City Development Standards Division 1.12

Any outdoor storage will be subject to applicable provisions of Division 1.12 of the Development Standards, including but not limited to installation of a 100% sight obscuring fence or wall.

11. Growth Management - CCMC 18.12

Growth Management applies to all residential, commercial and industrial property that is required to be served by city water and/or sewer service within the consolidated municipality of Carson City. A Growth Management application is required for all commercial and industrial developments that exceed an average daily water usage of 15,500 gallons per day and may be obtained from the Planning Division. Growth Management applications are reviewed by the Planning Commission acting as the Growth Management Commission.

ENGINEERING AND UTILITIES

Contact Stephen Pottey, Project Manager

12. Pursuant to CCMC 12.01.210, the existing water main in College Parkway shall be extended along the subject properties full College Parkway frontage. The main extension shall be terminated at the easterly end with a fire hydrant.
13. The applicant may wish to explore reimbursement potential for the water main extension pursuant to CCMC 12.01.210(6).
14. A wet stamped water main analysis must be submitted in accordance with CCDS 15.3.1(a) to show that adequate pressure will be delivered to the meter and fire flows meet the minimum requirements of the Carson City Fire Department. Please contact the Water Operations Supervisor at (775) 283-7081 to schedule a fire hydrant flow test.
15. The storm drain development standards are in the process of being revised and moved to a Carson City Drainage Manual. If approved, these changes will include a change in the detention design storm to a 10-year, 24-hour event, and the inclusion of Low Impact Design requirements.
16. A Technical Drainage Study meeting the requirements of section 14 of the Carson City Development Standards must be submitted with the permit and plans.
17. Water and sewer connection fees must be paid. If these fees were paid in the past, then the difference between the old and new amounts of water/sewer usages must be paid for. Please see CCMC 12.01.030 for the water connection fee schedule and 12.03.020 for the sewer connection fee schedule.
18. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
19. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
20. Addresses for units will be provided during the building permit review process.
21. Fresh water must be used for Dust control. Contact the Water Operations Supervisor Public Works at 283-7382 for more information.
22. An erosion control plan meeting section 13 of CCDS will be required in the plan set.
23. New electrical service must be underground.
24. Any work performed in the street right of way will require a traffic control plan and a timeline type schedule to be submitted before the work can begin. A minimum of one-week notice must be given before any work can begin in the street right of way.

These comments are based on a very general site plan and do not indicate a complete review. All pertinent requirements of Nevada State Law, Carson City Code, and Carson City Development Standards will still apply whether mentioned in this letter or not.

FIRE DEPARTMENT

Contact Dave Ruben, Fire Marshal

25. Project must comply with the International Fire Code and northern Nevada fire code amendments as adopted by Carson City.
26. Project needs to provide a fire hydrant to serve the project.
27. Either provide a turn around or extend west side paving to create a looped driveway. If extending the west side paving, only 20 feet width is required on the extended part.

ENVIRONMENTAL CONTROL

Jen Churchward, Environmental Control Officer

28. Trench drain inside facility is required to be connect to a properly sized sand/oil interceptor. Please provide details of sizing calculations, and a plumbing plan that clearly delineates all connections to both the sanitary sewer system and the sand/oil interceptor.
29. If the facility will be using liquid chemicals in the future, please be aware that secondary containment will be required for all stored and in-use liquid chemicals in quantities of 30 gallons or above, per CCMC 12.06.248. Exterior secondary containment must be covered to prevent overflow during a storm event.

BUILDING DIVISION

Contact Corey Coleman, Chief Building Official

30. Designs will be to the 2018 Code Series and Northern Nevada Amendments (Building and Fire).
31. Submit building permit applications online at permitcenter.carson.org.
32. Sand/oil separator will be required.
33. Permits will be required for any demolition and relocation of equipment.
34. Energy envelope, low energy building, or standard energy.

Due to changing conditions of business and requirements for zoning, master plan and development codes of Carson City, this MPR information will expire and will need to be updated with a new MPR if the developer has not applied for a building permit within one year of the date of the MPR meeting.

The aforementioned comments are based on the Major Project Review Committee's review. If you have any questions, please feel free to contact the following members of staff, Monday through Friday 8:00 AM to 4:00 PM.

Planning Division –

Heather Ferris, Associate Planner
(775) 283-7080
Email: h ferris@carson.org

Engineering Division –

Stephen Pottey, Project Manager
(775) 283-7079

Email: spottey@carson.org

Building Division –

Corey Coleman, Chief Building Official
(775) 887-2310
Email: ccoleman@carson.org

Fire Prevention –

Dave Ruben, Fire Marshal
(775) 283-7153
Email: druben@carson.org

Environmental Control

Jen Churchward, Environmental Control Officer
(775)283-7409
Email: jchurchward@carson.org

Sincerely,

Community Development Department, Planning Division


Heather Ferris
Associate Planner

cc: MPR-2020-0050
Nadine Crow, ncrow@armstrongconsultants.com

MAJOR PROJECT REVIEW COMMENTS FROM CITY:

Planning Division:

1. Special use permit requirement
2. Height dimensions and setbacks dimensions to all property lines are shown on plans
3. No signs will be used on the project
4. Landscaping shown on plans
5. Parking requirement met and shown on plans
6. Architectural design requirements met and shown on plans
7. Exterior lighting details will be provided with building permit application
8. There is no roof mounted equipment in design
9. There is no trash storage required for the project
10. There is no outdoor storage in design
11. Growth management is not applicable to this development

Engineering and Utilities:

12. Water main and additional hydrant are shown on plans, included as bid item
13. –
14. Water main analysis included in Civil set
15. –
16. Technical drainage study is included in Civil set
17. –21--
22. Erosion control plan is included in Civil set
23. –
24. –

Fire Department:

25. –
26. Project includes two (2) fire hydrants
27. Turn-around included for truck access

Environmental Control:

28. Based on sizing criteria of 2018 UPC section 1016.3, minimum inlet area must be 2 ft² with a 2 ft minimum depth below the inlet. The standard precast concrete 500-gallon sand/oil interceptor that will be used on this project has an area at the narrowest section of the inlet side of 10.55 ft² and the inlet is 4.58 ft above the floor. This tank is sized conservatively for an inflow of 15 gpm or less and settling time of 30 mins.
29. The storage facility will not be using or storing any liquid chemicals.

Building Division:

30. –
31. Contractor will be responsible for all building permits.
32. A sand/oil interceptor is included in the design.
33. –
34. –